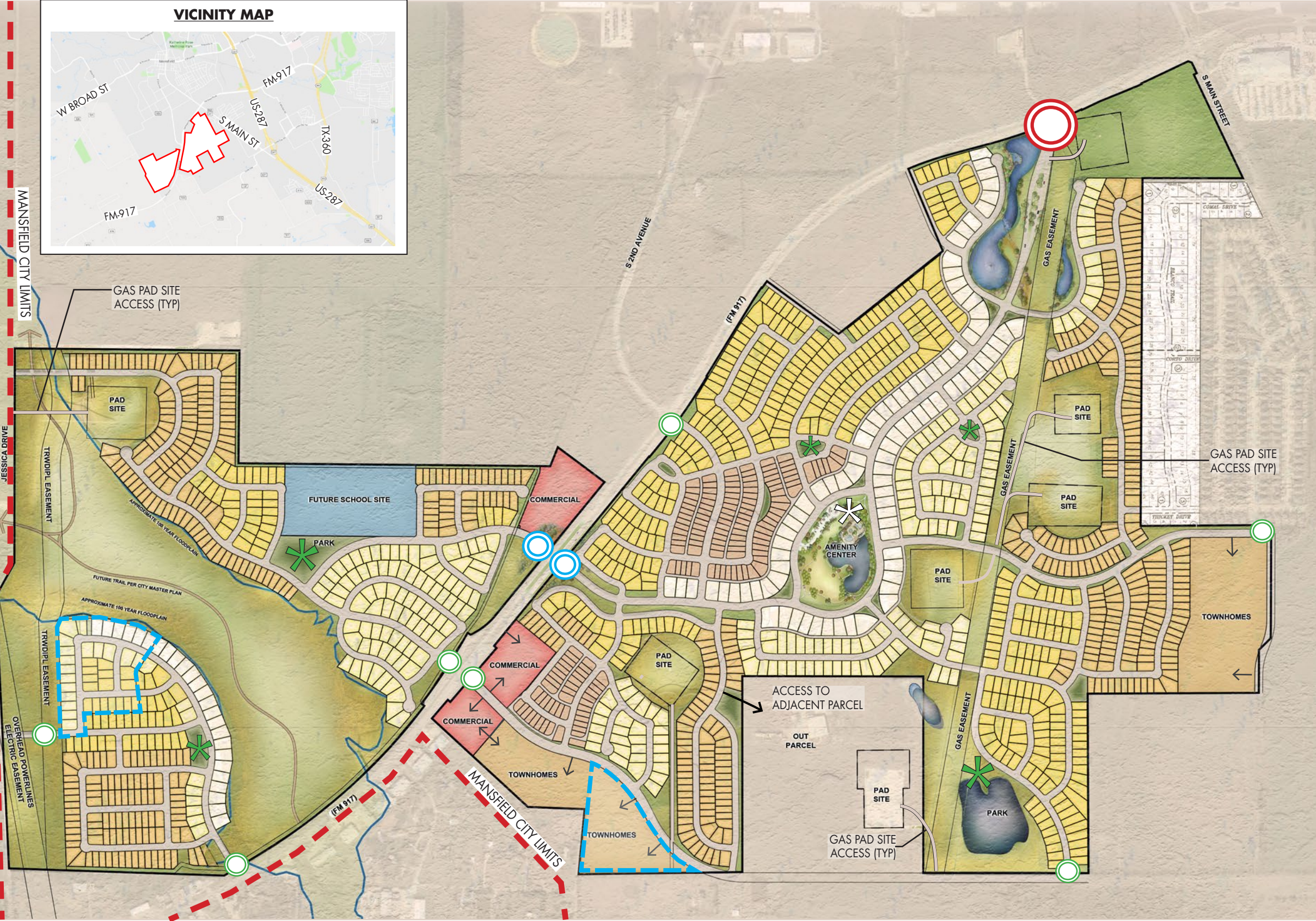
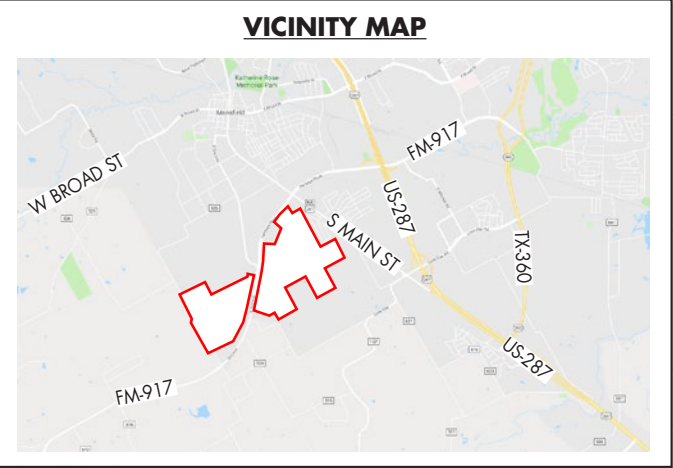
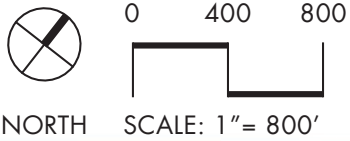


**HANOVER PLANNED DEVELOPMENT**

- TOTAL AREA: 714.5 ACRES
- COMMERCIAL DISTRICT: 14.6 ACRES
- TOWNHOUSE DISTRICT: 34.0 ACRES
- SINGLE-FAMILY: 1,571 TOTAL LOTS
- RESIDENTIAL PRODUCT 1 (MIN 9,600 SF): 115 LOTS
  - RESIDENTIAL PRODUCT 2 (MIN 8,400 SF): 266 LOTS
  - RESIDENTIAL PRODUCT 3 (MIN 7,200 SF): 465 LOTS
  - RESIDENTIAL PRODUCT 4 (MIN 6,000 SF): 572 LOTS
  - RESIDENTIAL PRODUCT 5 (MIN 4,400 SF): 153 LOTS
- NEIGHBORHOOD PARKS
  - AMENITY CENTER
  - PRIMARY DEVELOPMENT ENTRY
  - SECONDARY DEVELOPMENT ENTRY
  - TERTIARY DEVELOPMENT ENTRY
  - POTENTIAL GATED NEIGHBORHOOD
- FINAL DESIGN TO BE DETERMINED AT PP PHASE



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.



**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



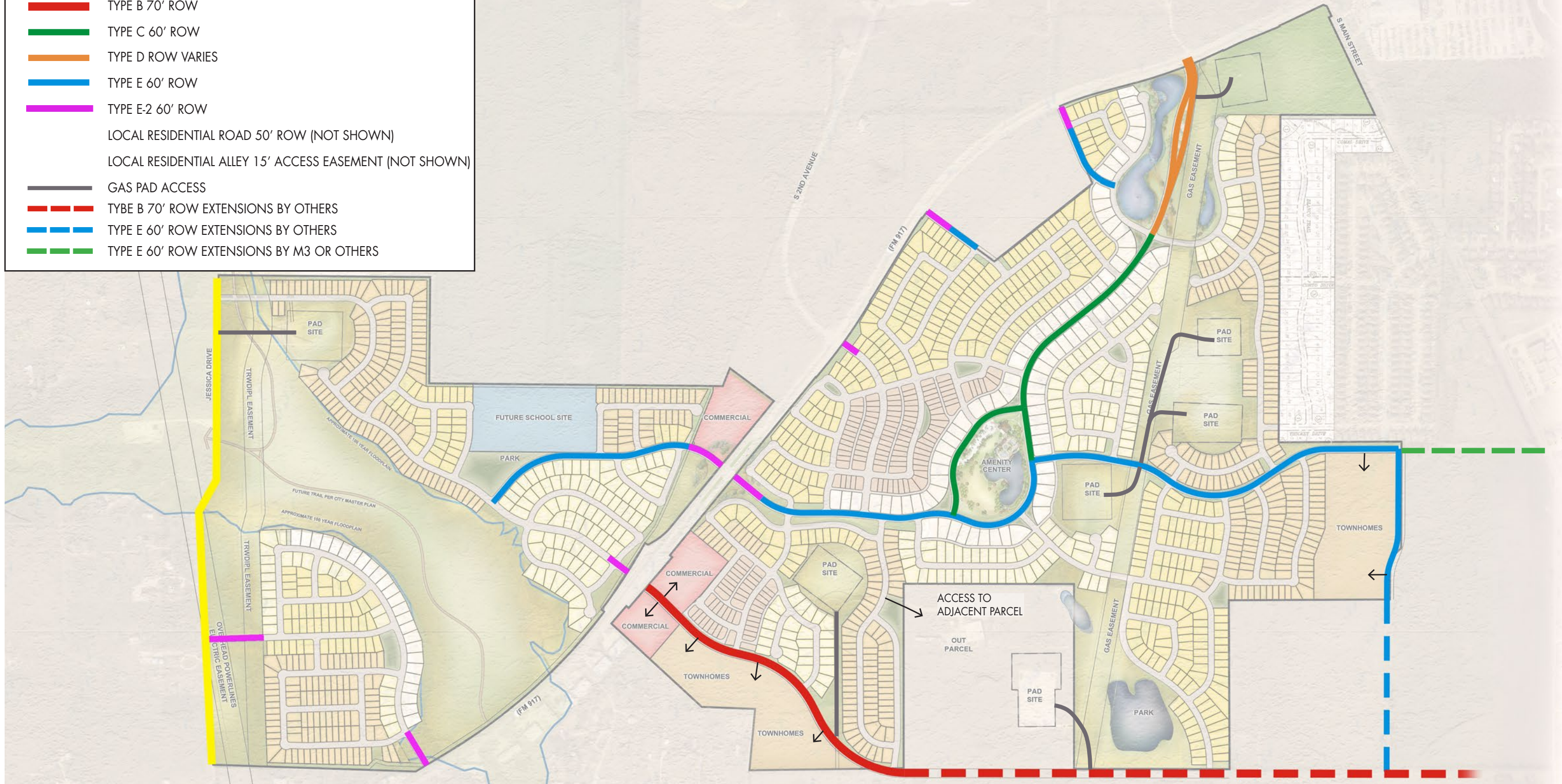
**MASTER PLAN : EXHIBIT C-1**  
**M3 RANCH | MANSFIELD, TEXAS**

**MESA**  
JUNE 7, 2018 2001 NORTH LAMAR STREET, SUITE 100  
PROJECT#: 17029 DALLAS, TX 75202  
ZC#: 18-004 P: 214-871-0568

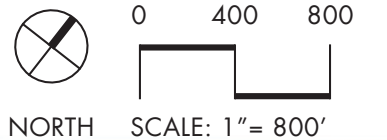
**MESA**

**HANOVER PLANNED DEVELOPMENT**

- TYPE A 100' ROW BY M3 OR OTHERS
- TYPE B 70' ROW
- TYPE C 60' ROW
- TYPE D ROW VARIES
- TYPE E 60' ROW
- TYPE E-2 60' ROW
- LOCAL RESIDENTIAL ROAD 50' ROW (NOT SHOWN)
- LOCAL RESIDENTIAL ALLEY 15' ACCESS EASEMENT (NOT SHOWN)
- GAS PAD ACCESS
- TYPE B 70' ROW EXTENSIONS BY OTHERS
- TYPE E 60' ROW EXTENSIONS BY OTHERS
- TYPE E 60' ROW EXTENSIONS BY M3 OR OTHERS



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**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261

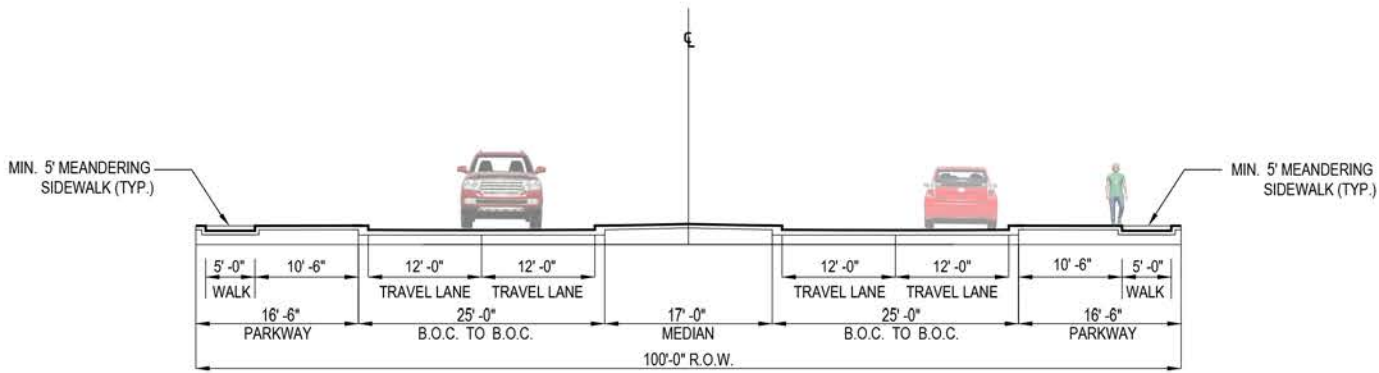


**THOROUGHFARE PLAN : EXHIBIT C-2**  
**M3 RANCH | MANSFIELD, TEXAS**

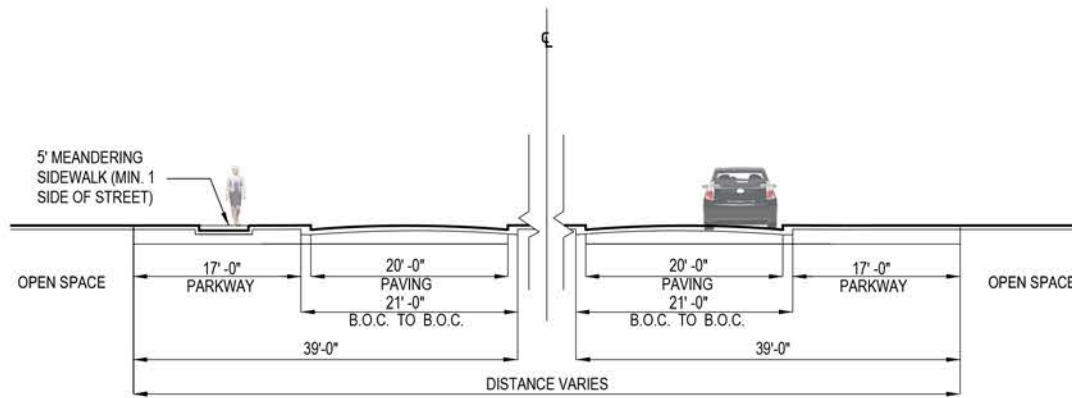
**JUNE 7, 2018** 2001 NORTH LAMAR STREET, SUITE 100  
**PROJECT#: 17029** DALLAS, TX 75202  
**ZC#: 18-004** P: 214-871-0568

**MESA**

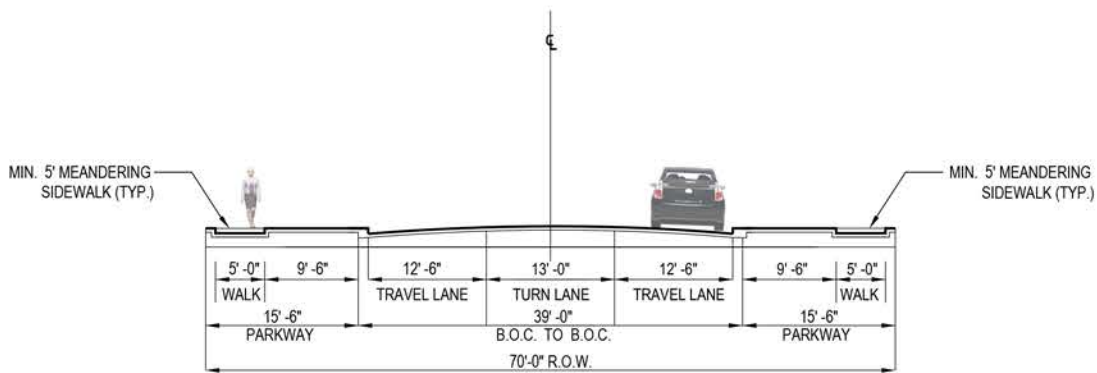
TYPE A 100' ROW



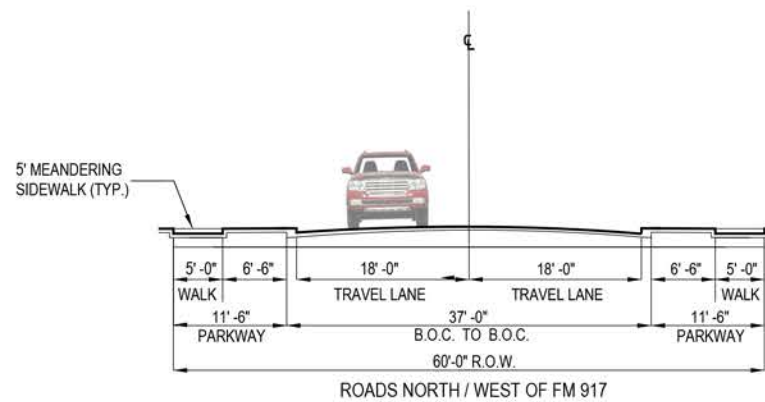
TYPE D ROW VARIES



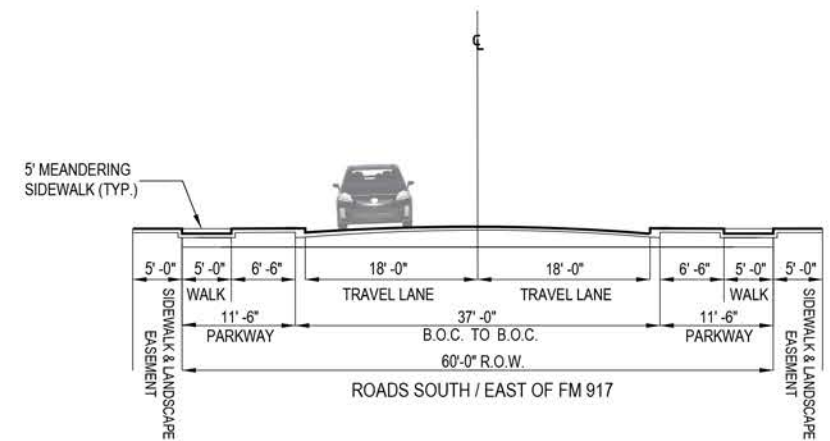
TYPE B 70' ROW



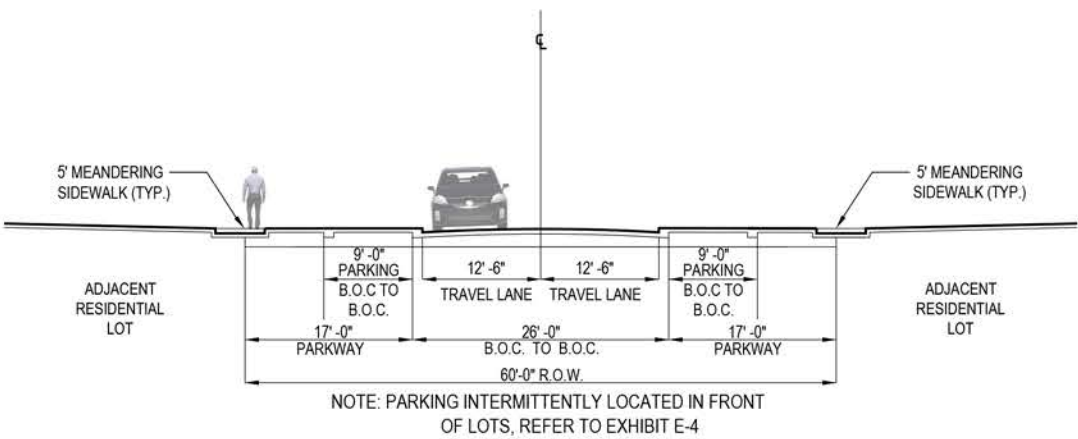
TYPE E 60' ROW



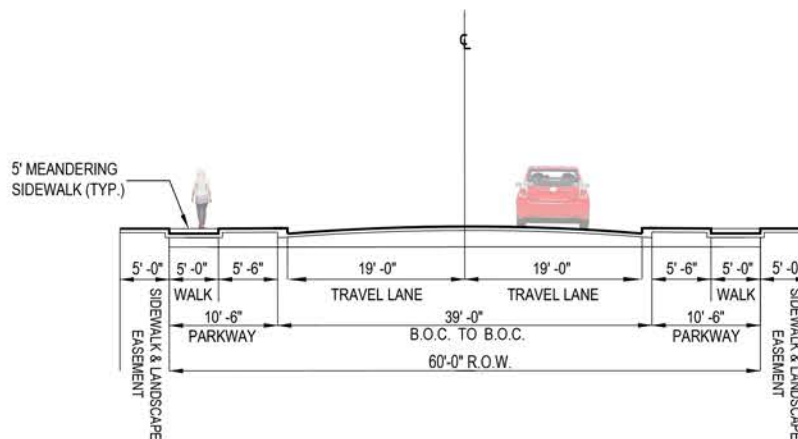
TYPE E 60' ROW



TYPE C 60' ROW

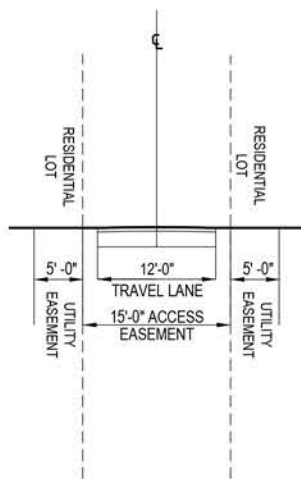
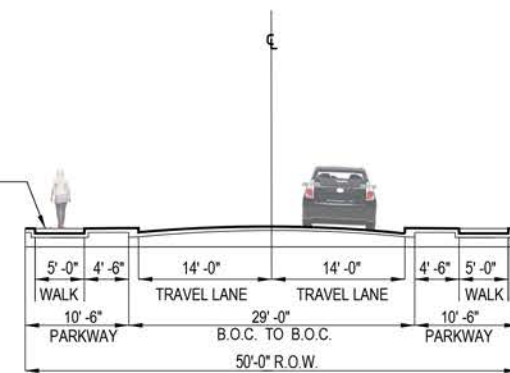


TYPE E-2 60' ROW



LOCAL RESIDENTIAL ROAD 50' ROW  
(NOT SHOWN)

LOCAL RESIDENTIAL ALLEY 15'  
ACCESS EASEMENT\* (NOT SHOWN)



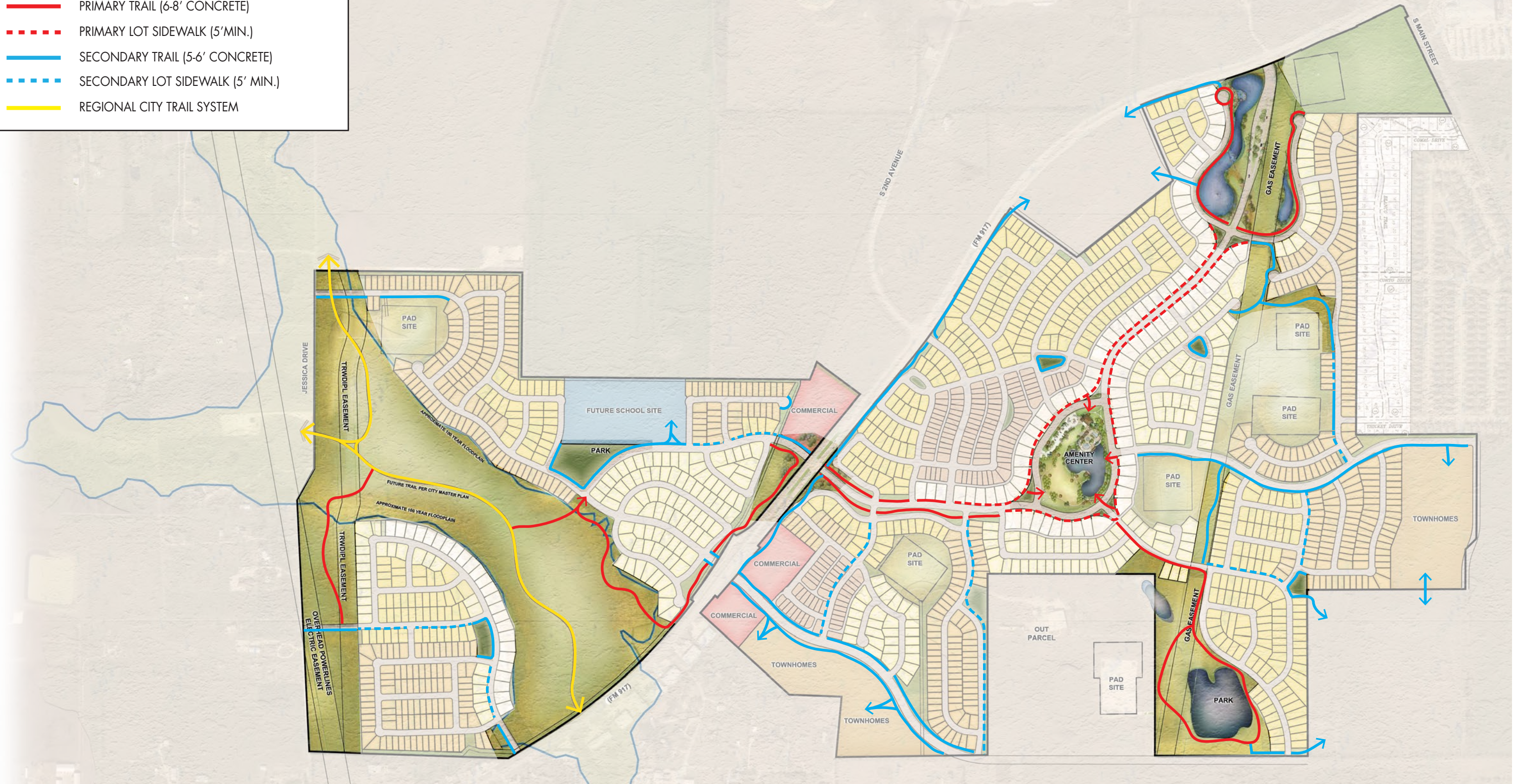
THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.



\*Alley access is conceptual and will be coordinated with the city, and waste pickup operator at the prelim plat stage

## HANOVER PLANNED DEVELOPMENT

- PRIMARY TRAIL (6-8' CONCRETE)
- - - PRIMARY LOT SIDEWALK (5' MIN.)
- SECONDARY TRAIL (5-6' CONCRETE)
- - - SECONDARY LOT SIDEWALK (5' MIN.)
- REGIONAL CITY TRAIL SYSTEM



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
 3001 KNOX STREET, SUITE 207  
 DALLAS, TX 75205  
 P: 214-445-2200 F: 214-445-2261

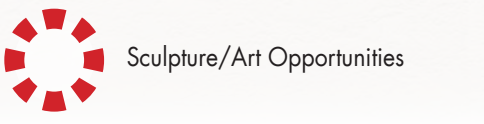


## TRAILS AND OPEN SPACE PLAN : EXHIBIT D-1 M3 RANCH | MANSFIELD, TEXAS

**JUNE 7, 2018**  
**PROJECT#: 17029**  
**ZC#: 18-004**

**2001 NORTH LAMAR STREET, SUITE 100**  
**DALLAS, TX 75202**  
**P: 214-871-0568**

**MESA**



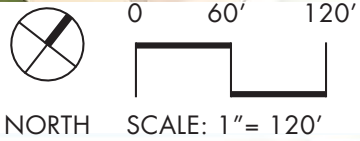


ALL STRUCTURES WILL ADHERE TO FIRE BUILDING CODE AND WILL ADHERE TO FIRE LANE/HOSE LENGTH ACCESS. FINAL CONSTRUCTION PLANS WILL INDICATE AT TIME OF PERMIT.



**NOTE: POTENTIAL PROGRAMING FOR PRIVATE AMENITY NODE AND OPEN SPACES**

THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.



**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
 3001 KNOX STREET, SUITE 207  
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**CONCEPTUAL PRIVATE AMENITY NODE & OPEN SPACE - PLAN VIEW**  
**EXHIBIT D-3**  
**M3 RANCH | MANSFIELD, TEXAS**

**MARCH 9, 2018**  
**PROJECT#: 17029**  
**ZC#: 18-004**

**2001 NORTH LAMAR STREET, SUITE 100**  
**DALLAS, TX 75202**  
**P: 214-871-0568**

**MESA**



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

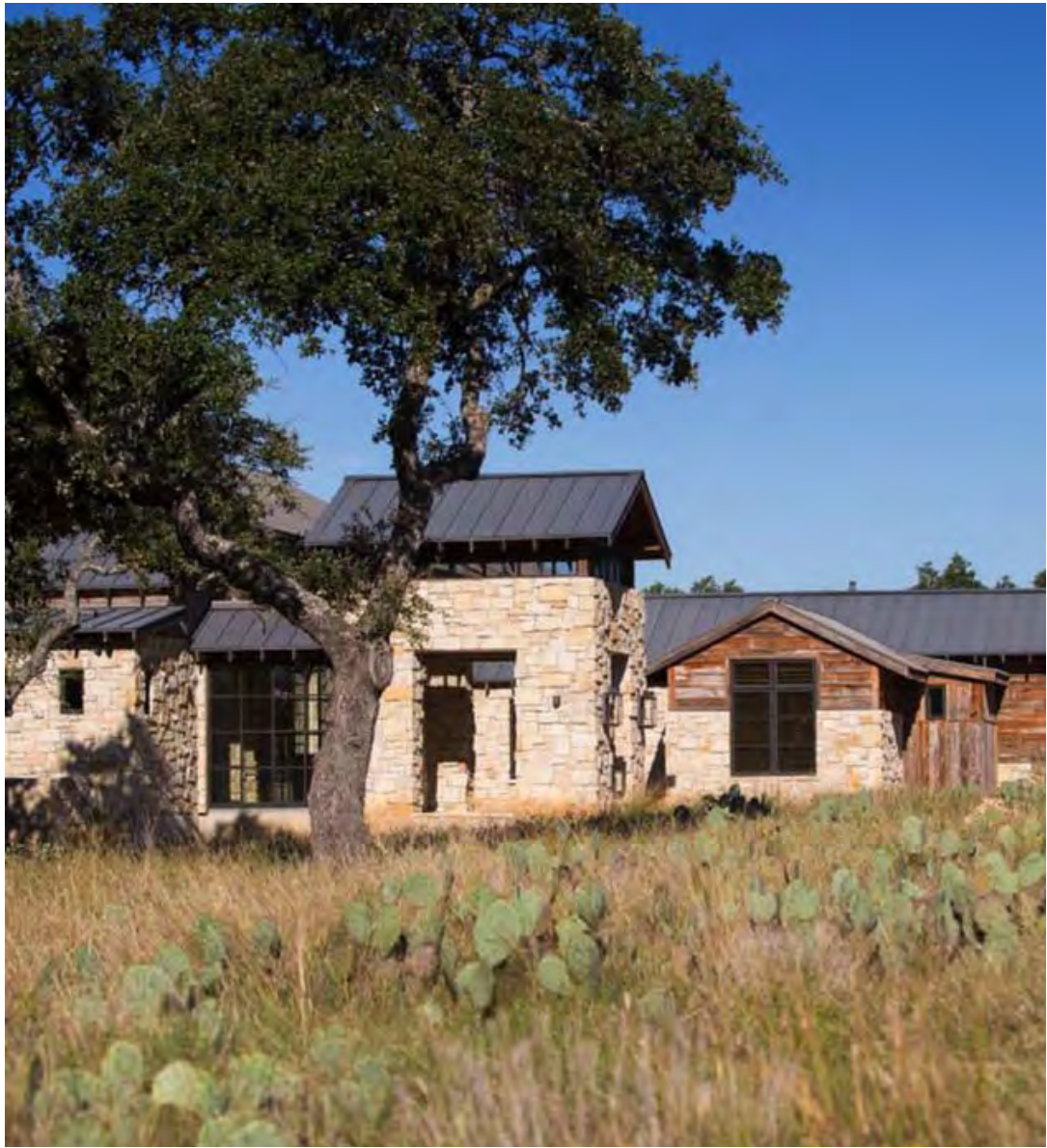
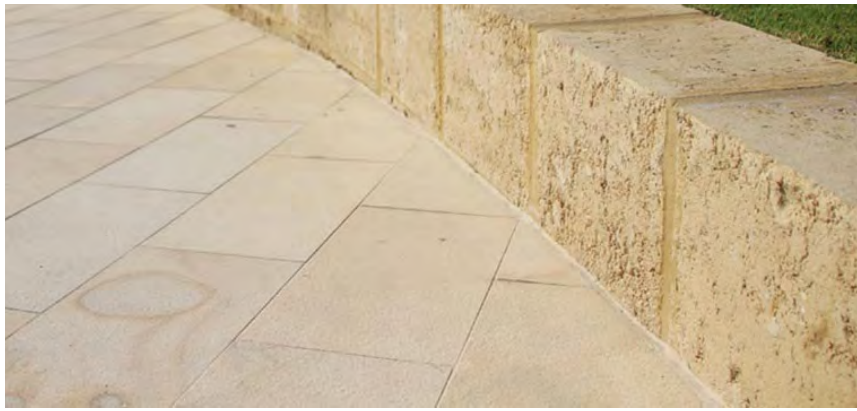
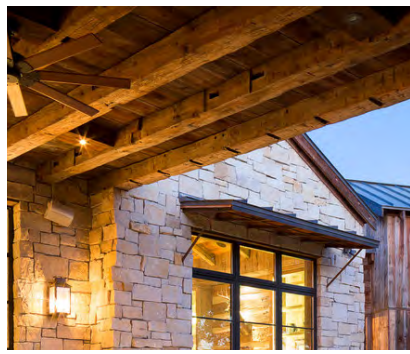
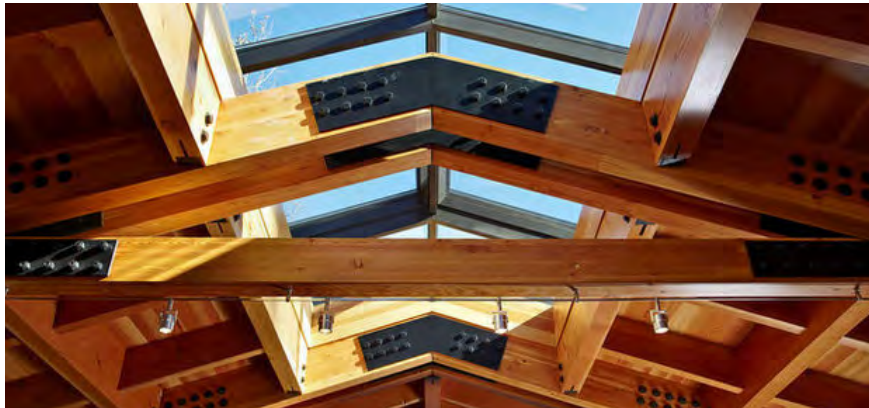
**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



**CONCEPTUAL CENTRAL AMENITY NODE - ILLUSTRATIVE RENDERING :**  
**EXHIBIT D-4**  
**M3 RANCH | MANSFIELD, TEXAS**

**MARCH 9, 2018** 2001 NORTH LAMAR STREET, SUITE 100  
**PROJECT#: 17029** DALLAS, TX 75202  
**ZC#: 18-004** P: 214-871-0568

**MESA**



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

APPLICANT:  
HANOVER  
PROPERTY  
COMPANY

HANOVER PROPERTY COMPANY  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## CHARACTER EXAMPLE - ARCHITECTUAL THEMES : EXHIBIT D-5

M3 RANCH | MANSFIELD, TEXAS

MARCH 9, 2018 2001 NORTH LAMAR STREET, SUITE 100  
PROJECT#: 17029 DALLAS, TX 75202  
ZC#: 18-004 P: 214-871-0568

MESA



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**APPLICANT:**  
**HANOVER**  
**PROPERTY**  
**COMPANY**

**HANOVER PROPERTY COMPANY**  
**3001 KNOX STREET, SUITE 207**  
**DALLAS, TX 75205**  
**P: 214-445-2200 F: 214-445-2261**

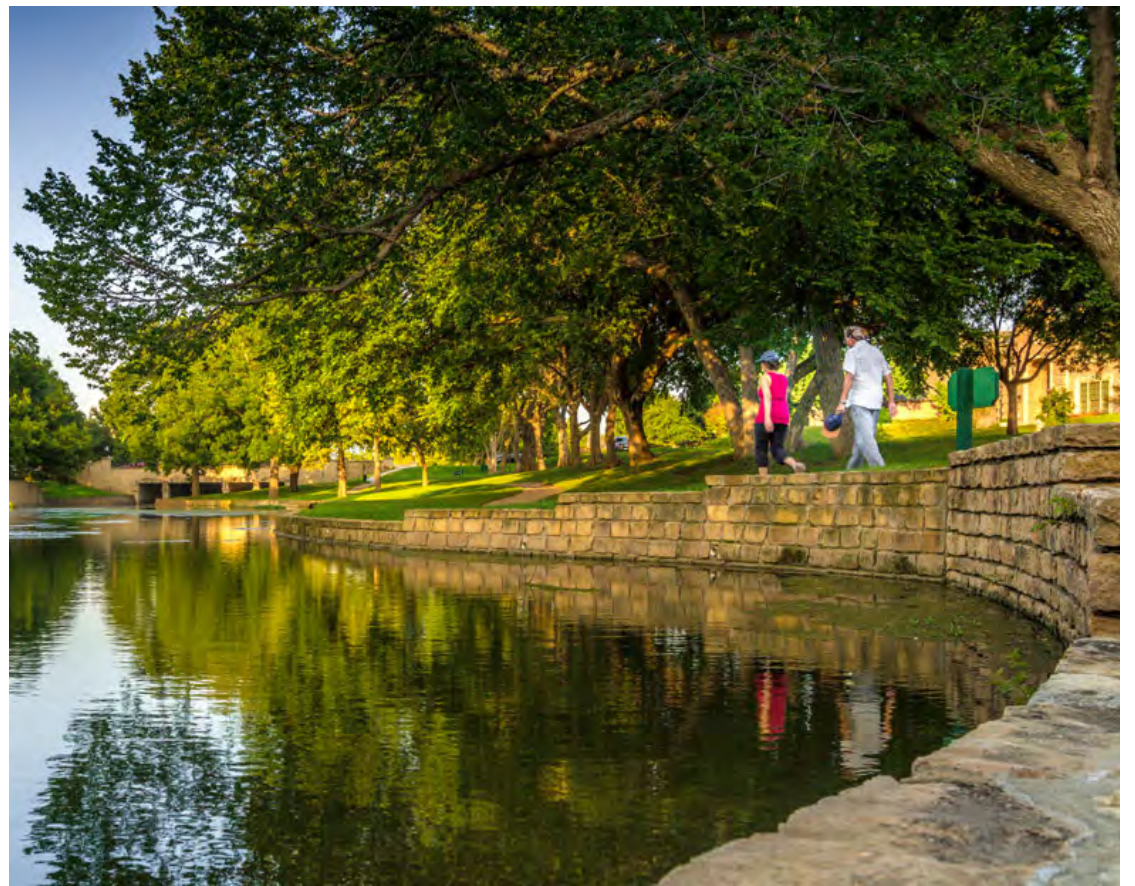


# CHARACTER EXAMPLE - WALLS AND FENCES : EXHIBIT D-6

**M3 RANCH | MANSFIELD, TEXAS**

**MARCH 9, 2018** **2001 NORTH LAMAR STREET, SUITE 100**  
**PROJECT#: 17029** **DALLAS, TX 75202**  
**ZC#: 18-004** **P: 214-871-0568**

**MESA**



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER**  
**PROPERTY**  
**COMPANY**

**HANOVER PROPERTY COMPANY**  
**3001 KNOX STREET, SUITE 207**  
**DALLAS, TX 75205**  
**P: 214-445-2200 F: 214-445-2261**



## CHARACTER EXAMPLE - LANDSCAPE CHARACTER : EXHIBIT D-7

**M3 RANCH | MANSFIELD, TEXAS**

**MARCH 9, 2018** **2001 NORTH LAMAR STREET, SUITE 100**  
**PROJECT#: 17029** **DALLAS, TX 75202**  
**ZC#: 18-004** **P: 214-871-0568**

**MESA**



0 4' 8'  
SCALE: 1/8" = 1'

THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER**  
**PROPERTY**  
**COMPANY**

**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



**PRIMARY ENTRY - CONCEPTUAL DEVELOPMENT ELEVATION VIEW :**  
**EXHIBIT E-1**  
**M3 RANCH | MANSFIELD, TEXAS**

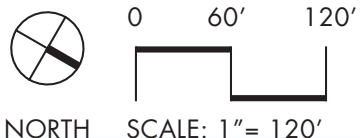
**MARCH 9, 2018**  
**PROJECT#: 17029**  
**ZC#: 18-004**

**2001 NORTH LAMAR STREET, SUITE 100**  
**DALLAS, TX 75202**  
**P: 214-871-0568**

**MESA**



- 1 PRIMARY ENTRY
- 2 PRIMARY ENTRY MONUMENT & SIGN
- 3 WATERFALL
- 4 NATIVE PLANTING/GRASSES
- 5 PRIMARY NEIGHBORHOOD ENTRY
- 6 8' TRAIL
- 7 6' TRAIL
- 8 EX. GAS PAD SITE
- 9 EX. GAS PIPELINE EASEMENT
- 10 ENHANCED PAVING
- 11 FOUNTAIN
- 12 ELEVATED OVERLOOK
- 13 STONE RETAINING WALLS



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



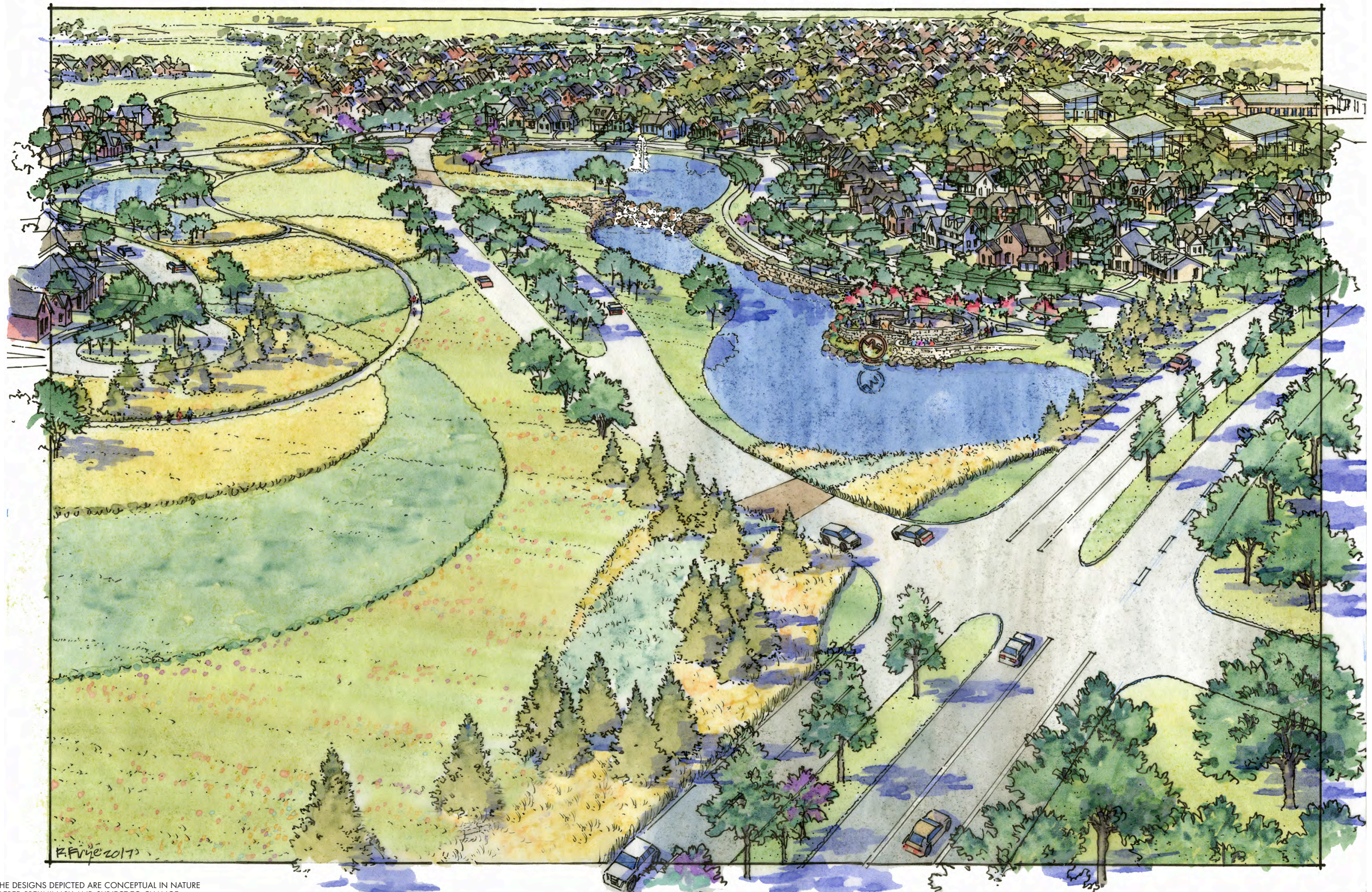
## PRIMARY ENTRY - CONCEPTUAL DEVELOPMENT PLAN VIEW : EXHIBIT E-2

M3 RANCH | MANSFIELD, TEXAS

MARCH 9, 2018  
PROJECT#: 17029  
ZC#: 18-004

2001 NORTH LAMAR STREET, SUITE 100  
DALLAS, TX 75202  
P: 214-871-0568

MESA  
MESA



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

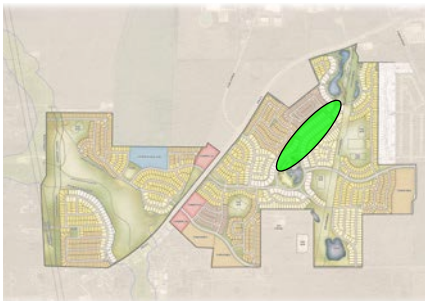
**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
 3001 KNOX STREET, SUITE 207  
 DALLAS, TX 75205  
 P: 214-445-2200 F: 214-445-2261



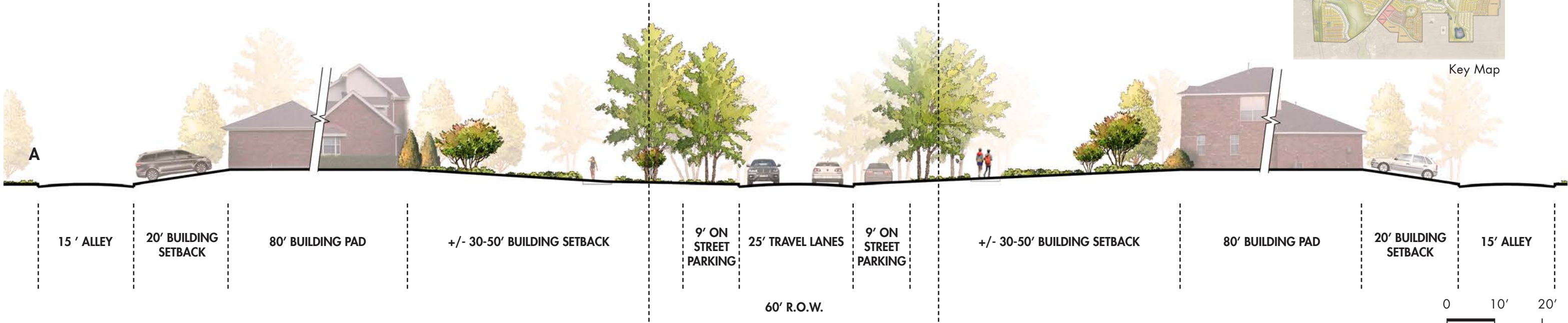
**PRIMARY ENTRY - PRIMARY DEVELOPMENT ENTRY ILLUSTRATIVE RENDERING :**  
**EXHIBIT E-3**  
**M3 RANCH | MANSFIELD, TEXAS**

**MESA**  
 MARCH 9, 2018 3001 NORTH LAMAR STREET, SUITE 100  
 PROJECT#: 17029 DALLAS, TX 75202  
 ZC#: 18-004 P: 214-871-0568

MESA



Key Map



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
 3001 KNOX STREET, SUITE 207  
 DALLAS, TX 75205  
 P: 214-445-2200 F: 214-445-2261



# **ENTRY BOULEVARD : EXHIBIT E-4** **M3 RANCH | MANSFIELD, TEXAS**

**MAY 8, 2018** 2001 NORTH LAMAR STREET, SUITE 100  
**PROJECT#:** 17029 DALLAS, TX 75202  
**ZC#:** 18-004 P: 214-871-0568

**MESA**

## HANOVER PLANNED DEVELOPMENT



PRIMARY DEVELOPMENT ENTRY



SECONDARY DEVELOPMENT ENTRY



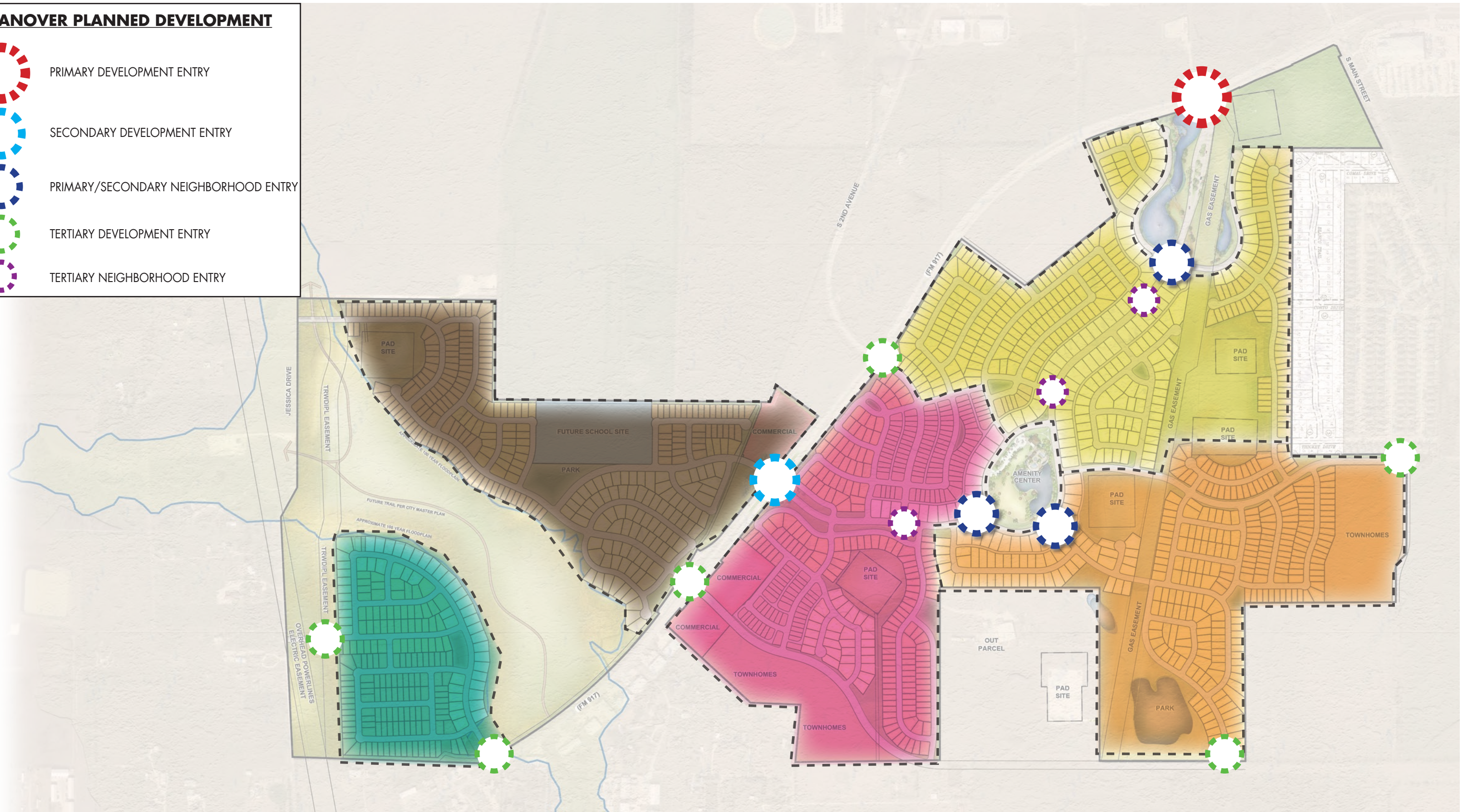
PRIMARY/SECONDARY NEIGHBORHOOD ENTRY



TERTIARY DEVELOPMENT ENTRY



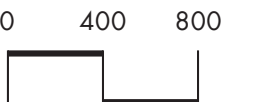
TERTIARY NEIGHBORHOOD ENTRY



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.



NORTH



SCALE: 1" = 800'

APPLICANT:



**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## COMMUNITY NEIGHBORHOODS AND ENTRY PLAN : EXHIBIT F-1

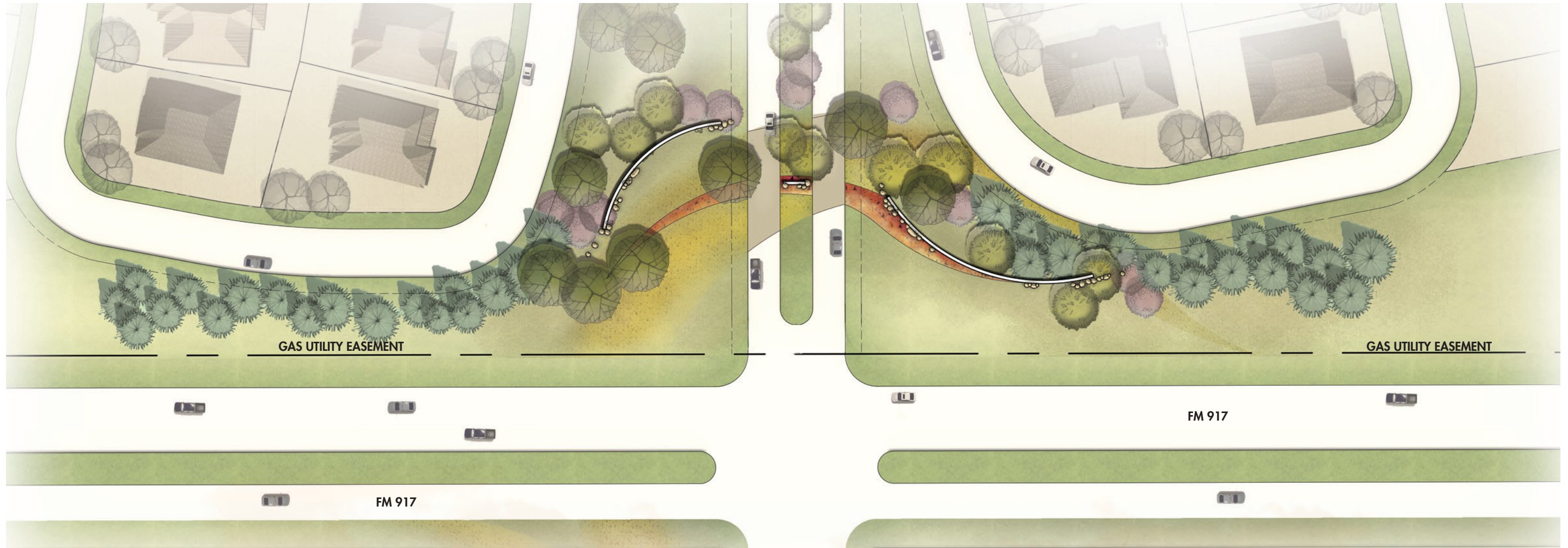
M3 RANCH | MANSFIELD, TEXAS

JUNE 7, 2018  
PROJECT#: 17029  
ZC#: 18-004

2001 NORTH LAMAR STREET, SUITE 100  
DALLAS, TX 75202  
P: 214-871-0568

MESA

MESA



0 10' 20'  
SCALE: 1" = 20'

THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
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**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## SECONDARY/TERTIARY DEVELOPMENT ENTRY PLAN : EXHIBIT F-2

### M3 RANCH | MANSFIELD, TEXAS

MAY 8, 2018 2001 NORTH LAMAR STREET, SUITE 100  
PROJECT#: 17029 DALLAS, TX 75202  
ZC#: 18-004 P: 214-871-0568

MESA



0 8' 16'

SCALE: 1/16" = 1'



0 8' 16'

SCALE: 1/16" = 1'

THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

APPLICANT:



HANOVER PROPERTY COMPANY  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## PRIMARY/SECONDARY NEIGHBORHOOD ENTRY MONUMENTS :

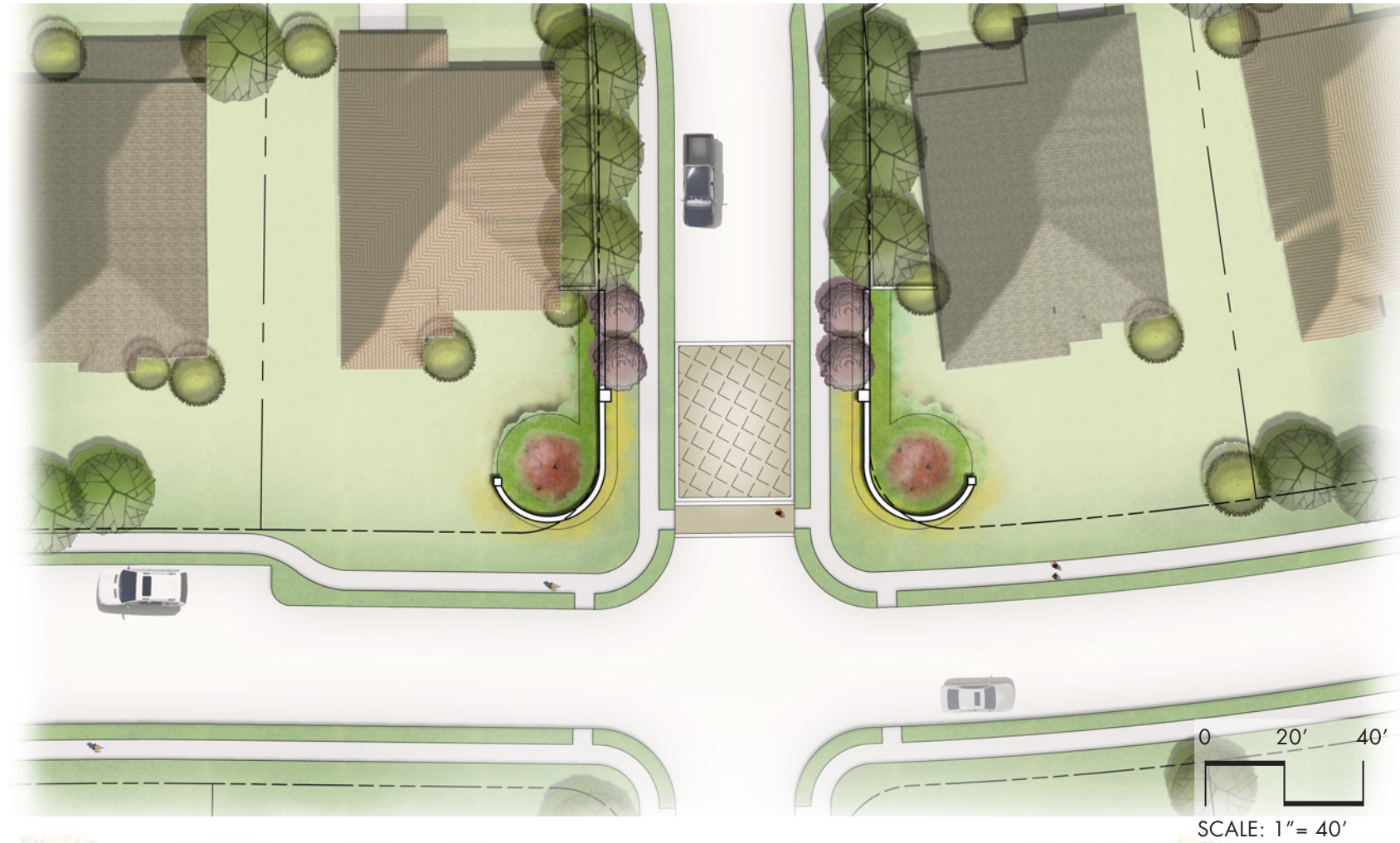
### EXHIBIT F-3

M3 RANCH | MANSFIELD, TEXAS

MAY 8, 2018  
PROJECT#: 17029  
ZC#: 18-004

2001 NORTH LAMAR STREET, SUITE 100  
DALLAS, TX 75202  
P: 214-871-0568

MESA



THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE  
AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## TERTIARY NEIGHBORHOOD ENTRY : EXHIBIT F-4

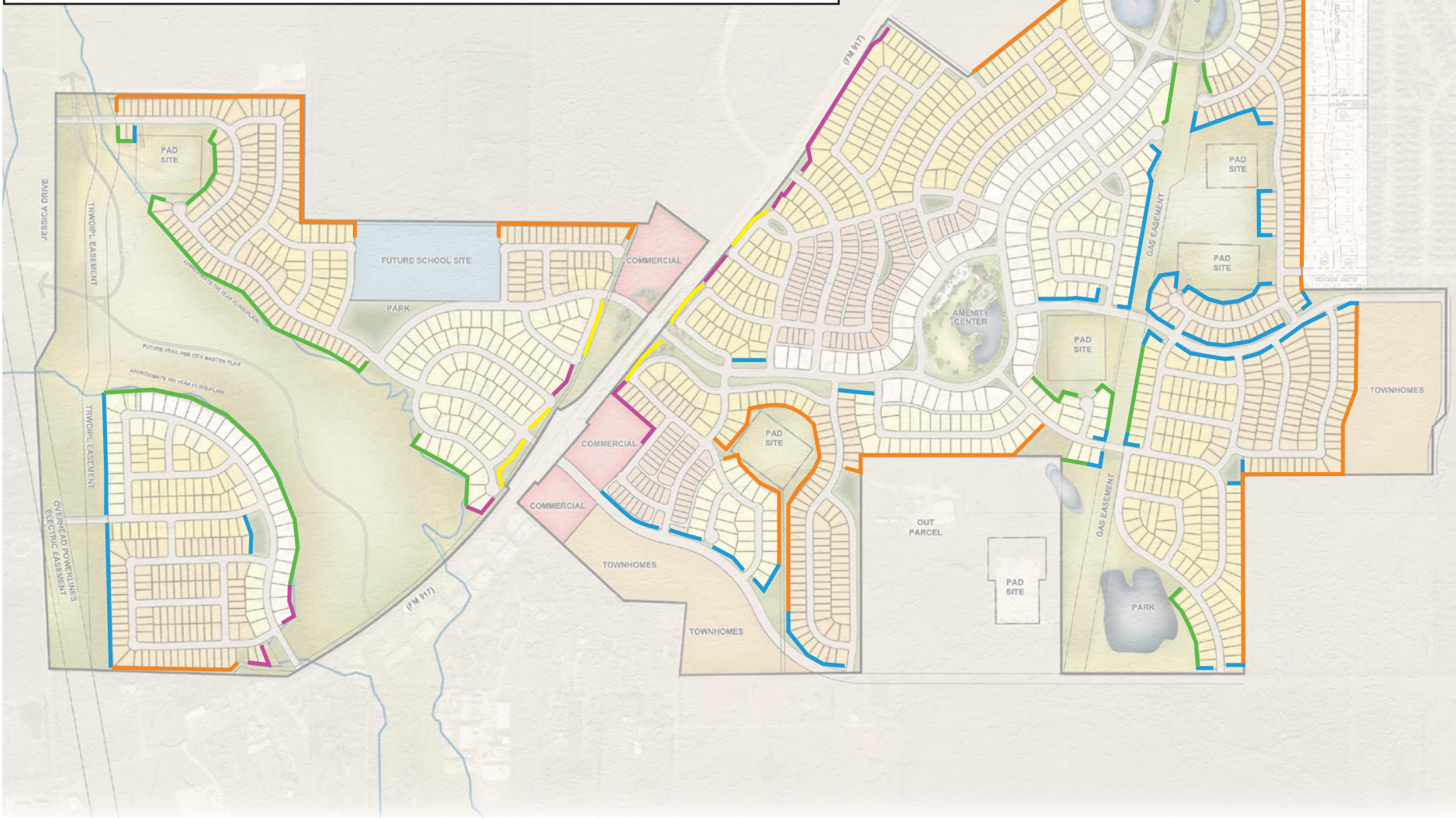
M3 RANCH | MANSFIELD, TEXAS

**MESA**  
MAY 8, 2018 2001 NORTH LAMAR STREET, SUITE 100  
PROJECT#: 17029 DALLAS, TX 75202  
ZC#: 18-004 P: 214-871-0568

**MESA**

# HANOVER PLANNED DEVELOPMENT

- PRIMARY SCREENING (6' MIN. MASONRY WALL) WITH 1 SHADE TREE EVERY 50 LF & 1 ORNAMENTAL TREE OR EVERGREEN TREE EVERY 50 LF
- SECONDARY SCREENING (6' BOARD ON BOARD WOOD FENCE OR 6' ORNAMENTAL FENCE), FOR LOTS ADJACENT TO A STREET: 1 SHADE TREE EVERY 75 LF & 1 ORNAMENTAL TREE OR EVERGREEN TREE EVERY 75 LF
- PROJECT PERIMETER (6' BOARD TO BOARD FENCE)
- OPEN SPACE SCREENING (4-5' ORNAMENTAL FENCE)
- FM 917 'SLIP STREET' BUFFER



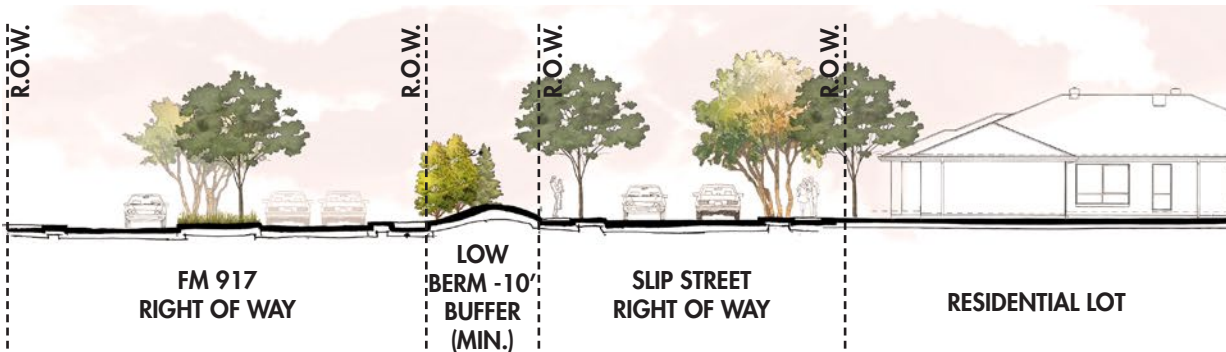
Masonry Wall



Board on Board Wood Fence



Ornamental Fence



FM 917 'Slip Street' Buffer

THIS PLAN AND THE DESIGNS DEPICTED ARE CONCEPTUAL IN NATURE AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

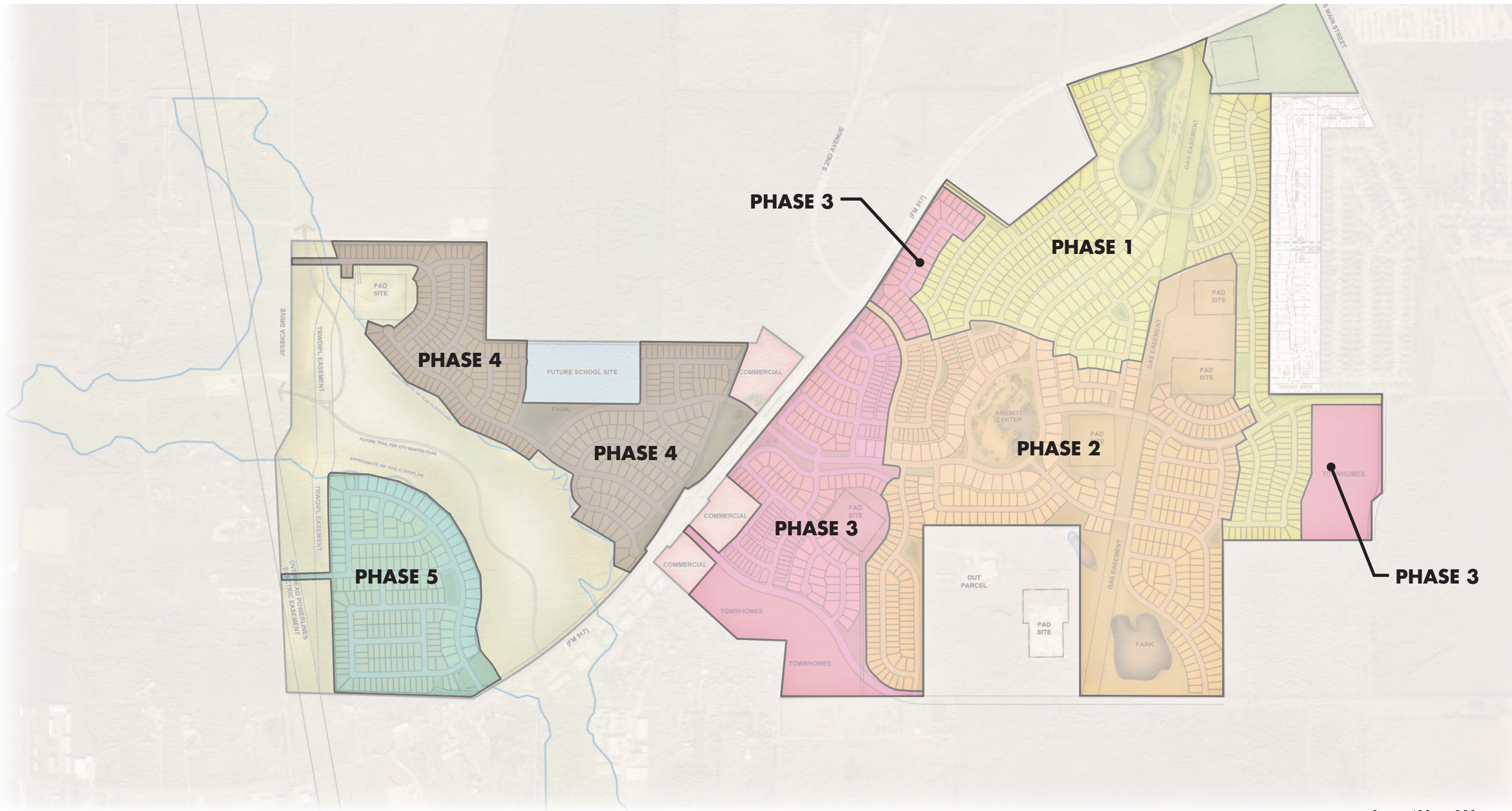
**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
 3001 KNOX STREET, SUITE 207  
 DALLAS, TX 75205  
 P: 214-445-2200 F: 214-445-2261



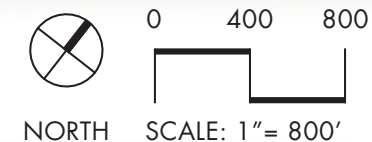
**SCREENING OPTIONS : EXHIBIT F-5**  
 M3 RANCH | MANSFIELD, TEXAS

JUNE 7, 2018 2001 NORTH LAMAR STREET, SUITE 100  
 PROJECT#: 17029 DALLAS, TX 75202  
 ZC#: 18-004 P: 214-871-0568

MESA



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AND ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.



**APPLICANT:**  
**HANOVER PROPERTY COMPANY**  
3001 KNOX STREET, SUITE 207  
DALLAS, TX 75205  
P: 214-445-2200 F: 214-445-2261



## PHASING PLAN : EXHIBIT G

M3 RANCH | MANSFIELD, TEXAS

**MESA**  
JUNE 7, 2018 2001 NORTH LAMAR STREET, SUITE 100  
PROJECT#: 17029 DALLAS, TX 75202  
ZC#: 18-004 P: 214-871-0568

**MESA**