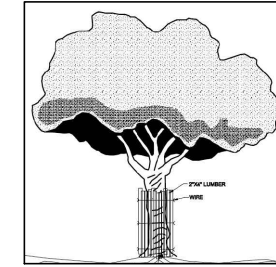


3rd Ave R.O.W. (Public Drainage)

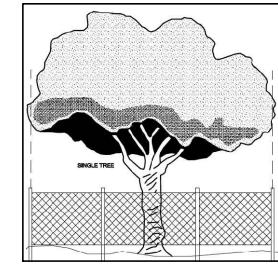
Land Use - Single Family detached houses

Area and height regulations

Minimum Lot Width - 65 ft
Minimum Lot Depth - 199 ft
Minimum Front Setback - 15 ft
Minimum Rear Setback - 15 ft
Minimum Side Setback - 5 ft
Minimum Floor Area - 1800
Minimum Off-Street Parking - 2 spaces per house
Maximum Height - 2 stories plus attic, 35'
Maximum Lot Coverage - 45%



BARK PROTECTION
DURING CONSTRUCTION



PROTECTIVE FENCING
DURING CONSTRUCTION

ARCHITECTURAL STANDARDS

Windows seen from the street are required to be wood, look like wood, or be wood with vinyl or aluminum cladding.

Minimum roof pitch will be 6:12.

Roof shingles must be three dimensional architectural shingles.

Metal roof is limited to not more than 20% of the total roof area.

Facade cladding may consist of 20 to 80 percent masonry.

Any chimney on the exterior wall must be 100% brick or stone Craftsman style details like exposed rafter tails and corbels are encouraged

LANDSCAPING STANDARDS

Lawns and landscaping must be irrigated with an irrigation system.

Accessory Use Standards

Accessory uses and structures shall be permitted and shall comply with the Zoning Ordinance requirements for such uses and structures in Single Family Residential Districts.

Parking will not hang into R.O.W.

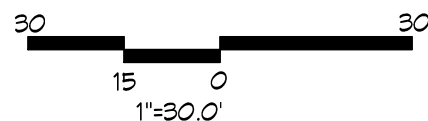
DEVELOPER:
HARRIS COOK PROPERTIES
309 E. BROAD ST.
MANSFIELD, TX 76063
(817) 473-3333

Accessory uses and structures shall be permitted and shall comply with the Zoning Ordinance requirements for such uses and structures in Single-Family Residential Districts associated with single family residential uses shall be permitted and shall comply with the following regulations:

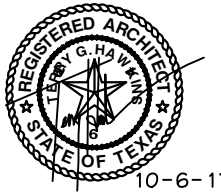
- Maximum Height - 18' for a pool cabana; not to exceed 20' for other accessory buildings
- Maximum Square Feet - 500 sf for a pool cabana; not to exceed 870 square feet for all total accessory buildings
- Minimum Side Setback - 5' for a pool cabana and other accessory buildings
- Minimum Rear Setback - 45' for a pool cabana; 11.5' for other accessory buildings

Compliance with PD Regulations

The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.



PROPOSED CONCEPT ELEVATION



173066

EXHIBIT B DEVELOPMENT PLAN ZC#17-015 PAGE 1 OF 2

305 W. KIMBALL ST.
LOT ---- BLOCK 31
ORIGINAL TOWN OF MANSFIELD
MANDFIELD, TEXAS
TARRANT COUNTY

DATE: 10-6-17
10-16-17 REV.

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
2. CONTRACTOR TO OBSERVE ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
3. ALL ELECTRICAL OUTLETS AT KET AREAS (INCL. GARAGE) TO BE G.F.I.
4. ALL EXTERIOR ELECTRICAL OUTLETS TO BE WEATHER PROOF.
5. ALL GLAZING WITHIN 20" HORIZ. DISTANCE FROM JAMB OF EXTERIOR DOORS TO BE TEMPERED GLASS.
6. PLUMBING WALLS AT TOILETS TO BE 2X6 STUDS.
7. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF BRICK. ALL DIMENSIONS ARE FOR NOMINAL 4" STUD (ACTUAL 3-1/2" STUD).
8. PROVIDE 110V. WIRED IN SERIES SMOKE DETECTORS OR PER LOCAL CODE REQUIREMENTS.
9. WINDOW AND DOOR SIZES ARE AS INDICATED ON PLANS AT 1/8" = 1' SCALE. 1 DOOR LOCATIONS.

SHEET TITLE:



218 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063
817.471.3241 METRO 817.471.3653 FAX

© COPYRIGHT 2010 N.10 DESIGN GROUP

SHEET No.:
PAGE 1 OF 2

EXHIBIT B

DEVIATIONS FROM BASED ZONING DISTRICT
ZC#17-015

Subject Property: 0.505 acres out of Block 30, Original Town of Mansfield, 305 and 307 W Kimball St

Proposed Use: Single -Family Residential Use

Deviations from based Zoning District of SF-7.5/16

Section	Requirement	Provided
4500B	Min. Lot Width 65 ft	55 ft
4500B	Min. Front Yard 25 ft	15 ft
4500B	Min. Side Yard 5 & 10 ft	5 ft for house
4600C	Min. Masonry 80%	20 to 80%
4600D.8	Min. 8:12 roof pitch	6:12