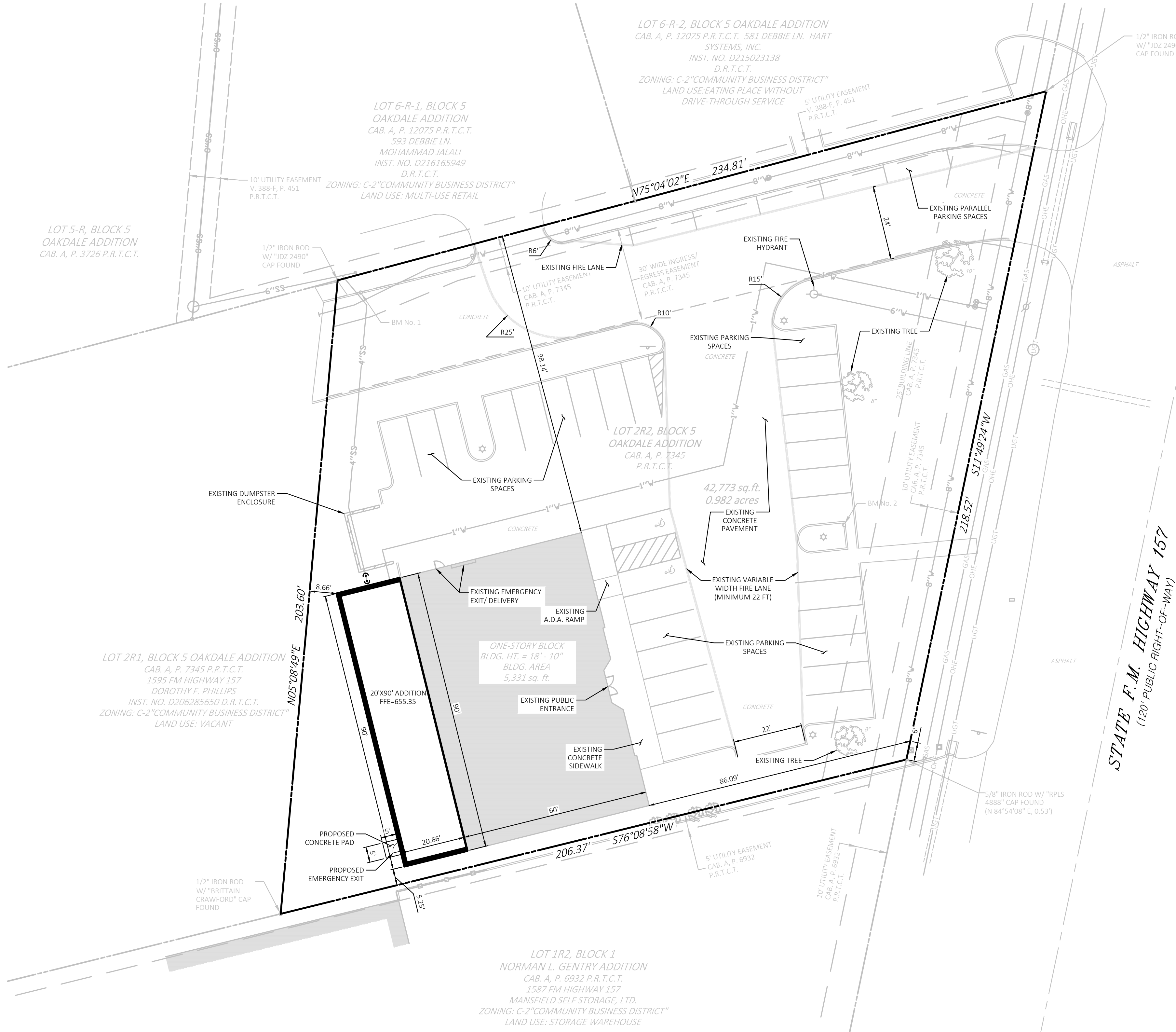


JOB # 30774 DRAWING: 30774 SP.dwg LAST SAVED BY: GRINAM LOCATION: P: 30000 30774 0 Drawings Design (Rev: 2) 30774 SP.dwg

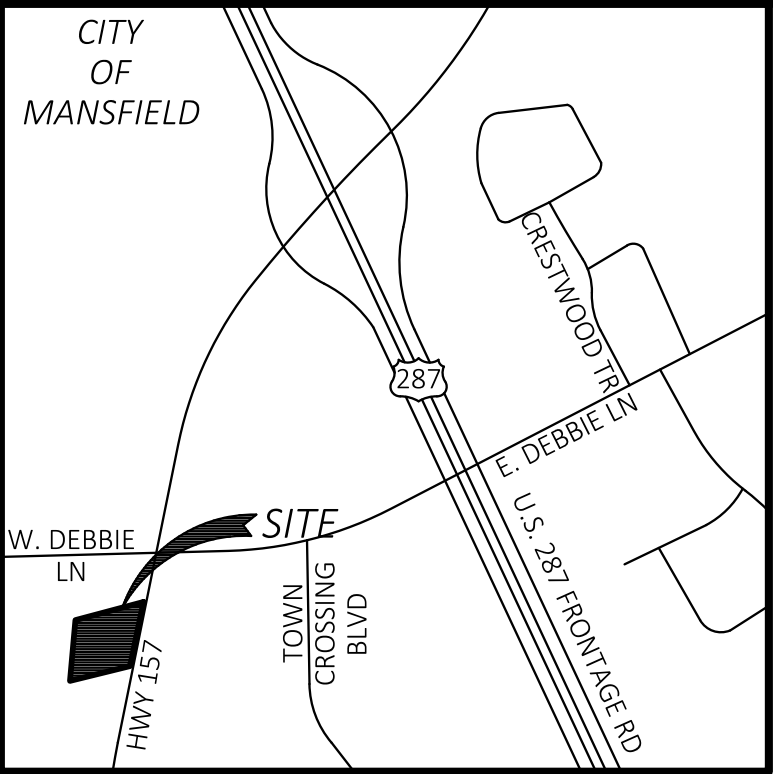
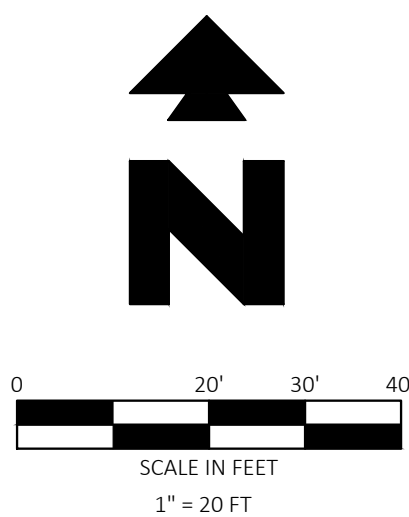


**SITE BENCHMARK**

BM NO. 1 - SQUARE CUT WITH "X" SET ON BACK OF CURB APPROXIMATELY 8.33 FEET SOUTHEAST OF THE NORTHWEST PROPERTY CORNER. ELEV. = 654.25

BM NO. 2 - SQUARE CUT WITH "X" SET ON BACK OF CURB AT THE NORTHWEST CORNER OF CURB ISLAND ALONG THE STATE F.M. HIGHWAY 157. ELEV. = 654.25

VERTICAL DATUM WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) TEXAS RTN COOPERATIVE NETWORK NAD83-2011



## Vicinity Map

Not to Scale

## LEGEND

EXISTING			
e	EAST OR ELECTRIC	---	STORM DRAIN
n	NORTH	---	GAS
oh	OVERHEAD	---	OVERHEAD ELECTRIC
s	SOUTH OR SEWER	---	X"SS
t	TELEPHONE	---	UGE
ug	UNDERGROUND	---	UNDERGROUND ELECTRIC
w	WEST OR WATER	---	UGT
---	PROPERTY LINE	---	UNDERGROUND TELEPHONE
---	RIGHT OF WAY LINE	---	X"W
		---	WATER

## SITE DATA

ZONING:	C-2 "COMMUNITY BUSINESS DISTRICT"
LAND USE:	MOTOR VEHICLE PARTS & ACCESSORY SALES (INDOORS)
SITE AREA:	0.982 ACRES (42,773 S.F.)
EXISTING BUILDING AREA:	5,331 S.F.
PROPOSED BUILDING AREA:	1,800 S.F.
TOTAL BUILDING AREA:	7,131 S.F.
PARKING REQUIRED:	35 SPACES (1 PER - 200 SF)
PARKING PROVIDED:	35 SPACES (2 H.C.)
BLDG HEIGHT	18 FT. (MATCH EXISTING)
FLOOR AREA RATIO	0.17 (2.0 MAX.)

## NOTES

- ANY NEW SIGNAGE OR MODIFICATION TO EXISTING SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
- ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
- THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.
- THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY.
- THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HERE UNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS, AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- ALL EXISTING AND PROPOSED PARKING AREAS AND SIDEWALKS WILL BE CONSTRUCTED OF CONCRETE

## PROPERTY OWNER

CAROLYN THAEMERT, PRE-CONSTRUCTION PROJECT MANAGER  
AUTOZONE STORE DEVELOPMENT  
DEPT. 8320, 3RD FLOOR  
123 SOUTH FRONT STREET  
MEMPHIS, TENNESSEE 38103  
PHONE: (901)495-8994  
FAX: (901)495-8991

## DEVIATIONS FROM THE ZONING ORDINANCE

- SECTION 4600.A.1 (70% MASONRY REQUIREMENT)
- SECTION 4600.A.5 (PROHIBITED MATERIALS)
- SECTION 4600.E.7 (FOUR ARCHITECTURAL ELEMENTS)

EXISTING BUILDING: SMOOTH FACE CMU  
PROPOSED ADDITION: SMOOTH FACE CMU TO MATCH EXISTING BUILDING.

LEGAL DESCRIPTION  
LOT 2R2, BLOCK 5 OAKDALE ADDITION  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS  
0.982 AC./42,773 SQ. FT.

ZC#18-017

PRELIMINARY  
NOT FOR  
CONSTRUCTION

F-7524

**CEI Engineering Associates, Inc.**

ENGINEERS • PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3030 LBJ Freeway, Suite 100  
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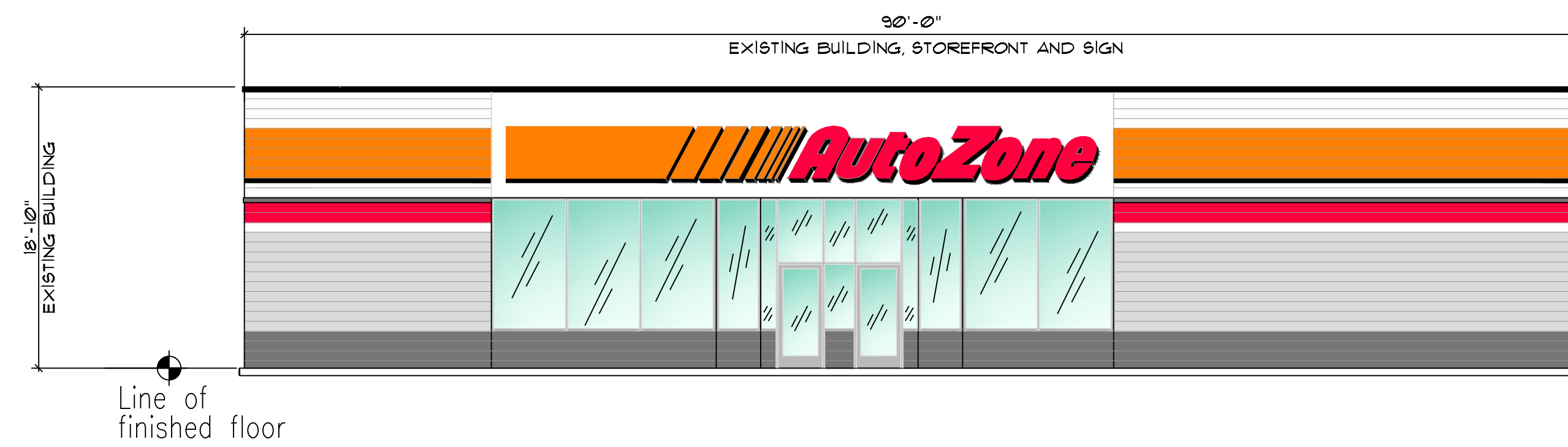
**AUTOZONE NO. 3133**

1597 N. 157 HWY.  
MANSFIELD, TX

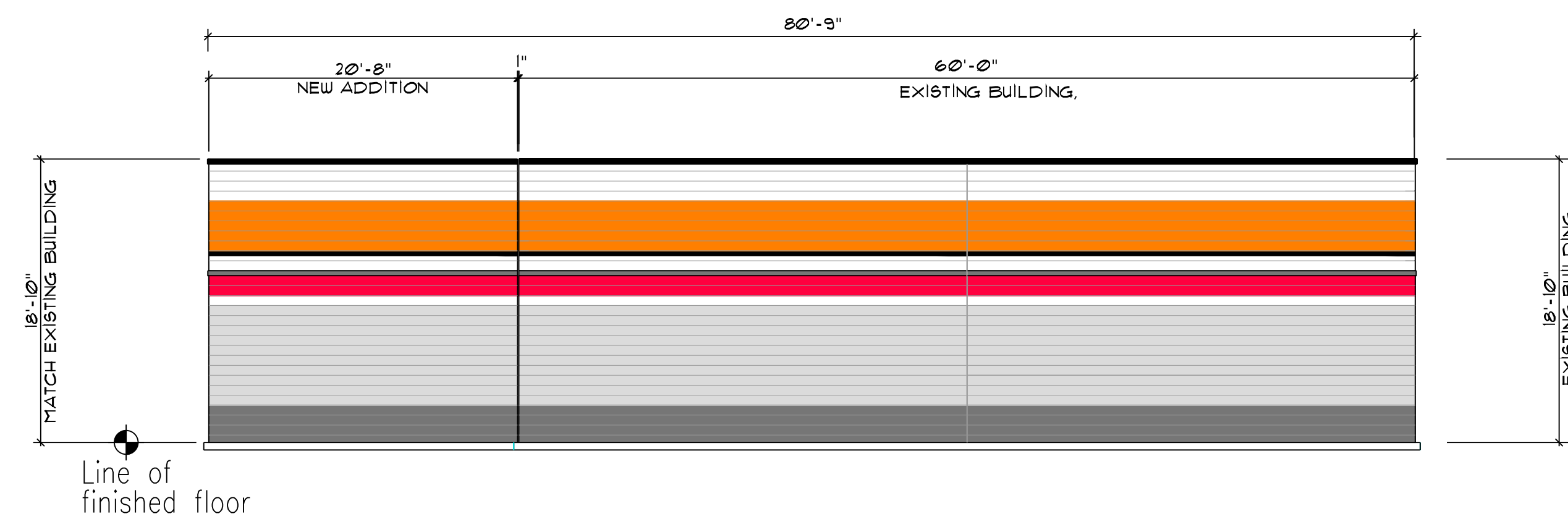
REV DATE 7/2/18  
REV-2

SHEET NO. C10F 6

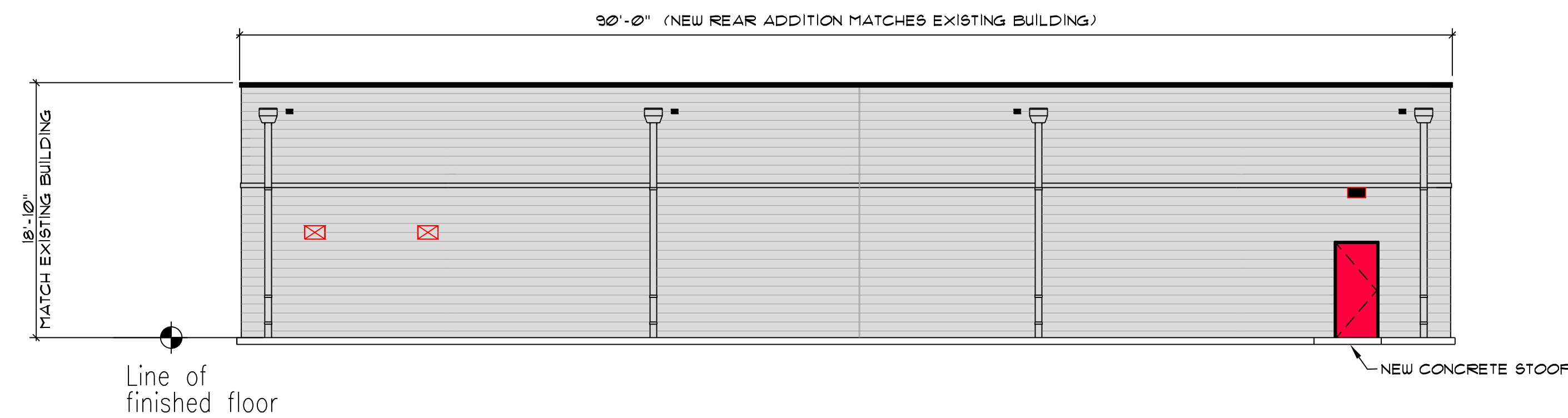
EXHIBIT B - DEVELOPMENT PLAN



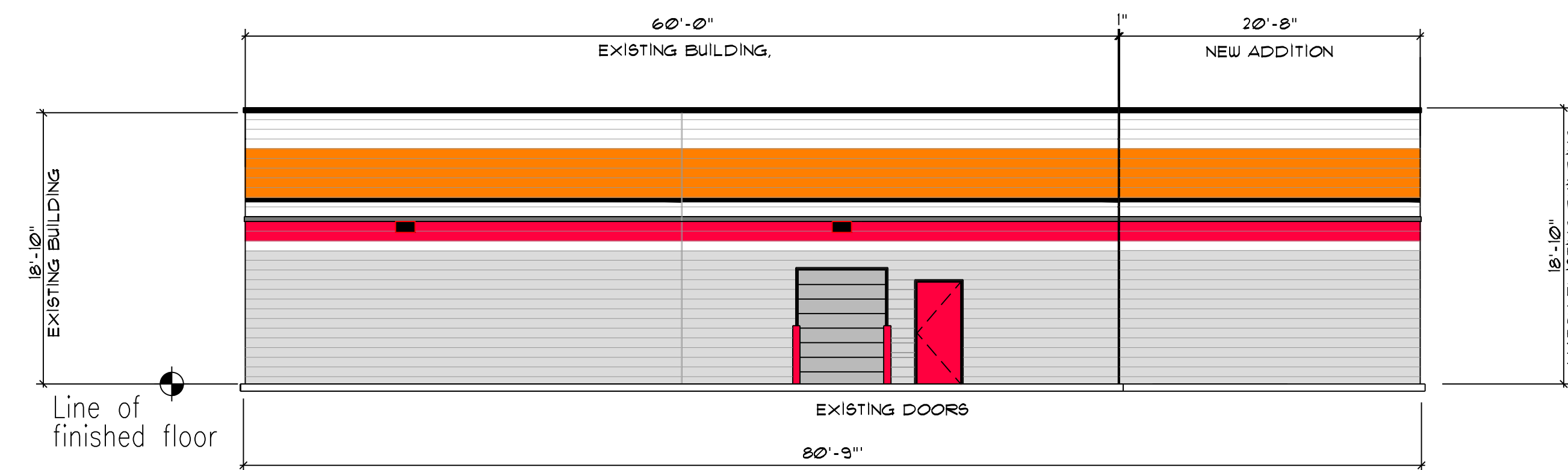
EXTERIOR ELEVATION - FACES EAST	1
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EXTERIOR ELEVATION - FACES SOUTH	2
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EXTERIOR ELEVATION -FACES WEST	3
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EXTERIOR ELEVATION - FACES NORTH	4
----------------------------------	---

FACADE MATERIAL AREAS

FRONT ( EAST ELEVATION)  
EXISTING SMOOTH FACE CMU= 1479 SQ FT  
PAINTED EIFS =300 SQ FT

LEFT SIDE ( SOUTH ELEVATION)  
EXISTING SMOOTH FACE CMU 1118 SQ FT EXISTING +  
NEW ADDITION SMOOTH FACE CMU 387 SQ FT=1505 TOTAL SQ FT

REAR ( WEST ELEVATION)  
NEW SMOOTH FACE CMU 1677 SQ FT EXISTING

RIGHT SIDE ( NORTH ELEVATION)  
EXISTING SMOOTH FACE CMU 1118 SQ FT EXISTING +  
NEW ADDITION SMOOTH FACE CMU 387 SQ FT=1505 TOTAL SQ FT

BUILDING OWNER  
AUTOZONE INC.  
123 SOUTH FRONT STREET  
MEMPHIS TN 38103

CONTACT: CAROLYN THAEMERT  
901-495-8994

ARCHITECT:  
GEORGE CALLOW  
LIC# 11924  
901-495-8705

ZONING CASE NUMBER: ZC#18-017

REVISIONS		
1	06-18-18 CHT	4
2	07-03-18 CHT	5
3	07-18-18 CHT	6

AutoZone Store No. 3133  
1597 N HWY 157

MANSFIELD TX 76063

Architect: GEORGE CALLOW  
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For Bidding & Contractor Information Contact:  
McGraw - Hill Construction Tel. 615-884-1017  
[www.construction.com](http://www.construction.com)

04-03-18

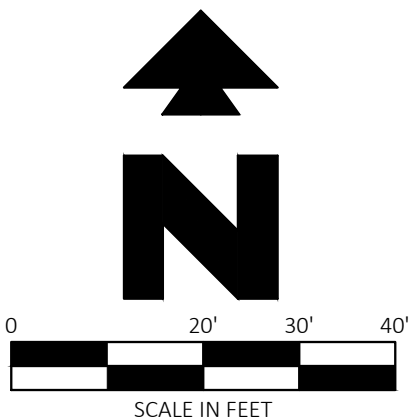
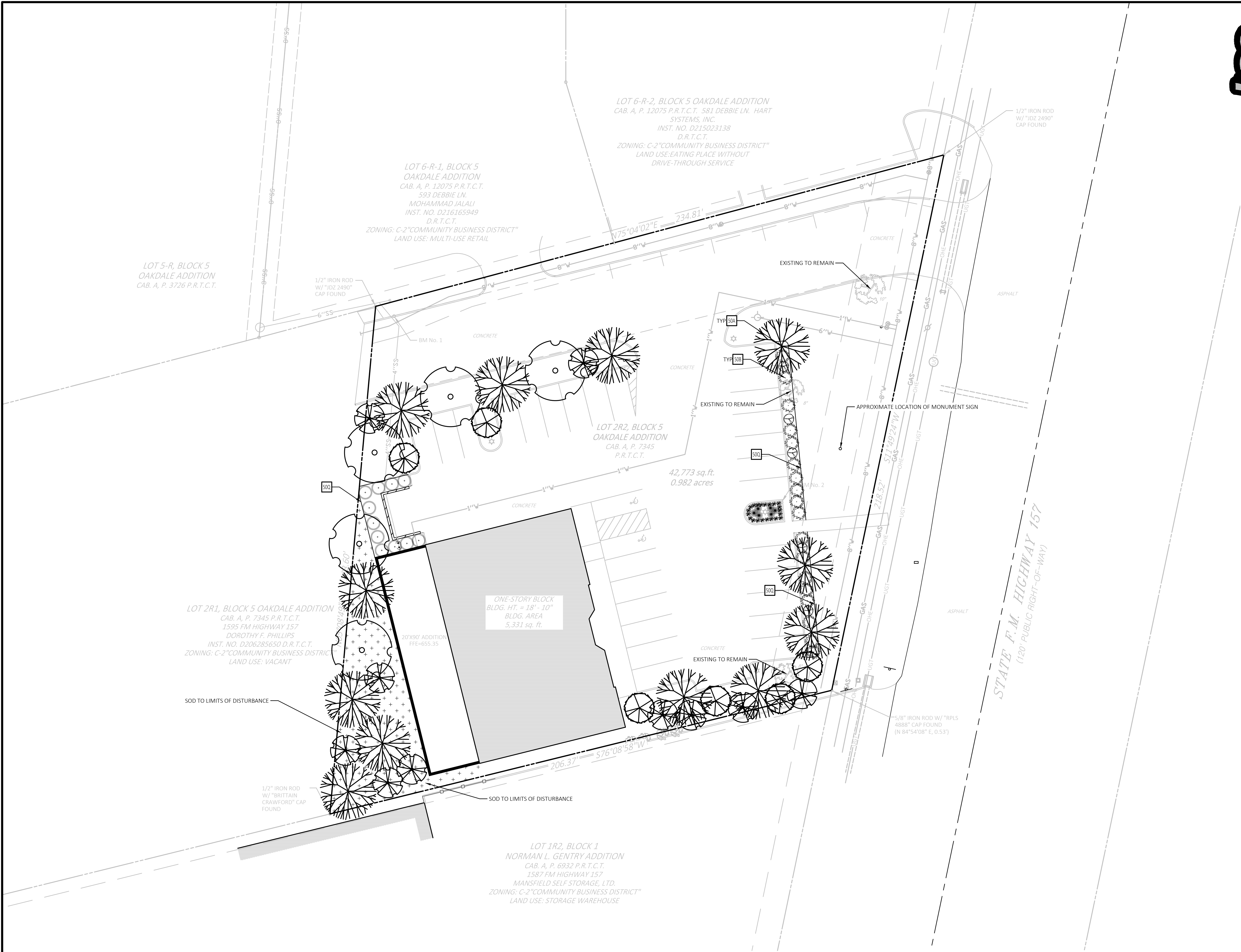
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**EXHIBIT C - ZC#18-017**



JOB # 30774 DRAWING: 30774 LP.dwg LAST SAVED BY: MPARKS LOCATION: P:\30000\30774\0 Drawings Design (Rev-1) 30774 LP.dwg



NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF  
PORCHES, PATIOS, VESTIBULES, SLOPED PAVING, TRUCK DOCKS, BUILDINGS,  
UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

#### PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- TYPICAL PLANTING WITH QUANTITY AND KEY  
(SEE PLANT LIST)

#### GENERAL NOTES

- REFER TO SHEET L3 FOR NOTES AND DETAILS.
- LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

#### DETAIL

- 50A TREE PLANTING
- 50B SHRUB PLANTING
- 50Q STEEL EDGING

#### LANDSCAPE REQUIREMENTS TABLE

AREA	REQUIREMENT	REQUIRED	PROVIDED
BUFFER YARD AND SCREENING	A MINIMUM 10 FOOT WIDE BUFFER YARD WITH ONE TREE PER 25 LF SHALL BE PROVIDED AROUND THE PERIMETER OF THE PROPERTY A 20' LANDSCAPE SET BACK SHALL BE PROVIDED ALONG ANY PUBLIC RIGHT-OF-WAY WITH 1 CANOPY TREE PER 40 LF	NORTH, WEST AND SOUTH SIDES: 688 LF / 25 = 28 TREES REQUIRED HIGHWAY 157: 207 / 40 = 5 TREES	28 TREES PROVIDED (25 NEW TREES/ 3 EXISTING TREES) 5 TREES PROVIDED
PARKING LOT PERIMETER	ALL VEHICLE USE AREAS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS BY A 3' HIGH ROW OF SHRUBS		PROVIDED
PARKING LOT INTERIOR	THERE SHALL BE 1 CANOPY TREE PER 10 PARKING SPACES A LANDSCAPE ISLAND SHALL BE LOCATED AT THE END OF EACH ROW OF PARKING AND SHALL CONTAIN 1 TREE	30 PARKING SPACES / 10 = 3 TREES REQUIRED	3 TREES PROVIDED PROVIDED

#### LANDSCAPE SCHEDULE

##### TREES

QTY.	COMMON NAME BOTANICAL NAME	ROOT	SIZE/HT. AT PLANTING	SPACING	NOTES
12	SHUMARD OAK QUERCUS SHUMARDII	B&B	3.5" CALIPER	SEE PLAN	
5	CHINESE PISTACHE Pistacia chinensis	B&B	3.5" CALIPER	SEE PLAN	
10	OKLAHOMA REDBUD Cercis canadensis var. texensis 'Oklahoma'	B&B	2" CALIPER	SEE PLAN	
6	AUTUMN BRILLIANCE SERVICEBERRY Amelanchier x grandiflora 'Autumn Brilliance'	B&B	2" CALIPER	SEE PLAN	

##### SHRUBS

QTY.	COMMON NAME BOTANICAL NAME	ROOT	SIZE/HT. AT PLANTING	SPACING	NOTES
11	NELLIE R STEVENS HOLLY ILEX x 'NELLIE R. STEVENS'	CONT.	5 GAL.	5' O.C.	
18	LYNN'S LEGACY CENIZO LEUCOPHYLLUM LANGMANIAE	CONT.	5 GAL.	48" O.C.	
5	PURPLE PIXIE DWARF LOROPETALUM LOROPETALUM CHINENSE 'PEACK'	CONT.	5 GAL.	36" O.C.	
21	MEXICAN FEATHER GRASS MASSIELLA TENISSIMA	CONT.	1 GAL.	24" O.C.	
6	REGAL MIST PINK MUHLY GRASS MUHLBERGIA CAPILLARIS 'LENCA'	CONT.	5 GAL.	36" O.C.	
	BERMUDA GRASS				SOLID SOD

PRELIMINARY  
NOT FOR CONSTRUCTION

THESE PLANS ARE ISSUED FOR THE PURPOSE OF  
REVIEW ONLY AND ARE NOT INTENDED FOR  
CONSTRUCTION PURPOSES.

ZC#18-017



6/19/18

BR347

30774	6/18/18	RHY	DMT	MMP	MMP
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
<b>CEI Engineering Associates, Inc.</b>					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3030 I-81 Freeway, Suite 100 Dallas, TX 75234					
(972) 488-3737 FAX (972) 488-6732					
<b>AUTOZONE NO. 3133</b>					
1597 N. 157 HWY. MANSFIELD TX					
<b>EXHIBIT D</b>				REV DATE 6/18/18 REV-1	SHEET NO. 1 OF 2



JOB # 30774 DRAWING: 30774 LP.dwg LAST SAVED BY: MPARKS LOCATION: P:\30000\30774\0 Drawings Design (Rev-1) 30774 LP.dwg

- GENERAL NOTES
1.

CONTRACTOR IS RESPONSIBLE FOR THE INSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
2.

CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
3.

CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
4.

QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
5.

IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
6.

ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
7.

CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
8.

ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
9.

THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
10.

COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
11.

IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
12.

ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
14.

WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
15.

ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
16.

IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
17.

THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
18.

ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 45% "YUKON", 45% "MAJESTIC", 10% CENTIPEDE (COATED) BY WEIGHT @ 3 LBS / 1000 SF.
19.

SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
20.

ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

- PLANTING NOTES
1.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
2.

FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
3.

LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2" FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
4.

ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
5.

TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
6.

ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
7.

TOPSOIL DEPTH SHALL BE AS FOLLOWS :  
PLANTER BEDS - 12" MINIMUM  
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
8.

BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
9.

THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
10.

ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
11.

FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
12.

ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
13.

ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
14.

ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
15.

IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
16.

PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
17.

CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
18.

ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
19.

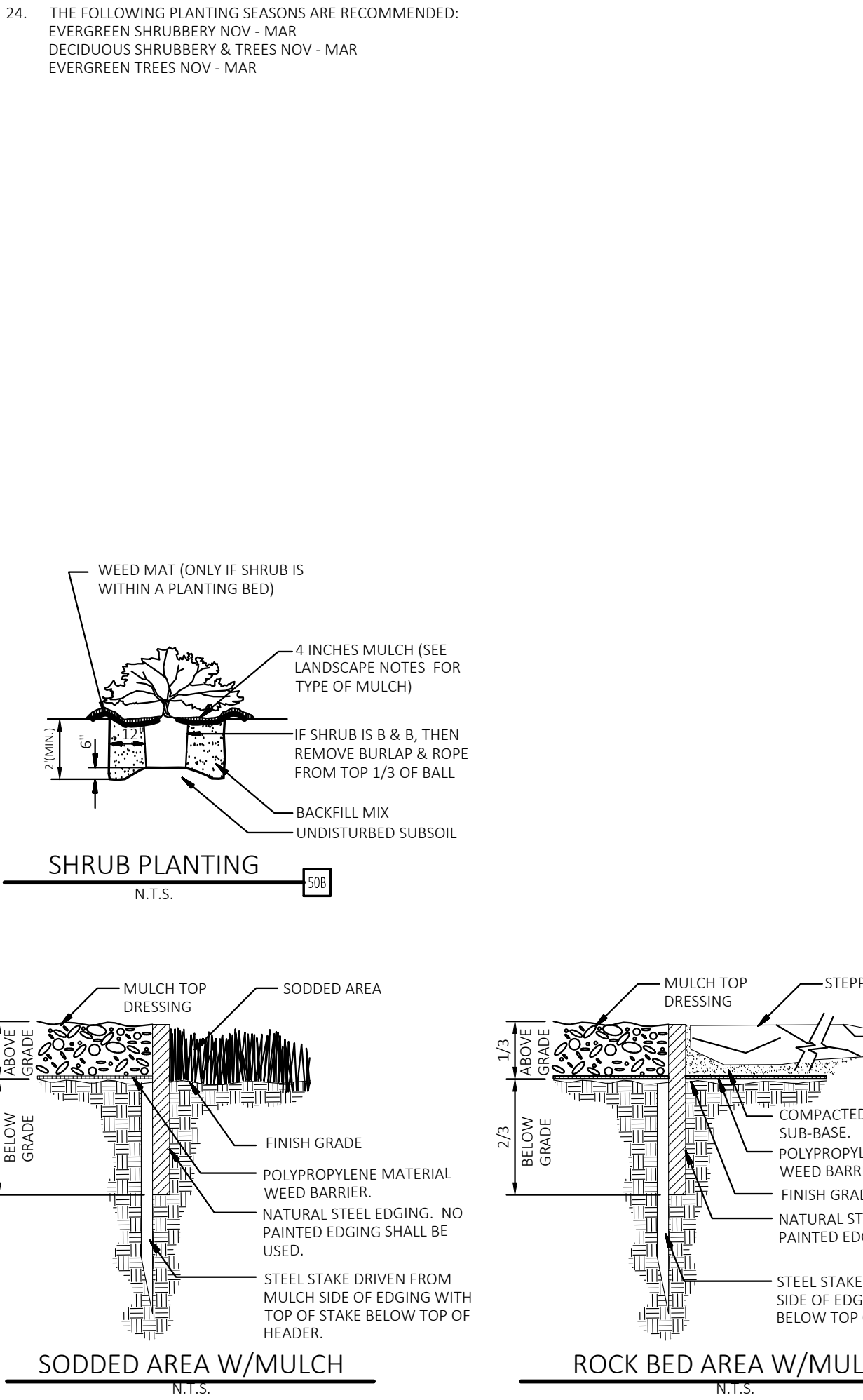
ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
20.

ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
21.

NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
22.

MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
23.

A FOUR INCH (4") TOP DRESSING/MULCHING OF SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SING SHED TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.



- SOLID SOD NOTES
1.

ADJUST FINE GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
2.

ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1 1/2" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
3.

CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
4.

IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES; CONTAINING NO SALT AND BE BLACK TO BROWN IN COLOR.
5.

ALL LAWN AREAS TO BE FINE GRADED, SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO SOD INSTALLATION.
6.

ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, CONSTRUCTION WASTE, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7.

PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
8.

ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
9.

FERTILIZE ALL SOD AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
10.

WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
11.

IF SOD IS INSTALLED ON SLOPES OF 3:1 OR GREATER, SOD SHALL BE STAKED TO AVOID SLIPPING OR SLIDING APART. STAKING OR STAPLES SHALL BE INSTALLED FLUSH AS TO NOT CREATE A MAINTENANCE ISSUE WITH CARE EQUIPMENT.
12.

CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITIONS.
13.

CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
14.

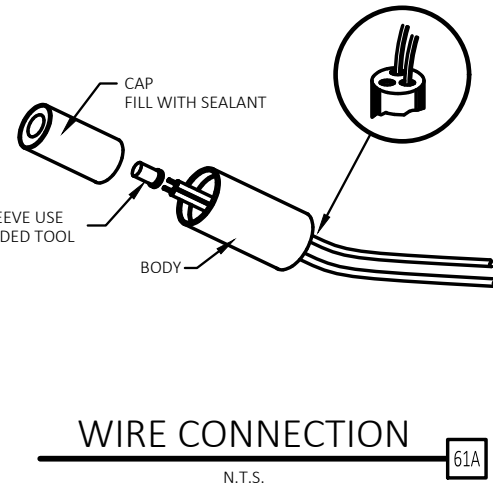
IF INSTALLATION OCCURS BETWEEN NOVEMBER AND MARCH ALL SOD AREAS TO BE OVER-SEEDED WITH ANNUAL RYEGRASS

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

- A. GUARANTEE:  
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE: WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- B. REPLACEMENT:  
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- C. MAINTENANCE:  
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

1. APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR HERBICIDES APPLICATION REQUIREMENTS.
2. IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE
3. NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
4. CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.



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