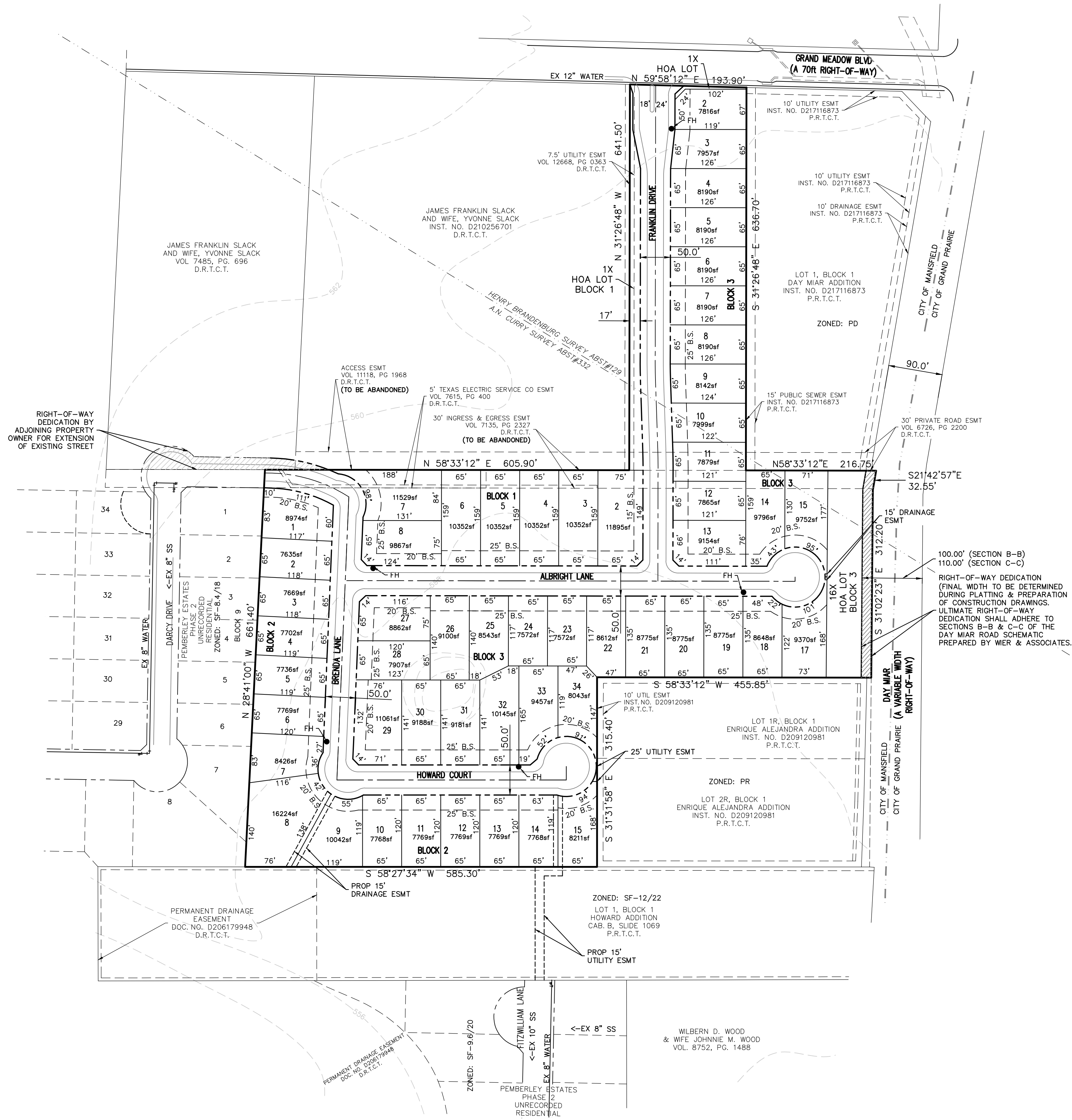




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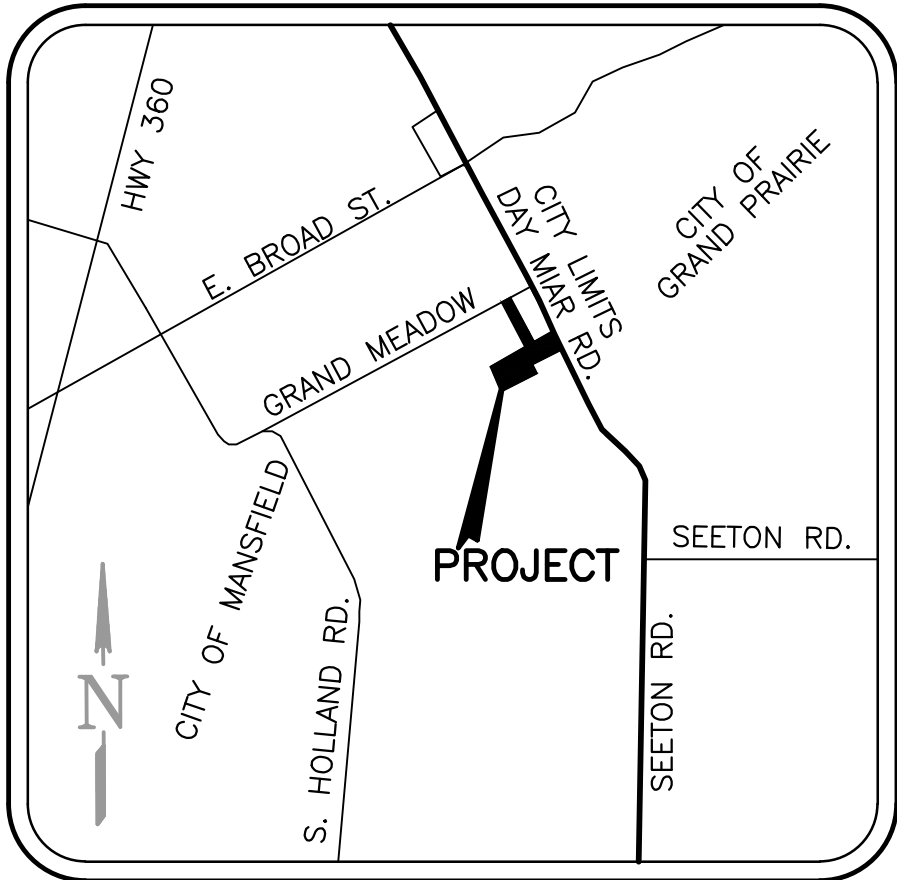
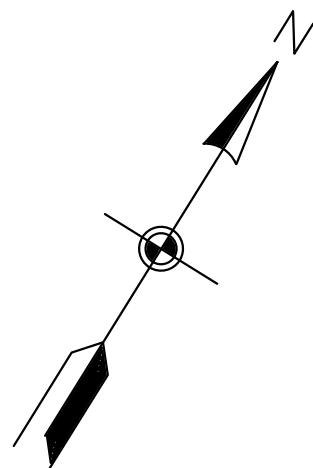
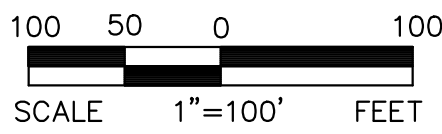
- 1) THIS DEVELOPMENT WILL NOT BE GATED.
- 2) MASONRY SCREENING WALLS SHALL BE 6 FOOT IN HEIGHT.
- 3) THE BOARD-ON-BOARD FENCE AROUND THE PERIMETER OF THIS SUBDIVISION WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS.
- 4) A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL MASONRY SCREENING WALLS, THE HOA LOTS, AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING, DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT, AND THE ENHANCED MASONRY WALLS WITH SIGNAGE.
- 5) THE HOME OWNER'S ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.
- 6) THIS PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- 7) THIS DEVELOPMENT WILL BE DEVELOPED IN ONE PHASE.
- 8) ALL STREETS, PARKING AREAS AND DRIVEWAYS WILL BE CONCRETE PAVEMENT CONSTRUCTED TO MEET CITY OF MANSFIELD STANDARD DRAWINGS AND SPECIFICATIONS.
- 9) FIVE (5) FOOT CONCRETE SIDEWALKS WILL BE PROVIDED ALONG ALL PUBLIC STREETS IN ACCORDANCE WITH CITY STANDARDS.
- 10) A TOTAL OF 30% OF THE LOTS WITHIN THIS DEVELOPMENT SHALL HAVE J-SWING GARAGES.

LEGEND	
	SETBACK
	PROPERTY LINE
	RIGHT-OF-WAY
	TYPICAL
	RADIUS
	BUILDING SETBACK
	HOME OWNER'S ASSOCIATION

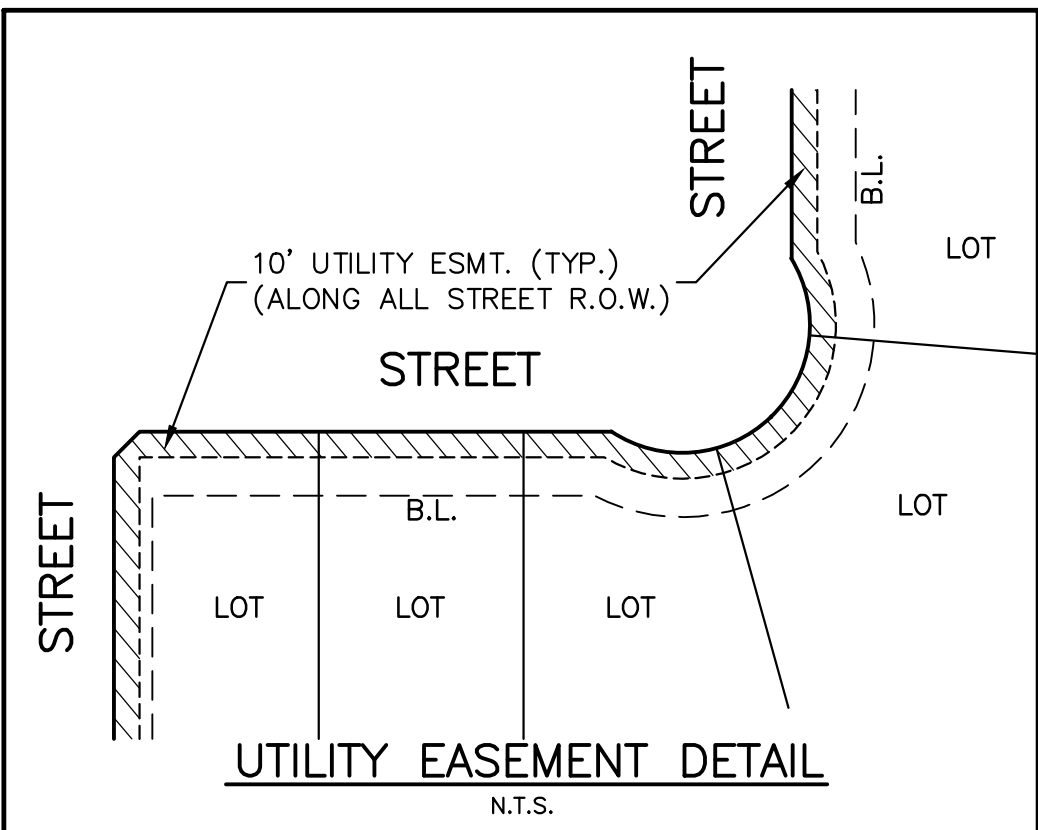
SITE SUMMARY

PROPOSED LAND USE:	RESIDENTIAL
TOTAL NUMBER OF LOTS:	54 RESIDENTIAL 4 HOA LOTS
BASE ZONING:	SF-7.5/18
MAXIMUM HEIGHT:	35'
MINIMUM FLOOR AREA:	6 LOTS AT 1,800 Sq. Ft. 20 LOTS AT 2,000 Sq. Ft. 28 LOTS AT 2,200 Sq. Ft.
MINIMUM LOT AREA:	7,500 Sq. Ft.
AVERAGE LOT AREA:	8,904 Sq. Ft.
MAXIMUM LOT COVERAGE:	55%
MINIMUM LOT WIDTH:	65' (c)
MINIMUM LOT DEPTH:	110'
MINIMUM STREET FRONTAGE IN KNUCKLES & CUL-DE-SACS:	35'
STREETS:	50' R.O.W.
PAVEMENT:	29' B-B
PROJECT AREA (ACRES):	15.08
OPEN SPACE (ACRES):	0.72
MINIMUM FRONT YARD:	25' (b)
MINIMUM REAR YARD:	15'
MINIMUM INTERIOR SIDE YARD:	5' & 10' (a)
MINIMUM EXTERIOR SIDE YARD:	15' ABUTTING REAR YARD 20' ABUTTING SIDE YARD
MASONRY PERCENTAGE:	80%
DENSITY (GROSS):	3.58 lots/acre

- (a) REQUIRES TWO SIDE YARDS TO HAVE A COMBINED TOTAL OF NOT LESS THAN 15' WITH A 5' MINIMUM ON ONE SIDE AND A 10' MINIMUM ON THE OTHER SIDE.
- (b) LOTS 14, 15, 17, 18, 33 & 34, BLOCK 3 AND LOTS 7, 8, 9 & 15, BLOCK 2 ARE ALLOWED A MINIMUM FRONT YARD OF 20'.
- (c) ALL CORNER LOTS SHALL BE AT LEAST 5' WIDER THAN THE MINIMUM LOT WIDTH.
- ALL HOUSE FACADES SHALL COMPLY WITH SECTION 4600 OF THE CITY OF MANSFIELD ZONING ORDINANCE.



LOCATION MAP
MAPSCO PAGE 126-N, P, S, T
N.T.S.



ALL EXISTING INGRESS & EGRESS EASEMENTS & EXISTING TEXAS ELECTRIC SERVICE EASEMENT WITHIN BLOCK 1 & 3 WILL BE ABANDONED.

ALL DRIVEWAYS WILL BE CONSTRUCTED OF CONCRETE PAVEMENT

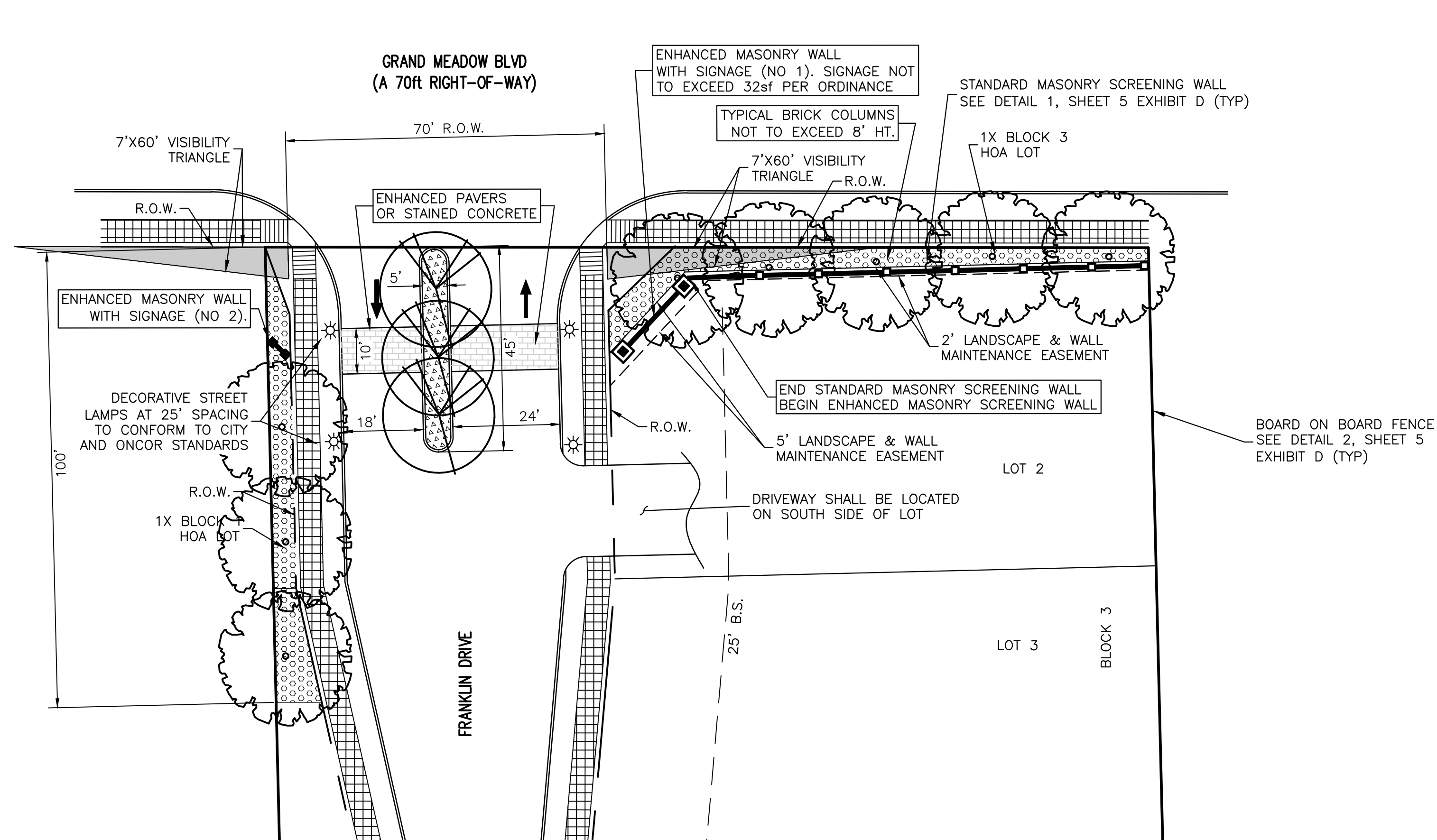
EXHIBIT B
CASE NO. ZC#18-014
DEVELOPMENT PLAN
SUNSET CROSSING
15.081 ACRES
54 SINGLE FAMILY LOTS
OUT OF THE
A.N. CURRY SURVEY, ABSTRACT NO. 332 & THE
HENRY BRANDENBURG SURVEY, ABSTRACT NO. 129
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
JUNE 2018

OWNER:
PATRICIA ALBRIGHT
CO: SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

PREPARED BY:
MACATEE ENGINEERING, LLC
3519 MILES STREET
DALLAS, TEXAS 75209
CONTACT: PHILLIP FISHER
(214) 373-1180

OWNER:
JOHNSON COLLINS
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8214 WESTCHESTER DRIVE #710
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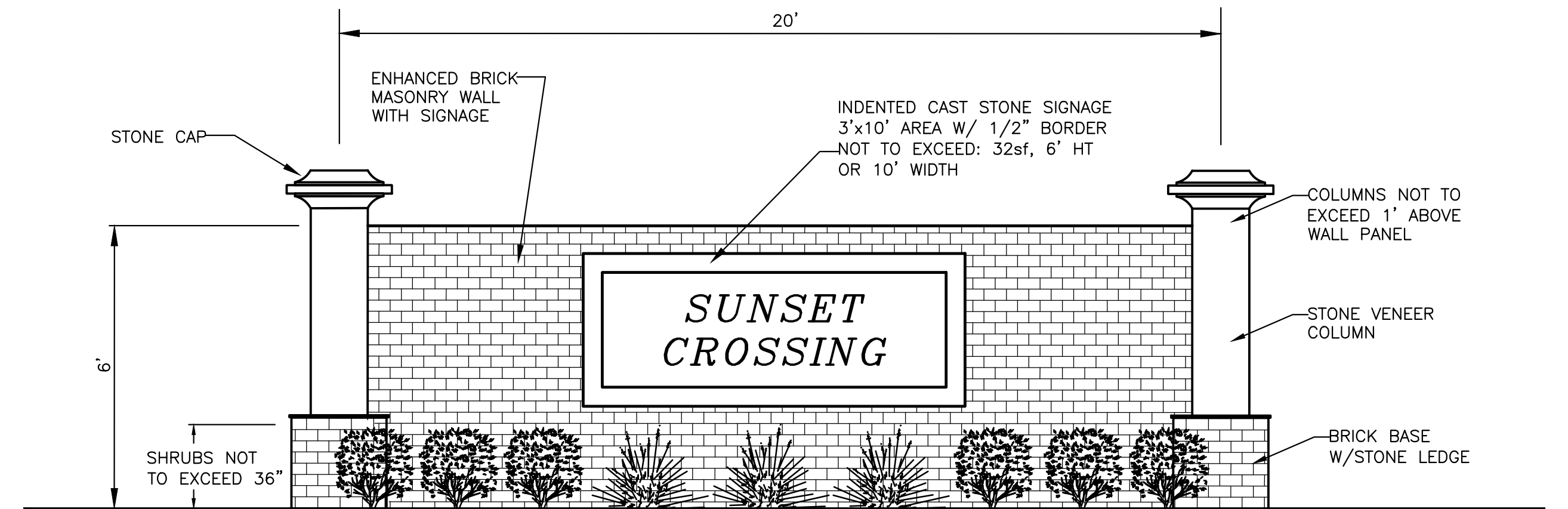
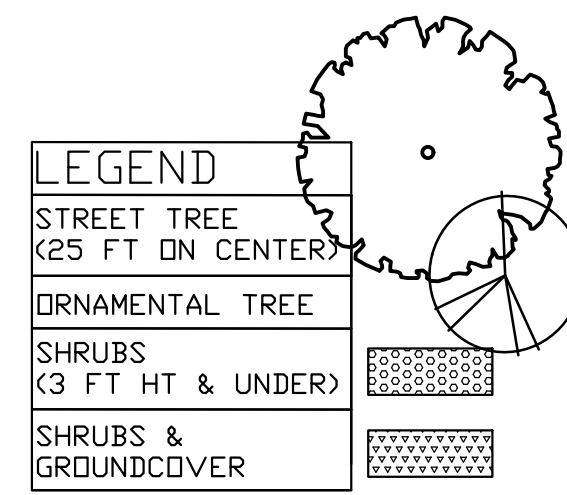


ENHANCED ENTRY FEATURE PLAN

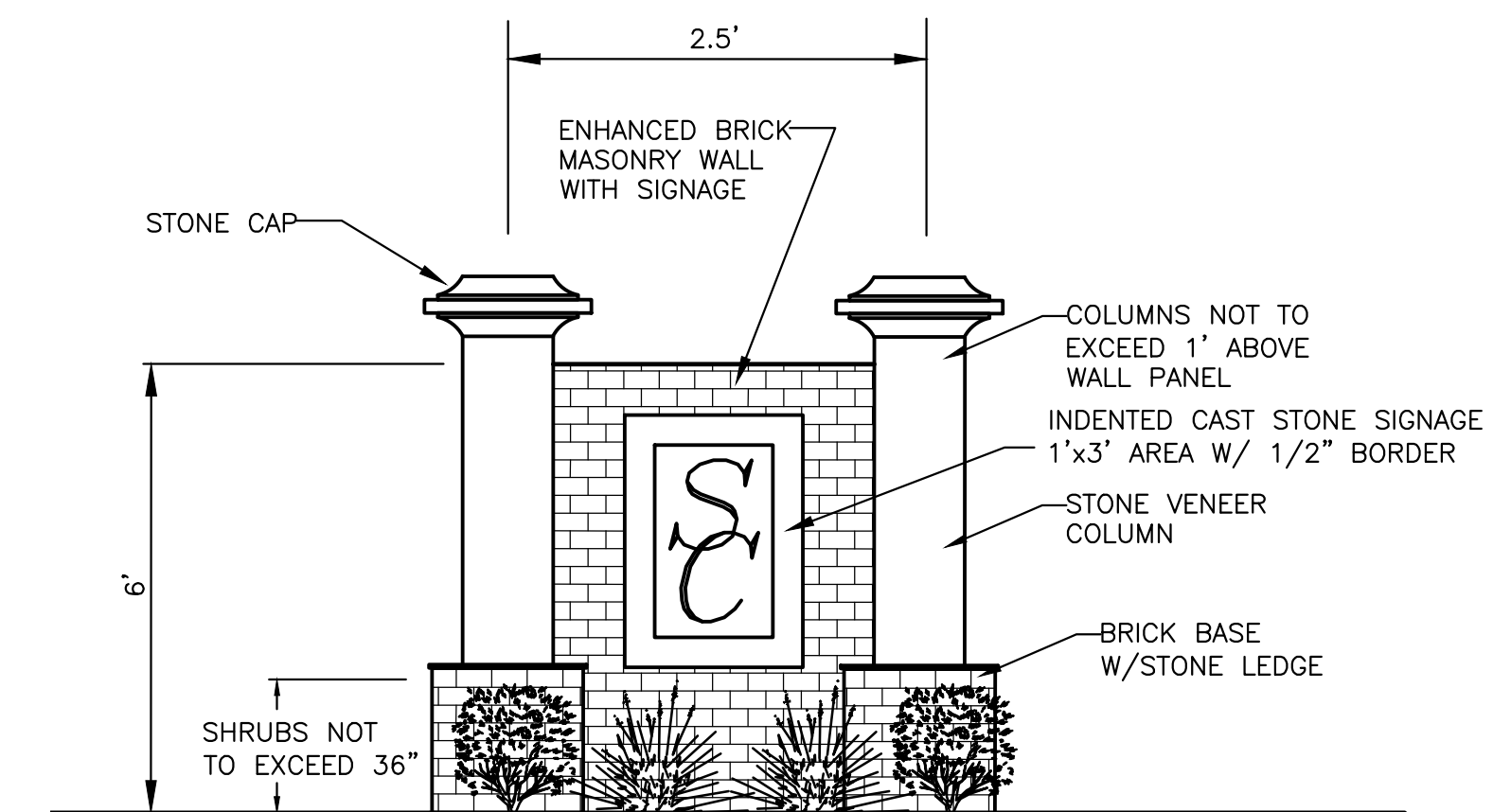
SCALE: 1"=20'

NOTE:

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ENHANCED ARCHITECTURAL SIGNAGE WALL NO. 1



ENHANCED ARCHITECTURAL SIGNAGE WALL NO. 2

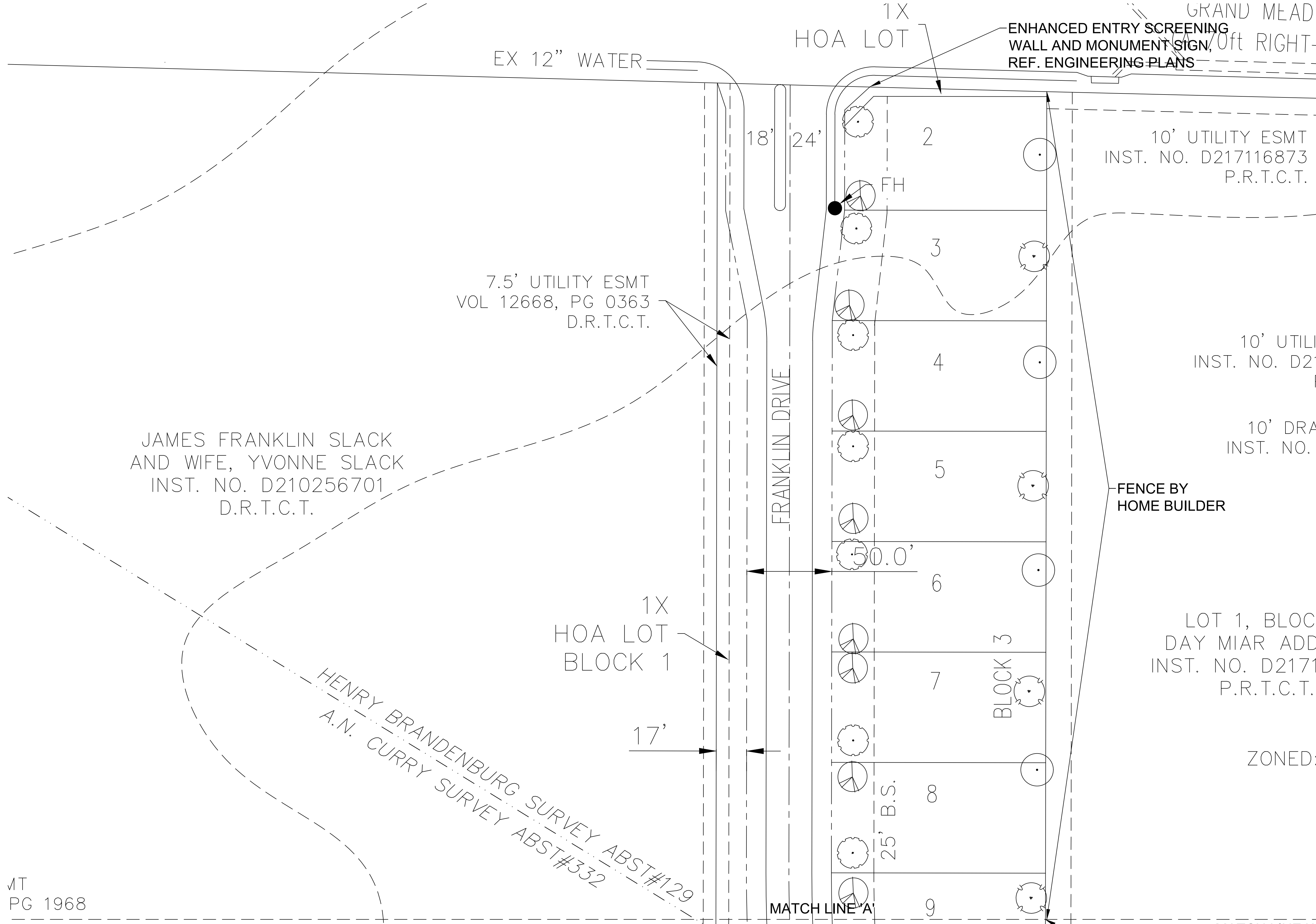
EXHIBIT C
CASE NO. ZC#18-014
ENHANCED ENTRYWAY PLAN
SUNSET CROSSING
15.081 ACRES
54 SINGLE FAMILY LOTS
OUT OF THE
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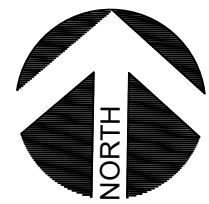
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PREPARED BY:
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3519 MILES STREET
DALLAS, TEXAS 75209
CONTACT: PHILLIP FISHER
(214) 373-1180



VICINITY MAP

NTS



SITE INFORMATION

BASE ZONING DISTRICT: SF-7.5/18
PROPERTY AREA: 656,937 SF
15.081 ACRES

PROPOSED USE: SINGLE
FAMILY
RESIDENTIAL

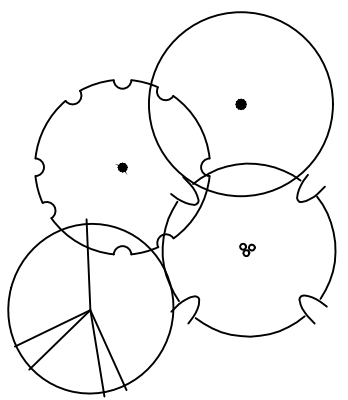
LANDSCAPE REQUIREMENTS:
BUFFER YARDS: SEE CHART
SCREENING WALLS: SEE CHART

TREE REQUIREMENTS:
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FOR LOTS CONTAINING 9,600 SQUARE FEET OR
LESS, PROVIDE THREE CANOPY TREES. AT
LEAST TWO TREES SHALL BE PLACED IN THE
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55 LOTS x 3 CANOPY TREES = 165 TREES

LANDSCAPING MAINTENANCE NOTES:
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DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT AND
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PLANT MATERIAL LIST SUMMARY CHART



		SYM	COMMON NAME	BOTANICAL NAME	SIZE	HT	NOTES
CANOPY TREES							
27	LO		LIVE OAK	<i>Quercus Virginia</i>	3.5" CAL.		EVERGREEN*, MIN. 12' HT.
53	CP		CHINESE PISTACHE	<i>Pistacia chinensis</i>	3.5" CAL.		SINGLE TRUNK, MIN. 12' HT.
26	AE		AMERICAN ELM	<i>Ulmus americana</i>	3.5" CAL.		SINGLE TRUNK, MIN. 12' HT.
54	LE		LACEBARK ELM	<i>Ulmus parvifolia</i>	3.5" CAL.		SINGLE TRUNK, MIN. 12' HT.

		SUMMARY CHART - BUFFERYARDS/SETBACKS						Screening Wall / Device Height & Material
Location of Buffer Yard or Setback:	Required / Provided	Length	Width/Type	Canopy Trees	Ornamental Trees	Shrubs		
North	Required	N/A	N/A	0	N/A	N/A	N/A	6' MASONRY WALL
	Provided		0	0	0	0	0	6' MASONRY WALL
East	Required	N/A	N/A	0	N/A	N/A	N/A	6' MASONRY WALL
	Provided		0	0	0	0	0	6' MASONRY WALL
South	Required	N/A	N/A	0	N/A	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	0	BOARD ON BOARD FENCE
West	Required	N/A	N/A	0	N/A	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	0	BOARD ON BOARD FENCE



P1/5

LANDSCAPE PLAN - EXHIBIT 'D' ZC#18-014

SCALE: 1" = 30'-0"

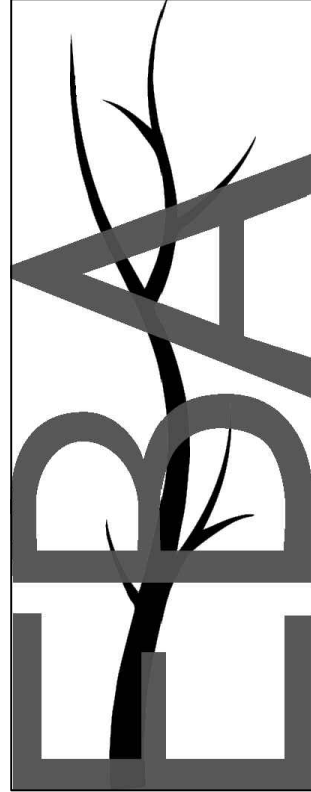


ENGINEER:
MACATEE ENGINEERING, LLC
3519 MILES ST.
DALLAS, TEXAS 75209
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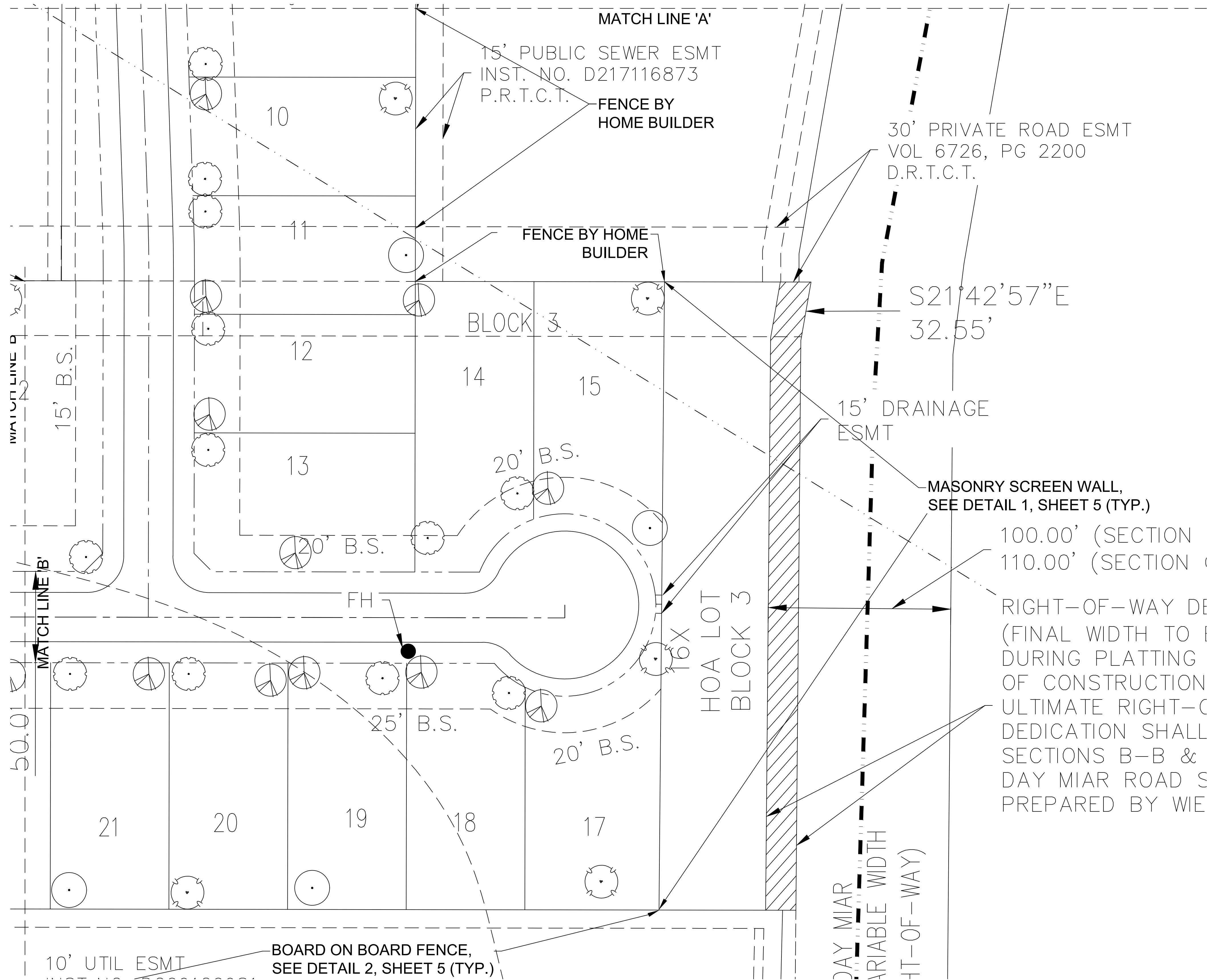
LANDSCAPE ARCHITECT:
E. BROOKE ASSOCIATES, LLC
8624 FERGUSON RD. #570527
DALLAS, TEXAS 75228
(817) 219-2665

DATE PREPARED: 06/20/2018
DATE REVISED:

E. BROOKE
ASSOCIATES
8624 Ferguson Rd #570527
Dallas, Texas 75228
817-219-2665
erin@ebrooke.com



SUNSET CROSSING
CITY OF MANSFIELD, TEXAS



VICINITY MAP

NTS



SITE INFORMATION

BASE ZONING DISTRICT: SF-7.5/18
PROPERTY AREA: 656,937 SF
15.081 ACRES

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

LANDSCAPE REQUIREMENTS:
BUFFER YARDS: SEE CHART
SCREENING WALLS: SEE CHART

TREE REQUIREMENTS:
EVERY LOT IN A PR AND SF ZONING DISTRICT SHALL PROVIDE A MINIMUM NUMBER OF CANOPY TREES PER LOT AS FOLLOWS:
FOR LOTS CONTAINING 9,600 SQUARE FEET OR LESS, PROVIDE THREE CANOPY TREES. AT LEAST TWO TREES SHALL BE PLACED IN THE FRONT YARD.

55 LOTS x 3 CANOPY TREES = 165 TREES

LANDSCAPING MAINTENANCE NOTES:
1) THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
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PLANT MATERIAL LIST SUMMARY CHART

	SYM	COMMON NAME	BOTANICAL NAME	SIZE	HT NOTES
CANOPY TREES					
27	LO	LIVE OAK	<i>Quercus Virginia</i>	3.5" CAL.	EVERGREEN*, MIN. 12' HT.
53	CP	CHINESE PISTACHE	<i>Pistacia chinensis</i>	3.5" CAL.	SINGLE TRUNK, MIN. 12' HT.
26	AE	AMERICAN ELM	<i>Ulmus americana</i>	3.5" CAL.	SINGLE TRUNK, MIN. 12' HT.
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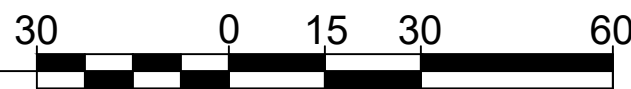
SUMMARY CHART - BUFFER YARDS / SETBACKS							
Location of Buffer	Required /		Buffer Yard or Setback	Canopy	Ornamental		Screening Wall / Device
Yard or Setback	Provided	Length	Width / Type	Trees	Trees	Shrubs	Height & Material
North	Required	N/A	N/A	0	N/A	N/A	6' MASONRY WALL
	Provided		0	0	0	0	6' MASONRY WALL
East	Required	N/A	N/A	0	N/A	N/A	6' MASONRY WALL
	Provided		0	0	0	0	6' MASONRY WALL
South	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	BOARD ON BOARD FENCE
West	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	



P2/5

LANDSCAPE PLAN - EXHIBIT 'D' ZC#18-014

SCALE: 1" = 30'-0"

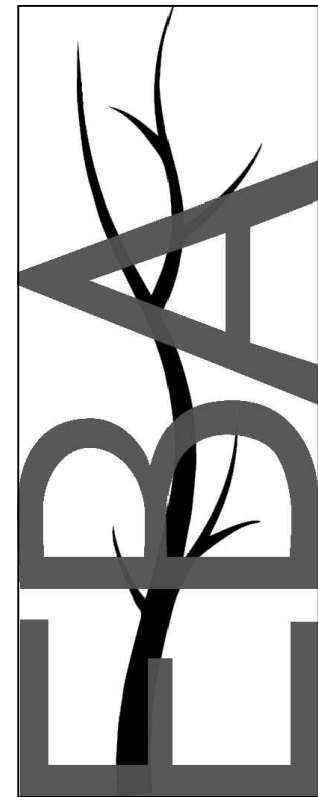


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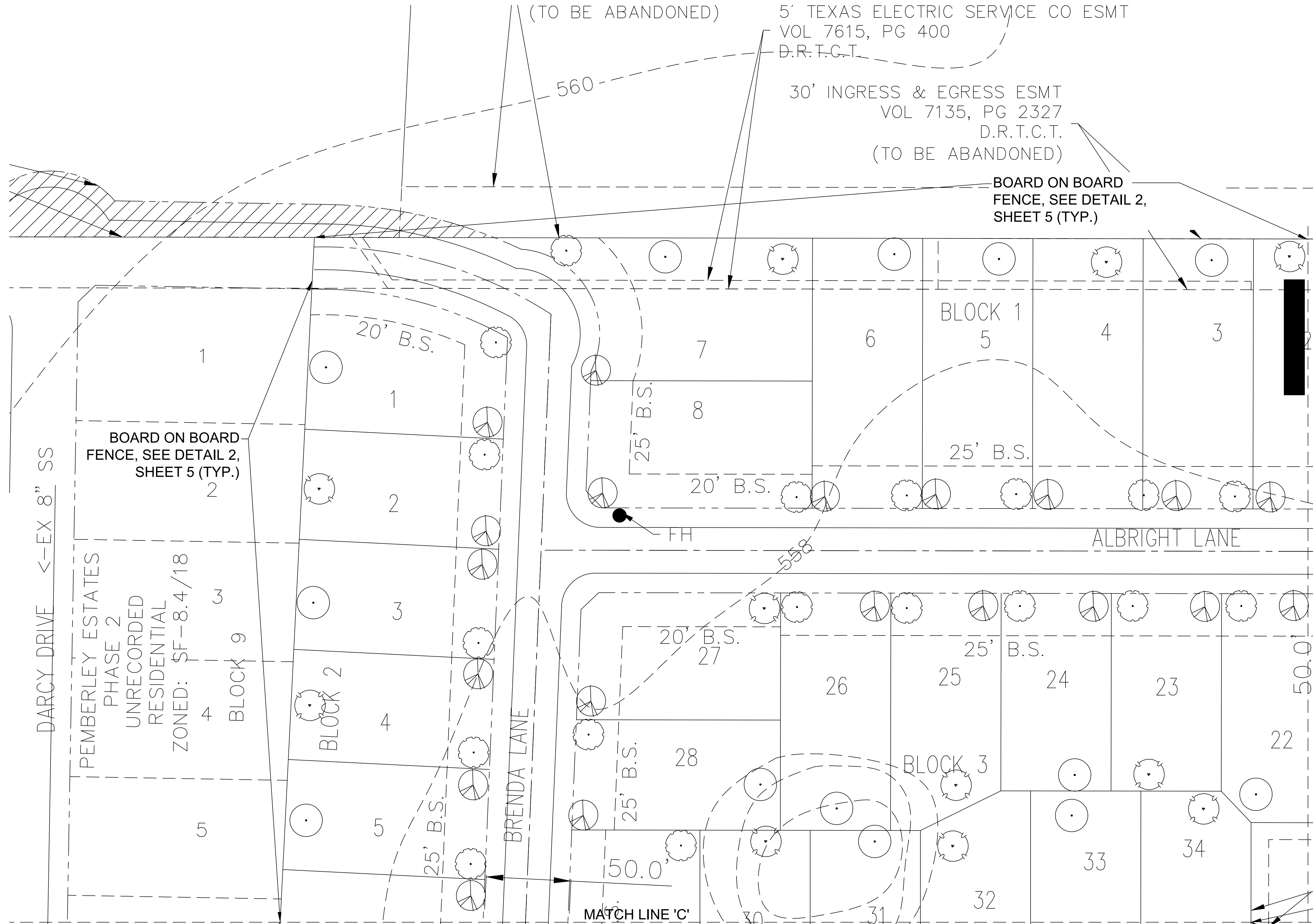
LANDSCAPE ARCHITECT:
E. BROOKE ASSOCIATES, LLC
8624 FERGUSON RD. #570527
DALLAS, TEXAS 75228
(817) 219-2665

DATE PREPARED: 06/20/2018
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SUNSET CROSSING
CITY OF MANSFIELD, TEXAS



VICINITY MAP

NTS



SITE INFORMATION

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PROPERTY AREA: 656,937 SF
15.081 ACRES

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FAMILY
RESIDENTIAL

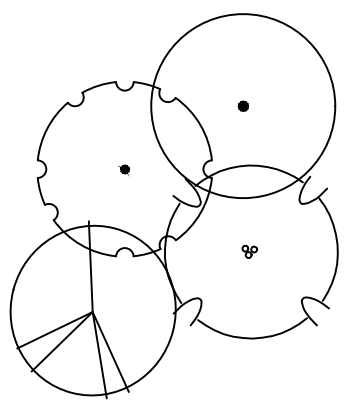
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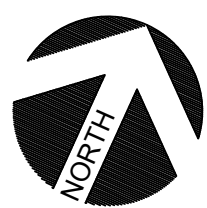
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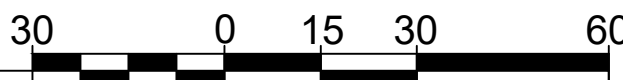
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East	Required	N/A	N/A	0	N/A	N/A	6' MASONRY WALL
	Provided		0	0	0	0	6' MASONRY WALL
South	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	BOARD ON BOARD FENCE
West	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE
	Provided		0	0	0	0	



P3/5

LANDSCAPE PLAN - EXHIBIT 'D' ZC#18-014

SCALE: 1" = 30'-0"

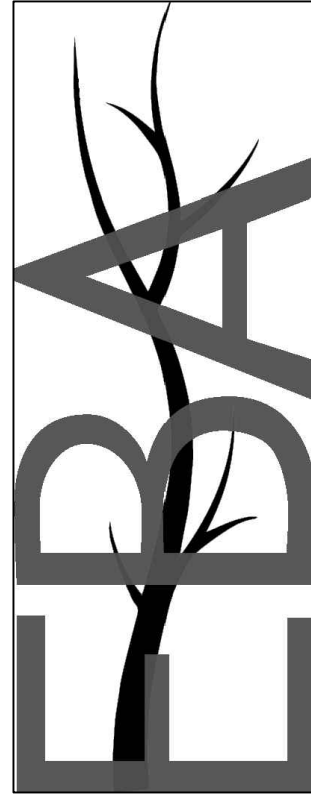


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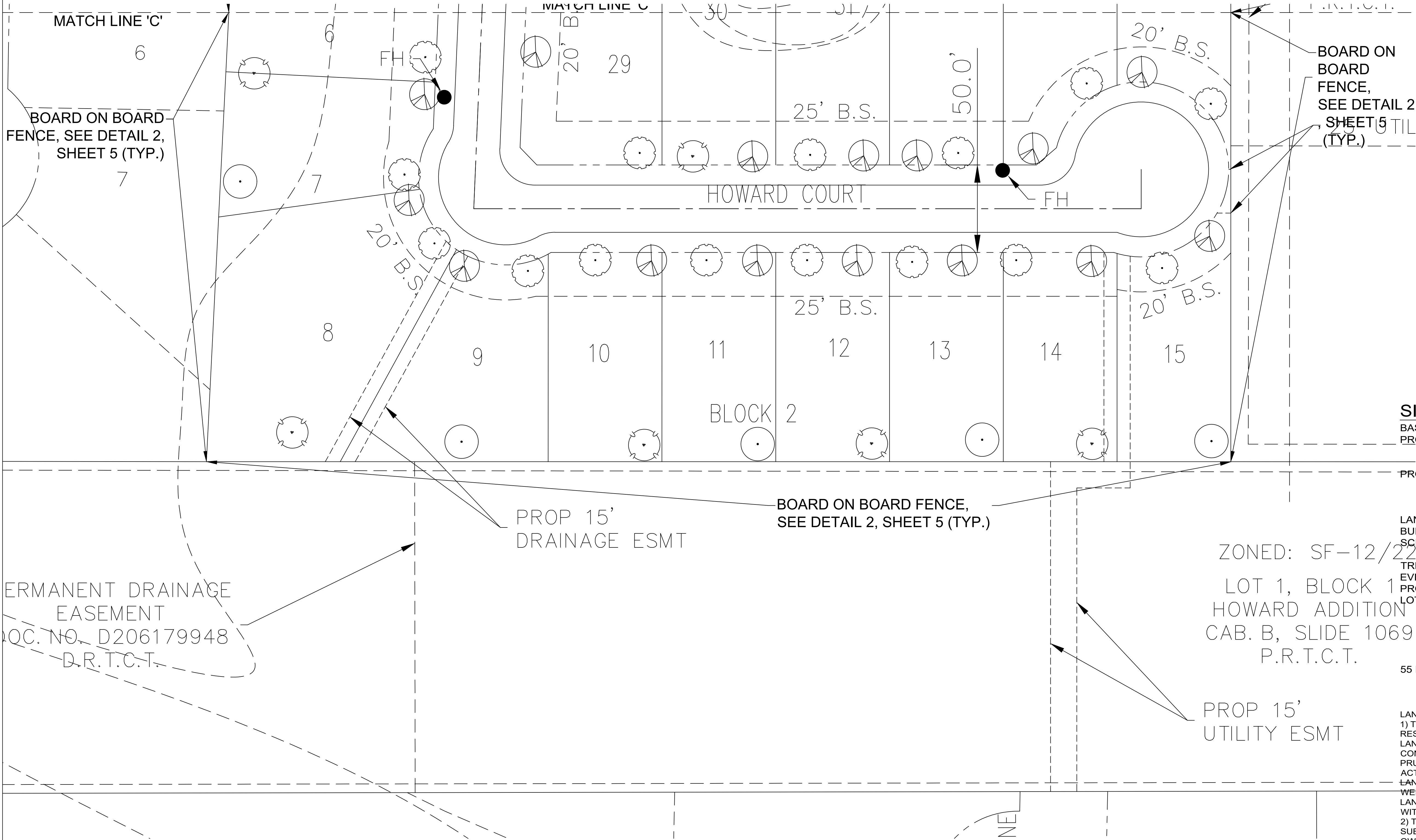
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VICINITY MAP
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PROPOSED USE: SINGLE
FAMILY
RESIDENTIAL

LANDSCAPE REQUIREMENTS:
BUFFER YARDS: SEE CHART
SCREENING WALLS: SEE CHART

TREE REQUIREMENTS:
EVERY LOT IN A PR AND SF ZONING DISTRICT SHALL
PROVIDE A MINIMUM NUMBER OF CANOPY TREES PER
LOT AS FOLLOWS:
FOR LOTS CONTAINING 9,600 SQUARE FEET OR
LESS, PROVIDE THREE CANOPY TREES. AT
LEAST TWO TREES SHALL BE PLACED IN THE
FRONT YARD.

55 LOTS x 3 CANOPY TREES = 165 TREES

LANDSCAPING MAINTENANCE NOTES:
1) THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE
RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED
LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING
CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING,
PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH
ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER,
WEEDS AND OTHER SUCH MATERIALS NOT PART OF THE
LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED
WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2) THE BOARD-ON-BOARD FENCE AROUND THE PERIMETER OF THE
SUBDIVISION WILL BE MAINTAINED BY THE INDIVIDUAL LOT
OWNERS. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE
RESPONSIBLE FOR THE MAINTENANCE OF ALL MASONRY WALLS,
THE HOA LOTS, AND THE ENHANCED ENTRYWAY FEATURES,
INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING,
DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT AND
THE ENHANCED MASONRY WALLS WITH SIGNAGE.

PLANT MATERIAL LIST SUMMARY CHART



PLANT MATERIAL LIST SUMMARY CHART

		SYM	COMMON NAME	BOTANICAL NAME	SIZE	HT NOTES
CANOPY TREES						
27	LO	LIVE OAK	<i>Quercus Virginia</i>	3.5" CAL.	EVERGREEN*, MIN. 12' HT.	
53	CP	CHINESE PISTACHE	<i>Pistacia chinensis</i>	3.5" CAL.	SINGLE TRUNK, MIN. 12' HT.	
26	AE	AMERICAN ELM	<i>Ulmus americana</i>	3.5" CAL.	SINGLE TRUNK, MIN. 12' HT.	
54	LE	LACEBARK ELM	<i>Ulmus parvifolia</i>	3.5" CAL.	SINGLE TRUNK, MIN. 12' HT.	

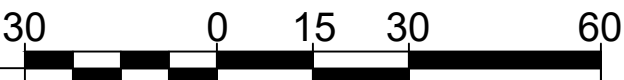
		SUMMARY CHART - BUFFERYARDS/SETBACKS						
Location of Buffer	Required /	Length	Width/Type	Canopy	Ornamental	Shrubs	Screening Wall / Device	
Yard or Setback	Provided						Height & Material	
North	Required	N/A	N/A	0	N/A	N/A	6' MASONRY WALL	
	Provided		0	0	0	0	6' MASONRY WALL	
East	Required	N/A	N/A	0	N/A	N/A	6' MASONRY WALL	
	Provided		0	0	0	0	6' MASONRY WALL	
South	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE	
	Provided		0	0	0	0	BOARD ON BOARD FENCE	
West	Required	N/A	N/A	0	N/A	N/A	BOARD ON BOARD FENCE	
	Provided		0	0	0	0		



4/5

LANDSCAPE PLAN - EXHIBIT 'D' ZC#18-014

SCALE: 1" = 30'-0"

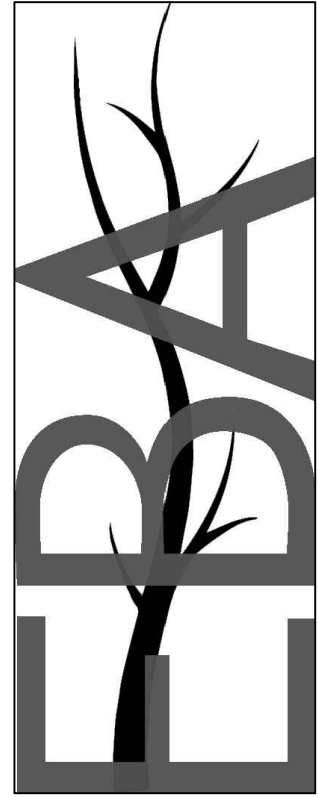


ENGINEER:
MACATEE ENGINEERING, LLC
3519 MILES ST.
DALLAS, TEXAS 75209
(214) 373-1180

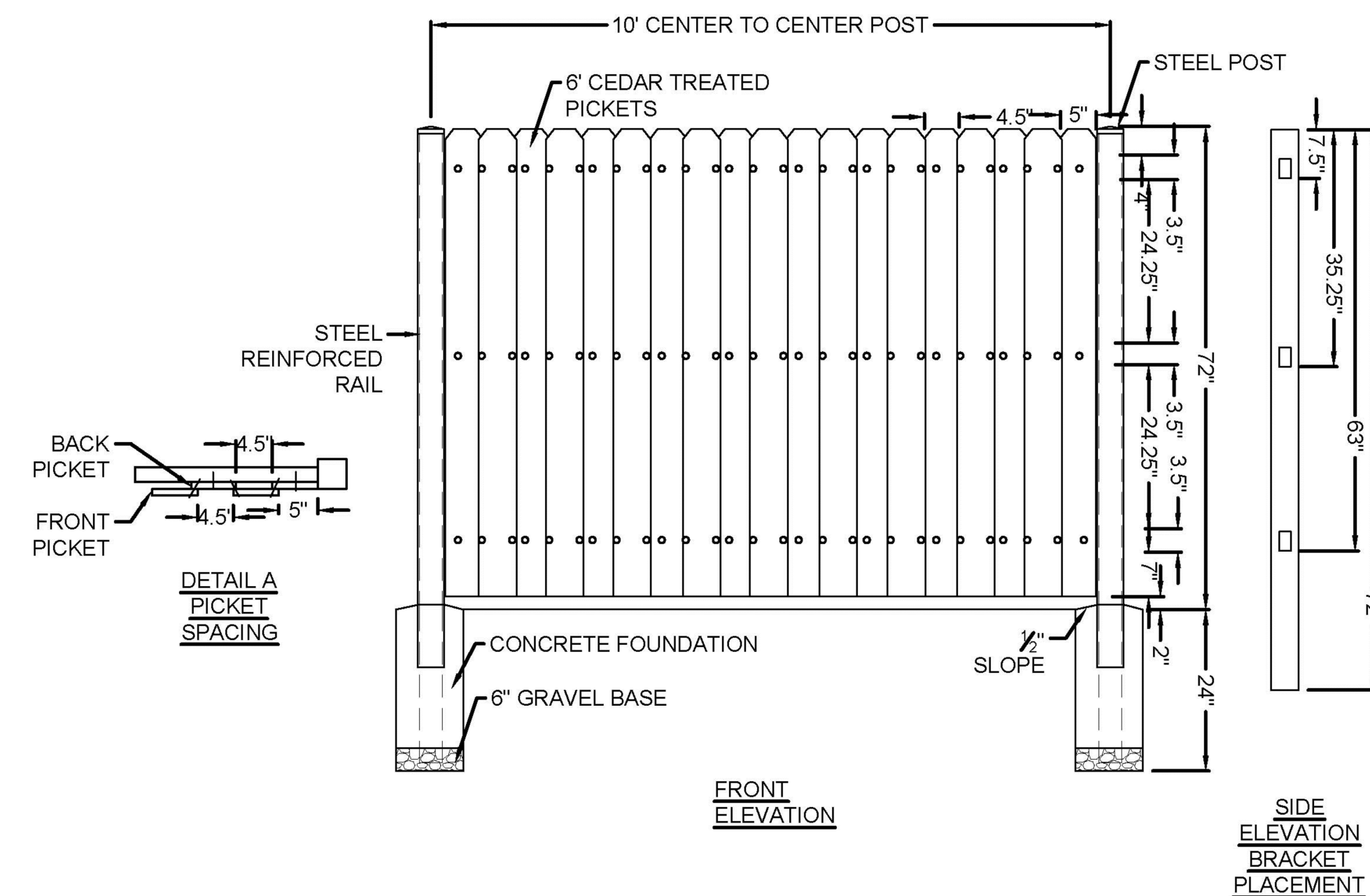
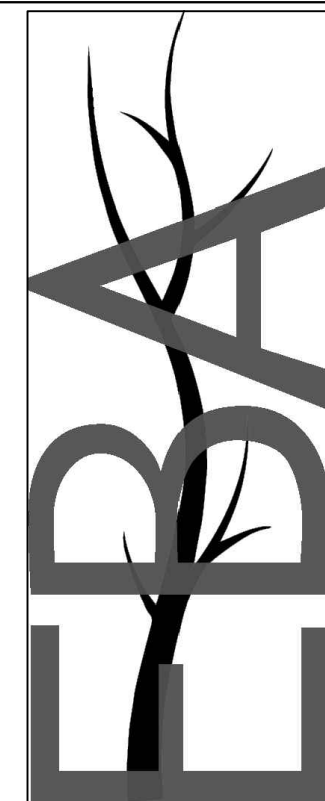
LANDSCAPE ARCHITECT:
E. BROOKE ASSOCIATES, LLC
8624 FERGUSON RD. #570527
DALLAS, TEXAS 75228
(817) 219-2665

DATE PREPARED: 06/20/2018
DATE REVISED:

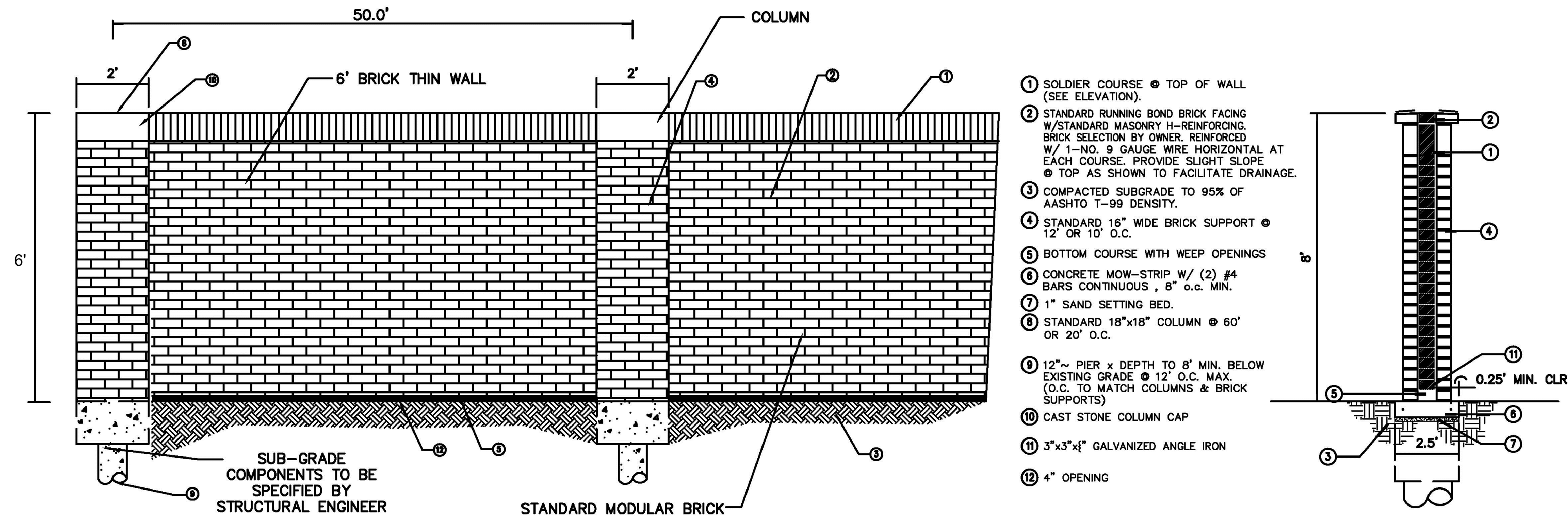
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817-219-2665
erin@ebrooke.com



SUNSET CROSSING
CITY OF MANSFIELD, TEXAS



2 BOARD ON BOARD FENCE DETAIL
NOT TO SCALE



1 6' MASONRY WALL DETAIL
NOT TO SCALE

Representative Product



EXHIBIT E
ZC#18-014

Representative Product



EXHIBIT E
ZC#18-014

Representative Product



EXHIBIT E
ZC#18-014

Representative Product

