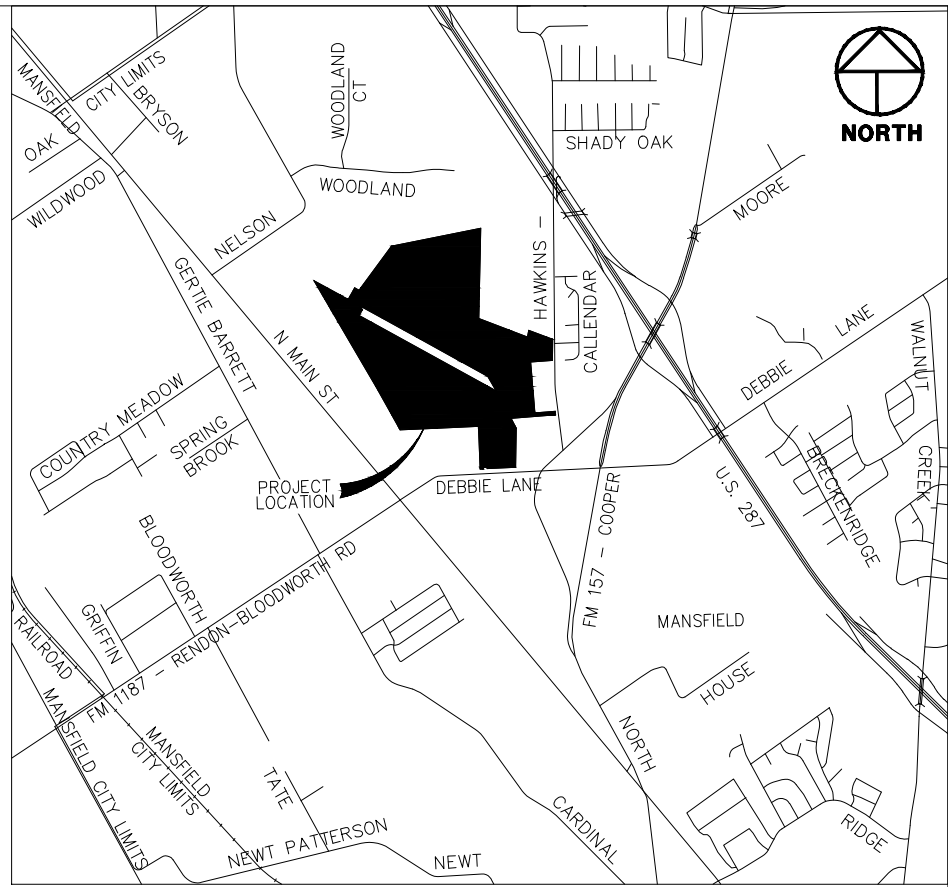
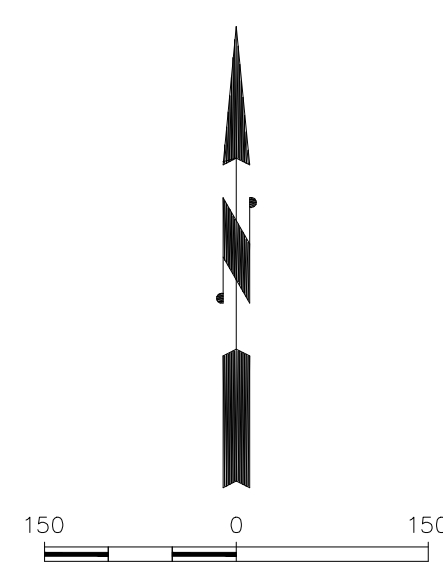


x:\0284-Dolce vita\0-0284-1701 Woodlands Estates\Drawings\Conceptual dwgs for zoning change\Siteplan.dwg, May 22, 2018--5:27pm Terra Associates Inc., Charles F. Ditrell



VICINITY MAP
N.T.S.



TOTAL ACREAGE:	62.5822 AC
TOTAL NUMBER OF LOTS:	164
NUMBER OF LOTS PER ACRE:	2.62

MINIMUM LOT DEPTH: 110'
MINIMUM LOT WIDTH: 65'

Dolce vita' Estates LAND USE SUMMARY			
Land Use	Typical Lot Size	Lots	% Space
residential	65' x 110'	163	81.0%
open space	--	--	19.0%

LOTS 9-70, 75-93, 110-114, 121-155 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

LOTS 23, 24, AND 145 EXTEND OVER PIPELINE EASEMENTS AND NO STRUCTURES, FENCES, FLATWORK, OR OTHER IMPROVEMENTS CAN BE MADE OVER THESE EASEMENTS.

ALL DIMENSIONS ARE TO THE BACK OF CURB.

AVERAGE LOT SIZE 8,457.0

DEVELOPER
Dolce Vita Development Group, LLC
PO Box 34001
FORT WORTH, TEXAS 76162
bp@dvinusd.com

ZC#17-022

DOLCE VITA AT MANSFIELD
CITY OF MANSFIELD, TEXAS

DEVELOPMENT PLAN
EXHIBIT B

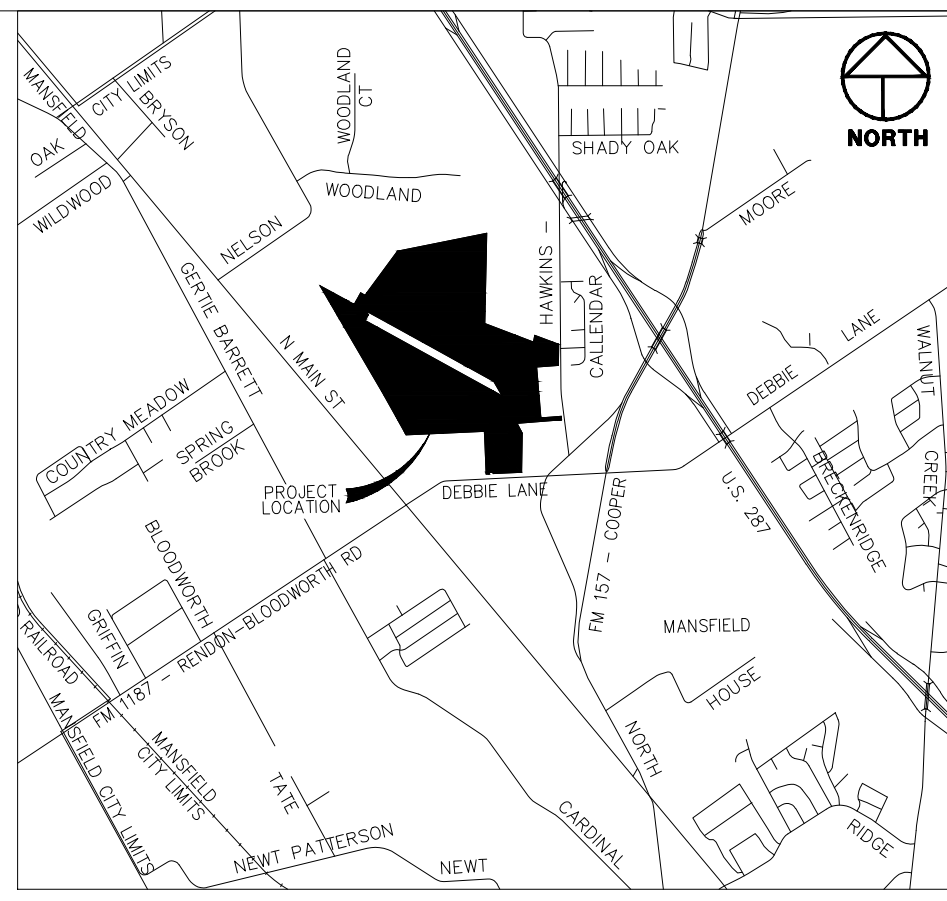
TERRA

ASSOCIATES, INC.
CONSULTING ENGINEERS
LANDSCAPE ARCHITECTS

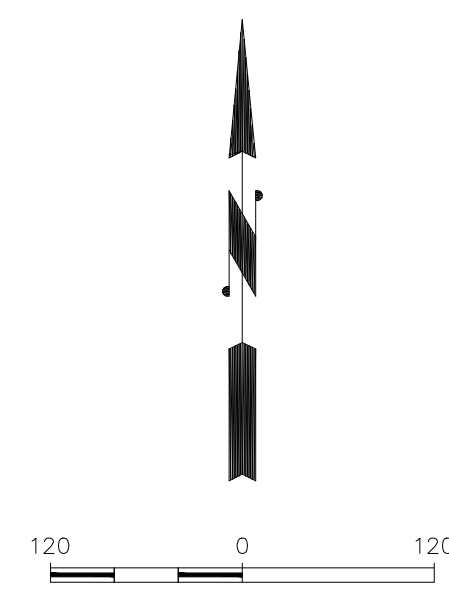
2000 E. LAMAR BLVD. - SUITE 150
ARLINGTON, TEXAS 76006
817-635-0066
CFD@terraassoc.com
TBPE Registration No.: F-003832

DRAWN BY: MAM	SCALE: 1" = 150'	PROJECT No. 0284-1701
CHECKED BY: CFD	DATE: MAY, 2018	CONTRACT: 1
		SHEET 1 OF 4

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VICINITY MAP
N.T.S.

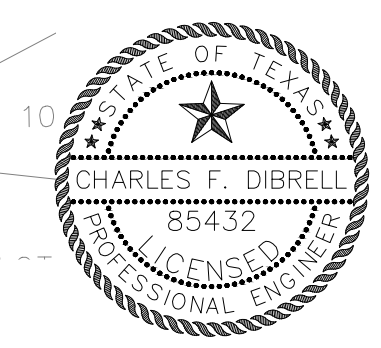


LEGEND

[Yellow Box]	LOTS 65'+ WIDE
[Orange Box]	LOTS 70'+ WIDE
[Purple Box]	LOTS 80'+ WIDE
[Green Box]	LOTS 90'+ WIDE
[Light Green Box]	OPEN SPACE
[Blue Box]	WATER FEATURES
[Grey Box]	STREETS

Dolce vita' Estates LAND USE SUMMARY

Land Use	Typical Lot Size	Lots	% Space
residential	65' x 110'	163	81.0%
open space	--	--	19.0%



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CHARLES F. DIBRELL, P.E. 85432 ON May 18, 2018.

DEVELOPER
Dolce Vita Development Group, LLC
P.O. Box 34001
FORT WORTH, TEXAS 76162
bp@divinuso.com

DOLCE VITA AT MANSFIELD
CITY OF MANSFIELD, TEXAS

ZONING EXHIBIT
EXHIBIT B

TERRA ASSOCIATES, INC.
CONSULTING ENGINEERS
LANDSCAPE ARCHITECTS

2000 E. LAMAR BLVD. - SUITE 150
ARLINGTON, TEXAS 76006
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CFD@terraassoc.com
TBPE Registration No.: F-003832

DRAWN BY: MAM	SCALE: 1" = 150'	PROJECT No. 0284-1701
CHECKED BY: CFD	DATE: MAY, 2018	CONTRACT: 1
		SHEET 2 OF 4

EXHIBIT “B”
ZC#17-022
Dolce vita’ at Mansfield
PLANNED DEVELOPMENT STANDARDS

SECTION 1: DEVELOPMENT PLAN

The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

The Dolce vita’ at Mansfield Planned Development (DPD) shall apply to the 52.1225-acre and the 10.4597-acres tracts described in the legal description in Exhibit A. The DPD shall have one distinct product line as represented in Table 1 below. The maximum number of residential lots allowed within the DPD is 163.

SECTION 2: RESIDENTIAL PRODUCTS

Dolce vita’ at Mansfield will have single-family detached residential lots as shown on the Development Plan on Exhibit B, page 1 and the Zoning Exhibit on Exhibit B, page 2. The single-family residential lots will comply with the following requirements.

Table 1 – Residential Product Table

Product Type	Min. Lot Area	Min. Lot Width	Min. Lot Depth	Min. Front Yard	Min. Interior Side Yard	Min. Exterior Side Yard	Min. Rear Yard	Max. Lot Coverage	Min. Floor Area Per Unit	Max. Height
Sterling	7,150 sq. ft.	65’ (a)	110’	25’	5’ & 10’ (b)	15’	15’	45%	1,800 sq. ft. (c)	35’

- a. Corner lots must be at least 5’ wider than the minimum lot width
- b. Requires two side yards to have a combined total of not less than 15’ with a 5’ minimum on one side and a 10’ minimum on the other side
- c. 20% of the units are to have an 1,800 sq. ft. minimum floor area, 30% of the units are to have a 2,100 sq. ft. minimum floor area, and 50% of the units are to have a 2,400 sq. ft. minimum floor area

SECTION 3: COMMUNITY DESIGN STANDARDS

Residential development in Dolce vita’ Estates must comply with the community design standards in Section 4600 of the Zoning Ordinance.

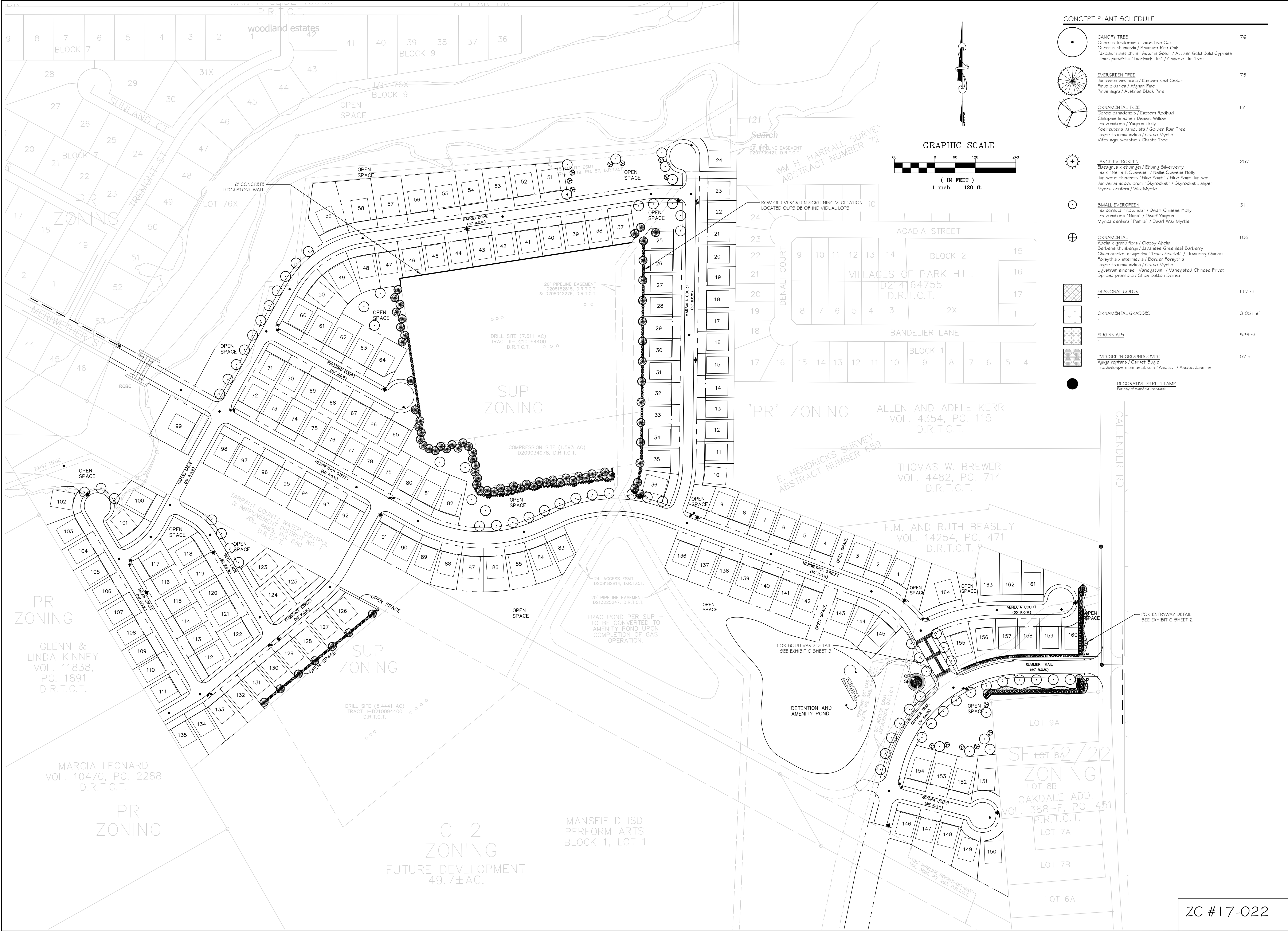
SECTION 4: GENERAL CONDITIONS

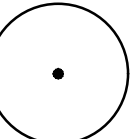
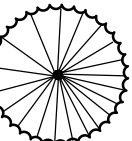
- A. Landscaping:
 1. There will be a minimum of three trees required for each lot with a minimum three (3.0) inch caliper.
- B. Perimeter Walls/Screening:
 1. A masonry screening wall must be provided along Callender Road.
 2. A masonry screening wall must be provided along the rear property line of lots 37-47 where there is a shared property line with the Gas Pad.

EXHIBIT “B”
ZC#17-022
Dolce vita’ at Mansfield
PLANNED DEVELOPMENT STANDARDS

SECTION 5: HOMEOWNERS ASSOCIATION

A mandatory homeowner’s association will be responsible for the maintenance of the masonry walls along Callender Road, including the parkway between the screening wall and the street; the open space lots and medians; along the rear property line of lots 37-47; and the enhanced entryway features, including but not limited to landscaping, and the enhanced masonry walls with entry signage and signage lighting.



CONCEPT PLANT SCHEDULE		
	CANOPY TREE Quercus formosa / Texas Live Oak Quercus shumardii / Shumard Red Oak Taxodium distichum / Autumn Gold / Autumn Gold Bald Cypress Ulmus parvifolia / Lacebark Elm / Chinese Elm Tree	76
	EVERGREEN TREE Juniperus virginiana / Eastern Red Cedar Pinus edulis / Afghan Pine Pinus nigra / Austrian Black Pine	75
	ORNAMENTAL TREE Cercis canadensis / Eastern Redbud Chilopsis linearis / Desert Willow Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Viburnum acerifolium / Chaste Tree	17
	LARGE EVERGREEN Elaeagnus x ebbingei / Ebbing Silverberry Ilex x 'Nellie R. Stevens' / Nellie Stevens Holly Juniperus chinensis 'Blue Point' / Blue Point Juniper Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper Myrica cerifera / Wax Myrtle	257
	SMALL EVERGREEN Ilex cornuta 'Rotunda' / Dwarf Chinese Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Myrica cerifera 'Pumila' / Dwarf Wax Myrtle	311
	ORNAMENTAL Abelia x grandiflora / Glossy Abelia Berberis thunbergii / Japanese Greenleaf Barberry Chaenomeles x superba 'Texas Scarlet' / Flowering Quince Forsythia x intermedia / Border Forsythia Lagerstroemia indica / Crape Myrtle Ligustrum sinense 'Vernagatum' / Variegated Chinese Privet Spiraea prunifolia / Snow Button Spiraea	106
	SEASONAL COLOR	117 sf
	ORNAMENTAL GRASSES	3,051 sf
	PERENNIALS	529 sf
	EVERGREEN GROUNDCOVER Ajuga reptans / Carpet Bugle Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	57 sf
	DECORATIVE STREET LAMP Per city of Mansfield standards	

SHEET

EXHIBIT C

SHEET 1 OF 4

OVERALL LANDSCAPE

ISSUE / REVISION RECORD

03-29-18	REVISED PER CITY COMMENTS DATED 03-26-18
04-12-18	REVISED PER CITY COMMENTS DATED 04-09-18
05-21-18	REVISED SITE LAYOUT

G. I. JOSEPH VAUGHN
LANDSCAPE ARCHITECT
L.P. 2422

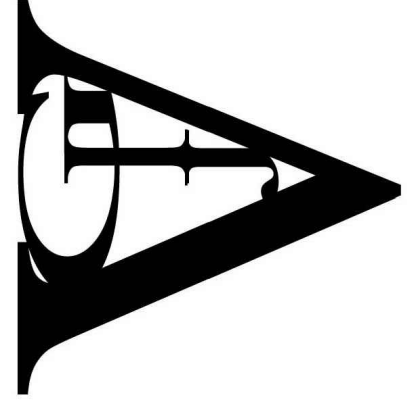
PRELIMINARY PLAN NOT INTENDED
FOR CONSTRUCTION
REGULATORY APPROVAL

DOLCE VITA AT

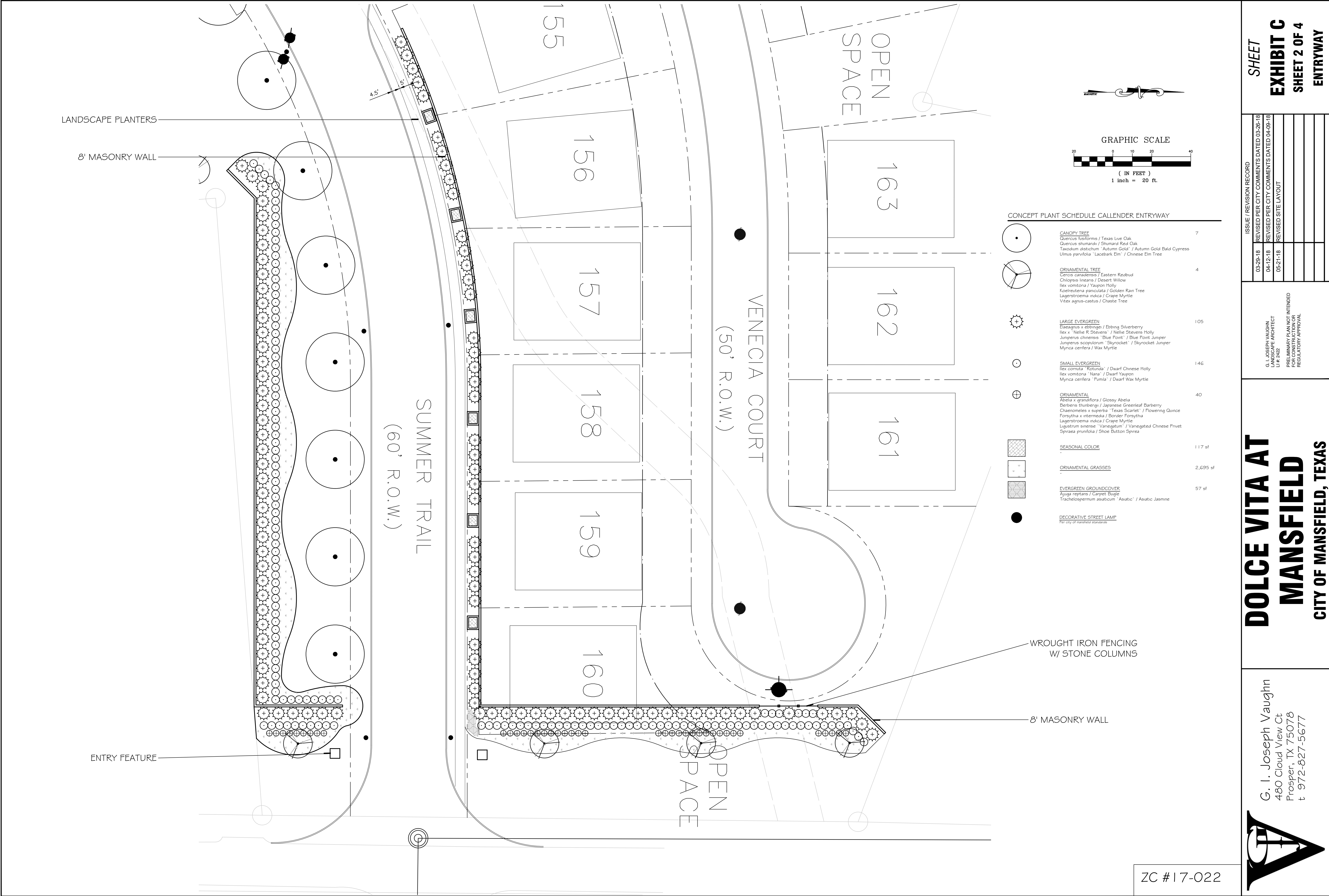
MANSFIELD

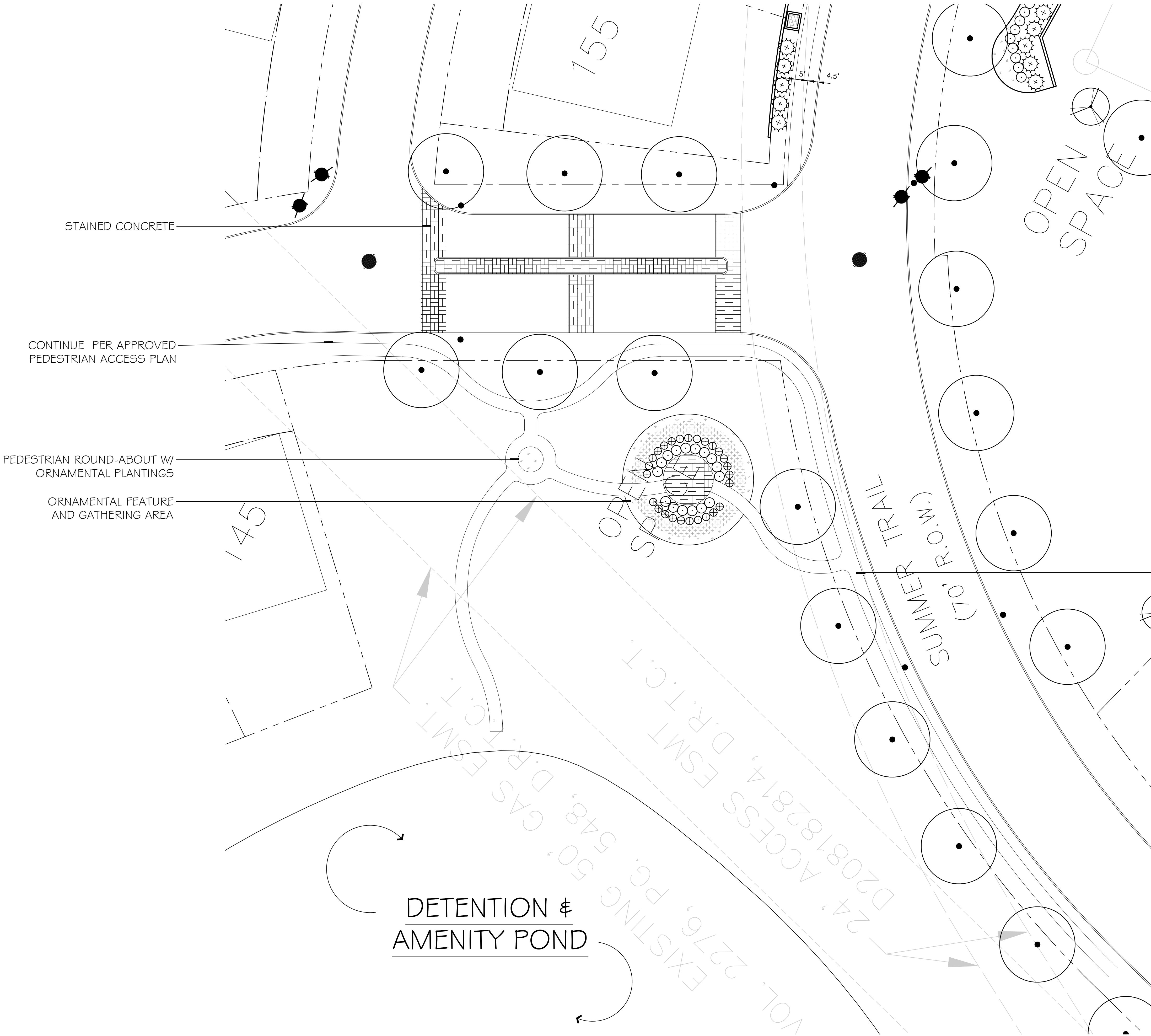
CITY OF MANSFIELD, TEXAS

G. I. Joseph Vaughn
480 Cloud View Ct
Prosper, TX 75078
t 972-827-5677



ZC #17-022





GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

SYMBOL	PLANT SPECIES	QUANTITY
	CANOPY TREE <i>Quercus fusiformis</i> / Texas Live Oak <i>Quercus shumardii</i> / Shumard Red Oak <i>Taxodium distichum</i> 'Autumn Gold' / Autumn Gold Bald Cypress <i>Ulmus parvifolia</i> 'Lacebark Elm' / Chinese Elm Tree	5
	SMALL EVERGREEN <i>Ilex cornuta</i> 'Kotunda' / Dwarf Chinese Holly <i>Ilex vomitoria</i> 'Nana' / Dwarf Yaupon <i>Myrica cerifera</i> 'Pumila' / Dwarf Wax Myrtle	16
	ORNAMENTAL <i>Abelia x grandiflora</i> / Glossy Abelia <i>Berberis thunbergii</i> / Japanese Greenleaf Barberry <i>Chionodoxa x superba</i> 'Texas Scarlet' / Flowering Quince <i>Forsythia x intermedia</i> / Border Forsythia <i>Lagerstroemia indica</i> / Crape Myrtle <i>Ligustrum sinense</i> 'Variegatum' / Variegated Chinese Privet <i>Spiraea prunifolia</i> / Shoe Button Spiraea	26
	ORNAMENTAL GRASSES	356 sf
	PERENNIALS	529 sf
	DECORATIVE STREET LAMP <i>Per city of Mansfield standards</i>	

STAINED CONCRETE

CONTINUE PER APPROVED
PEDESTRIAN ACCESS PLAN

PEDESTRIAN ROUND-ABOUT W/
ORNAMENTAL PLANTINGS

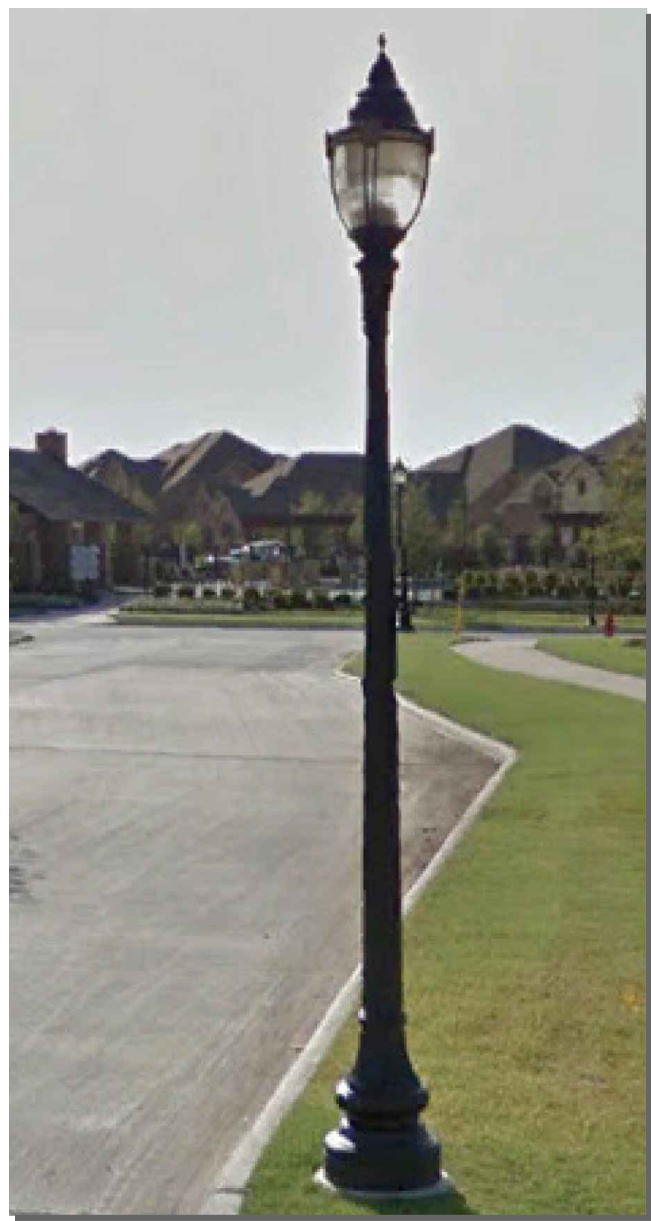
ORNAMENTAL FEATURE
AND GATHERING AREA

CONTINUE PER APPROVED
PEDESTRIAN ACCESS PLAN

DETENTION &
AMENITY POND



ENTRY FEATURE



LIGHT POLE



CONC. LEDGESTONE WALL



STAINED CONCRETE



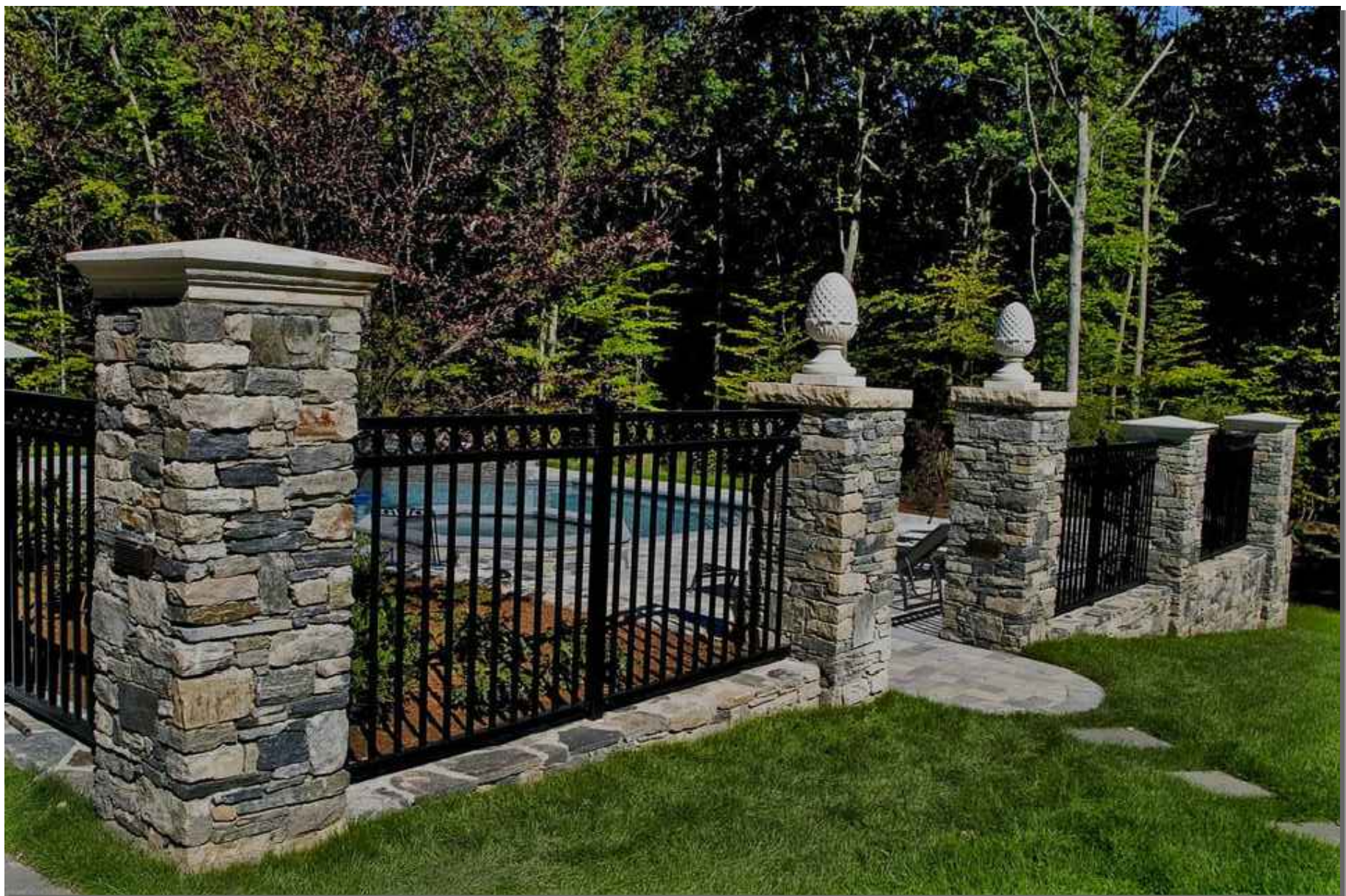
STUCCO AND STONE WALL



LANDSCAPE PLANTERS



ENTRYWAY LANDSCAPE



WROUGHT IRON & STONE COLUMN

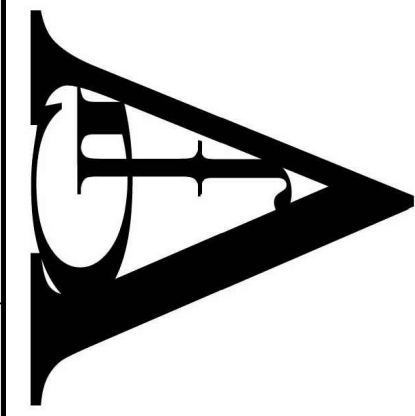


DETENTION & AMENITY POND



GAS PARCEL SCREENING

ZC #17-022



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480 Cloud View Ct
Prosper, TX 75078
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**DOLCE VITA AT
MANSFIELD**
CITY OF MANSFIELD, TEXAS

G. I. JOSEPH VAUGHN
LANDSCAPE ARCHITECT
L.P. #242
PRELIMINARY PLAN NOT INTENDED
FOR CONSTRUCTION
REGULATORY APPROVAL

ISSUE / REVISION RECORD			
03-29-18	REVISED PER CITY COMMENTS DATED 03-26-18		
04-12-18	REVISED PER CITY COMMENTS DATED 04-09-18		
05-21-18	REVISED SITE LAYOUT		

SHEET
EXHIBIT C
SHEET 4 OF 4
SAMPLE IMAGES

EXHIBIT “D”
ZC#17-022
Dolce vita’ at Mansfield
Example Building Elevations



EXHIBIT “D”
ZC#17-022
Dolce vita’ at Mansfield
Example Building Elevations

