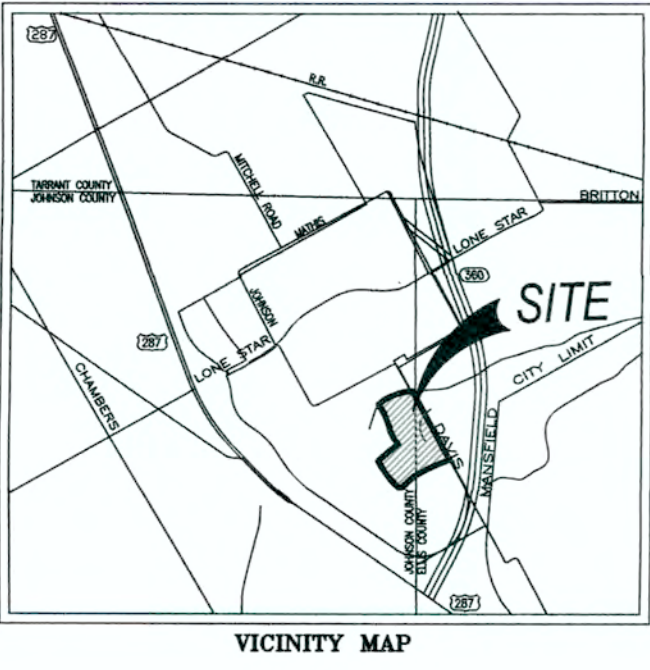




LEGEND

- COTTAGE 50'x115'
- VILLAGE 65'x120'
- MANOR 75'x120'
- PARK / OPEN SPACE
- PHASE LINE

Residential Product Summary (Phases 4, 5, 7, 8A & 8B)							
Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density	
4	Cottage	50' x 110'	90	50.6%	36.45	3.0 units/ac.	
	Village	65' x 115'	55	30.9%			
	Manor	75' x 120'	33	18.5%			
	Park / Open Space						
	Other						
5	Cottage	50' x 110'	48	41.4%	23.93	2.5 units/ac.	
	Village	65' x 115'	44	37.9%			
	Manor	75' x 120'	24	20.7%			
	Park / Open Space						
	Other						
7	Cottage	50' x 110'	37	20.6%	37.44	3.0 units/ac.	
	Village	65' x 115'	106	58.9%			
	Manor	75' x 120'	37	20.6%			
	Park / Open Space						
	Other						
8A	Cottage	50' x 110'	39	31.5%	25.62	3.0 units/ac.	
	Village	65' x 115'	57	46.0%			
	Manor	75' x 120'	28	22.6%			
	Park / Open Space						
	Other						
8B	Cottage	50' x 110'	48	51.6%	17.32	3.0 units/ac.	
	Village	65' x 115'	25	26.9%			
	Manor	75' x 120'	20	21.5%			
	Park / Open Space						
	Other						
Overall	Cottage	50' x 110'	262	37.9%	123.44	3.0 units/ac.	
	Village	65' x 115'	287	41.5%			
	Manor	75' x 120'	142	20.5%			
	Park / Open Space						
	Other						
Sub-Total			691	100.0%	206.54		

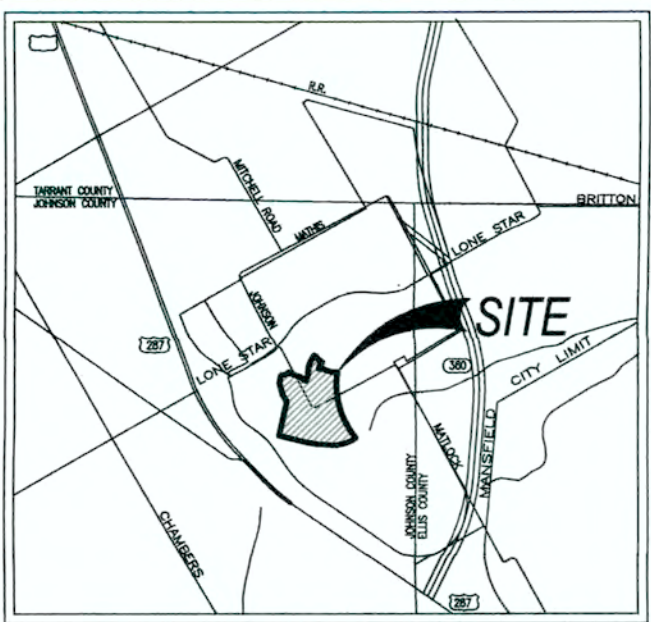
Note: Overall Phases do not include gas well acreages and city parks.

OWNER / DEVELOPER
RUBY-07-SP-MTGE, LLC
NORTH ROCK REAL ESTATE, LLC
8723 WEAVER ROAD, SUITE 108
ROCKFORD, IL 61114
CONTACT: DAVID BRANCH
(815) 387-3183
davidbranch@rockove.com

ENGINEER/SURVEYOR
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
602 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76010 (817) 464-0335
TXPE FIRM F-119178PLS FIRM 101538-00
CONTACT: BRIAN M. AVIRETT, P.E.
(817) 640-6335
bavirett@grahamcivil.com

MASTER PLAN
Southpointe

PREPARED: 9/5/2018

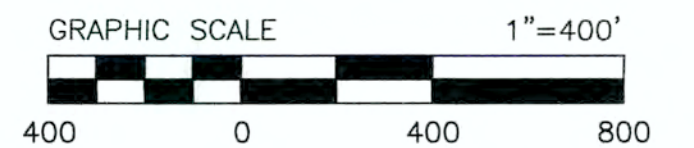


VICINITY MAP



LEGEND

- DA-100-48 FOUR LANE DIVIDED ARTERIAL (100' R.O.W.)
- A-80-42 TWO-WAY AVENUE w/PARKING (80' R.O.W.)
- MINOR COLLECTOR (70' R.O.W.)
- LOCAL COLLECTOR (60' R.O.W.)
- * DIVIDED ENTRY



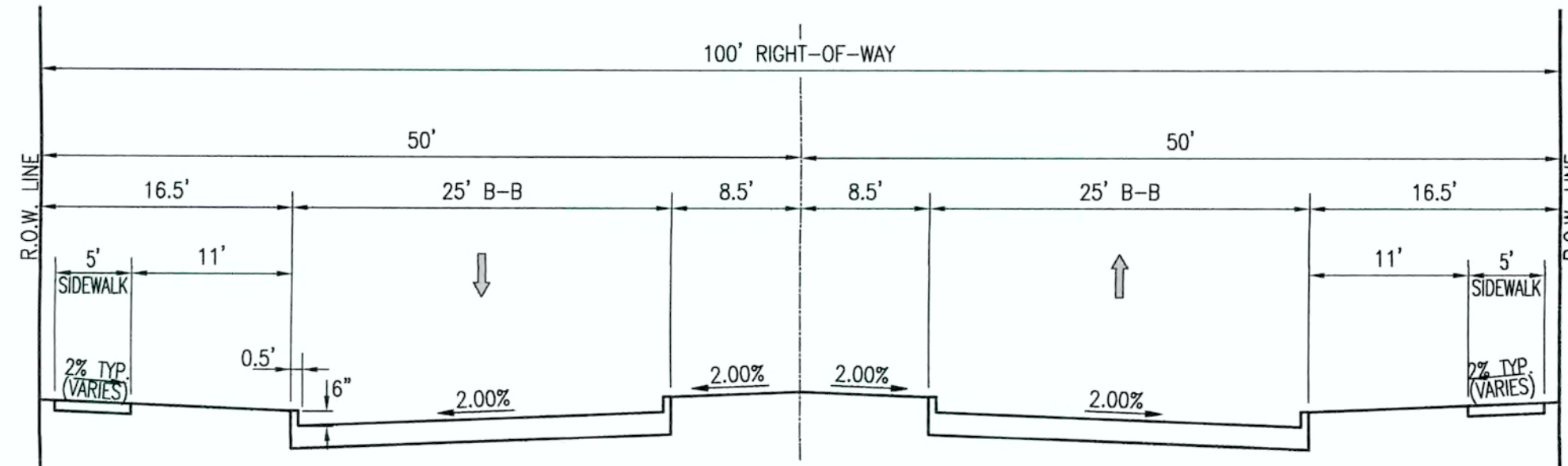
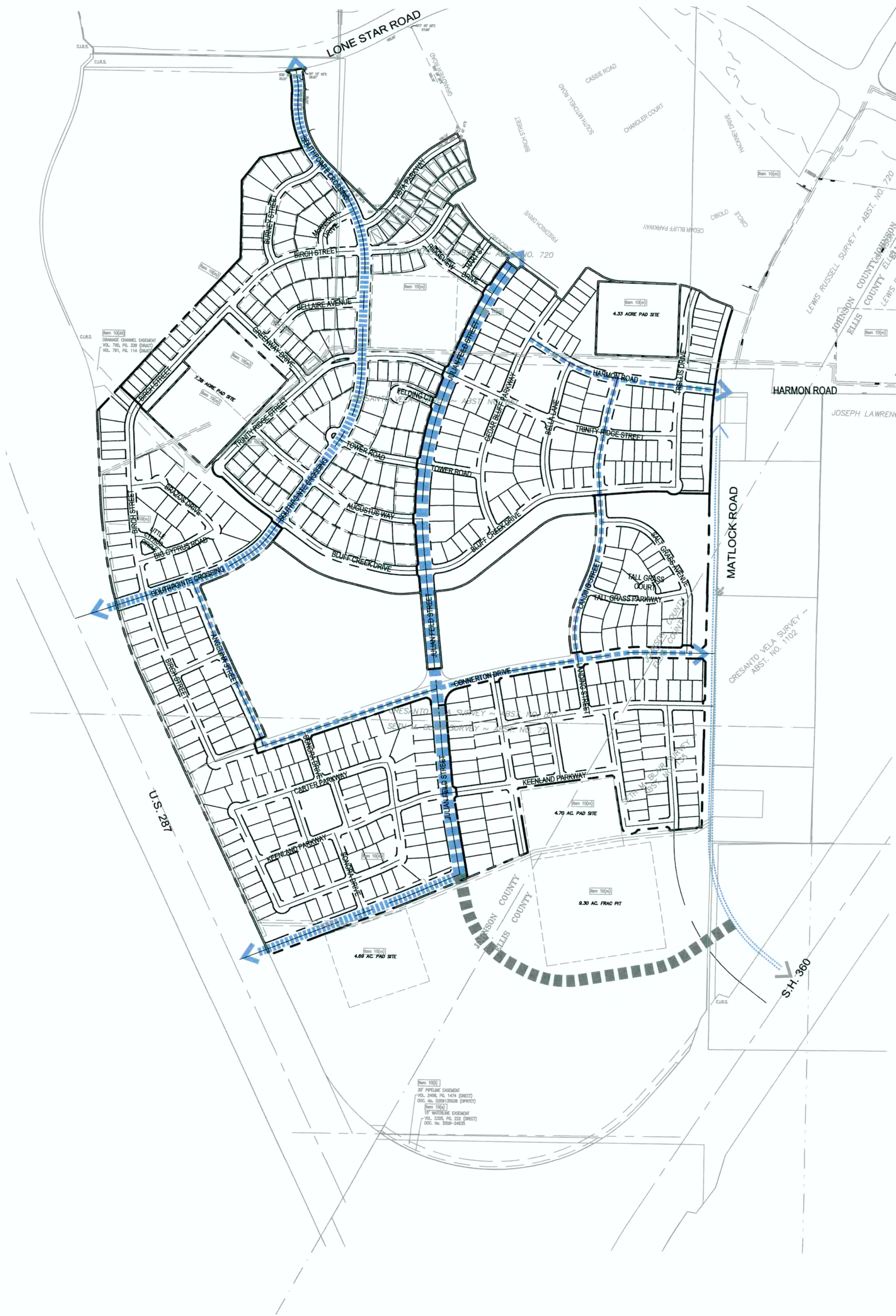
TRAFFIC CIRCULATION PLAN

Southpointe Phase

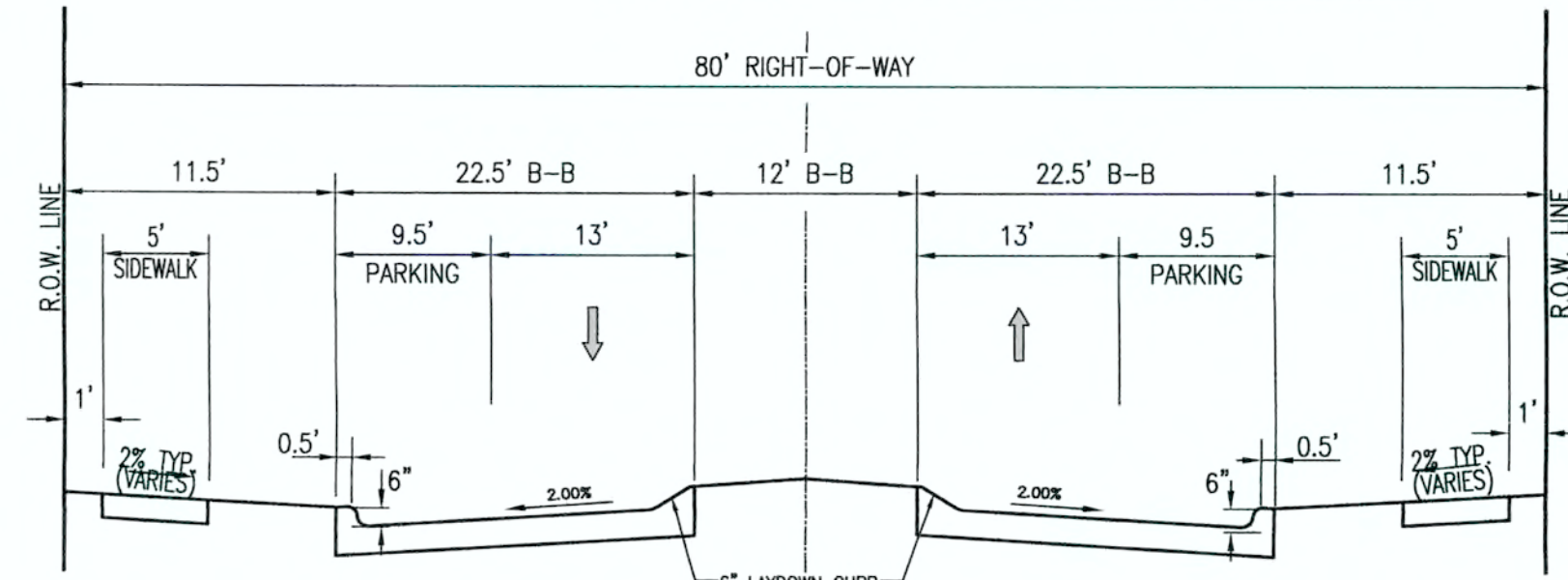
BEING 77.48 ACRES OUT OF THE L. RUSSEL SURVEY, ABSTRACT 720 AND THE CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

PREPARED 9/5/2018
118 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

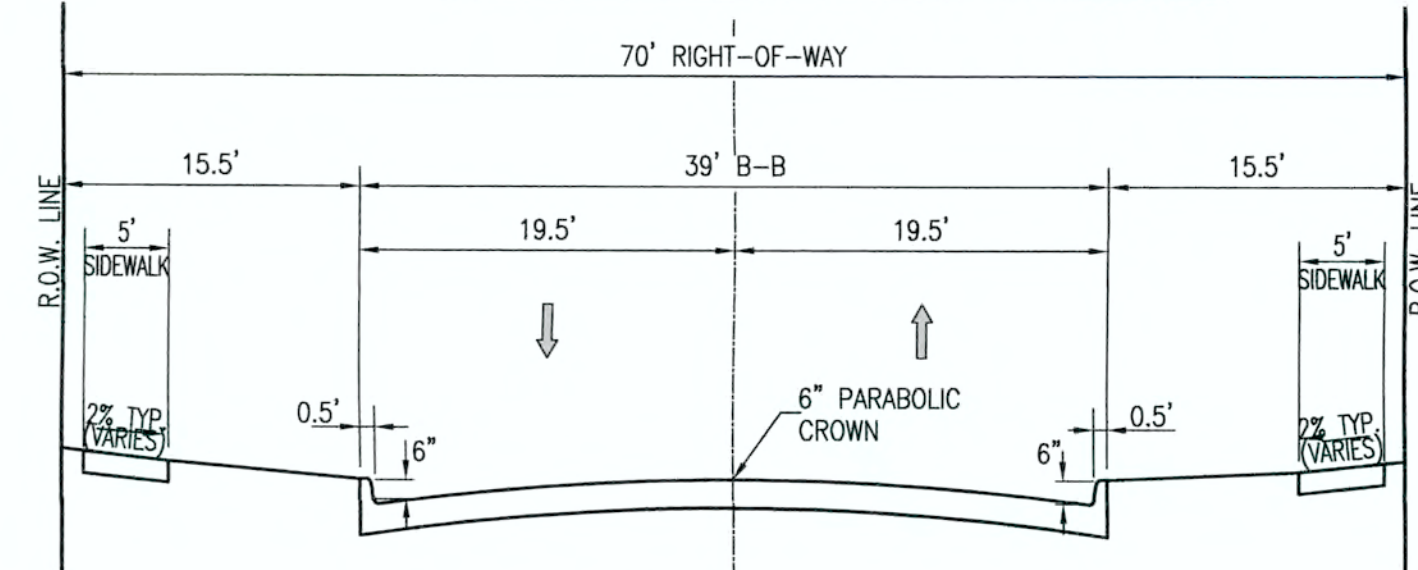
OWNER / DEVELOPER:
RUBY-07-SP-MTGE, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH



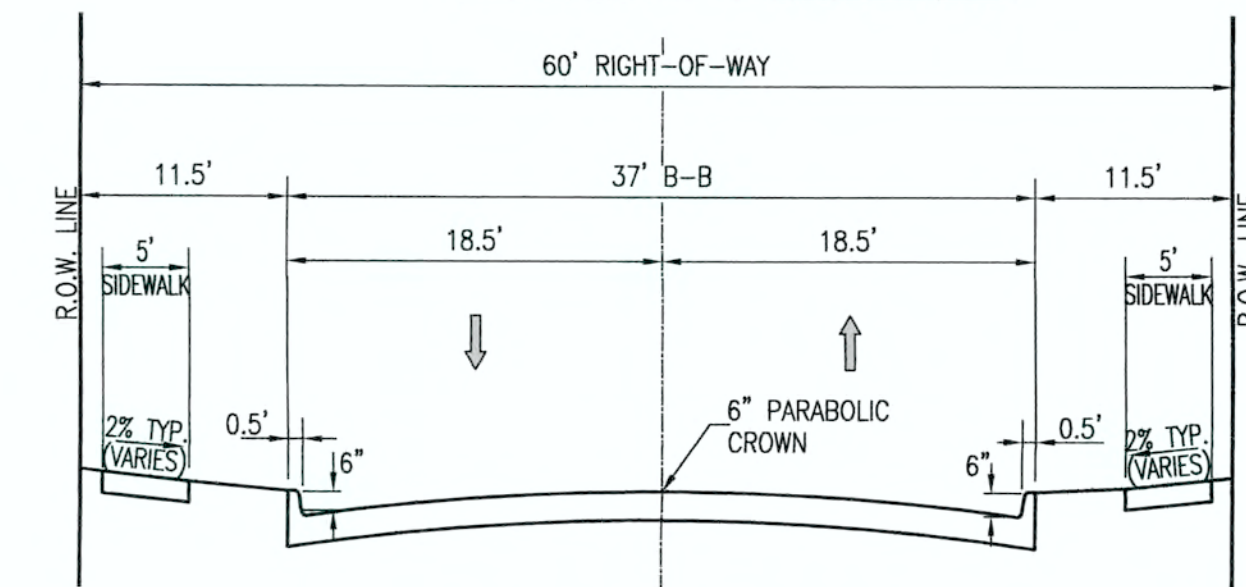
DA-100-48 FOUR LANE DIVIDED ARTERIAL



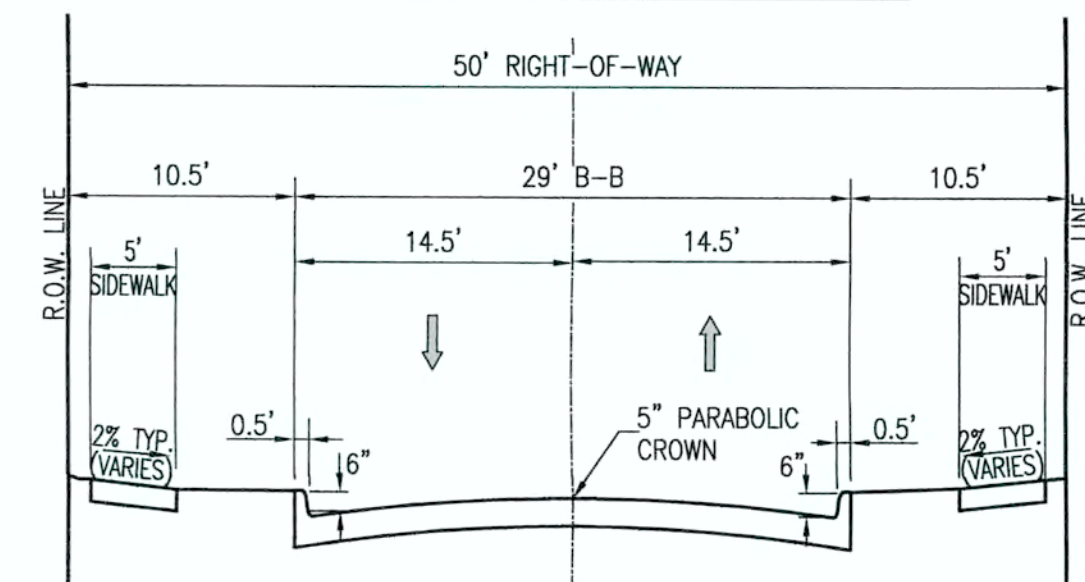
A-80-42 TWO-WAY AVENUE w/PARKING



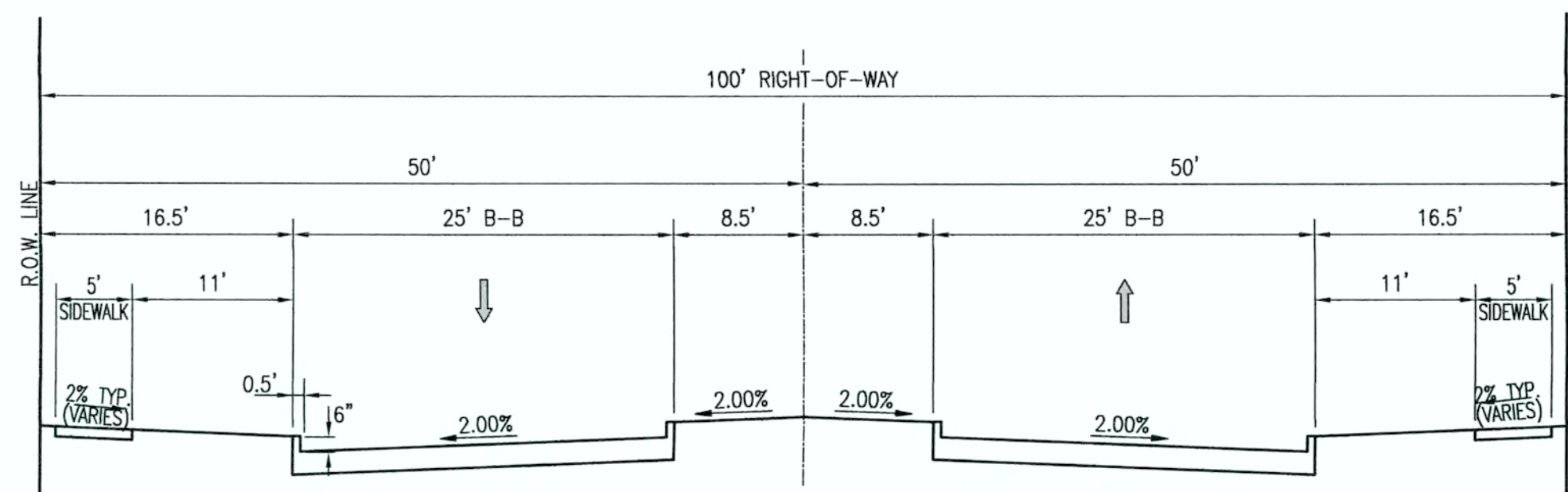
C3U-70 MINOR COLLECTOR



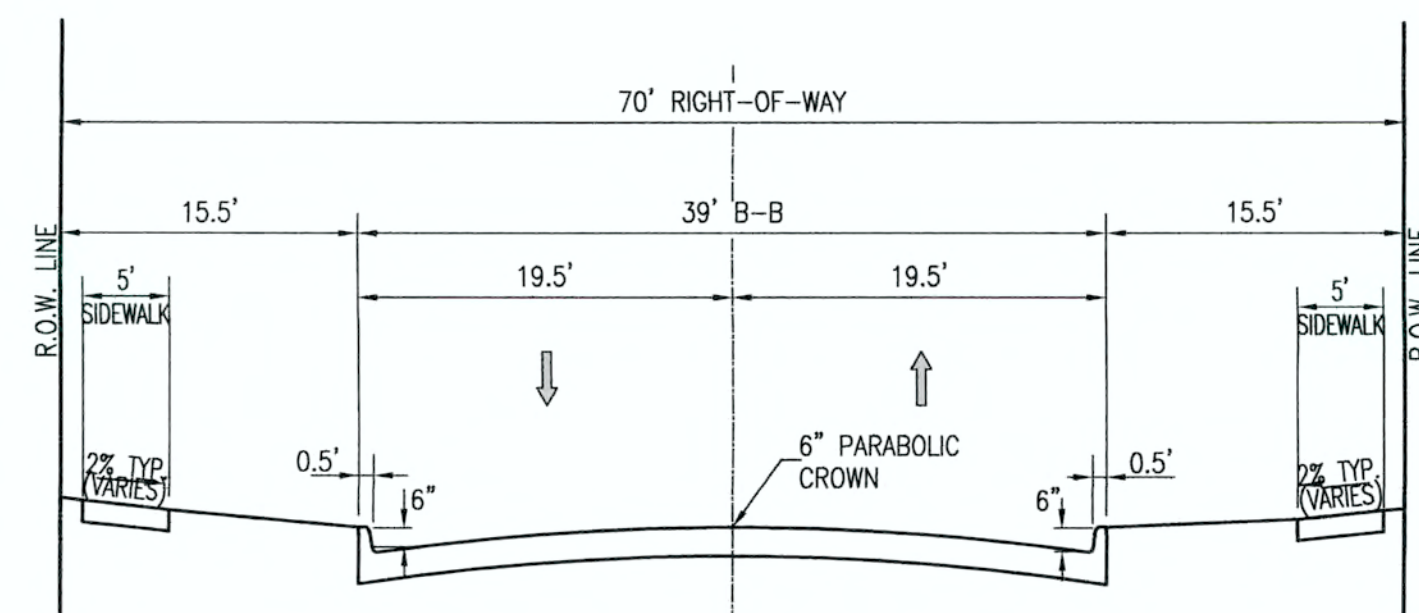
C2U LOCAL COLLECTOR



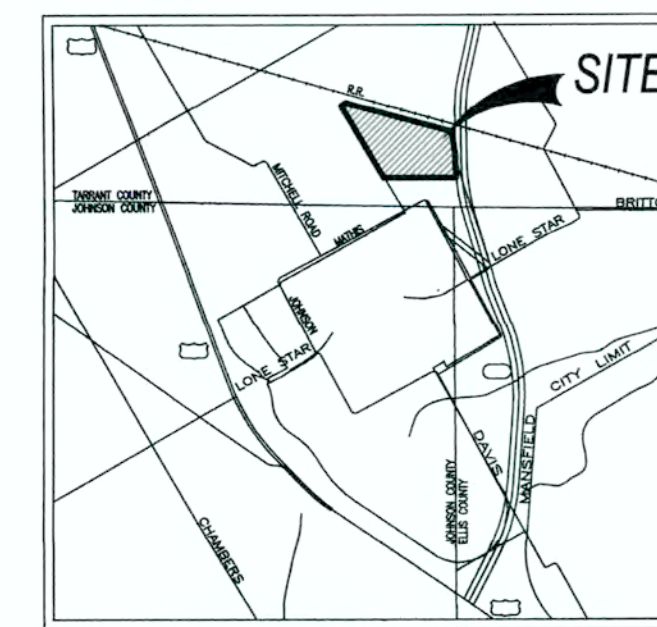
RES2U LOCAL RESIDENTIAL
TYPICAL SECTIONS
N.T.S.



DA-100-48 FOUR LANE DIVIDED ARTERIAL



C3U-70 MINOR COLLECTOR

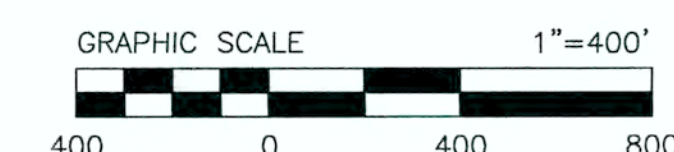
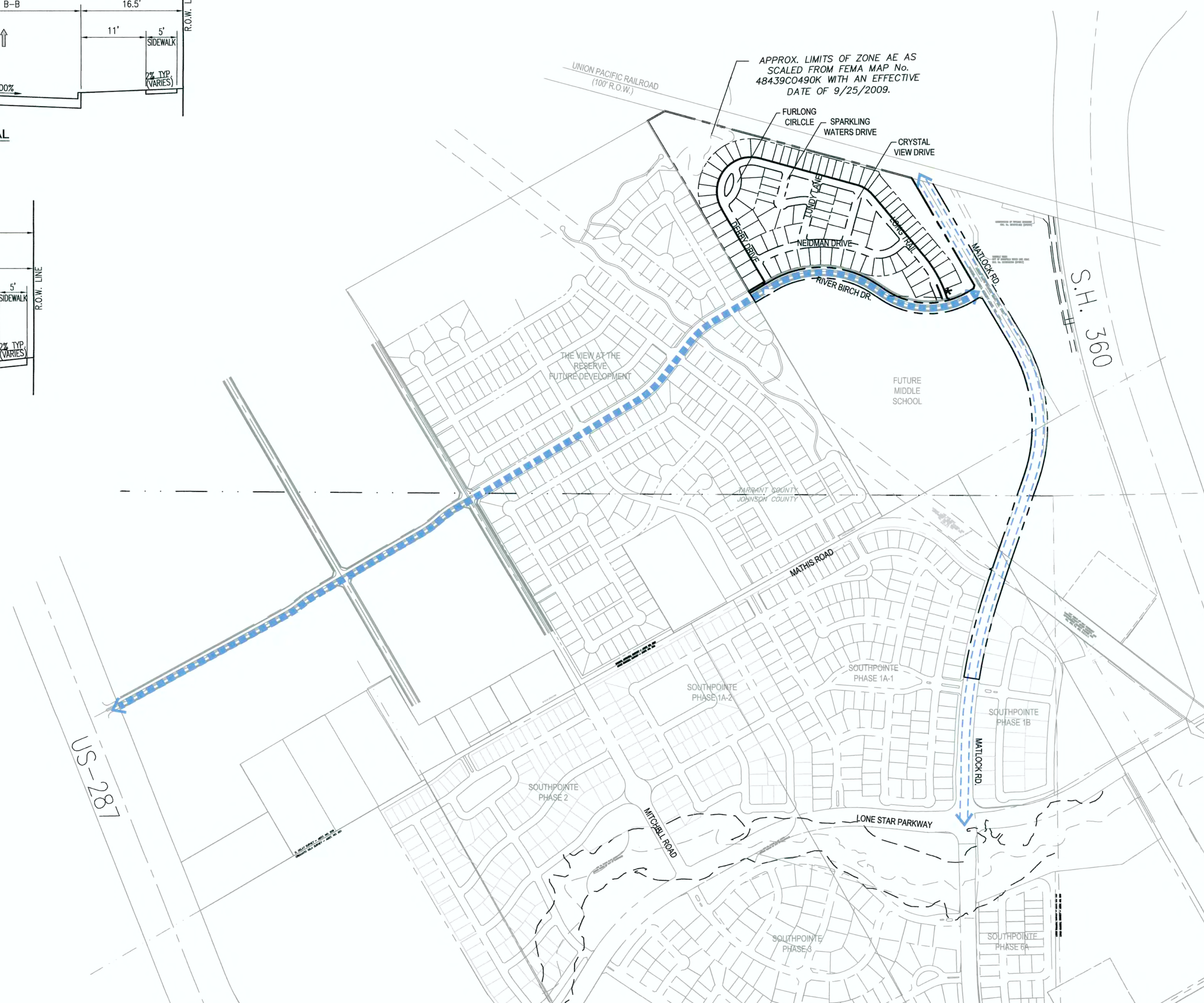


LEGEND

DA-100-48 FOUR LANE DIVIDED ARTERIAL (100' R.O.W.)

C3U-70 MINOR COLLECTOR (70' R.O.W.)

★ DIVIDED ENTRY



TRAFFIC CIRCULATION PLAN

Southpointe Phase 8B

BEING 31.46 ACRES OUT OF THE
L. RUSSELL SURVEY, ABSTRACT 720 AND THE
CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

PREPARED 9/5/2018
93 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

ENGINEER/SURVEYOR:
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8535
TYPE FIRM: F-1191(TBPLS) FIRM: 101538-00
CONTACT: BRIAN M. AVIRETT, P.E.
(817) 640-8535
bavirett@grahamcivil.com

OWNER / DEVELOPER:
IPRR SOUTHPOINTE-8B, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH

RESIDENTIAL PRODUCT SUMMARY						
Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density
4	Cottage	50' x 110'	90	50.6%	36.45	3.0 units/ac.
	Village	65' x 115'	55	30.9%		
	Manor	75' x 120'	33	18.5%		
	Park / Open Space					
	Other				6.54	
	Sub-Total		178	100.0%	59.04	

Note: Overall Phases do not include gas well acreages and city parks.

PROJECT DENSITY
178 LOTS/59.04 ACRES = 3.01 LOTS/ACRE

NOTES:

- A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALLS, INCLUDING PARKWAY BETWEEN THE SCREENING WALL AND THE STREET; THE OPEN SPACE LOTS; AND THE ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIANS, MONUMENTS, SUBDIVISION SIGNS, LANDSCAPING, AND ANY AMENITY WITHIN THE RIGHTS-OF-WAY.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MAXIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION. ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

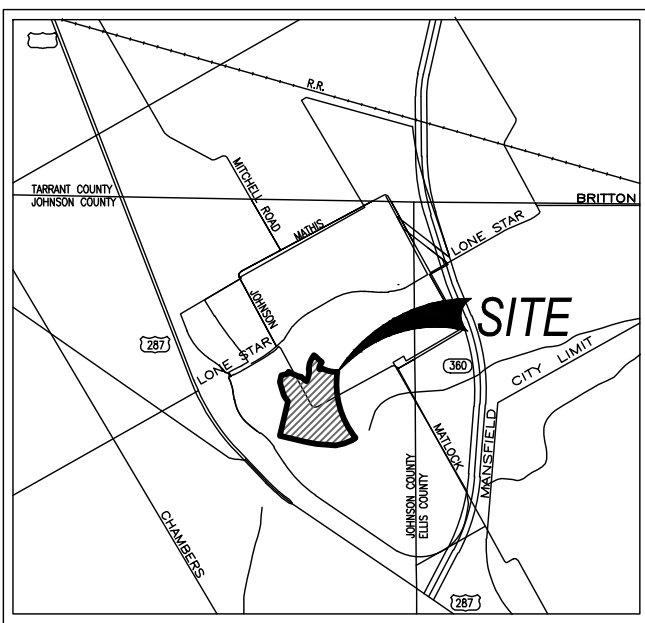
LOTS 1-19, BLOCK 1; LOTS 1-6, 17 AND 18, BLOCK 5; LOTS 1-7, 11 AND 12, BLOCK 6; LOTS 2-16, BLOCK 7; LOTS 1-2, 6-12, BLOCK 8; ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

NOTES:

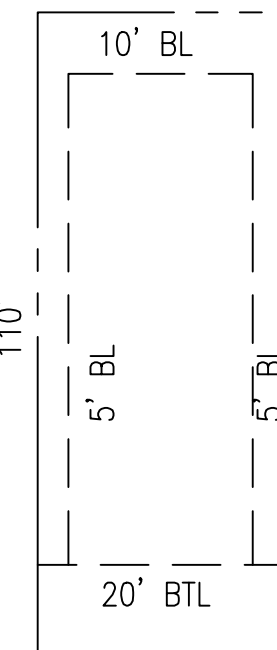
- ALL X LOTS WITHIN EACH BLOCK ARE NON-BUILDABLE LOTS, WITH THE EXCEPTION OF LOT 1X, BLOCK 31.
- NO TREES, FENCES, WALL OR ANYTHING OVER 2' IN HEIGHT IS ALLOWABLE IN VISIBILITY EASEMENT.
- SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
- LOT 1X/BLOCK 2, BLOCK 4, BLOCK 15, BLOCK 16, BLOCK 17, BLOCK 18, BLOCK 19, BLOCK 20, LOT 12X/BLOCK 6, LOT 22X/BLOCK 9, LOT 15X/BLOCK 11, AND LOT 6X/BLOCK 10 ARE DESIGNATED AS OPEN SPACE.

BEARING BASIS NOTES:

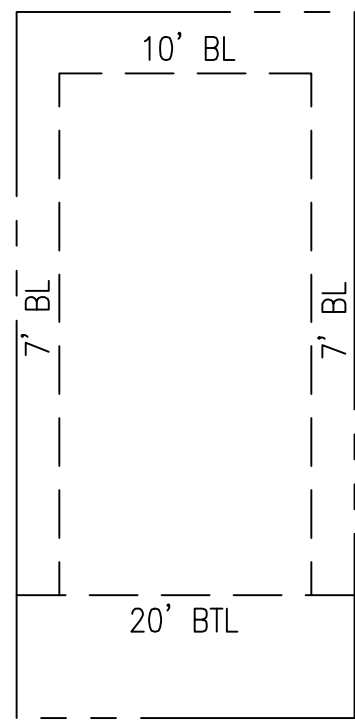
- THE BEARING BASIS FOR THE SURVEY HEREON WAS TAKEN FROM THE GRID BEARINGS REFERENCED IN THE CITY OF MANSFIELD HORIZONTAL AND VERTICAL CONTROL MANUAL, WHICH IS BASED UPON THE GRID BEARINGS FOR THE TEXAS STATE PLANE COORDINATE SYSTEM. (NAD 83) (2011)
- SCALE FACTOR OF 0.9999113748 TO ADJUST TO GRID.



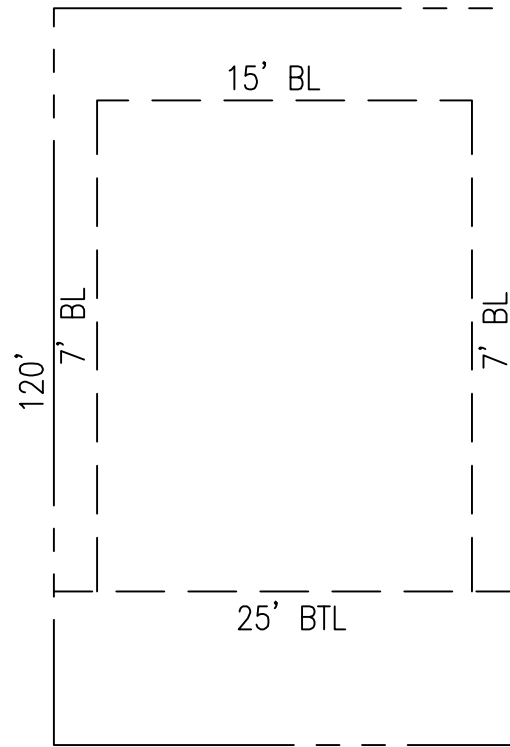
VICINITY MAP



TYPE 'C'
COTTAGE LOTS



TYPE 'B'
VILLAGE LOTS



TYPE 'A'
MANOR LOTS

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	1° 44' 44"	200.00'	3.05'	6.09'	N6° 01' 19"E	6.09'
C-2	29° 57' 00"	520.00'	139.09'	271.82'	N43° 24' 46"W	268.73'
C-3	11° 29' 51"	440.00'	44.30'	88.29'	N34° 11' 12"W	88.15'
C-4	4° 18' 44"	1460.00'	54.97'	109.88'	N50° 13' 45"E	109.86'
C-5	11° 29' 51"	510.00'	51.34'	102.34'	S34° 11' 12"E	102.17'
C-6	47° 22' 38"	450.00'	197.43'	372.10'	S52° 07' 35"E	361.59'
C-7	13° 17' 58"	450.00'	52.46'	104.45'	N7° 32' 07"E	104.22'
C-8	27° 42' 05"	510.00'	125.75'	246.57'	N14° 44' 12"E	244.18'
C-9	16° 40' 25"	270.00'	39.57'	78.57'	S51° 50' 12"E	78.30'
C-10	27° 02' 39"	230.00'	55.31'	108.56'	S15° 03' 54"W	107.56'
C-11	4° 46' 50"	180.00'	7.51'	15.02'	N3° 56' 00"E	15.01'
C-12	22° 43' 30"	825.00'	165.79'	327.22'	S72° 53' 44"E	325.08'
C-13	3° 29' 28"	2000.00'	60.95'	121.86'	S3° 59' 47"W	121.84'
C-14	5° 45' 38"	2000.54'	100.65'	201.14'	S2° 38' 10"E	201.05'
C-15	0° 29' 32"	2000.00'	8.59'	17.19'	S5° 45' 48"E	17.19'
C-16	3° 18' 15"	2000.00'	57.68'	115.34'	S9° 39' 50"E	115.32'
C-17	8° 00' 08"	2000.00'	139.89'	279.33'	S17° 19' 54"E	279.10'
C-18	6° 52' 07"	2000.00'	120.03'	239.76'	S26° 46' 24"E	239.62'
C-19	3° 46' 00"	2000.00'	65.76'	131.48'	S34° 05' 47"E	131.46'
C-20	19° 35' 04"	330.00'	56.95'	112.80'	S63° 48' 45"W	112.25'
C-21	22° 09' 52"	630.00'	123.40'	243.71'	S84° 41' 12"W	242.19'
C-22	2° 57' 09"	510.00'	13.14'	26.28'	N7° 14' 43"E	26.28'
C-23	6° 34' 54"	775.00'	44.56'	89.03'	N80° 56' 25"W	88.98'
C-24	124° 09' 05"	50.00'	94.34'	108.34'	N61° 08' 48"W	88.36'

DETAILED SITE PLAN
Southpointe Phase 4

BEING 59.04 ACRES OUT OF THE
L. RUSSELL SURVEY, ABSTRACT 720
AND THE CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS
PREPARED 9/18/2018
178 RESIDENTIAL LOTS
10 OPEN SPACE LOTS

LEGEND

● DESIGNATES LOTS WITH DEVIATION FROM P.D.

Lot	Block	Description of Deviation
8 thru 15	1	Cottage Lot Frontage Deviation
10 thru 12	6	Exception to BTL due to exist. Easement
18 thru 21	9	Cottage Lot Frontage Deviation
1 thru 4	14	Cottage Lot Frontage Deviation



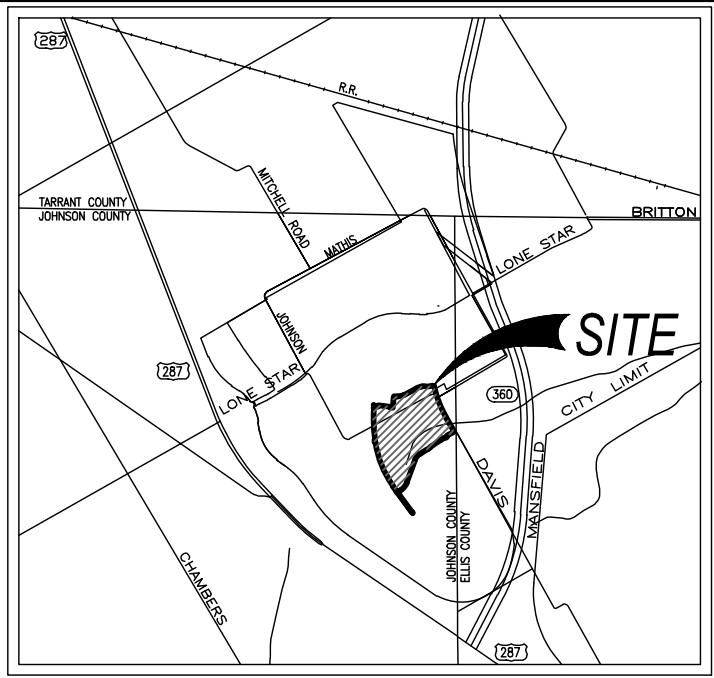
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 SIX PLAZAS DRIVE, SUITE 500
ARLINGTON, TEXAS 76010 (817) 640-8535
TYPE FIRM: F-11917BPLS.FRM; 101538-00

CONTACT: BRIAN M. AVIRETT, P.E.
(817) 640-8535
bavirett@grahamcivil.com

OWNER / DEVELOPER:
IPRR SOUTHPOINTE-4, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH
davidbranch@nrockre.com

NOTES:

- A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALLS, INCLUDING PARKWAY BETWEEN THE SCREENING WALL AND THE STREET; THE OPEN SPACE LOTS; AND THE ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIANS, MONUMENTS, SUBDIVISION SIGNS, LANDSCAPING, AND ANY AMENITY WITHIN THE RIGHTS-OF-WAY.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MAXIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.



VICINITY MAP

RESIDENTIAL PRODUCT SUMMARY

Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density
5	Cottage	50' x 110'	48	41.4%	23.93	2.5 units/ac.
	Village	65' x 115'	44	37.9%		
	Manor	75' x 120'	24	20.7%		
	Park / Open Space					
	Other				8.05	
Sub-Total			116	100.0%	45.70	

PROJECT DENSITY

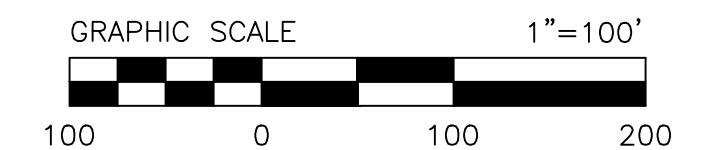
116 LOTS/45.70 ACRES = 2.54 LOTS/ACRE

LOTS 1 AND 2, BLOCK 1; LOTS 2-10, BLOCK 4; LOTS 1 AND 2 AND 5-7, BLOCK 7; LOTS 1-9, BLOCK 9; LOTS 1-8, BLOCK 11; AND LOTS 1 AND 2, BLOCK 12, ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

LEGEND

● DESIGNATES LOTS WITH DEVIATION FROM P.D.

Lot	Block	Description of Deviation
1 thru 6	11	Cottage Lot Frontage Deviation



DETAILED SITE PLAN
Southpointe Phase 5

BEING 45.70 ACRES OUT OF THE
L. RUSSELL SURVEY, ABSTRACT 720 AND THE
CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS
PREPARED 9/18/2018
116 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

ENGINEER/SURVEYOR:

Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
808 S. KILPATRICK DRIVE, SUITE 100
ARLINGTON, TEXAS 76011 (817) 640-8535
TXPE FIRM: F-11917BPLS FIRM: 101538-00
CONTACT: BRIAN M. AVIRETT, P.E.
(817) 640-8535
bavirett@grahamcivil.com

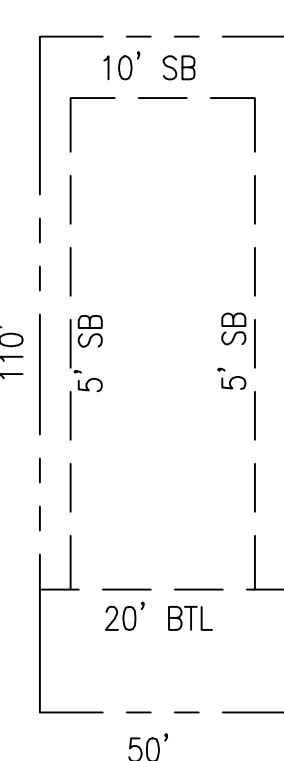
OWNER / DEVELOPER:

IPRR SOUTHPOINTE-5, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH
davidbranch@nrockre.com

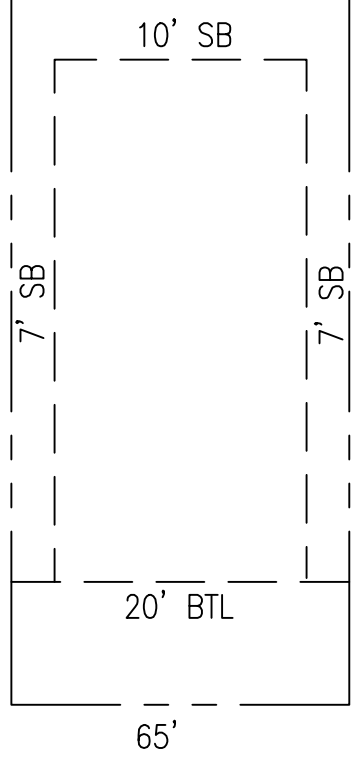
NOTES:

- ALL X LOTS WITHIN EACH BLOCK ARE NON-BUILDABLE LOTS.
- NO TREES, FENCES, WALL OR ANYTHING OVER 2' IN HEIGHT IS ALLOWABLE IN VISIBILITY EASEMENT.
- SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAWS.
- LOT 8X/BLOCK 1, LOT 1X/BLOCK 4, LOT 1X/BLOCK 5, LOT 9X/BLOCK 11, LOT 9X/BLOCK 12 AND LOT 1X/BLOCK 13 ARE DESIGNATED AS OPEN SPACE.

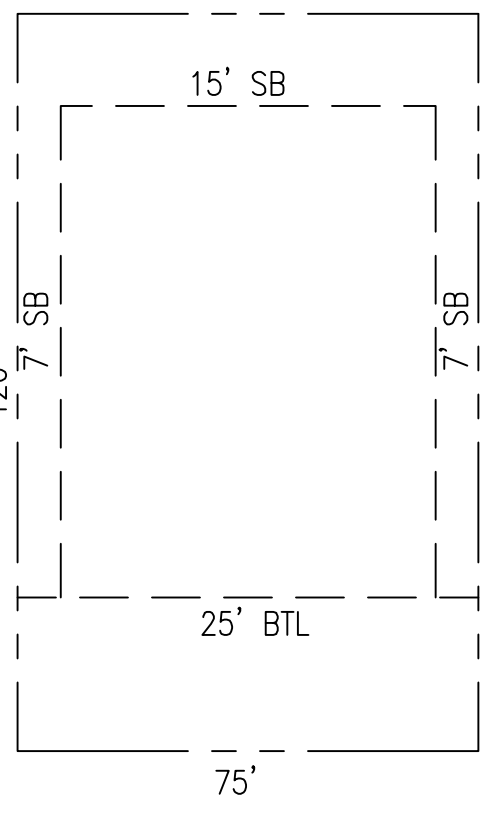
CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	77° 21' 41"	50.00'	40.03'	67.51'	S67° 06' 22"W	62.50'
C-2	5° 15' 42"	725.00'	33.31'	66.58'	S57° 34' 59"W	66.56'
C-3	34° 12' 24"	295.00'	90.77'	176.12'	S37° 50' 56"W	173.52'
C-4	33° 16' 29"	330.00'	98.61'	191.65'	S37° 22' 58"W	188.97'
C-5	8° 50' 28"	140.00'	10.82'	21.60'	N31° 33' 32"W	21.58'
C-6	3° 46' 00"	2000.00'	65.76'	131.48'	N34° 05' 47"W	131.46'
C-7	6° 52' 07"	2000.00'	120.03'	239.76'	N26° 46' 24"W	239.62'
C-8	8° 00' 10"	2000.00'	139.90'	279.35'	N17° 19' 55"W	279.12'
C-9	3° 18' 15"	2000.00'	57.68'	115.34'	N9° 39' 50"W	115.32'
C-10	5° 45' 44"	2000.00'	100.65'	201.14'	N2° 38' 10"W	201.05'
C-11	3° 29' 28"	2000.00'	60.95'	121.86'	N3° 59' 47"E	121.84'
C-12	30° 39' 30"	250.00'	68.53'	133.77'	N77° 15' 27"E	132.18'
C-13	3° 15' 10"	375.00'	10.65'	21.29'	N63° 33' 17"E	21.29'
C-14	11° 20' 37"	375.00'	37.24'	74.24'	N74° 42' 32"E	74.12'
C-15	17° 41' 24"	2250.00'	350.13'	694.69'	S20° 56' 28"E	691.93'
C-16	1° 27' 09"	950.00'	12.04'	24.08'	S29° 05' 17"E	24.08'
C-17	0° 22' 58"	1050.00'	3.51'	7.01'	S28° 31' 30"E	7.01'



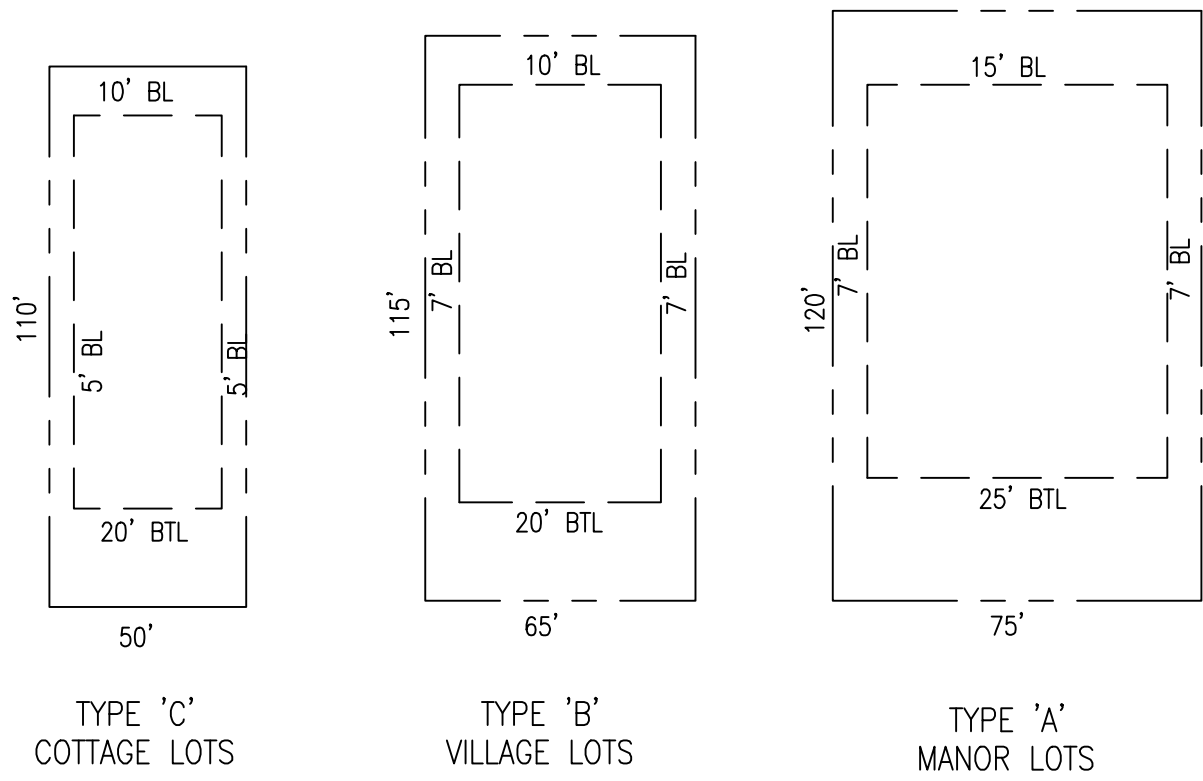
TYPE 'C'
COTTAGE LOTS



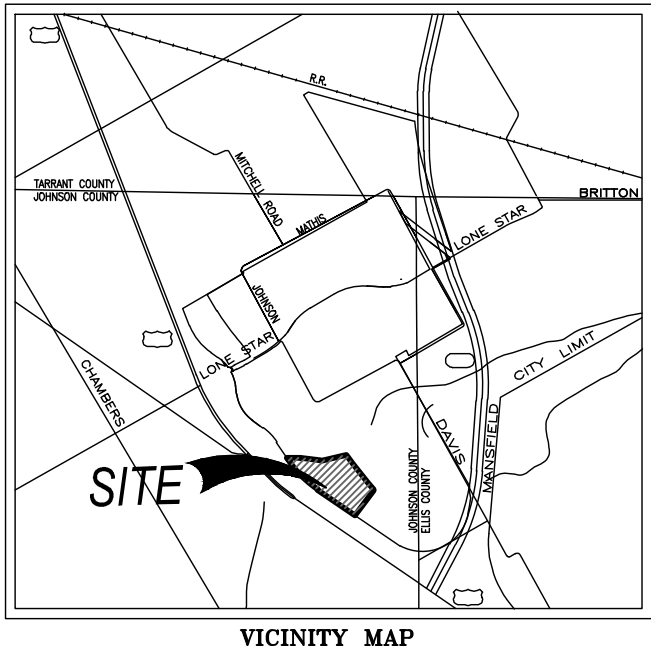
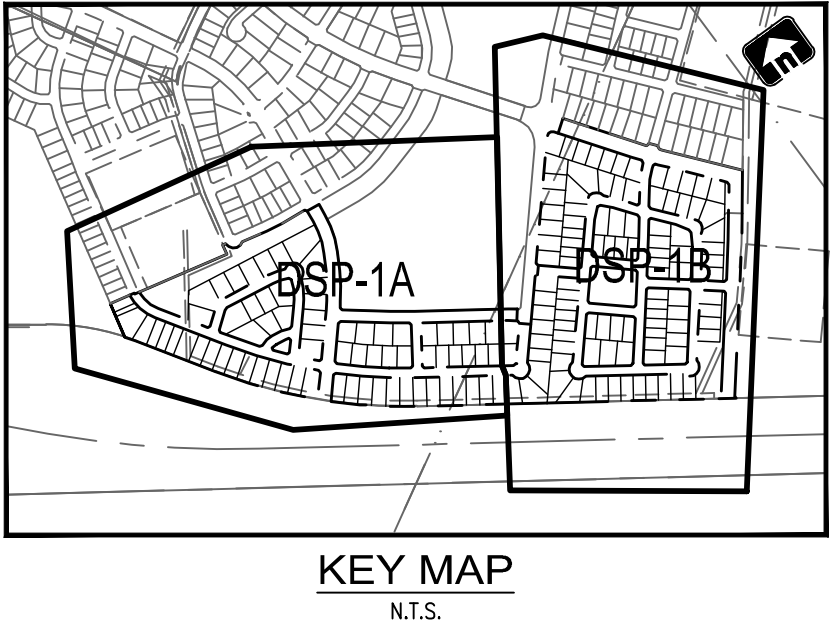
TYPE 'B'
VILLAGE LOTS



TYPE 'A'
MANOR LOTS



LOTS 1-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-8, BLOCK 3; LOTS 40 AND 41, 43-46, BLOCK 6; LOT 1-6 AND 13 AND 14, BLOCK 11; LOTS 6-8, BLOCK 12; AND LOTS 8-12, BLOCK 13, ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.



RESIDENTIAL PRODUCT SUMMARY

Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density
7	Cottage	50' x 110'	37	20.6%	37.44	3.0 units/ac.
	Village	65' x 115'	106	58.9%		
	Manor	75' x 120'	37	20.6%		
	Park / Open Space					
	Other					
Sub-Total			180	100.0%	60.45	

PROJECT DENSITY
180 LOTS/60.45 ACRES = 2.98 LOTS/ACRE

180 RESIDENTIAL LOTS
6 OPEN SPACE LOTS
60.45 ACRES

NOTES:

- ALL X LOTS WITHIN EACH BLOCK ARE NON-BUILDABLE LOTS.
- NO TREES, FENCES, WALL OR ANYTHING OVER 2' IN HEIGHT IS ALLOWABLE IN VISIBILITY EASEMENT.
- SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
- LOTS 2X & 8X/BLOCK 1, LOT 1X/BLOCK 14, LOT 15X/BLOCK 3, LOT 42X/BLOCK 6, LOT 15X/BLOCK 11 AND 1X/BLOCK 9 ARE DESIGNATED AS OPEN SPACE.

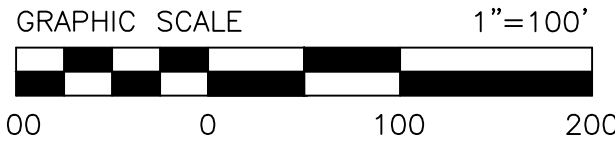
NOTES:

- A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALLS, INCLUDING PARKWAY BETWEEN THE SCREENING WALL AND THE STREET, THE OPEN SPACE LOTS; AND THE ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIANS, MONUMENTS, SUBDIVISION SIGNS, LANDSCAPING, AND ANY AMENITY WITHIN THE RIGHTS-OF-WAY.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MAXIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

LEGEND

● DESIGNATES LOTS WITH DEVIATION FROM P.D.

Lot	Block	Description of Deviation
1 thru 4	4	Cottage Lot Frontage Deviation



DETAILED SITE PLAN
Southpointe Phase 7

BEING 60.45 ACRES OUT OF THE
L. RUSSELL SURVEY, ABSTRACT 720
AND THE CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

PREPARED 9/18/2018
180 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

SHEET
DSP-7A

ENGINEER/SURVEYOR:



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 800
ARLINGTON, TEXAS 76011 (817) 640-8535
TXPE FIRM F-1191/TXPLS FIRM 101538-00

CONTACT: BRIAN M. AVIRETT, P.E.
(817)640-8535
bavirett@grahamcivil.com

OWNER / DEVELOPER:

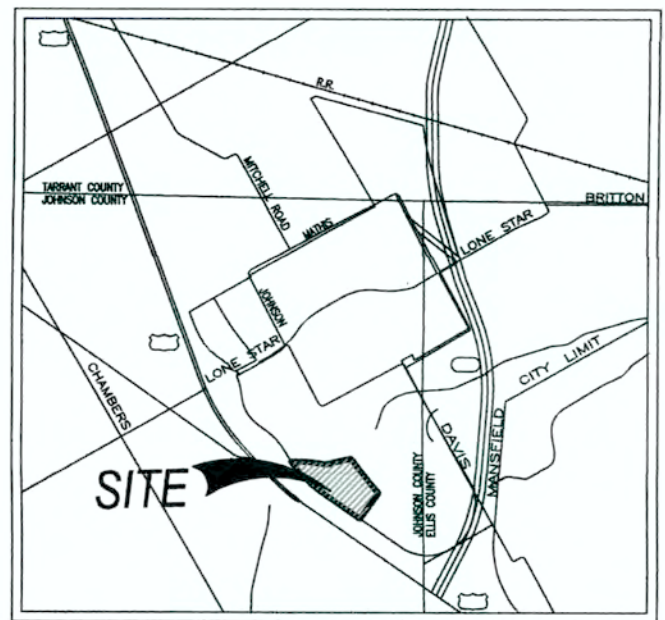
IPRR SOUTHPOINTE-7, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH
DAVIDBRANCH@NROCKRE.COM

CURVE TABLE					
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB
C-1	1° 44' 44"	200.00'	3.05'	6.09'	S6° 01' 19"W
C-2	124° 09' 05"	50.00'	94.34'	108.34'	S61° 08' 48"E
C-3	6° 34' 54"	775.00'	44.56'	89.03'	S80° 56' 25"E
C-4	22° 44' 39"	510.00'	102.58'	202.45'	S17° 08' 27"W
C-5	9° 04' 09"	510.00'	40.45'	80.73'	S33° 02' 52"W
C-6	3° 10' 44"	2229.79'	61.87'	123.71'	S54° 00' 25"E
C-7	4° 51' 33"	580.00'	24.61'	49.19'	S53° 10' 01"E
C-8	0° 56' 05"	4470.00'	36.47'	72.93'	N41° 20' 47"E
C-9	102° 12' 19"	25.40'	31.48'	45.31'	S87° 04' 57"E
C-10	1° 34' 10"	1960.00'	26.85'	53.69'	S36° 45' 52"E
C-11	0° 23' 38"	1960.00'	6.74'	13.48'	S39° 47' 35"E
C-12	22° 31' 40"	2724.79'	542.68'	1071.34'	N44° 21' 14"W
C-13	2° 50' 47"	1285.92'	31.95'	63.88'	N34° 30' 51"W

Parcel Line Table		
LINE #	LENGTH	DIRECTION
L1	60.05'	S39° 17' 27"W
L2	3.89'	S50° 26' 07"E
L3	13.67'	S6° 00' 14"E
L4	4.20'	S40° 52' 44"W
L5	14.14'	N85° 52' 44"E
L6	3.50'	S49° 07' 16"E
L7	50.00'	N40° 52' 44"E
L8	3.50'	N49° 07' 16"W
L9	14.14'	N4° 07' 16"W



KEY MAP
N.T.S.



VICINITY MAP

RESIDENTIAL PRODUCT SUMMARY						
Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density
7	Cottage	50' x 110'	37	20.6%	37.44	3.0 units/ac.
	Village	65' x 115'	106	58.9%		
	Manor	75' x 120'	37	20.6%		
	Park / Open Space					
	Other					
Sub-Total			180	100.0%	60.45	

PROJECT DENSITY
180 LOTS/60.45 ACRES = 2.98 LOTS/ACRE

180 RESIDENTIAL LOTS
6 OPEN SPACE LOTS
60.45 ACRES

NOTES:

- ALL X LOTS WITHIN EACH BLOCK ARE NON-BUILDABLE LOTS.
- NO TREES, FENCES, WALL OR ANYTHING OVER 2' IN HEIGHT IS ALLOWABLE IN VISIBILITY EASEMENT.
- SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
- LOTS 2X & 8X/BLOCK 1, LOT 1X/BLOCK 14, LOT 15X/BLOCK 3, LOT 42X/BLOCK 6, LOT 15X/BLOCK 11 AND 1X/BLOCK 9 ARE DESIGNATED AS OPEN SPACE.

LOTS 1-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-8, BLOCK 3;
LOTS 40 AND 41, 43-46, BLOCK 6; LOT 1-6 AND 13 AND 14,
BLOCK 11; LOTS 6-8, BLOCK 12; AND LOTS 8-12, BLOCK 13,
ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS
WELL DRILL SITE.

LEGEND

● DESIGNATES LOTS WITH DEVIATION FROM P.D.

Lot	Block	Description of Deviation
1 thru 4	4	Cottage Lot Frontage Deviation

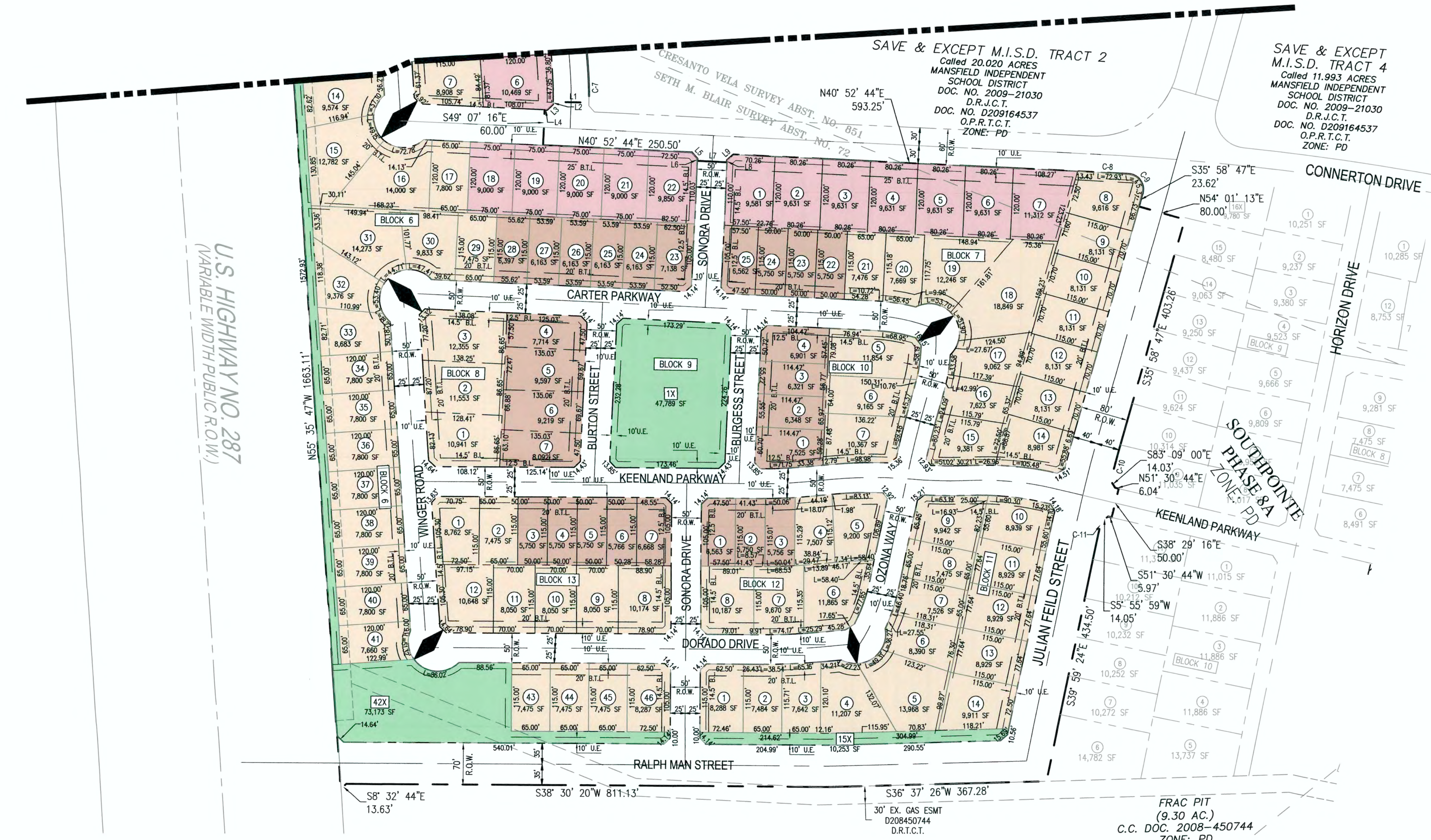


DETAILED SITE PLAN Southpointe Phase 7

BEING 60.45 ACRES OUT OF THE
L. RUSSELL SURVEY, ABSTRACT 720
AND THE CRESANTO VELA SURVEY, ABSTRACT 851
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

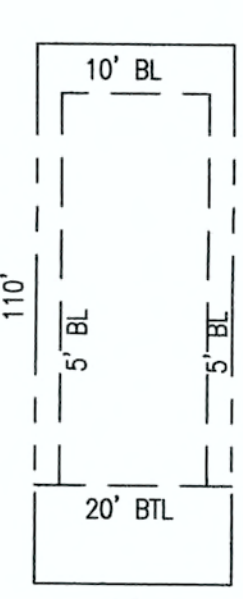
PREPARED 9/5/2018
180 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

SHEET
DSP-7B

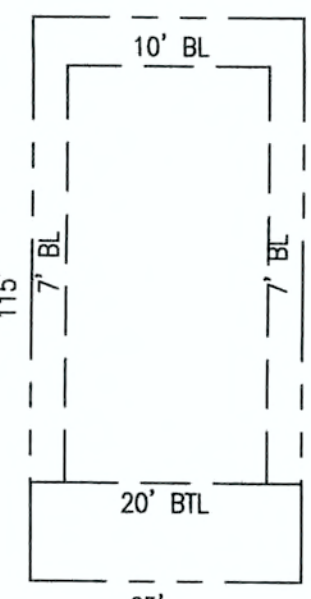


CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	1° 44' 44"	200.00'	3.05'	6.09'	S6° 01' 19"W	6.09'
C-2	124° 09' 05"	50.00'	94.34'	108.34'	S61° 08' 48"E	88.36'
C-3	6° 34' 54"	775.00'	44.56'	89.03'	S80° 56' 25"E	88.98'
C-4	22° 44' 39"	510.00'	102.58'	202.45'	S17° 08' 27"W	201.12'
C-5	9° 04' 09"	510.00'	40.45'	80.73'	S33° 02' 52"W	80.64'
C-6	3° 10' 44"	2229.79'	61.87'	123.71'	S54° 00' 25"E	123.70'
C-7	4° 51' 33"	580.00'	24.61'	49.19'	S53° 10' 01"E	49.17'
C-8	0° 56' 05"	4470.00'	36.47'	72.93'	N41° 20' 47"E	72.93'
C-9	102° 12' 19"	25.40'	31.48'	45.31'	S87° 04' 57"E	39.54'
C-10	1° 34' 10"	1960.00'	26.85'	53.69'	S36° 45' 52"E	53.69'
C-11	0° 23' 38"	1960.00'	6.74'	13.48'	S39° 47' 35"E	13.48'
C-12	22° 31' 40"	2724.79'	542.68'	1071.34'	N44° 21' 14"W	1064.45'
C-13	2° 50' 47"	1285.92'	31.95'	63.88'	N34° 30' 51"W	63.88'

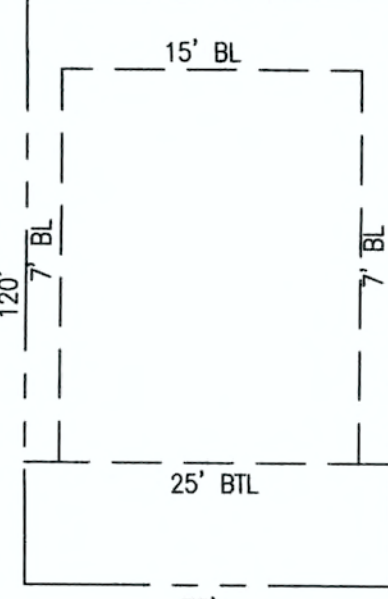
Parcel Line Table		
LINE #	LENGTH	DIRECTION
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L2	3.89'	S50° 26' 07"E
L3	13.67'	S6° 00' 14"E
L4	4.20'	S40° 52' 44"W
L5	14.14'	N85° 52' 44"E
L6	3.50'	S49° 07' 16"E
L7	50.00'	N40° 52' 44"E
L8	3.50'	N49° 07' 16"W
L9	14.14'	N4° 07' 16"W



TYPE 'C'
COTTAGE LOTS



TYPE 'B'
VILLAGE LOTS



TYPE 'A'
MANOR LOTS

ENGINEER/SURVEYOR:



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8835
TXPE FIRM: F-11917BPLS FIRM: 101536-00
CONTACT: BRIAN M. AVIRETT, P.E.
(817) 640-8535
bavirett@grahamcivil.com

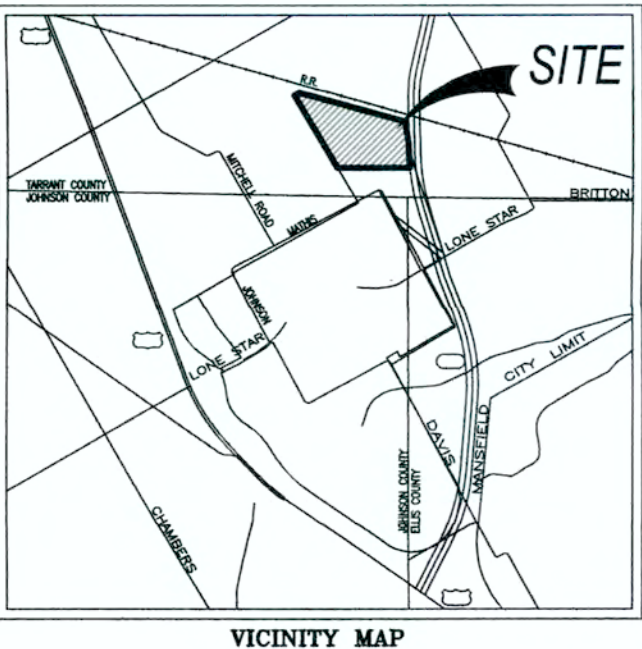
OWNER / DEVELOPER:

IPRR SOUTHPOINTE-7, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH
davidbranch@nrockre.com

RESIDENTIAL PRODUCT SUMMARY

Phase	Type	Lot Size	Units	% of Sub-Total	Acreage	Density
8B	Cottage	50' x 110'	48	51.6%	17.32	3.0 units/ac.
	Village	65' x 115'	25	26.9%		
	Manor	75' x 120'	20	21.5%		
	Park / Open Space				8.19	
	Other				5.95	
Sub-Total			93	100.0%	31.46	

PROJECT DENSITY
93 LOTS/31.46 ACRES = 2.96 LOTS/ACRE

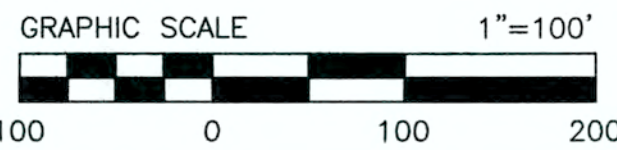


- NOTES:
- ALL X LOTS WITHIN EACH BLOCK ARE NON-BUILDABLE LOTS.
 - NO TREES, FENCES, WALL OR ANYTHING OVER 2' IN HEIGHT IS ALLOWABLE IN VISIBILITY EASEMENT.
 - SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
 - LOTS 31-41, BLOCK 1 SHALL NOT HAVE ACCESS FROM MATLOCK RD.
 - 46X/BLOCK 1, 1X/BLOCK 2, 1X/BLOCK 4, LOT 4X/BLOCK 6, AND LOT 18X/BLOCK 7 ARE DESIGNATED AS OPEN SPACE.

LEGEND
● DESIGNATES LOTS WITH DEVIATION FROM P.D.

Lot	Block	Description of Deviation
43 & 44	1	Cottage Lot Frontage Deviation
15	7	Cottage Lot Frontage Deviation

CURVE TABLE				
CURVE #	Δ	RADIUS	TANGENT	LENGTH
C-1	64° 14' 33"	485.00'	304.49'	543.80'
C-2	64° 32' 12"	650.00'	410.41'	732.15'



DETAILED SITE PLAN
Southpointe Phase 8B

BEING 31.46 ACRES OUT OF THE
SAMUEL MITCHELL SURVEY, ABSTRACT 851
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

PREPARED 9/5/2018
93 RESIDENTIAL LOTS
6 OPEN SPACE LOTS

ENGINEER/SURVEYOR:



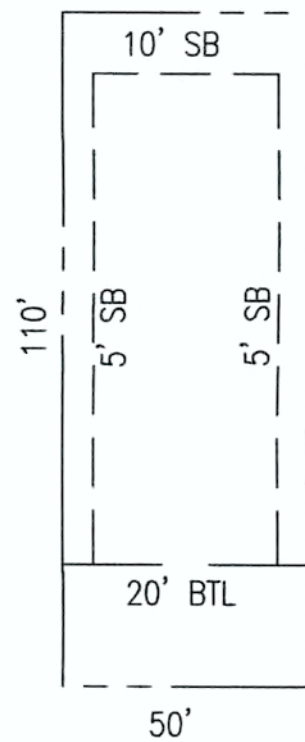
Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
800 SO. FLORISS DRIVE, SUITE 200
ARLINGTON, TEXAS 76011 (817) 640-8535
TSP# FIRM: F-1191/TEPLS FIRM: 101538-00
CONTACT: BRIAN M. AVIRETT, P.E.
(817)640-8535
bavirett@grahamcivil.com

OWNER / DEVELOPER:

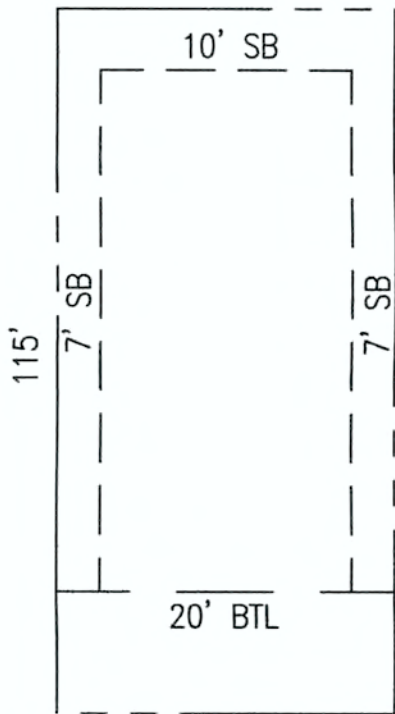
IPRR SOUTHPOINTE-8B, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD., STE. 108
ROCKFORD, IL 61114
TEL: (815) 387-3183
CONTACT: DAVID BRANCH
davidbranch@nrockre.com

NOTES:

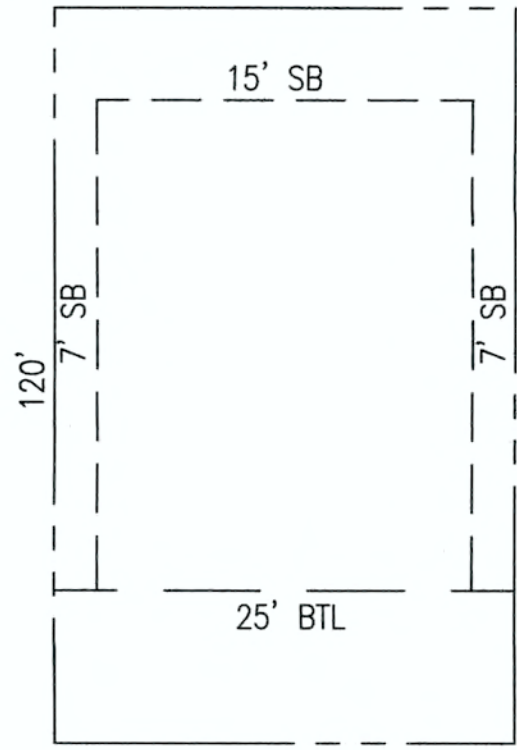
- A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALLS, INCLUDING PARKWAY BETWEEN THE SCREENING WALL AND THE STREET; THE OPEN SPACE LOTS; AND THE ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIANS, MONUMENTS, SUBDIVISION SIGNS, LANDSCAPING, AND ANY AMENITY WITHIN THE RIGHTS-OF-WAY.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANOR TO ALLOW FOR A MAXIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION. ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOTE ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.



TYPE 'C'
COTTAGE LOTS

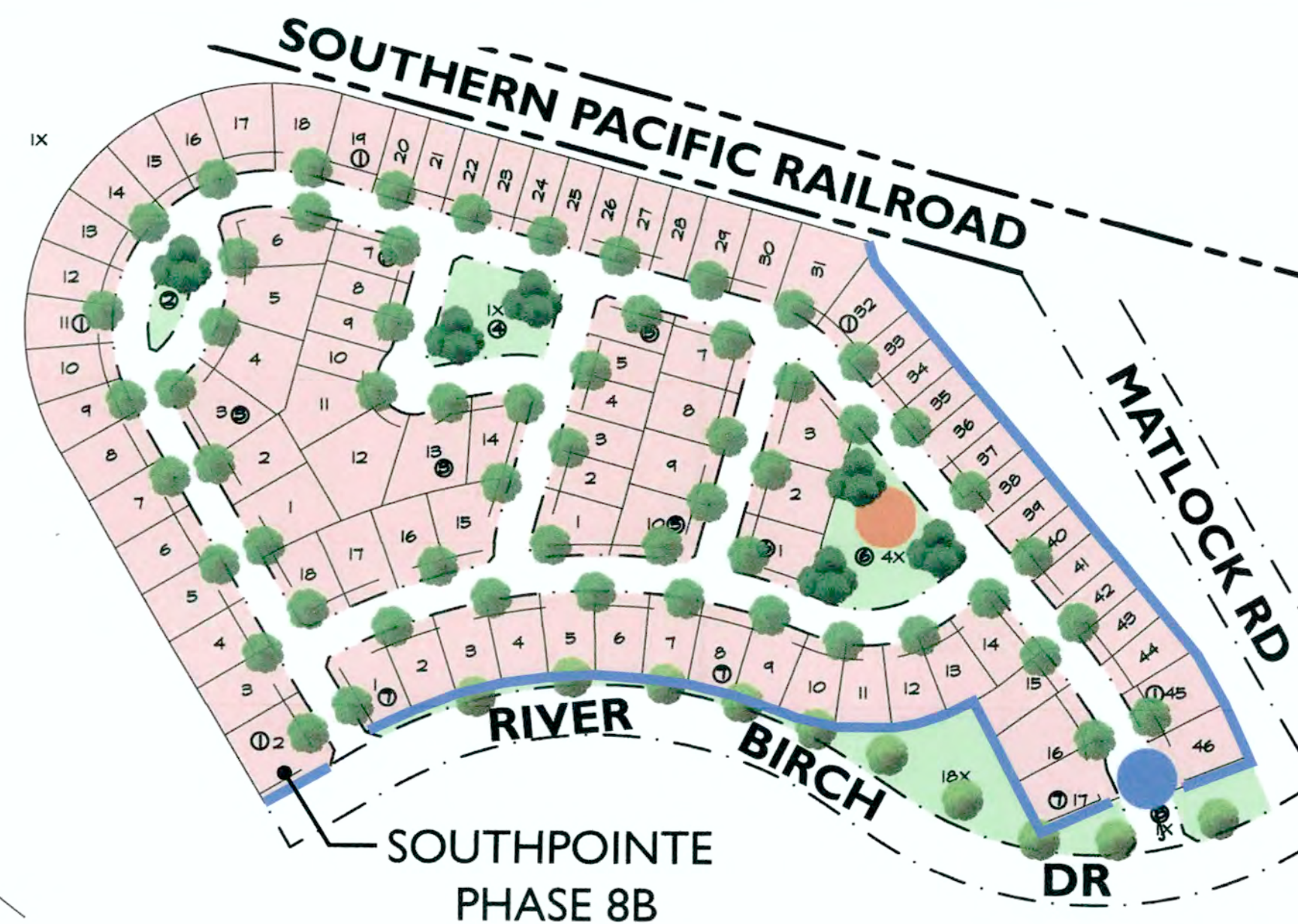


TYPE 'B'
VILLAGE LOTS



TYPE 'A'
MANOR LOTS

Plotted by: ##### Plot Date: 8/22/2018 11:15 AM
Drawing: S:\Projects\NR004 - Southpointe Ph. 4\DWG\NR004-DSP.dwg Saved By: Station8 Save Time: 8/21/2018 1:50 PM



LEGEND

- ENHANCED ENTRY FEATURE: REFER TO DETAIL PAGE
- POCKET PARK WITH TWO AMENITIES LOCATED
AMENITIES INCLUDE:
 - TOT LOT
 - PLAYGROUND
 - SPORTS FIELD
 - TENNIS OR MULTI-USE COURT
 - SHADE OR PICNIC PAVILION
 - ROLLER HOCKEY RINK
 - RECREATION POOL
 - COMPETITION POOL
 - TOT POOL
 - SLIDE POOL
 - SPRAY PARK
 - OTHER AMENITIES APPROVED BY DIRECTOR
- REQUIRED STREET TREE: 1 TREE PER 30 LINEAR FEET
- REQUIRED BUFFER TREE
 - 15'-0" BUFFER YARD: 1 TREE PER 20 LINEAR FEET
 - 20'-0" BUFFER YARD: 1 TREE PER 25 LINEAR FEET
 - MATLOCK/DAVIS ROAD: 2 TREES AND 5-5 GALLON SHRUBS PER 1,000 S.F. OF BUFFER YARD
- OPEN SPACE TREE
- 6'-0" HT. SCREEN WALL — OFF ROAD TRAIL - WIDTH TBD
- 8'-0" HT. SCREEN WALL — 6'-0" WIDE ENHANCED SIDEWALK
- ****ALL GASWELL/PAD SITES SHALL BE SCREENED AND LANDSCAPED THE SAME AS PHASE 1****

SOUTHPOINTE, PHASES 4,5,7,8a & 8b

~DETAILED SITE PLAN~

CITY OF MANSFIELD
JOHNSON COUNTY, TEXAS
August 23, 2018

LANDSCAPE ARCHITECT:
STUDIO 13 DESIGN GROUP, PLLC
386 W. MAIN STREET
LEWISVILLE, TX 75057
PHONE: (469) 635-1900
CONTACT:
LEONARD REEVES, RLA, LI

OWNER / DEVELOPER:
RUBY-07-SP-MTGE, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD, STE 108
ROCKFORD, IL 61114
PHONE: (815) 387-3183
CONTACT: DAVID BRANCH

LEWIS RUSSEL SURVEY,
ABSTRACT No. 720 &
CRESANTO VELA SURVEY,
ABSTRACT No. 851



Studio 13 Design Group, PLLC
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

SHEET

DSP1

SOUTHPOINTE
PHASE 4

FUTURE MISD
SCHOOL

SOUTHPOINTE
PHASE 3

GAS WELL

SOUTHPOINTE
PHASE 5

SOUTHPOINTE
PHASE 8A

SOUTHPOINTE
PHASE 7

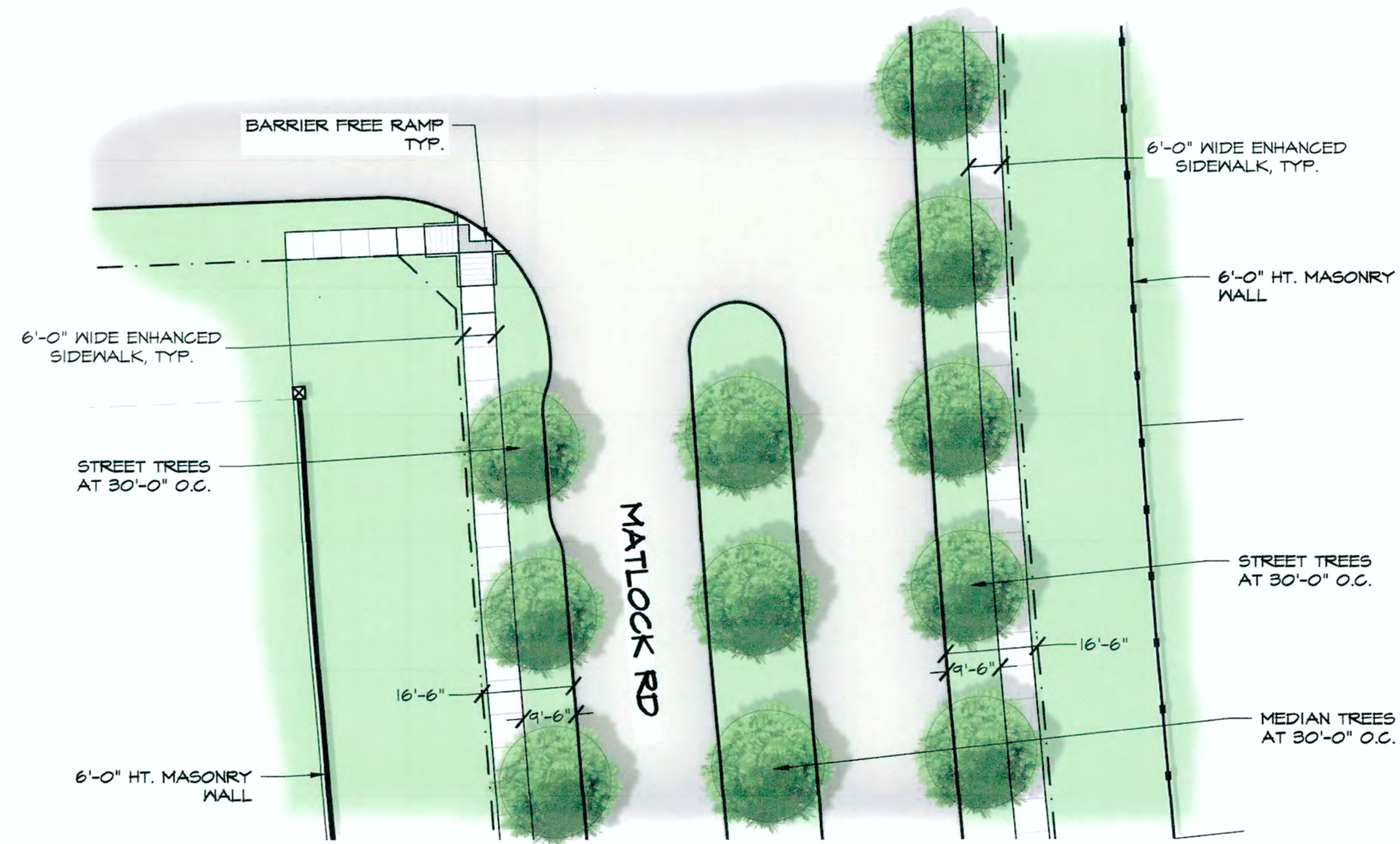
FUTURE MISD
SCHOOL

FUTURE MISD
SCHOOL

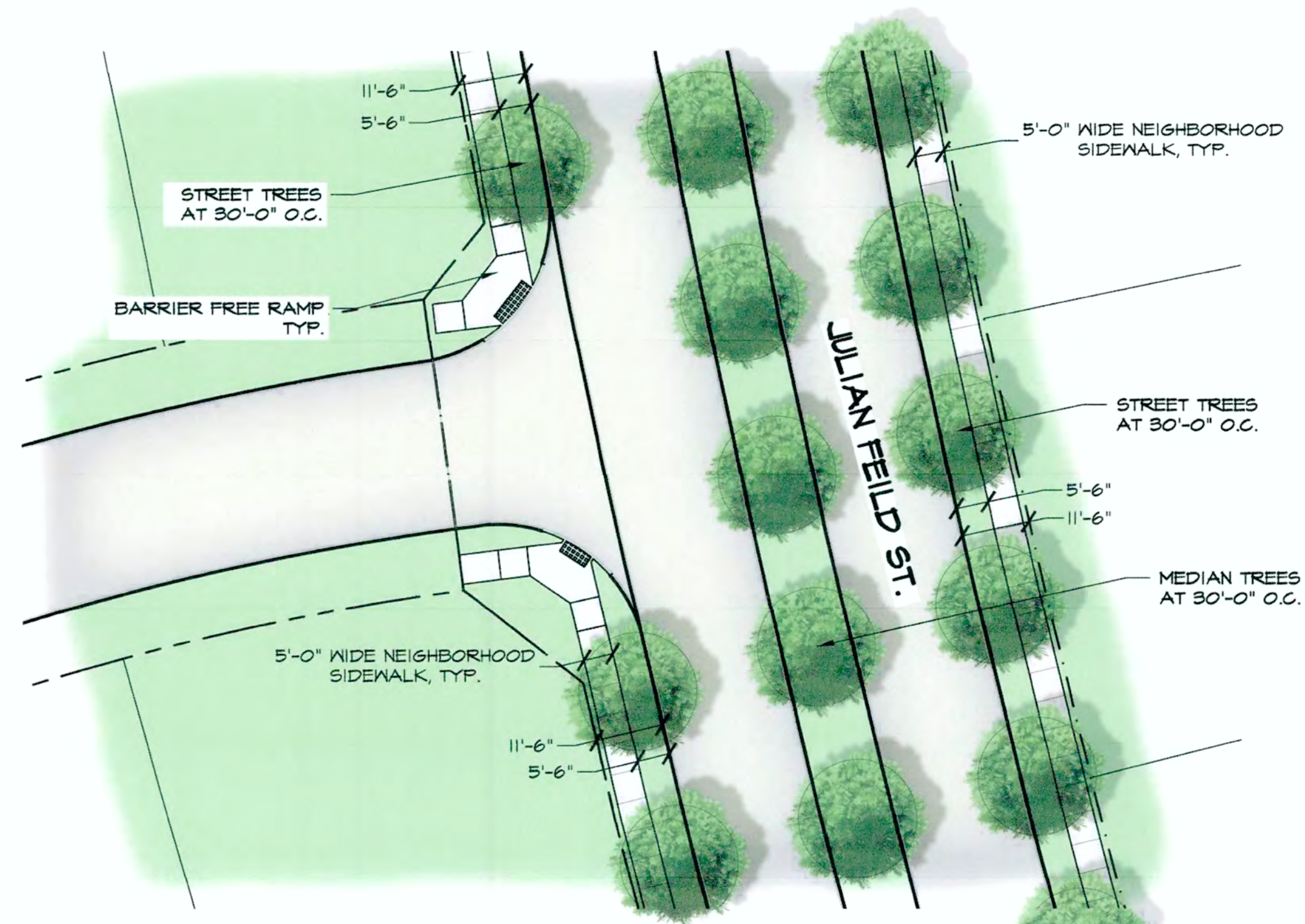
GAS WELL

LOCATION MAP
NOT TO SCALE

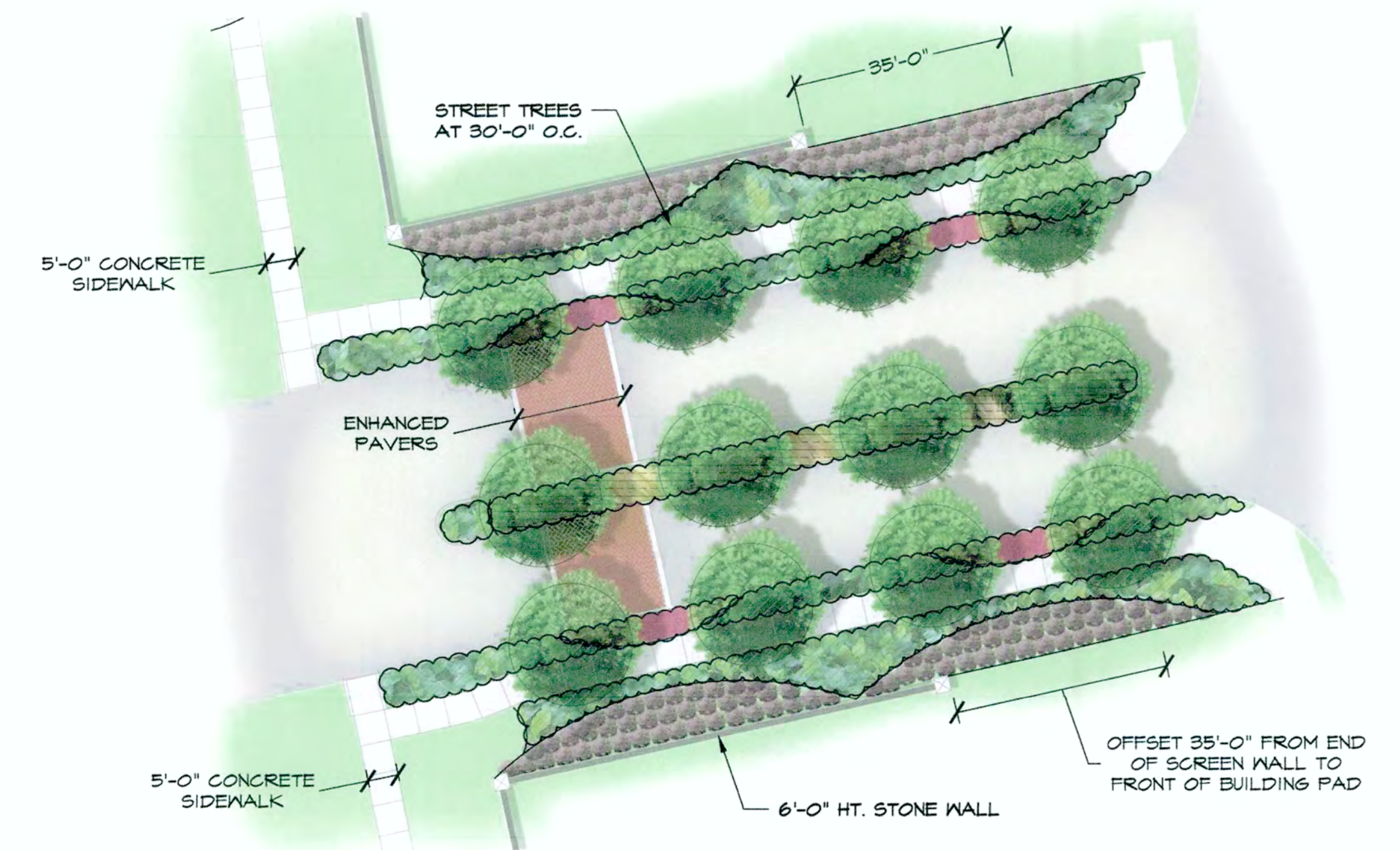
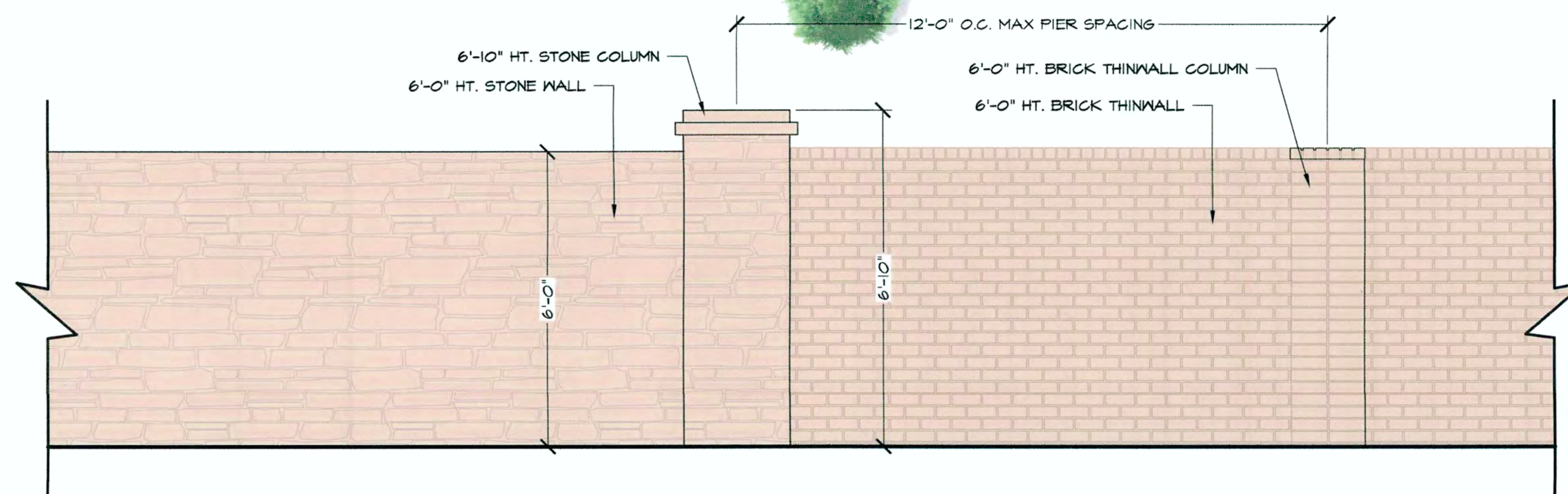
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TYPICAL ENHANCED SIDEWALK AND
TREE PLACEMENT ON MATLOCK RD.



TYPICAL SIDEWALK AND
TREE PLACEMENT ON JULIAN FEILD ST.



TYPICAL ENHANCED ENTRY

NOTE:
ALL IMPROVEMENTS SHOWN ON
THIS PLAN ARE CONCEPTUAL IN
NATURE & SUBJECT TO CHANGE.



**SOUTHPOINTE, PHASES
4,5,7,8a & 8b
~DETAILED SITE PLAN~**

CITY OF MANSFIELD
JOHNSON COUNTY, TEXAS
August 23, 2018

LANDSCAPE ARCHITECT:
STUDIO 13 DESIGN GROUP, PLLC
386 W. MAIN STREET
LEWISVILLE, TX 75057
PHONE: (469) 635-1900
CONTACT:
LEONARD REEVES, RLA, LI

OWNER / DEVELOPER:
RUBY-07-SP-MTGE, LLC
NORTH ROCK REAL ESTATE, LLC
6723 WEAVER RD, STE 108
ROCKFORD, IL 61114
PHONE: (815) 387-3183
CONTACT: DAVID BRANCH

LEWIS RUSSEL SURVEY,
ABSTRACT No. 720 &
CRESANTO VELA SURVEY,
ABSTRACT No. 851

**STUDIO 13
DESIGN GROUP**

Studio 13 Design Group, PLLC
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

SHEET

DSP2