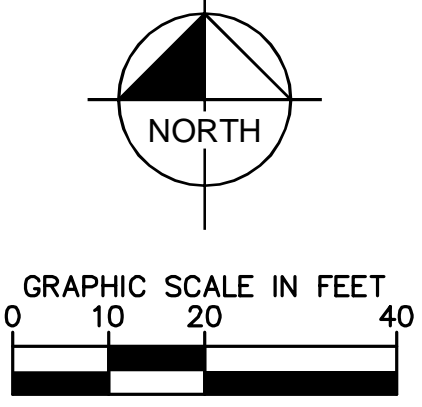
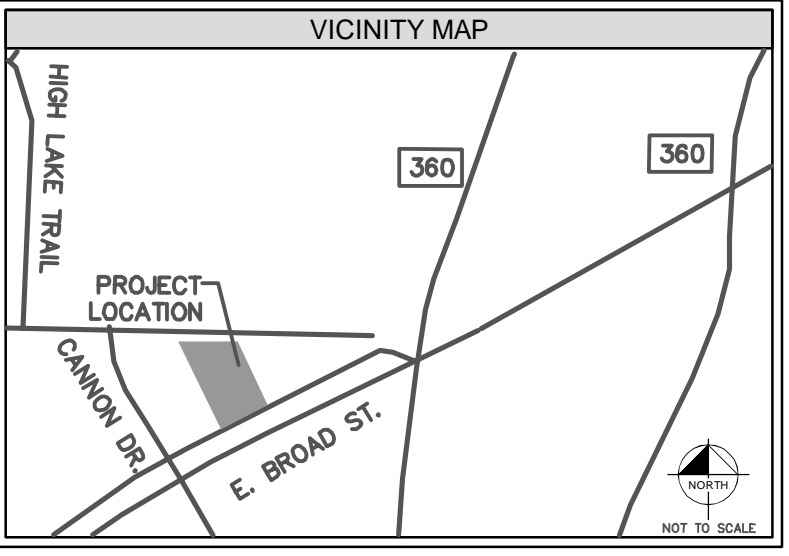
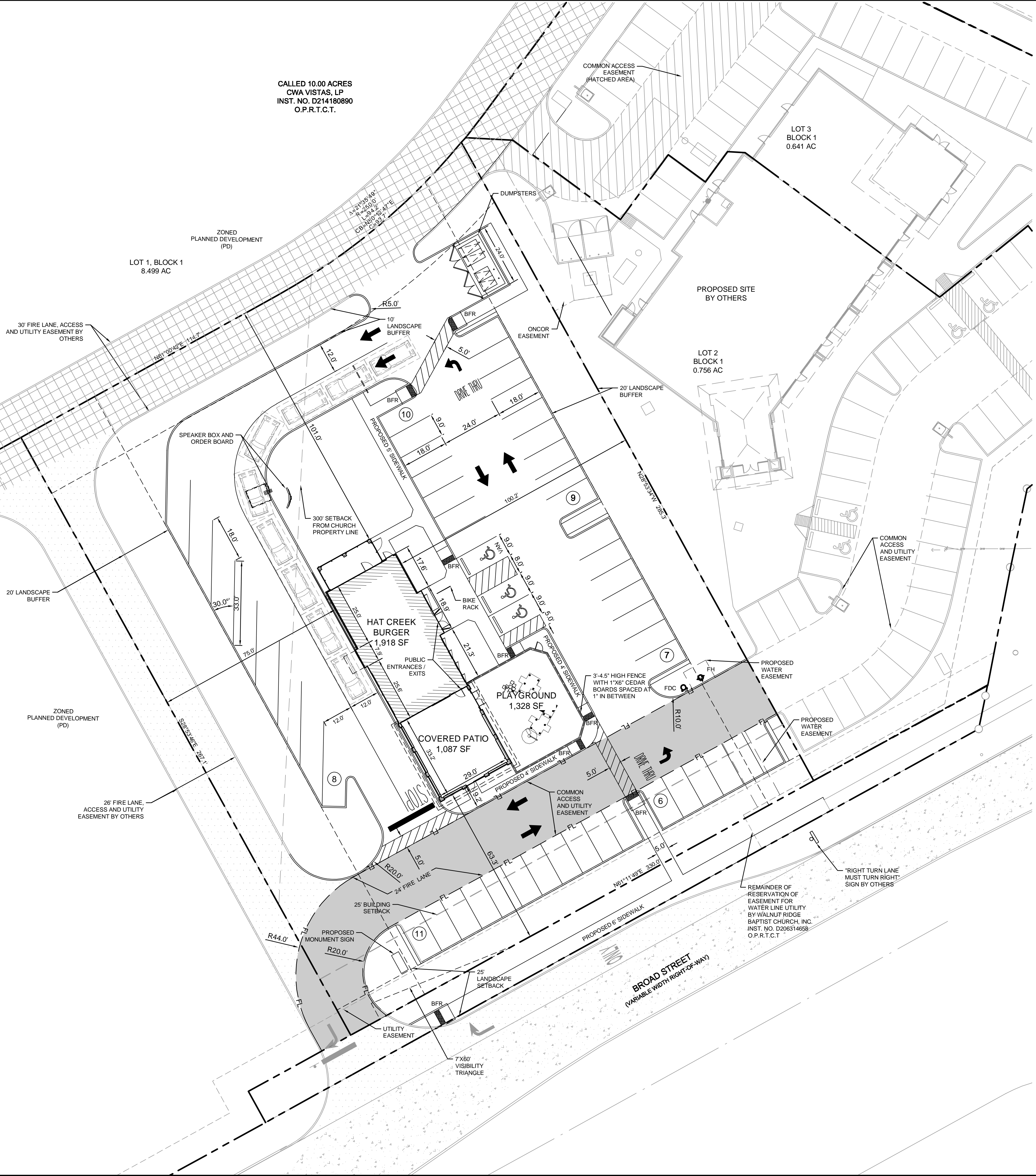








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LEGEND	
PROPERTY LINE	
FIRE LANE	
EASEMENT	
EXISTING PAVEMENT	
FUTURE CONCRETE PAVEMENT BY OTHERS	
PROPOSED CONCRETE PAVEMENT BY OTHERS	

SITE DATA	
SITE DESCRIPTION	LOT 4, VISTAS OF WALNUT RIDGE
ZONING	
EXISTING	PD PLANNED DEVELOPMENT
LAND AREA	
EATING PLACE WITH DRIVE-THROUGH SERVICE	55,413 SQ. FT (1.28 ACRES)
SETBACKS	
FRONT	25 Ft
SIDE	NONE
REAR	NONE
BUILDING AREA	
EATING PLACE WITH DRIVE-THROUGH SERVICE	1,918 SQ. FT. (INDOOR)
TOTAL BLDG. AREA	3,005 SQ. FT.
BUILDING HEIGHT	
MAX. ALLOWABLE	50 FT.
PROPOSED	21 FT.
PARKING REQUIRED	
EATING PLACE WITH DRIVE-THROUGH SERVICE	3,005 SQ. FT. / 75 SQ. FT. = 41 SPACES
PARKING PROVIDED	
EATING PLACE WITH DRIVE-THROUGH SERVICE	51 SPACES
LANDSCAPE BUFFER REQUIREMENTS	
REQUIRED	20 FT. SIDEYARD
ACTUAL	20 FT. SIDEYARD

NOTE:

- ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
- ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A IF THE ZONING ORDINANCE.
- THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.

# VISTAS OF WALNUT RIDGE LOT 4

1.27 ACRES SITUATED IN THE  
JACOB BACK SURVEY ABSTRACT NO. 126  
CITY OF MANSFIELD, TARRANT COUNTY,  
TEXAS

JULY 27, 2018

**OWNER**  
CWA VISTAS, LP  
4801 WEST LOVERS LANE  
DALLAS, TEXAS 75209  
CONTACT: CHARLES ANDERSON  
PHONE: 214-505-7301

**APPLICANT / DEVELOPER**  
**HAT CREEK BURGER COMPANY**  
 4407 BEE CAVE ROAD, SUITE 212  
 AUSTIN, TEXAS 78746  
 CONTACT: SCOTT BROWN  
 PHONE: 214-223-5556

**ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL RD, SUITE 700  
DALLAS TX, 75240  
CONTACT: SARAH SCOTT  
PHONE: 972-770-1347

[illegible]

**Kimley»»Horn**

© 2014 KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928

**PRELIMINARY**  
FOR REVIEW ONLY  
Not for construction or permit purposes

**Kimley-Horn**

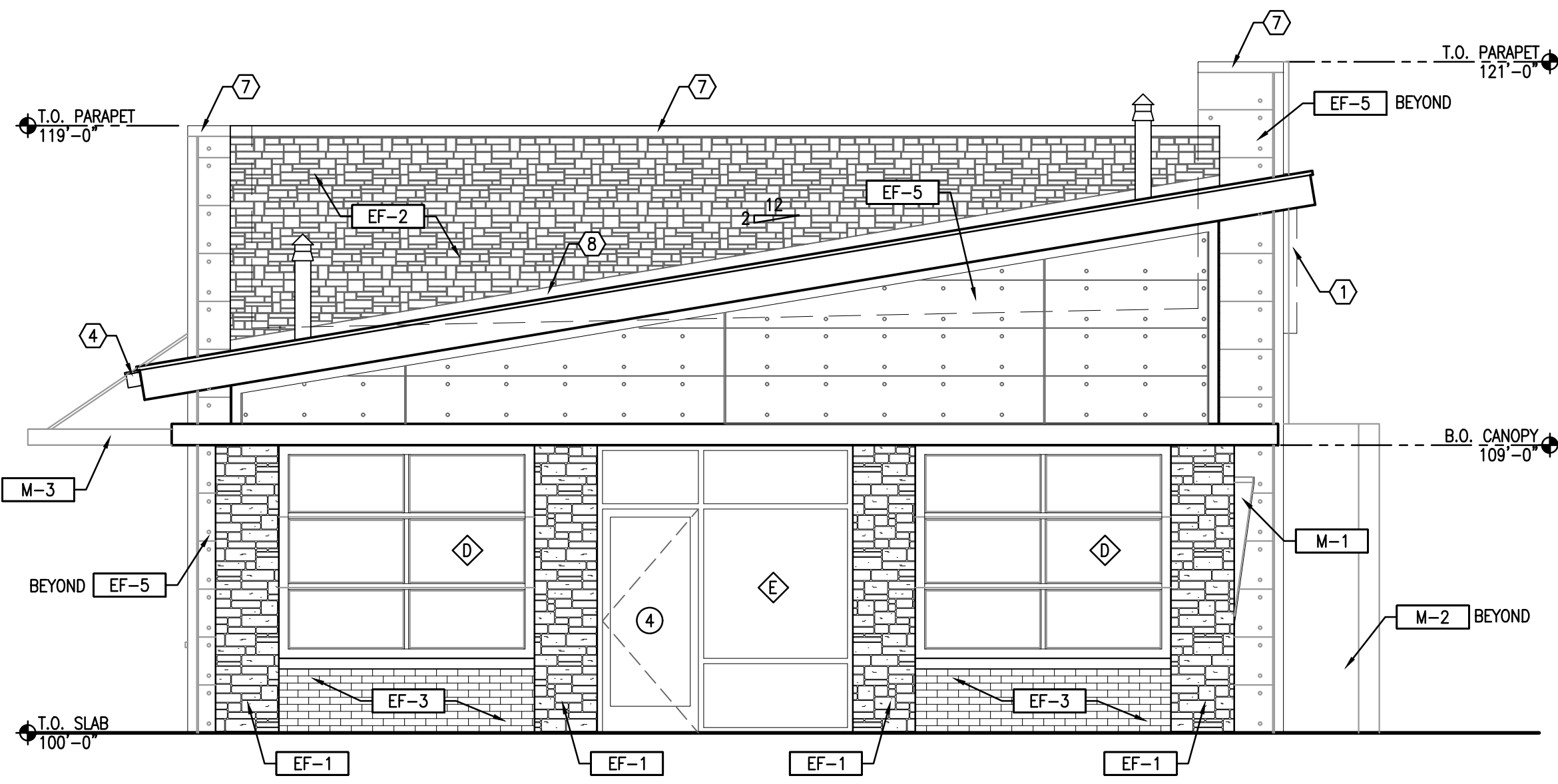
Engineer CALLIE AAKER  
P.E. No. 131266 Date 10/11/18

<b>HAT CREEK BURGER</b> <b>MANSFIELD</b> PREPARED FOR <b>HAT CREEK BURGER CO.</b> RICHARDSON	KHA PROJECT 064514019	DATE 10/11/2018	SCALE AS SHOWN	DESIGNED BY DRAWN BY	CHECKED BY TEXAS

# SITE PLAN FOR SUP ZC#18-018

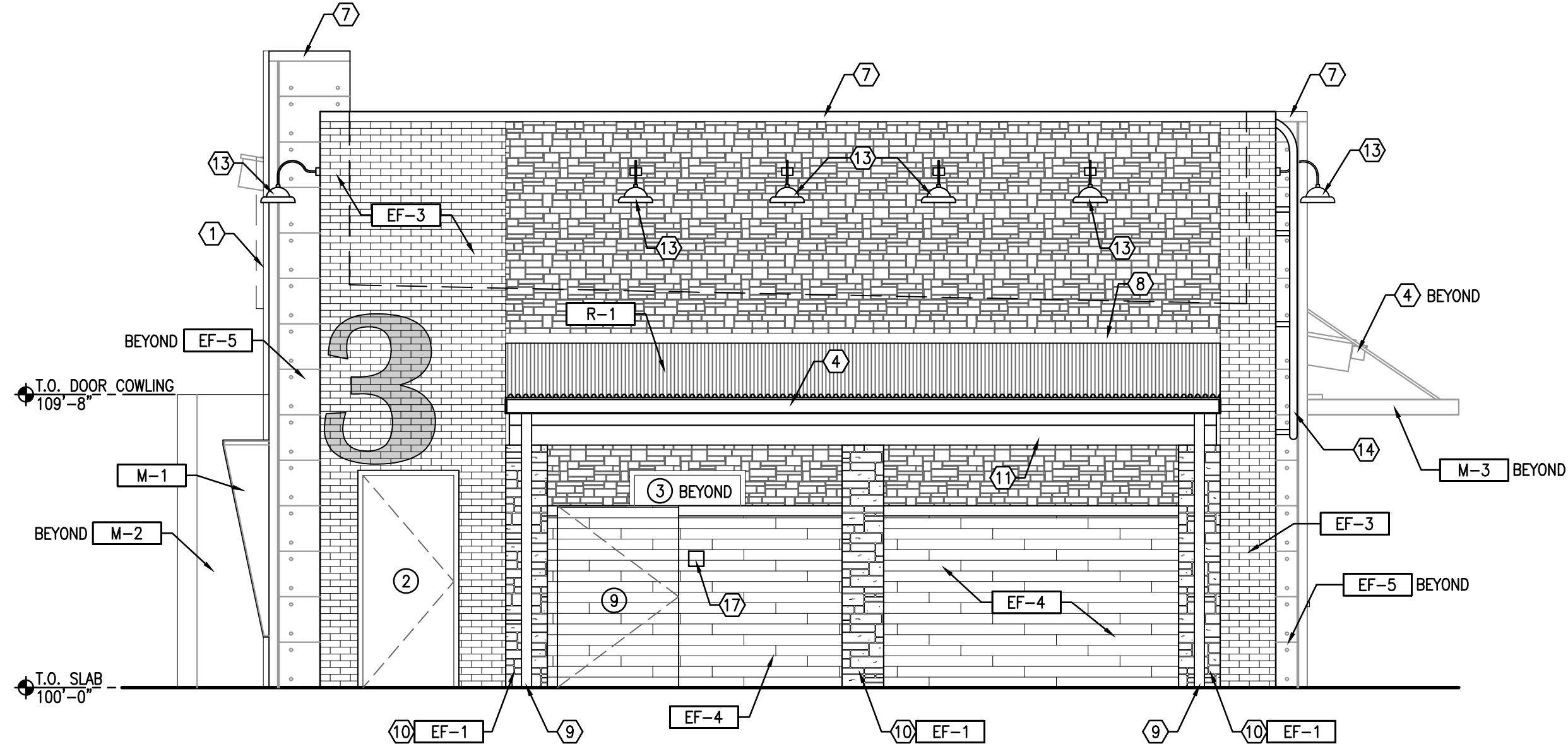
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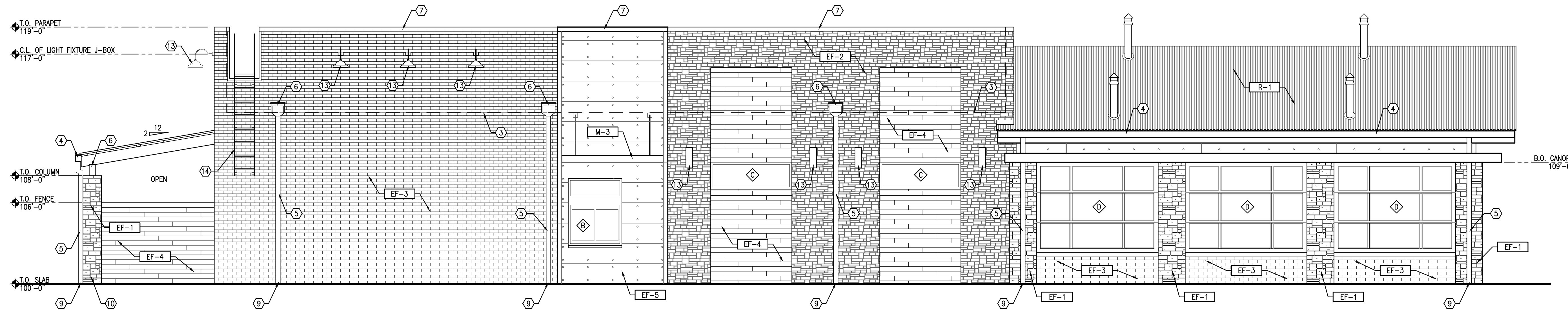
FRONT ELEVATION  
1/4"=1'-0"

1



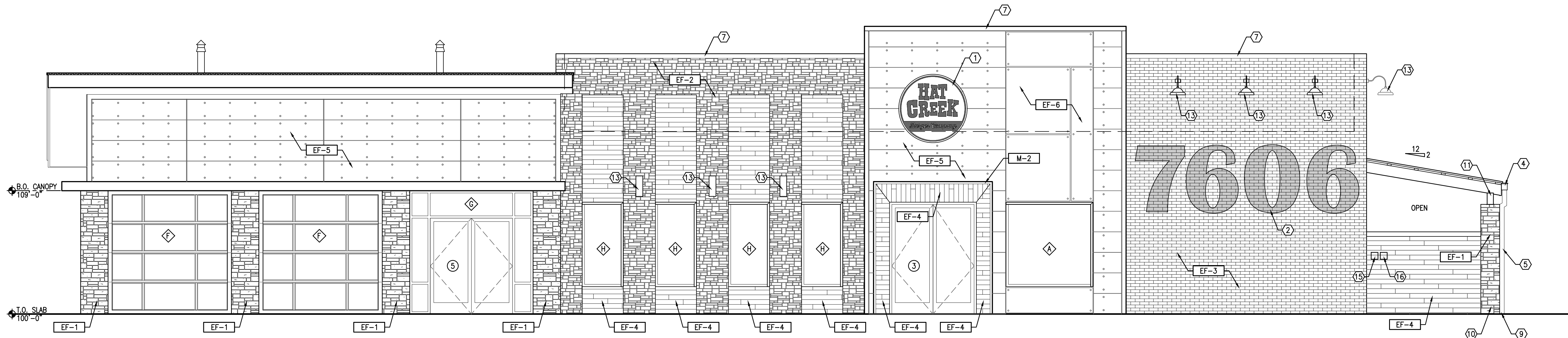
BACK ELEVATION  
1/4"=1'-0"

2



SIDE ELEVATION  
1/4"=1'-0"

3



SIDE ELEVATION  
1/4"=1'-0"

4

GENERAL NOTES:

- ALL EXTERIOR METALS AND PLASTICS ON BUILDING SHALL BE PAINTED TO MATCH THE COLOR OF THE ADJACENT EXTERIOR FINISH MATERIAL WHERE INDICATED.
- THE METAL ROOF SHALL BE PRE-PAINTED AND NON-REFLECTIVE.
- INSTALL AND FLASH ALL STOREFRONT AND DOOR OPENINGS PRIOR TO APPLYING EXTERIOR FINISH MATERIALS (I.E. BRICK, STONE, WOOD SIDING, ETC.)
- KEY NOTES:**
  - SIGNAGE, RE: OWNER, COORDINATE POWER REQUIREMENTS
  - PAINTED GRAPHIC, RE: OWNER
  - ROOF BEYOND PARAPET WALL
  - PRE-FINISHED METAL GUTTER
  - 4"x4" PRE-FINISHED DOWNSPOUT
  - OVERFLOW CONDUCTOR HEAD
  - SNAP LOCK METAL WALL FASCIA TRIM
  - METAL COUNTER FLASHING WHERE CORRUGATED METAL ROOFING ATTACHES TO EXTERIOR FINISH
  - TIE METAL DOWNSPOUT BOOTS INTO STORM DRAIN, RE: CIVIL FOR CONTINUATION
  - WOOD STUD FRAMING WRAPPED IN THIN SET STONE, RE: STRUCTURAL
  - WOOD BEAM, RE: STRUCTURAL
  - PATIO HEATER VENT
  - WALL MOUNTED LIGHT FIXTURE
  - ROOF ACCESS LADDER, RE: 9/A3.5
  - CO2 FILL PORT, COORDINATE EXACT LOCATION WITH KITCHEN EQUIPMENT
  - GREASE WASTE PORT, COORDINATE EXACT LOCATION WITH KITCHEN EQUIPMENT
  - DOOR BUZZER, RUN CONDUIT INSIDE FENCE, SURFACE MOUNTED J-BOX NOT ALLOWED
  - DECORATIVE STEEL SCREEN, RE: 6/A3.6
  - 2"x10" WOOD RAFTERS, RE: STRUCTURAL
  - WOOD TRUSS, RE: STRUCTURAL
  - TRIPLE TRASH ENCLOSURE, RE: 1/A3.6
  - STRING LIGHTS ATTACHED TO STEEL EYE BOLT, RE: ELECTRICAL
  - WOOD COUNTERTOP ON 1-1/2" SQUARE STEEL TUBE SUPPORTS
  - HAND SINK, RE: K.E.S.
  - 24"x30" STAINLESS STEEL BACKSPLASH BEHIND HAND SINK, RE: K.E.S.
  - WALL MOUNTED TELEVISION, RE: ELECTRICAL
  - 2x WOOD TRIM
  - METAL OVERHEAD DOOR TRACK
  - SINGLE TRASH ENCLOSURE, RE: 2/A3.6
  - 4"x4" WOOD POST
  - STAIN PLYWOOD

EXTERIOR FINISH SCHEDULE

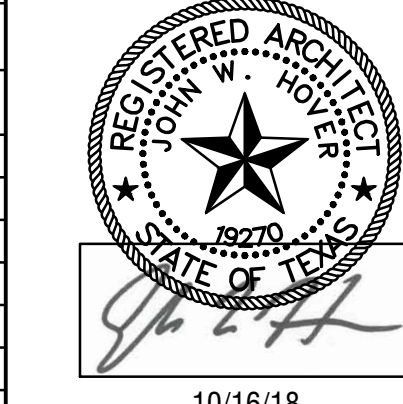
- EXTERIOR PAINT
- EP-1 IRON ORE (EPOXY PAINT)
- EXTERIOR FINISH
- EF-1 WHITE STONE
- EF-2 GREY STONE
- EF-3 MODULAR BRICK
- EF-4 NICHHA SIDING
- EF-5 CONCRETE BLOCK
- EF-6 STEEL PLATE
- EF-7 THIN BRICK
- EF-8 CMU
- EF-9 STONE SILL
- ROOFING
- R-1 CORRUGATED METAL
- R-2 WHITE PVC MEMBRANE
- MISCELLANEOUS
- M-1 ALUMINUM WINDOW COWLING
- M-2 ALUMINUM ENTRY COWLING
- M-3 ALUMINUM DRIVE THROUGH AWNING
- M-4 ALUMINUM PATIO AWNING
- M-5 PLAYGROUND FENCE

INTERIOR FINISH SCHEDULE

- INTERIOR PAINT
- P-1 HEART THROB
- P-2 IBIS WHITE
- P-3 BLACK OF NIGHT
- P-4 IRON ORE
- WALL COVERING
- WC-1 FIBERBOARD PANELING
- WC-2 GYPSUM BOARD
- WC-3 STAINLESS STEEL
- WC-4 FRP
- WC-5 TILE
- WC-6 SUBWAY TILE
- WC-7 STAINED WOOD SHIPLAP SIDING
- WC-8 PORCELAIN TILE
- BASE FINISHES
- B-1 WOOD BASE
- B-2 QUARRY TILE BASE
- B-3 COVE TILE BASE
- CEILING FINISHES
- C-1 GYPSUM BOARD
- C-2 VINYL FACED CEILING TILE
- C-3 PAINTED EXPOSED PLYWOOD DECKING
- C-4 EXPOSED CORRUGATED METAL DECKING
- C-5 STAINED WOOD SHIPLAP SIDING
- FLOORING FINISHES
- F-1 GRAY QUARRY TILE
- F-2 PORCELAIN TILE
- F-3 ARTIFICIAL TURF
- F-4 EXTERIOR SEALED AND STAINED CONCRETE
- INF UNSEALED CONCRETE
- SOLID SURFACES
- SS-1 STAINLESS STEEL COUNTERTOP
- SS-2 PLASTIC LAMINATE
- SS-3 WOOD COUNTERTOP
- TRANSITIONS
- TR-1 HORIZONTAL WALL TRANSITION
- TR-2 VERTICAL WALL TRANSITION



HAT CREEK BURGER COMPANY  
4407 Bee Caves Road, Suite 212  
Austin, Texas 78746  
www.hatcreekburgers.com



HAT CREEK BURGER COMPANY  
MANSFIELD, TX  
BROAD STREET  
MANSFIELD, TX 76063

CLIENT: HAT CREEK BURGER COMPANY  
4407 BEE CAVES ROAD, SUITE 212  
AUSTIN, TEXAS 78746



DATE	DESCRIPTION

DATE	DESCRIPTION

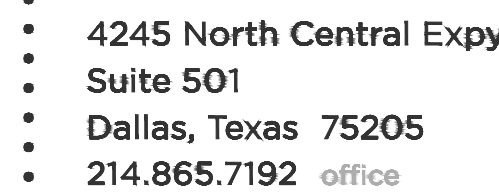
EXTERIOR  
ELEVATIONS

SHEET NUMBER:

A2.0

PROJECT NUMBER:  
HCB18015







- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office
-



E. BROAD STREET & CANNON DRIVE  
MANSFIELD, TEXAS 76063

OCTOBER 16, 2018  
DRAFT 5

#### SCOPE OF WORK

- 1** FABRICATE & INSTALL ONE (1) SINGLE-SIDED WALL SIGN
- 2** FABRICATE & INSTALL ONE (1) DOUBLE-SIDED MONUMENT SIGN

1300B West Industrial Blvd.  
Round Rock, TX 78681

p: 512.255.3887  
f: 512.388.7395



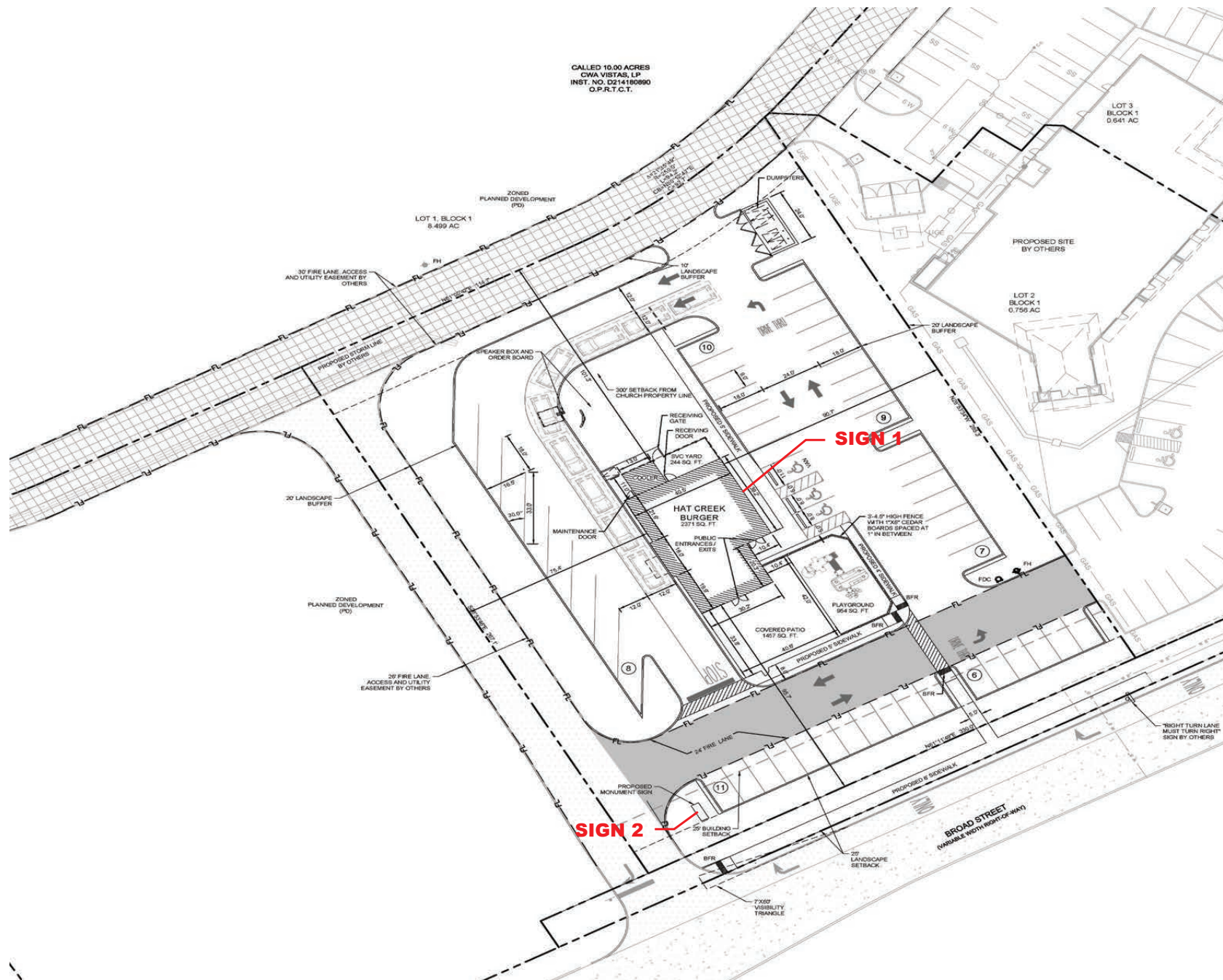


AERIAL  
EXHIBIT E & ZC 18-018

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DATE:	10.15.18	LANDLORD APPROVAL:	

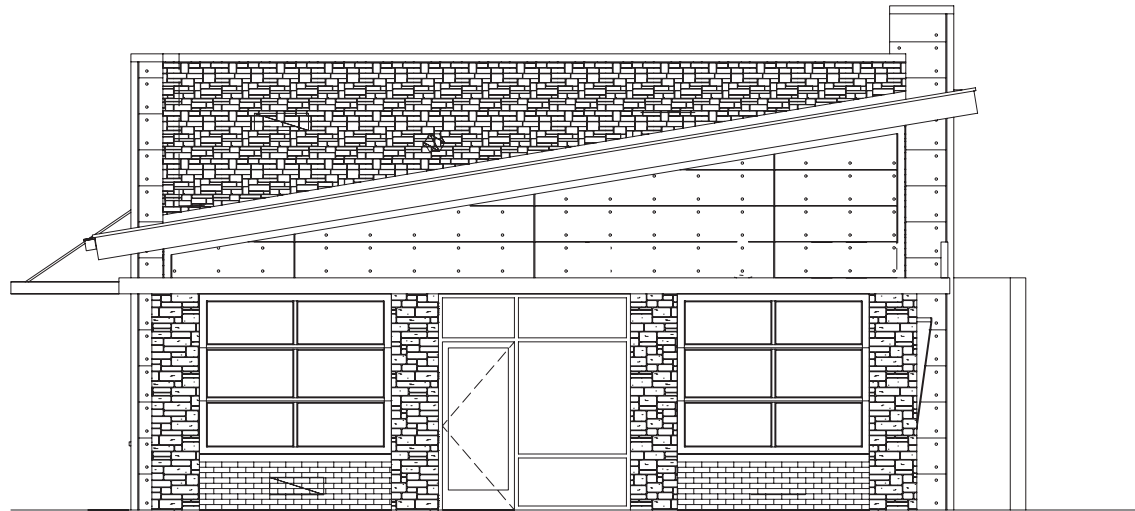
1300B West Industrial Blvd.  
Round Rock, TX 78681  
p: 512.255.3887  
f: 512.388.7395



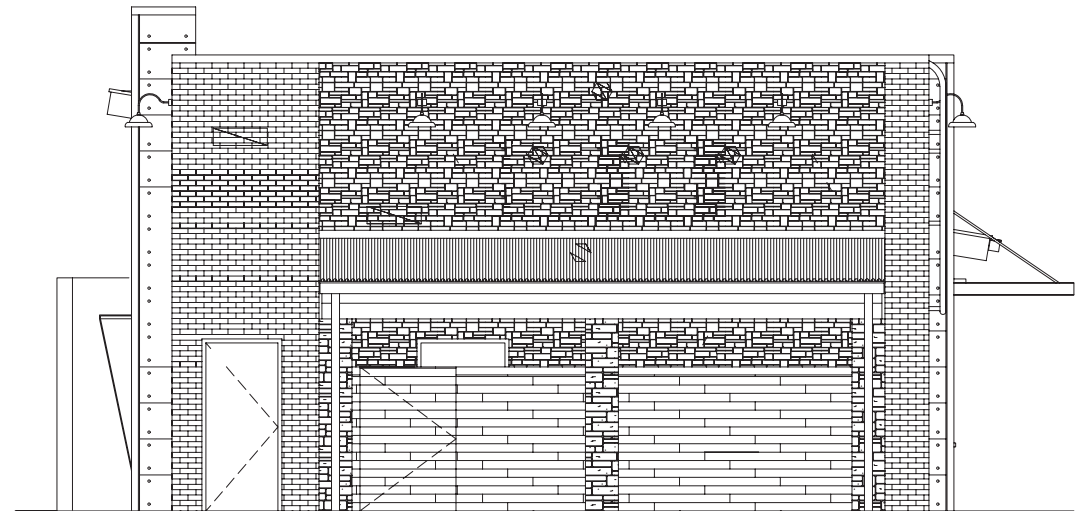


CLIENT:	HAT CREEK, MANSFIELD	SCALE:	NTS
DRAWING:	6923_2	REV:	1
DATE:	10.16.18	CUSTOMER APPROVAL:	
		LANDLORD APPROVAL:	

p: 512.255.3887  
f: 512.388.7395



FRONT ELEVATION



REAR ELEVATION

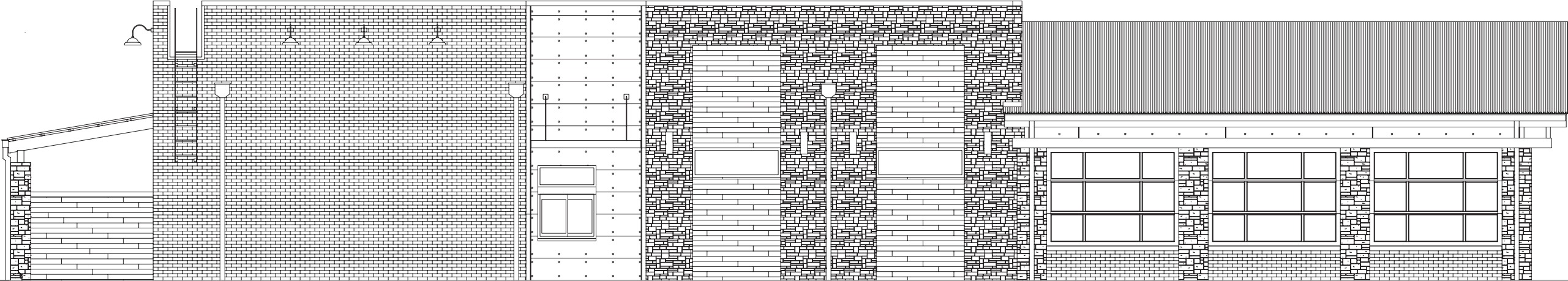
ELEVATIONS  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	1/8"=1'-0"
DRAWING:	6923_3 REV: 1	CUSTOMER APPROVAL:	
DATE:	10.16.18	LANDLORD APPROVAL:	

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f: 512.388.7395



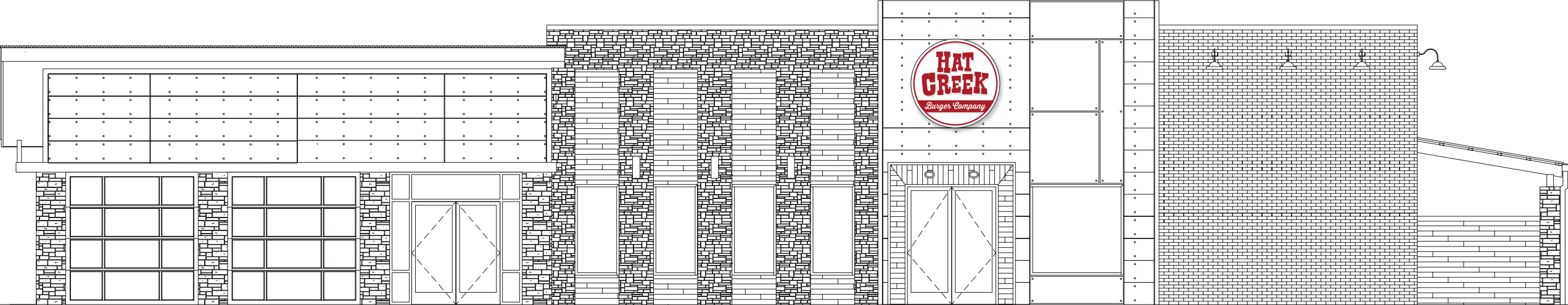


SIDE ELEVATION  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	1/8"=1'-0"
DRAWING:	6923_4	CUSTOMER APPROVAL:	
DATE:	10.15.18	LANDLORD APPROVAL:	

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Round Rock, TX 78681  
p: 512.255.3887  
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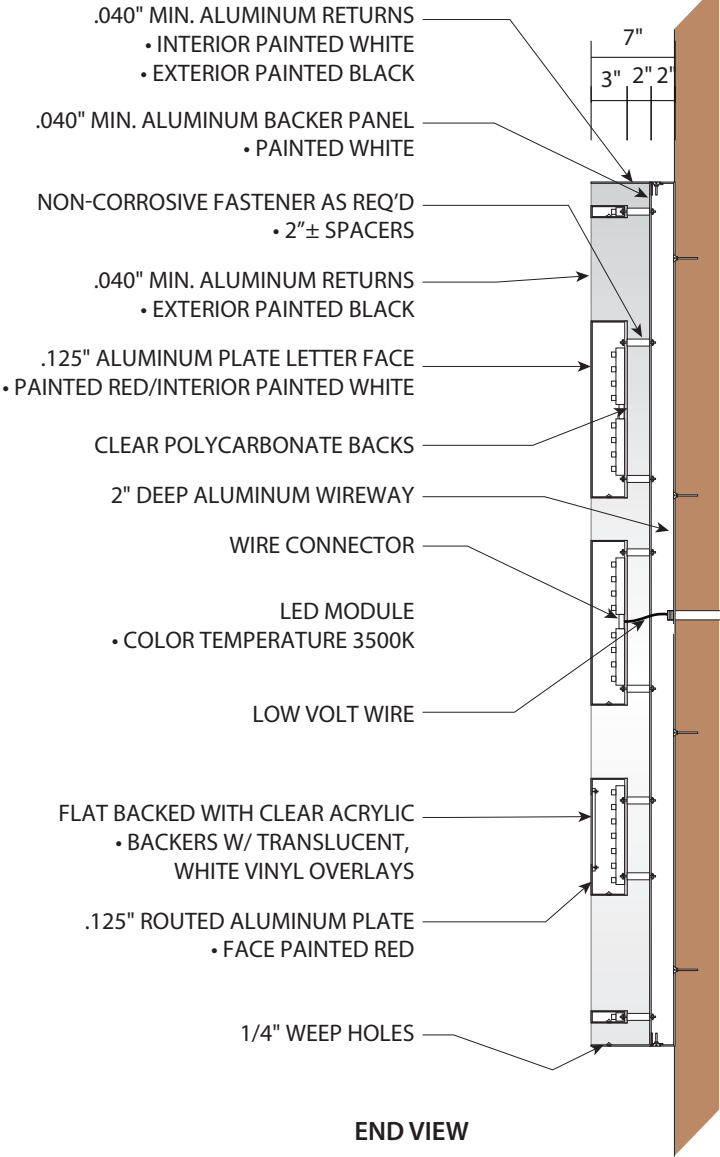


SIDE ELEVATION  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	1/8"=1'-0"
DRAWING:	6923_5 REV: 1	CUSTOMER APPROVAL:	
DATE:	10.16.18	LANDLORD APPROVAL:	

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Round Rock, TX 78681  
p: 512.255.3887  
f: 512.388.7395





ONE (1) SINGLE-SIDED WALL SIGN  
36.0 SQ FT

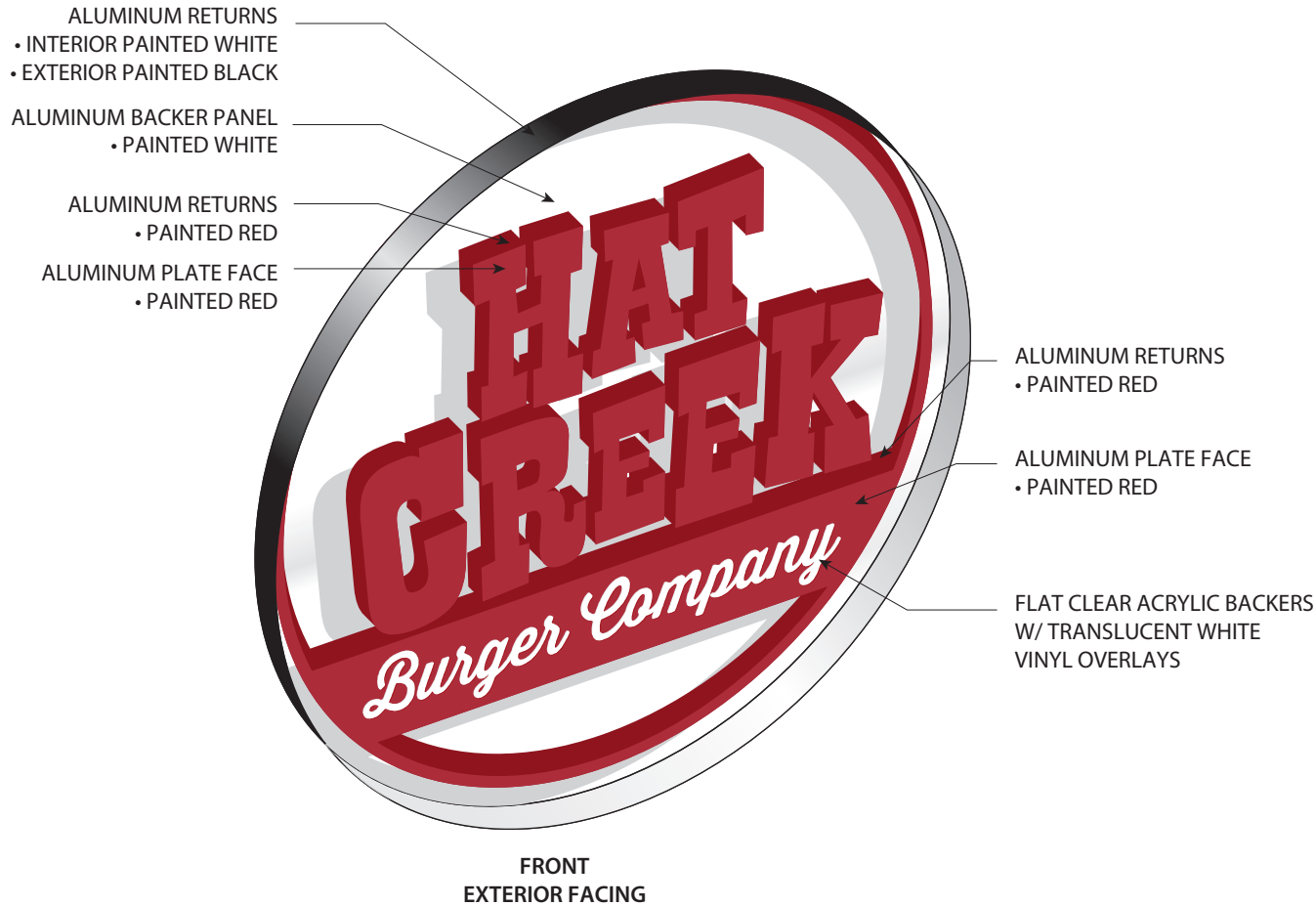
SIGN 1  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	3/4"=1'-0"
DRAWING:	6923_6	CUSTOMER APPROVAL:	
DATE:	10.15.18	LANDLORD APPROVAL:	



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Round Rock, TX 78681  
p: 512.255.3887  
f: 512.388.7395





SIGN 1 - ISOMETRIC VIEW  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	NTS
DRAWING:	6923_6A	CUSTOMER APPROVAL:	
DATE:	10.15.18	LANDLORD APPROVAL:	



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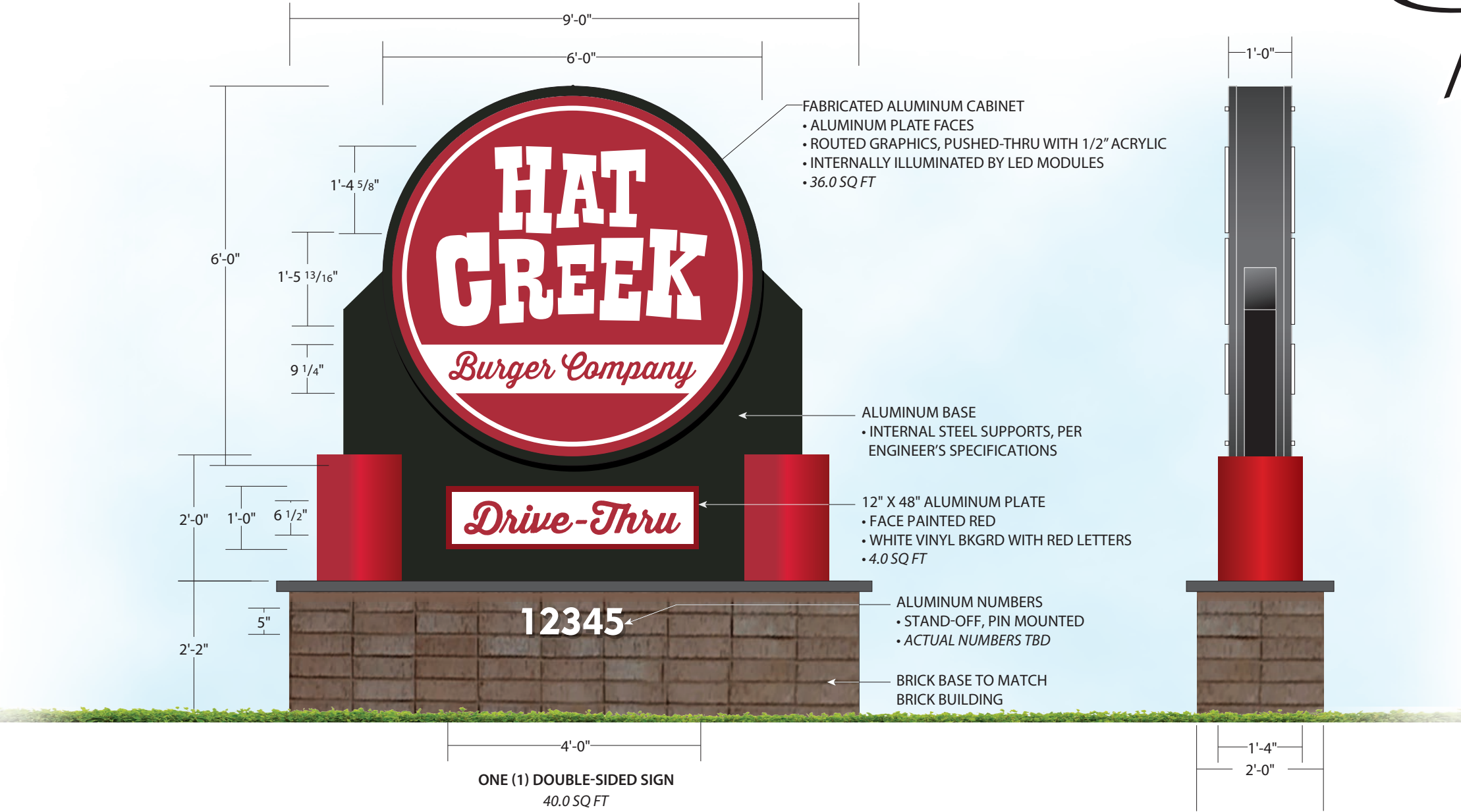
WHITE, #7128 ACRYLIC  
COLOR TEMP 3500K



SW 6866, HEART THROB

1300B West Industrial Blvd.  
Round Rock, TX 78681

p: 512.255.3887  
f: 512.388.7395



SIGN 2  
EXHIBIT E & ZC 18-018

CLIENT:	HAT CREEK, MANSFIELD	SCALE:	1/2"=1'-0"
DRAWING:	6923_7	CUSTOMER APPROVAL:	
DATE:	10.15.18	LANDLORD APPROVAL:	



BLACK



WHITE, #7128 ACRYLIC  
#3650-10 WHITE

SW 6866, HEART THROB

1300B West Industrial Blvd.  
Round Rock, TX 78681

p: 512.255.3887  
f: 512.388.7395