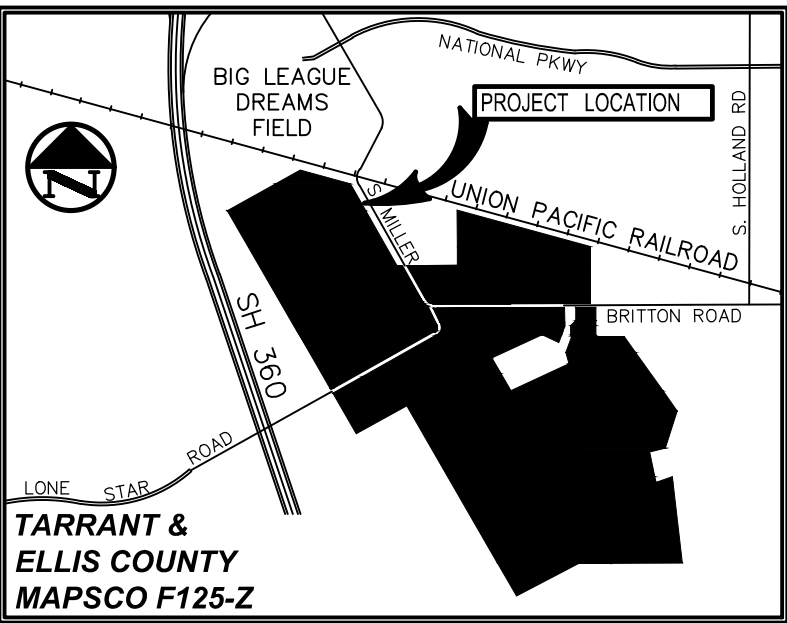
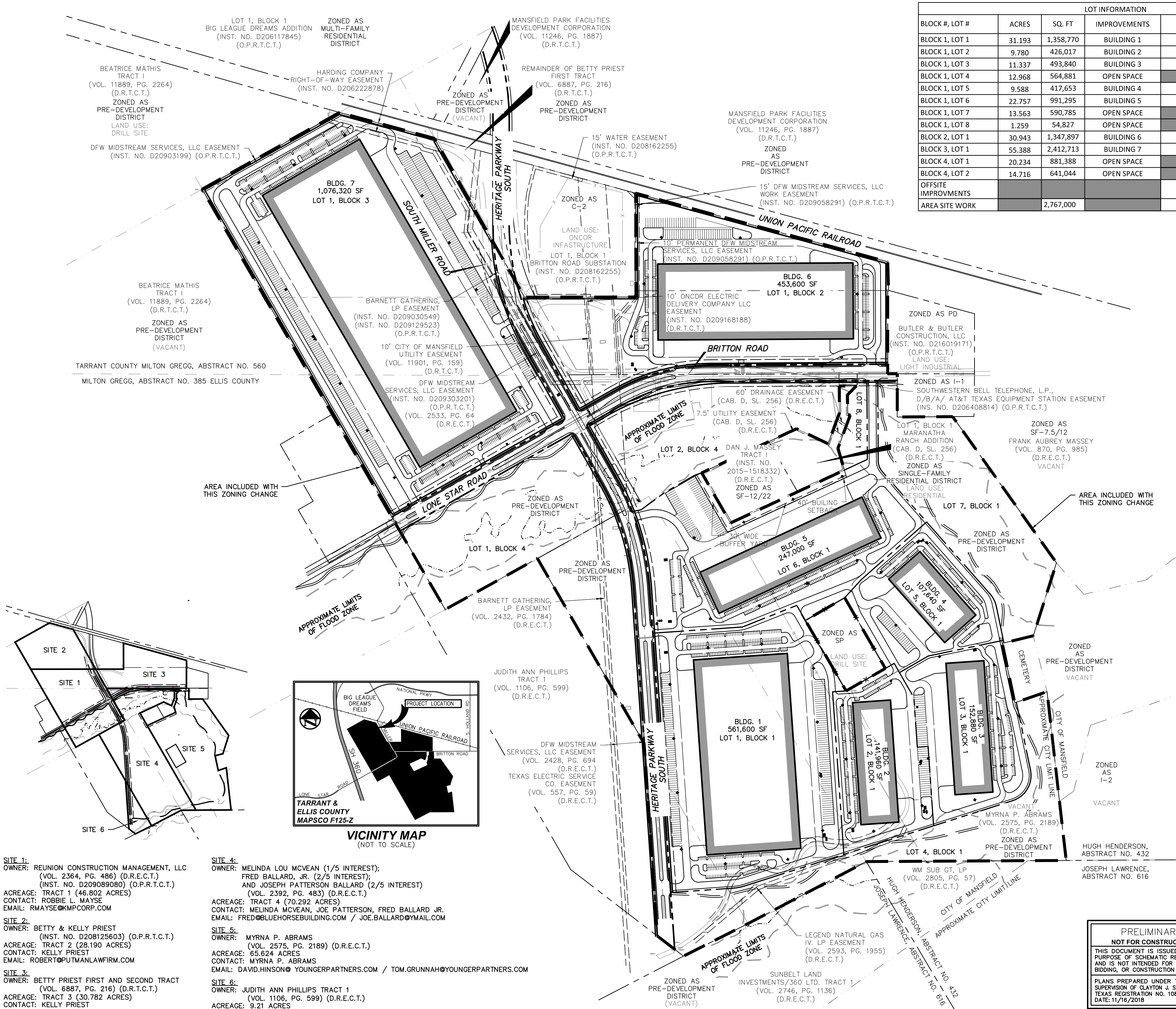


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VICINITY MAP
(NOT TO SCALE)

SITE 1:
OWNER: REUNION CONSTRUCTION MANAGEMENT, LLC
(VOL. 2364, PG. 486) (D.R.E.C.T.)
(INST. NO. D209089080) (O.P.R.T.C.T.)
ACREAGE: TRACT 1 (46.802 ACRES)
CONTACT: ROBBIE L. MAYSE
EMAIL: RMAYSE@KMPCORP.COM

SITE 2:
OWNER: BETTY & KELLY PRIEST
(INST. NO. D208125603) (O.P.R.T.C.T.)
ACREAGE: TRACT 2 (28.190 ACRES)
CONTACT: KELLY PRIEST
EMAIL: ROBERT@PUTMANLAWFIRM.COM

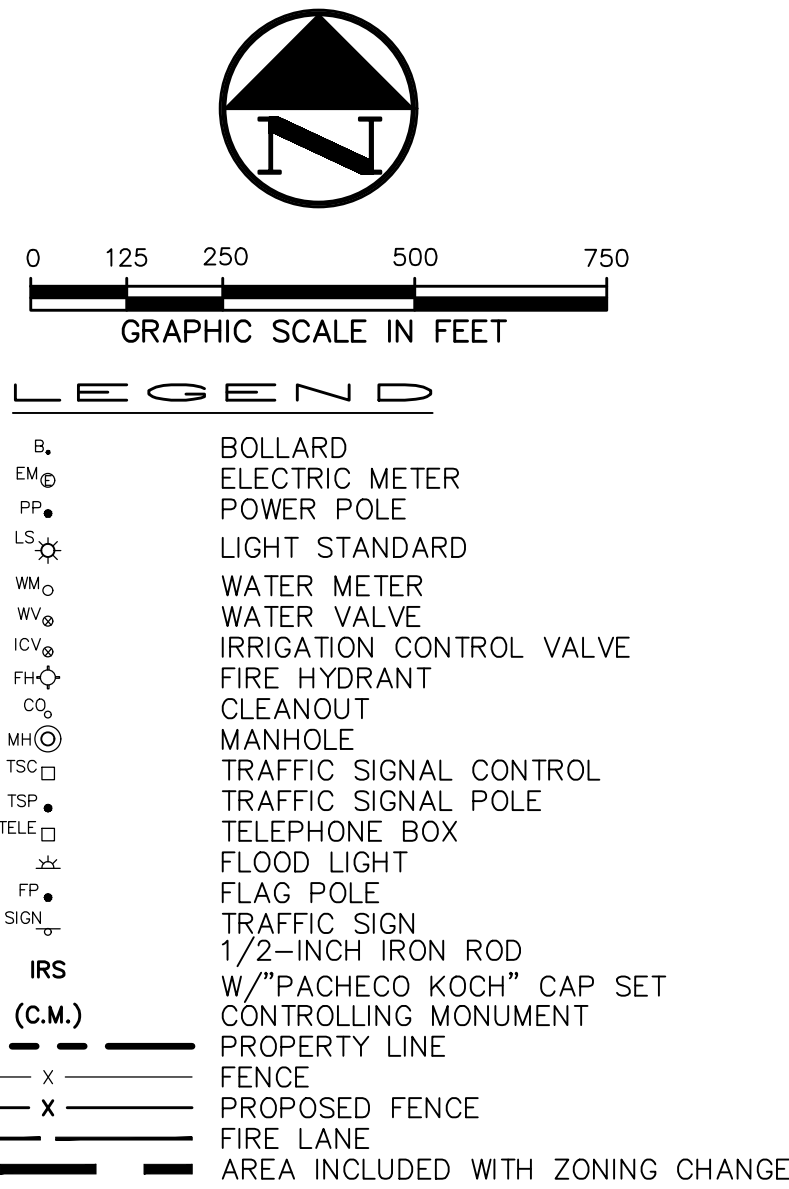
SITE 3:
OWNER: BETTY PRIEST FIRST AND SECOND TRACT
(VOL. 6887, PG. 216) (D.R.T.C.T.)
ACREAGE: TRACT 3 (30.782 ACRES)
CONTACT: KELLY PRIEST
EMAIL: ROBERT@PUTMANLAWFIRM.COM

SITE 4:
OWNER: MELINDA LOU MCVEAN (1/5 INTEREST);
FRED BALLARD, JR. (2/5 INTEREST);
AND JOSEPH PATTERSON BALLARD (2/5 INTEREST)
(VOL. 2392, PG. 483) (D.R.E.C.T.)
ACREAGE: TRACT 4 (70.292 ACRES)
CONTACT: MELINDA MCVEAN, JOE PATTERSON, FRED BALLARD JR.
EMAIL: FRED@BLUEHORSEBUILDING.COM / JOE.BALLARD@YMAIL.COM

SITE 5:
OWNER: MYRNA P. ABRAMS
(VOL. 2575, PG. 2189) (D.R.E.C.T.)
ACREAGE: 65.624 ACRES
CONTACT: MYRNA P. ABRAMS
EMAIL: DAVID.HINSON@YOUNGERPARTNERS.COM / TOM.GRUNNAH@YOUNGERPARTNERS.COM

SITE 6:
OWNER: JUDITH ANN PHILLIPS TRACT 1
(VOL. 1106, PG. 599) (D.R.E.C.T.)
ACREAGE: 9.21 ACRES
CONTACT: JAMES PHILLIPS
EMAIL: JNPAGGIE@YAHOO.COM

LOT INFORMATION					
BLOCK #, LOT #	ACRES	SQ. FT	IMPROVEMENTS	ESTIMATED START DATE	ESTIMATED COMPLETION DATE
BLOCK 1, LOT 1	31.193	1,358,770	BUILDING 1	3/1/2019	3/1/2020
BLOCK 1, LOT 2	9.780	426,017	BUILDING 2	5/1/2019	5/1/2020
BLOCK 1, LOT 3	11.337	493,840	BUILDING 3	5/1/2019	5/1/2020
BLOCK 1, LOT 4	12.968	564,881	OPEN SPACE		
BLOCK 1, LOT 5	9.588	417,653	BUILDING 4	3/1/2021	3/1/2022
BLOCK 1, LOT 6	22.757	991,295	BUILDING 5	3/1/2021	3/1/2022
BLOCK 1, LOT 7	13.563	590,785	OPEN SPACE		
BLOCK 1, LOT 8	1.259	54,827	OPEN SPACE		
BLOCK 2, LOT 1	30.943	1,347,897	BUILDING 6	3/1/2021	3/1/2022
BLOCK 3, LOT 1	55.388	2,412,713	BUILDING 7	9/1/2021	9/1/2022
BLOCK 4, LOT 1	20.234	881,388	OPEN SPACE		
BLOCK 4, LOT 2	14.716	641,044	OPEN SPACE		
OFFSITE IMPROVEMENTS				3/1/2019	3/1/2020
AREA SITE WORK		2,767,000		3/1/2019	3/1/2020



OWNER/DEVELOPER:
NAME: LOGISTICS PROPERTY COMPANY
ADDRESS: 909 LAKE CAROLYN PARKWAY
SUITE 775, IRVING, TEXAS 75039
CONTACT: KENT NEWSOM
PHONE: 214.850.2341
EMAIL: KNEWSOM@LOGISTICSPROPERTYCO.COM


LANDSCAPE CONSULTANT:
NAME: BELLE FIRMA
ADDRESS: 4245 NORTH CENTRAL EXPY, SUITE 501
DALLAS, TEXAS 75205
CONTACT: KORI HAUG
PHONE: 214.865.7192
EMAIL: KHAUG@BELLEFIRMA.COM

SURVEYOR/ENGINEER:
NAME: PACHECO KOCH
ADDRESS: 7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
CONTACT: ALEXANDER CAMUNEZ
PHONE: 972.235.3031
EMAIL: ACAMUNEZ@PKPCE.COM

NOTES

1. A 30-FOOT BUILDING SETBACK IS REQUIRED ALONG ALL STREET FRONTAGE.
2. THIS DEVELOPMENT WILL BE IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN THE ZONING ORDINANCE RELATED TO SIGNAGE, PARKING, LANDSCAPING, SCREENING OR OTHER REQUIREMENTS.
3. THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
4. A MINIMUM 40-FOOT BUILDING SETBACK ALONG THE RESIDENTIAL LOT IS REQUIRED. NO BUILDING, LOADING DOCK, PARKING LOT, OUTSIDE STORAGE OR SERVICE AREA MAY BE LOCATED IN THIS SETBACK. AN 8-FOOT MASONRY SCREENING WALL SHALL BE PROVIDED ALONG THE BOUNDARY OF THE RESIDENTIAL LOT. A MINIMUM 30-FOOT WIDE BUFFER YARD WITH 1 CANOPY TREE FOR EVERY 25 LINEAR FEET OR PORTION THEREOF ALONG THE BOUNDARY OF THE RESIDENTIAL LOT IS REQUIRED. ANY LIGHTING FROM BUILDINGS 5 AND 6, THE PARKING LOTS, DRIVEWAYS, STORAGE AREAS, ETC., WILL BE SHIELDED AND DIRECTED AWAY FROM THE RESIDENTIAL LOT.
5. BUILDINGS FRONTING PUBLIC STREETS SHALL PROVIDE A ROW OF EVERGREEN SHRUBS ALONG THE STREET TO SCREEN THE PARKING LOT AND ANY TRUCK BAY DOORS FACING THE RIGHT OF WAY. THE SHRUBS OR SCREENING TREES MUST BE PLANTED OUT OF ANY UTILITY OR NATURAL GAS PIPELINE EASEMENTS. SHRUBS MUST BE AT LEAST 4 TO 6 FEET IN HEIGHT WHEN PLANTED.
6. ALL BUILDINGS WILL REQUIRE SPRINKLERS AND ALARMS. CONSULT A FIRE PROTECTION ENGINEER FOR FIRE FLOW, DESIGN, SIZE OF FIRE LINE, PUMPS, RACK STORAGE, AND CLASSIFICATION OF MAXIMUM HAZARD TO BE STORED ETC.
7. FIRE LANES WILL BE REQUIRED TO LOOP ALL BUILDINGS. FIRE LANES WILL BE A MINIMUM OF 26 FEET WIDE.
8. A MINIMUM OF 2 POINTS OF ACCESS WILL BE REQUIRED DURING CONSTRUCTION AND IN THE FINAL DEVELOPMENT. THE DEVELOPMENT PLAN ONLY REFERS TO 2 POINTS OF ACCESS DURING CONSTRUCTION.
9. ALL ROADS SHALL SUPPORT A MINIMUM OF 75,000 LBS. AND BE MAINTAINED DURING CONSTRUCTION.
10. ALL DRIVEWAYS SHALL BE APPROVED BY THE CITY AND/OR TXDOT, WHERE APPLICABLE.
11. ALL PROPOSED UTILITIES OF THE SUBDIVISION MUST BE PLACED UNDERGROUND.
12. ALL USES PERMITTED IN I-1, LIGHT INDUSTRIAL DISTRICT.
13. A MANDATORY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTNENCE OF OPEN SPACE LOTS.
14. A) THE PRIVATE ACCESS/ COMMON ACCESS/INGRESS-EGRESS EASEMENT IS FOR THE USE OF BLOCK 1, LOTS 1, 2, 3, 5 & 6. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS & EGRESS ALONG THE EASEMENT.
B) THE PRIVATE ACCESS/COMMON ACCESS/INGRESS-EGRESS EASEMENT SHALL BE MAINTAINED BY THE PROPERTY OWNER.
15. THE SPACE AROUND THE DRILL SITE WILL NEED TO BE COORDINATED WITH THE GAS WELL OPERATOR, INCLUDING FOAM LINES.

ZC # 18-021



Pacheco Koch

7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-14439
TX REG. SURVEYING FIRM LS-10193805

EXHIBIT C						
DEVELOPMENT PLAN						
PARK 360 SOUTH						
OUT OF MELTON GREGG SURVEY, ABST#560 AND						
SAMUEL C. NEILL SURVEY, ABST#1159,						
TARRANT COUNTY, TEXAS AND						
THE MELTON GREGG SURVEY, ABST#385,						
H.HENDERSON SURVEY ABST#432,						
AND J. LAWRENCE SURVEY, ABST#616						
ELLIS COUNTY, TEXAS						
CITY OF MANSFIELD, TEXAS						
DATE OF PREPARATION: 09/19/2018						
241.69 ACRES - 7 LOTS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
AJC	JQ	SEPT 2018	1"=250'			C

PRELIMINARY
NOT FOR CONSTRUCTION
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF CLAYTON J. STOLLE, P.E. TEXAS REGISTRATION NO. 108906
DATE: 11/16/2018