

Proposed Use: Seven single family homes

Planned Development Regulations: The development will comply with the following:

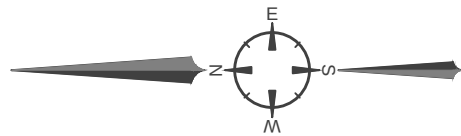
1. All regulations applicable to the SF-7.5/18, Single Family Residential District except for minimum lot depth and minimum masonry construction, and that the minimum floor area will be 2,000 sq ft.
2. Architectural attributes for residential development in Section 4600D of the Zoning Ordinance; plus the homes will feature craftsman style details such as exposed rafter tails and corbels.
3. Landscape standards in Section 7300 of the Zoning Ordinance.

NOTES

1. All existing structures on the property will be removed.
2. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.
3. Survey boundary dimensions shown based on C.B.G Surveying, Inc. survey dated 02/19/18 for Portion of Lot 5, Block 3, Britton, Tracts 1 and 2 located at 913 Cope Street.



Location Plan



1" = 40'

Property Owner/Developer: Riness Holdings LLC
Manager: Jordan Riness
Address: 6606 Thistle Wood Dr., Midlothian, TX 76065
Phone: 231-409-9492
Email: JRiness@gmail.com

EXHIBIT B
ZC#18-022
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NOTES:
BEARINGS ARE BASED ON DEED RECORDED IN VOLUME 1614, PAGE 1024.
EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 949, PG. 413

REVISIONS		
DATE	BY	NOTES

LEGEND	
CM CONTROLLING MONUMENT	PE - POOL EQUIPMENT
1/2" IRON ROD FOUND	BRICK COLUMN
1/2" IRON ROD SET	AC - AIR CONDITIONING
3/8" IRON ROD FOUND	FIRE HYDRANT
60D NAIL FOUND	UNDERGROUND ELECTRIC
MAG NAIL FOUND	OVERHEAD ELECTRIC
POWER POLE	POINT FOR CORNER
ASPHALT PAVING	GRAVEL/ROCK ROAD OR DRIVE
CONCRETE PAVING	

Christopher J. Taylor, P.E. 904 Mobley Road Cedar Hill, TX 75104 P 646-276-7718 TX P.E. #110602 cjtaylor.engineer@yahoo.com				
SCALE	DATE	JOB NO.	DESIGN BY	DRAWN BY
1" = 40'	08/29/18	JR-1001	CJT	CJT

DEVELOPMENT PLAN	
PORTION OF LOT 5, BLOCK 3, TRACT 2, BRITTON	
ELLIS COUNTY, TEXAS	
913 COPE STREET	

EXHIBIT B - CONCEPT ELEVATIONS FOR ZC#18-022

