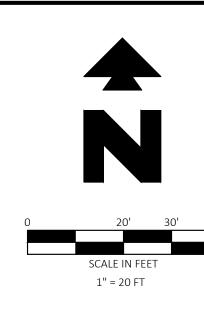
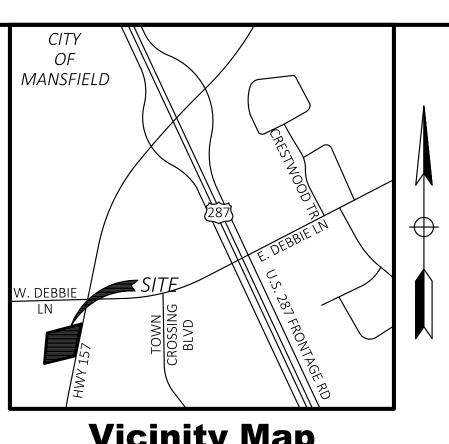


BM NO. 1 - SQUARE CUT WITH "+" SET ON BACK OF CURB APPROXIMATELY 8.33 FEET SOUTHEAST OF THE NORTHWEST PROPERTY CORNER. ELEV. = 654.25 BM NO. 2 - SQUARE CUT WITH "+" SET ON BACK OF CURB AT THE NORTHEAST PI OF CURB ISLAND ALONG THE STATE F.M. HIGHWAY 157.

ELEV. = 654.25 VERTICAL DATUM WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) TEXAS RTK COOPERATIVE NETWORK NAD83-2011





Vicinity Map

LEGEND

	EXISTING				
	е	EAST OR ELECTRIC	===		STORM DRAIN
	n oh	NORTH OVERHEAD		GAS —	GAS
	5	SOUTH OR SEWER		OHE —	OVERHEAD ELECTRIC
	t ug	TELEPHONE UNDERGROUND		X"SS —	SANITARY SEWER
	W	WEST OR WATER		UGE —	UNDERGROUND ELECTRIC
_		PROPERTY LINE		UGT —	UNDERGROUND TELEPHONE
_		RIGHT OF WAY LINE		X''W	WATER

SITE DATA					
ZONING:	C-2 "COMMUNITY BUSINESS DISTRICT"				
LAND USE:	MOTOR VEHICLE PARTS & ACCESSORY SALES (INDOORS)				
SITE AREA:	0.982 ACRES (42,773 S.F.)				
EXISTING BUILDING AREA:	5,331 S.F.				
PROPOSED BUILDING AREA:	I,800 S.F.				
TOTAL BUILDING AREA:	7,131 S.F.				
PARKING REQUIRED:	35 SPACES (I PER - 200 SF)				
PARKING PROVIDED:	35 SPACES (2 H.C.)				
BLDG HIEGHT	18 FT. (MATCH EXISTING)				
FLOOR AREA RATIO	0.17 (2.0 MAX.)				

NOTES

- 1. ANY NEW SIGNAGE OR MODIFICATION TO EXISTING SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
- 2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
- 3. THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
- 4. THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY.
- 5. THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HERE UNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS, AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING
- 6. ALL EXISTING AND PROPOSED PARKING AREAS AND SIDEWALKS WILL BE CONSTRUCTED OF CONCRETE

PROPERTY OWNER

PRELIMINARY

NOT FOR

CONSTRUCTION

F-7524

CAROLYN THAEMERT, PRE-CONSTRUCTION PROJECT MANAGER AUTOZONE STORE DÉVELOPMENT DEPT. 8320, 3RD FLOOR 123 SOUTH FRONT STREET MEMPHIS, TENNESSEE 38103 PHONE: (901)495-8994 FAX: (901)495-8991

DEVIATIONS FROM THE ZONING ORDINANCE

- SECTION 4600.A.1 (70% MASONRY REQUIREMENT) SECTION 4600.A.5 (PROHIBITED MATERIALS)
- SECTION 4600.E.7 (FOUR ARCHITECTURAL ELEMENTS)
- PROPOSED ADDITION: SMOOTH FACE CMU TO MATCH EXISTING BUILDING.

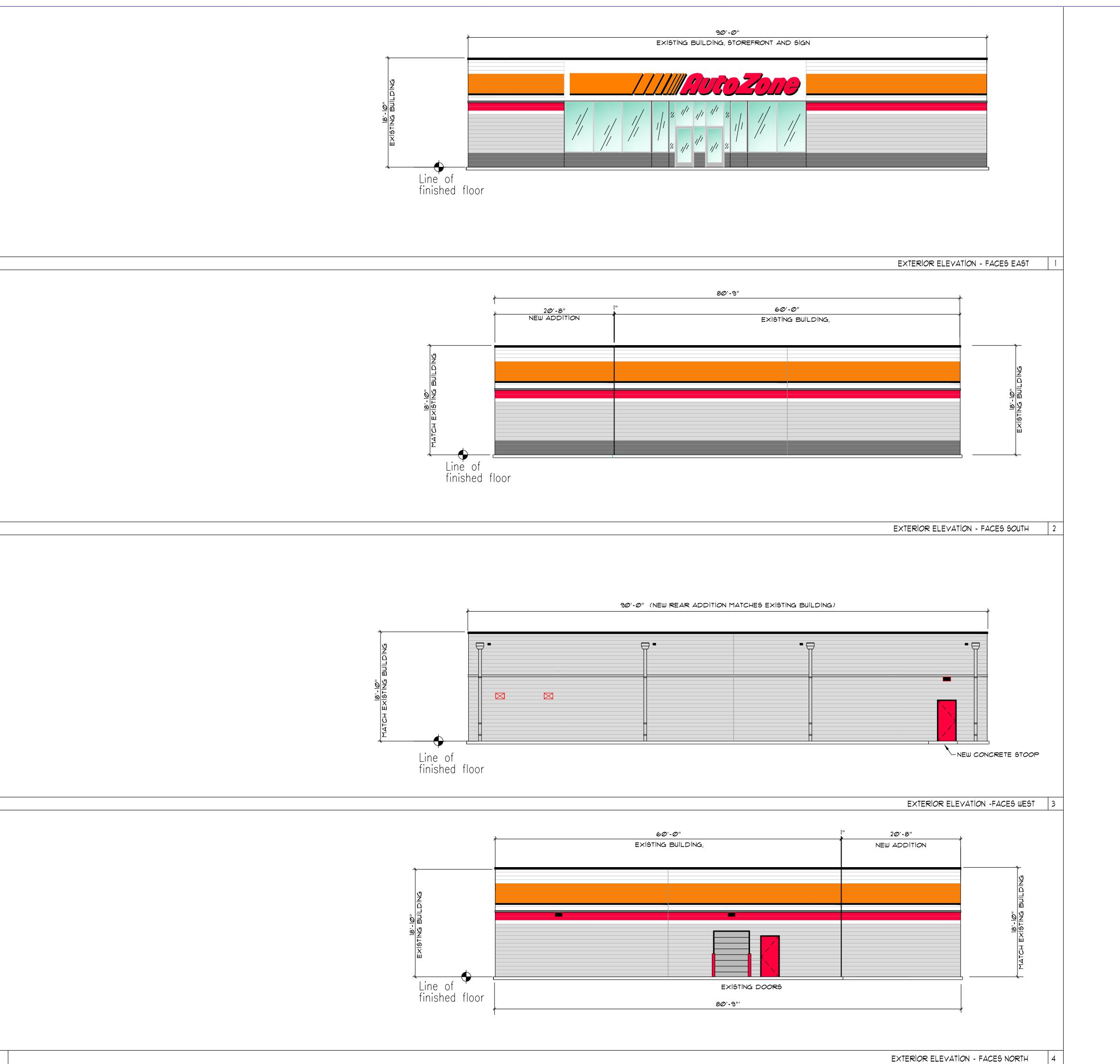
LEGAL DESCRIPTION LOT 2R2, BLOCK 5 OAKDALE ADDITION CITY OF MANSFIELD, TARRANT COUNTY, TEXAS 0.982 AC./42,773 SQ. FT.

CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW ZC#18-017 3030 LBJ Freeway, Suite 100 Dallas, TX 75234

(972)488-3737 FAX (972)488-6732 AUTOZONE NO. 3133

MANSFIELD,

EXHIBIT B - DEVELOPMENT PLAN



FACADE MATERIAL AREAS

FRONT (EAST ELEVATION) EXISTING SMOOTH FACE CMU= 1479 SQ FT PAINTED EIFS = 300 SQ FT

LEFT SIDE (SOUTH ELEVATION) EXISTING SMOOTH FACE CMU 1118 SQ FT EXISTING + NEW ADDITION SMOOTH FACE CMU 387 SQ FT=1505 TOTAL SQ FT

REAR (WEST ELEVATION)

NEW SMOOTH FACE CMU 1677 SQ FT EXISTING

RIGHT SIDE (NORTH ELEVATION) EXISTING SMOOTH FACE CMU 1118 SQ FT EXISTING + NEW ADDITION SMOOTH FACE CMU 387 SQ FT=1505 TOTAL SQ FT

BUILDING OWNER AUTOZONE INC. 123 SOUTH FRONT STREET MEMPHIS TN 38103

CONTACT: CAROLYN THAEMERT 901-495-8994

ARCHITECT:

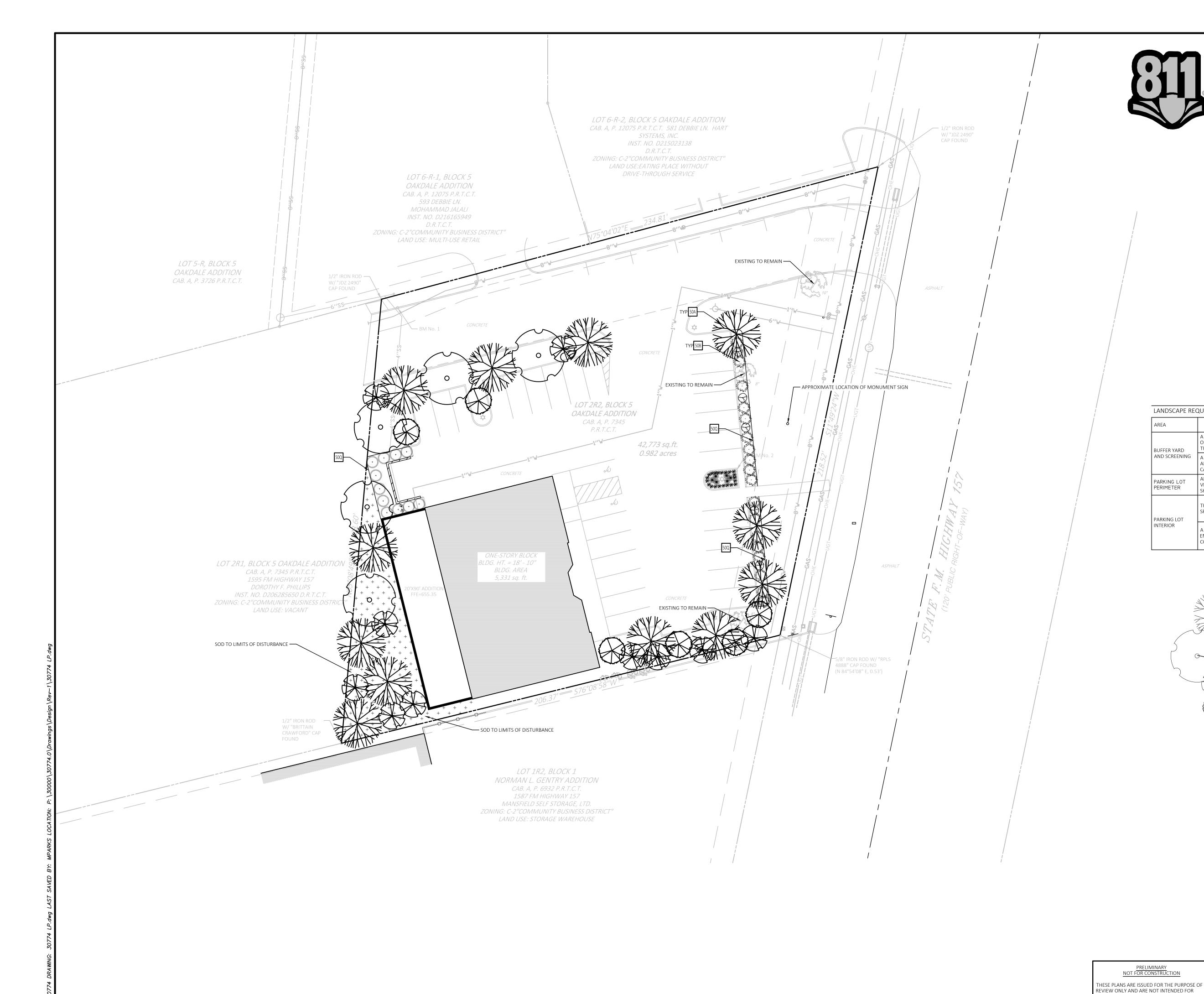
GEORGE CALLOW LIC# 11924 901-495-8705

ZONÍNG CASE NUMBER: ZC*18-017

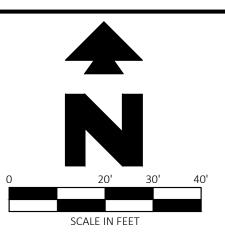
 $\frac{\vec{\omega}}{\vec{\omega}}$ 31 Store No. WY 157 MANSFIELI AutoZone (1597 N HW

> ontractor Information Contact: onstruction Tel. 615-884-1017 n.com (901) 495-8969

04-03-18 65W-REMODEL







SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

PROPOSED

PROPERTY LINE/RIGHT OF WAY LINE

TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL NOTES

1. REFER TO SHEET L3 FOR NOTES AND DETAILS.

2. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

DETAIL

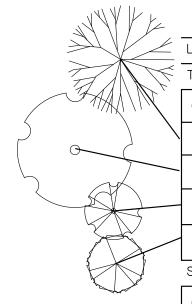
TREE PLANTING

SHRUB PLANTING

STEEL EDGING

LANDSCAPE REQUIREMENTS TABLE

AREA	REQUIREMENT	REQUIRED	PROVIDED	
BUFFER YARD	A MINIMUM 10 FOOT WIDE BUFFER YARD WITH ONE TREE PER 25 LF SHALL BE PROVIDED AROUND THE PERIMETER OF THE PROPERTY	NORTH, WEST AND SOUTH SIDES: 688 LF / 25 = 28 TREES REQUIRED	28 TREES PROVIDED (25 NEW TREES/ 3 EXISTING TREES)	
AND SCREENING	A 20' LANDSCAPE SET BACK SHALL BE PROVIDED ALONG ANY PUBLIC RIGHT-OF-WAY WITH 1 CANOPY TREE PER 40 LF	HIGHWAY 157: 207 / 40 = 5 TREES	5 TREES PROVIDED	
PARKING LOT PERIMETER	ALL VEHICLE USE AREAS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS BY A 3' HIGH ROW OF SHRUBS		PROVIDED	
PARKING LOT	THERE SHALL BE 1 CANOPY TREE PER 10 PARKING SPACES	30 PARKING SPACES / 10 = 3 TREES REQUIRED	3 TREES PROVIDED	
INTERIOR	A LANDSCAPE ISLAND SHALL BE LOCATED AT THE END OF EACH ROW OF PARKING AND SHALL CONTAIN 1 TREE		PROVIDED	



PRELIMINARY
NOT FOR CONSTRUCTION

CONSTRUCTION PURPOSES.

	LANDS	ANDSCAPE SCHEDULE							
	TREES								
	QTY.	COMMON NAME Botanical Name	ROOT	SIZE/HT. AT PLANTING	SPACING	NOTES			
$\left \right $	12	SHUMARD OAK QUERCUS SHUMARDII	B&B	3.5" CALIPER	SEE PLAN				
-[5	CHINESE PISTACHE Pistacia chinensis	B&B	3.5" CALIPER	SEE PLAN				
-	10	OKLAHOMA REDBUD Cercis canadensis var. texensis 'Oklahoma'	B&B	2" CALIPER	SEE PLAN				
1	6	AUTUMN BRILLIANCE SERVICEBERRY Amelanchier x grandiflora 'Autumn Brilliance'	B&B	2" CALIPER	SEE PLAN				
SHRUBS									

	QTY.	COMMON NAME BOTANICAL NAME	ROOT	SIZE/HT. AT PLANTING	SPACING	NOTES
	11	NELLIE R STEVENS HOLLY ILEX X "NELLIE R. STEVENS"	CONT.	5 GAL.	5' O.C.	
Now War	18	LYNN'S LEGACY CENIZO LEUCOPHYLLUM LANGMANIAE	CONT.	5 GAL.	48" O.C.	
Θ	5	PURPLE PIXIE DWARF LOROPETALUM LOROPETALUM CHINENSE 'PEACK'	CONT.	5 GAL.	36" O.C.	
*	21 MEXICAN FEATHER GRASS NASSELLA TENUISSIMA		CONT.	I GAL.	24" O.C.	
**	6	REGAL MIST PINK MUHLY GRASS MUHLENBERGIA CAPILLARIS 'LENCA'	CONT.	5 GAL.	36" O.C.	
********		BERMUDA GRASS				SOLID SOD

BR347

Dallas, TX 75234

CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW Engineering Associates, Inc.

3030 LBJ Freeway, Suite 100

FAX (972)488-6732 AUTOZONE NO. 3133

MANSFIELD

EXHIBIT D

6/18/18 REV-1

6/18/18 PHY DMT MMP MM

(972)488-3737

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR THE INSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN
- APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY
- 10. COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE
- IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL. IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED

DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE

PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO

STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN

ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS

RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE

- PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.

AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.

- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- 16. IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- 17. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- 18. ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 45% "YUKON", 45% "MAJESTIC", 10% CENTIPEDE (COATED) BY WEIGHT @ 3 LBS / 1000 SF.
- 19. SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE. WITH A MAXIMUM OF 50 LBS./100 GAL, OF WATER, IF SEEDING IS DELAYED AFTER MIXING 1/2 - 3 HOURS ADD AN ADDITIONAL 50% OF SEED MIX, IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS
- 20. ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- 2. FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- 3. LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES,
- 4. ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM
- GRASS/SOD AREAS 4" MINIMUM (AFTER COMPACTION)
- 8. BACKFILL ALL TREES, SHRUBS, GROUNDCOVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- 10. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURE'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- 11. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED
- 12. ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- 13. ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- 14. ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- 15. IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO
- 16. PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- 18. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- 19. ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 20. ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- 22. MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE
- 23. A FOUR INCH (4") TOP DRESSING/MULCHING OF SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- 24. THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED: EVERGREEN SHRUBBERY NOV - MAR **DECIDUOUS SHRUBBERY & TREES NOV - MAR**

EVERGREEN TREES NOV - MAR

SOLID SOD NOTES

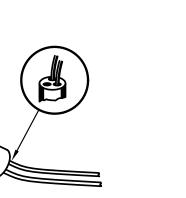
- 1. ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER
- 2. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- 3. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- 4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL; FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES; CONTAINING NO SALT AND BE BLACK
- 5. ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.
- 6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- 7. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- 8. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 9. FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION
- 10. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- 11. IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER. SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING APART. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.
- 12. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.
- 13. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- 14. IF INSTALLATION OCCURS BETWEEN NOVEMBER AND MARCH ALL SOD AREAS TO BE OVER-SEEDED WITH ANNUAL

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERIMINATED. AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- REPLACEMENT ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE: GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- 2. IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- 4. CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.



MAINLINE, LATERA

AND WIRING IN THE SAME TRENCH

RUN WIRING BENEATH AND BESIDE

INTERVALS.

MAINLINE. TAPE AND BUNDLE AT 10-FOOT

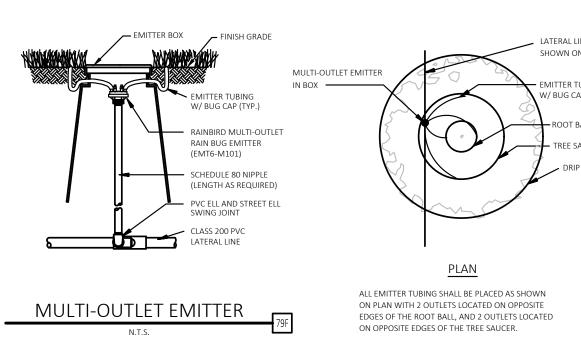
1. ALL LATERAL LINES SHALL BE SDR-13.5 PVC PIPE. ALL MAIN LINES SHALL BE SDR-21 PVC PIPE

WIRE CONNECTION

GENERAL IRRIGATION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING
- 4. THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT OR LICENSED
- 5. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS, IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS
- CONTRACTOR IS TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN THE DESIGN WATER PRESSURE OF 60 PSI.
- 7. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED PER LOCAL REQUIREMENTS.
- 8. ANY EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- 9. SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER
- 10. IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- 11. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING MANUAL DRAIN VALVES AT LOWEST POSSIBLE ELEVATION ON IRRIGATION MAIN SO AS TO PROVIDE POSITIVE DRAINAGE OF IRRIGATION MAIN DURING WINTER MONTHS, OR PROVIDE BLOWOUT
- 12. ALL LATERAL LINES SHALL BE EQUIPPED WITH AUTOMATIC DRAIN VALVES AT LOW
- 13. IRRIGATION CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE (2) 1" ELECTRICAL CONDUITS FOR IRRIGATION CONTRACTOR'S POWER/DATA CONNECTION TO CONTROLLER. SEE ARCHITECTURAL ELECTRICAL PLAN FOR ELECTRICAL CONNECTION TO THE IRRIGATION CONTROLLER, IRRIGATION CONTRACTOR SHALL COORDINATE CONSTRUCTION OF IRRIGATION SYSTEM WITH GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 14. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 15. ALL BELOW GRADE LOW VOLTAGE WIRING CONNECTIONS SHALL BE INSTALLED PER
- 16. DO NOT INSTALL IRRIGATION AT PYLON / MONUMENT SIGN LOCATION UNTIL SIGN HAS BEEN INSTALLED.

- 17. LOCATION FOR IRRIGATION SYSTEM AS SHOWN IS FOR DRAWING PURPOSES ONLY. UNSLEEVED PIPES MAY BE SHOWN IN PAVEMENT AREAS FOR CLARITY ONLY. INSTALL THESE PIPES IN ADJACENT LANDSCAPE AREAS WHERE NECESSARY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF PROPOSED IRRIGATION SYSTEM. ALL PROPOSED IRRIGATION LINES AND EQUIPMENT SHALL BE INSTALLED WITHIN THE BOUNDARIES OF THE PROJECT SITE. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OR LICENSED IRRIGATOR IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 18. MINIMUM COVER FROM TOP OF PIPING TO FINISHED GRADE SHALL BE AS PER DETAIL
- 19 IRRIGATION CONTRACTOR SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS TO PROVIDE COMPLETE COVERAGE WITH MINIMUM OVERSPRAY. THE IRRIGATION CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE AT NO ADDITIONAL COST TO THE
- 20. VALVE BOXES SHALL BE INSTALLED FLUSH WITH GRADE, SUPPORTED BY BRICKS IF NEEDED, WITH 3" OF CLEAN PEA GRAVEL LOCATED BELOW THE VALVE.
- 21. ALL MAIN LINE PIPING, NON-PRESSURE PIPING AND CONTROL WIRE SLEEVING SHALL BE INSTALLED IN SEPARATE SLEEVES. ALL LATERAL LINE PIPING UNDER PAVING SHALL BE PVC SHEDULE 40 AND SHALL BE INSTALLED PRIOR TO ANY HARDSCAPE MATERIAL. IRRIGATION CONTRACTOR TO PROVIDE SLEEVES BETWEEN 12" AND 15" BELOW GRADE AT ALL DRIVE ENTRANCES AND SIDEWALKS. MAINLINE SLEEVE SIZE SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES.
- 22. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF FENCES, RETAINING WALLS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING AND TIMING, ETC. REFER TO CIVIL ENGINEERING PLANS FOR GRADING, METHODS OF DRAINAGE, IRRIGATION METERS, AND BACKFLOW PREVENTION DEVICE LOCATION.
- 23. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED, SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS, DETAILS AND SPECIFICATIONS. ACCEPTABLE MANUFACTURERS INCLUDE RAINBIRD, HUNTER, TORO,
- 24. ANY DRIP SYSTEM PIPING IN PLANTING BEDS IS DIAGRAMMATIC. CONTRACTOR CAN ROUTE PIPING IN A FREEFORM MANNER (AVOIDING OBJECTS SUCH AS LIGHT POLES. TRANSFORMERS PADS, EQUIPMENT VAULTS, SUBSURFACE ROCK TOO LARGE TO REMOVE, ETC...) AS LONG AS ALL PLANT MATERIAL RECEIVES THE PROPER NUMBER OF EMITTERS PER SCHEDULE AND THE VINYL DISTRIBUTION TUBING DOES NOT EXCEED THE MAXIMUM DESIGN LENGTHS PER MANUFACTURER'S RECOMMENDATIONS.
- 25. UNLESS OTHERWISE REQUIRED, BACKFLOW PREVENTION DEVICES LESS THAN 2" SHALL BE PLACED IN A WIRE MESH BASKET ENCLOSURE AND PAINTED TO MATCH THE PRIMARY BUILDING COLORS. SEE CIVIL PLANS FOR LOCATION.
- 26. ALL JOINTS AND BENDS 2" OR LARGER SHALL HAVE CONCRETE THRUST BLOCKING. THRUST BLOCKING SHALL BE A MINIMUM OF 1 CUBIC FOOT OF CONCRETE. PIPE SHALL NOT BE ENCASED IN CONCRETE. SEE DETAIL 31C FOR THRUST BLOCKING.
- 27. CONTRACTOR WILL PROVIDE OWNER WITH A COMPLETE AND REPRODUCIBLE DRAWING OR IRRIGATION SYSTEM LAYOUT AS IT WAS INSTALLED. DRAWING SHOULD NCLUDE, BUT NOT BE LIMITED TO, LOCATIONS OF ZONES VALVES, MAIN, LATERAL AND DISTRIBUTION LINES, SLEEVES, WATER METER, BACKFLOW PREVENTION DEVICE, SENSORS AND CONTROLLER.
- 28. ALL LATERAL LINE SIZING SHALL REFER TO PIPE SCHEDULE ON THIS PLAN.



WIRE W/O CONDUIT

TIE A 24-INCH LOOP IN ALL WIRING AT CHANGE OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.

SECTION VIEW

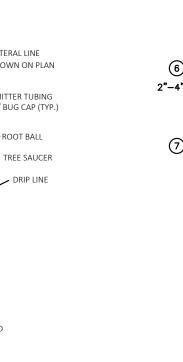
PLAN VIEW

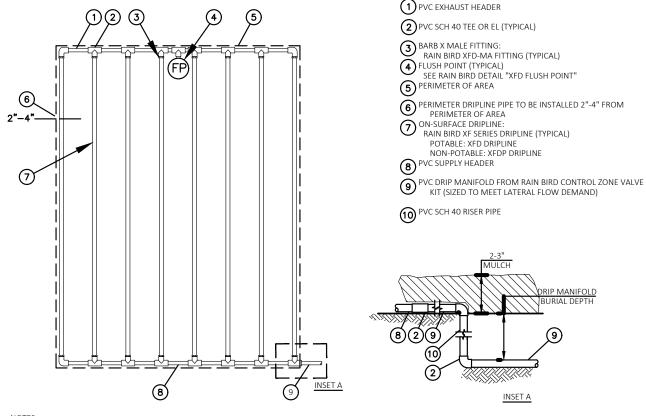
ALL SOLVENT WELD PLASTIC PIPING TO

BE SNAKED IN TRENCH AS SHOWN.

. SLEEVES BELOW ALL HARDSCAPE ELEMENTS SHALL BE SCH. 40 PVC AND SHALL BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.

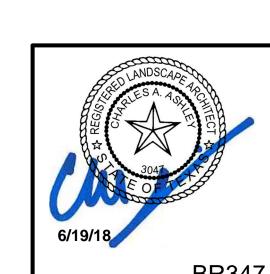
3. ALL LATERAL LINES SHALL BE BURIED NO LESS THAN 18" DEEP. ALL MAIN LINES AND ELECTRICAL LINES SHALL BE NO LESS THAN 24" DEEP.





ELEVATION. SEE IRRIGATION PLAN FOR SPACING REQUIREMENTS.

	XFD Dripline Maximum Lateral Lengths (Feet)					
	12" Spaci	ng	18" Spacing		24" Spacing	
Inlet Pressure	Nominal f	Flow (GPH)	Nominal I	Flow (GPH)	Nominal I	Flow (GPH)
psi	0.6	0.9	0.6	0.9	0.6	0.9
15	255	194	357	273	448	343
20	291	220	408	313	514	394
30	350	266	494	378	622	478
40	396	302	560	428	705	541
50	434	333	614	470	775	594



6/18/18 | PHY | DMT | MMP | MM CEI PROJECT NO. | INITIAL DATE | DPOR | PM | DES | DRW Engineering Associates, Inc. 3030 LBJ Freeway, Suite 100 (972)488-3737 Dallas TX 75234 FAX (972)488-6732 AUTOZONE NO. 3133

MANSFIELD

EXHIBIT D

BR347

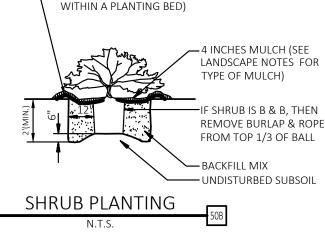
REV-1

REV DATE

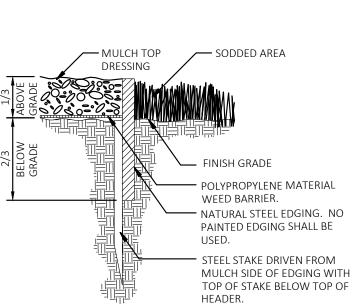
6/18/18

8" 2-PLY RUBBER HOSE - WHITE FLAGGING (TYP.) DOUBLE STRAND 12 GAUGE WIRE COVERED W/2-PLY RUBBER HOSE PAINTED FLUORESCENT ORANGE 4 INCH DEEP SAUCER — 8' STEEL TEE POST- 3 REQUIRED AT 120° BACKFILL MIX UNDISTURBED SUBSOIL REMOVE BURLAP & ROPE FROM TOP 1/3 OF THE BALL

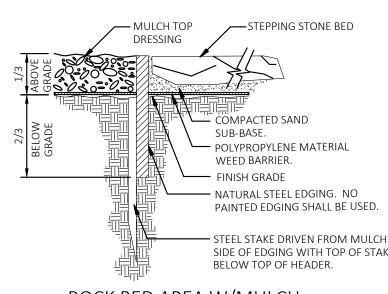
NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

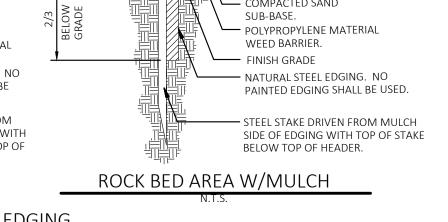


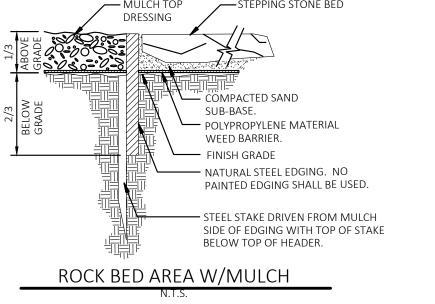
— WEED MAT (ONLY IF SHRUB IS



SODDED AREA W/MULCH







IRRIGATION PIPE AND WIRE TRENCHING