

BARRINGTON WAY
(60' Width R.O.W.)

ZONING: PD
(PLANNED DEVELOPMENT
USE: UNDEVELOPED

16
PUBLIC
ENTRANCE
7-ELEVEN
70' X 43'
3,010 S.F.
70'

ZONING: PD
(PLANNED DEVELOPMENT)
USE: UNDEVELOPED

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF SHERELLE RUSSELL, P.E. 97115 ON 9/28/18. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214-343-9400 www.dimensiongrp.com

1. ALL SIGNAGE WILL COMPLY WITH REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.
2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
3. THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.

- ① CONSTRUCT 6" CURB & GUTTER
- ② CONSTRUCT 6" CONCRETE PAVEMENT SECTION (RE: GEOTECH)
- ③ INSTALL 4" CONCRETE SIDEWALK
- ④ NEW UNDERGROUND FUEL STORAGE TANKS
- ⑤ INSTALL TANK VENTS
- ⑥ NEW 6' SIDEWALK IN RIGHT-OF-WAY. STANDARD GRAY CONCRETE PER CITY OF MANSFIELD STANDARDS, 4000 P.S.I., MEDIUM BROOM FINISH
- ⑦ INSTALL AIR & WATER MACHINE
- ⑧ INSTALL (12) U-SHAPED BOLLARDS. REF. FUEL PLANS
- ⑨ INSTALL HANDICAP VAN AND CAR SIGN (RE: A.D.A. PLAN)
- ⑩ 4" WHITE PAVEMENT SOLID PARKING STRIPES
- ⑪ HANDICAP VAN PARKING
- ⑫ STANDARD AREA LIGHT POLE (RE: PHOTOMETRIC PLAN)
- ⑬ NEW GASOLINE CANOPY
- ⑭ (3) NEW TRASH CANS
- ⑮ (6) NEW MULTI-PRODUCT DISPENSERS
- ⑯ NEW BIKE RACK (2 SPACES)
- ⑰ NEW I.D. SIGN (BY SEPARATE PERMIT)
- ⑱ 8' HEIGHT BINS WESTERN KING SIZE (3X3X10) COUNTRY CLUB, NO BLACKS BUFF (WHITE CEMENT & RED MASONRY SAND)
- ⑲ 11' X 35' LOADING ZONE
- ⑳ OPEN SPACE AREA. CONSTRUCT CONCRETE PAVEMENT.
- ㉑ OUTDOOR TABLES
- ㉒ 7' X 60' VISIBILITY TRIANGLES
- ㉓ NEW ELECTRIC VEHICLE SPACE CHARGING STATION SIGN

ZONING	PD (PLANNED DEVELOPMENT) WITH FREEWAY OVERLAY DISTRICT
USE	RETAIL WITH GAS SALES
LOT AREA	52,664 S.F. (1.209 ACRES)
BUILDING SQUARE FOOTAGE	3,010 S.F.
CANOPY SQUARE FOOTAGE	3,096 S.F.
LOT COVERAGE	7.93%
BUILDING HEIGHT	18'-8"
CANOPY HEIGHT	17'-6"
PARKING REQUIRED	15 SPACES [1 / 200 s.f.] MIN. OF 4 SPACES
PARKING PROVIDED	15 SPACES
HANDICAP PARKING REQUIRED	1 SPACES
HANDICAP PARKING PROVIDED	1 SPACES
BICYCLE PARKING REQUIRED	1
BICYCLE PARKING PROVIDED	2
TOTAL IMPERVIOUS SURFACE	32,075 S.F. OR 61%
LANDSCAPE AREA	20,589 S.F. OR 39%

SOMERSET ADDITION
LOT 1 BLOCK, 48
ZC#18-024
1.209 ACRES
CITY OF MANSFIELD, ELLIS COUNTY, TEXAS
OCTOBER 5, 2018

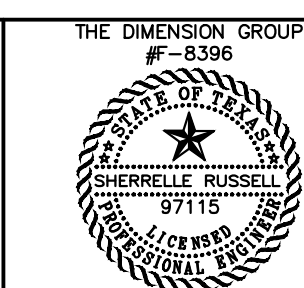
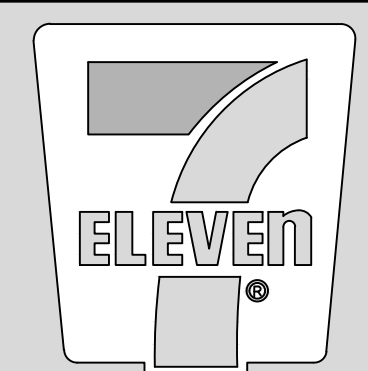
OWNER/DEVELOPER
HANOVER PROPERTIES, INC.
3001 KNOX STREET, SUITE 207
DALLAS, TX 75205
PHONE: (214) 445-2205
CONTACT: BEN LUEDTKE

ENGINEER
THE DIMENSION GROUP
10755 SANDHILL ROAD
DALLAS, TX 75238
PHONE: (214) 343-9400
CONTACT: SHERRELLE RUSSELL, PE

[24x36Tb.dwg] [c-base.dwg] [v-base.dwg]
Drawing name: L: 7-Eleven\00_Projects-Creighton\2018\18-614 - #043042 - Mansfield, TX (360 & 287)\02_Civil\3D_Sheet\CD\03-18614-SITE_PLAN.dwg Nov 06, 2018 - 11:00am



CAUTION NOTICE TO CONTRACTORS
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO LOCATIONS OF THE UTILITIES IT SHALL BE THE CONTRACTOR TO RELOCATED ALL EXISTING UTILITIES PRIOR TO ANY PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

[illegible]

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF SHERELLE RUSSELL, P.E. 97115 ON 9/28/18. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING

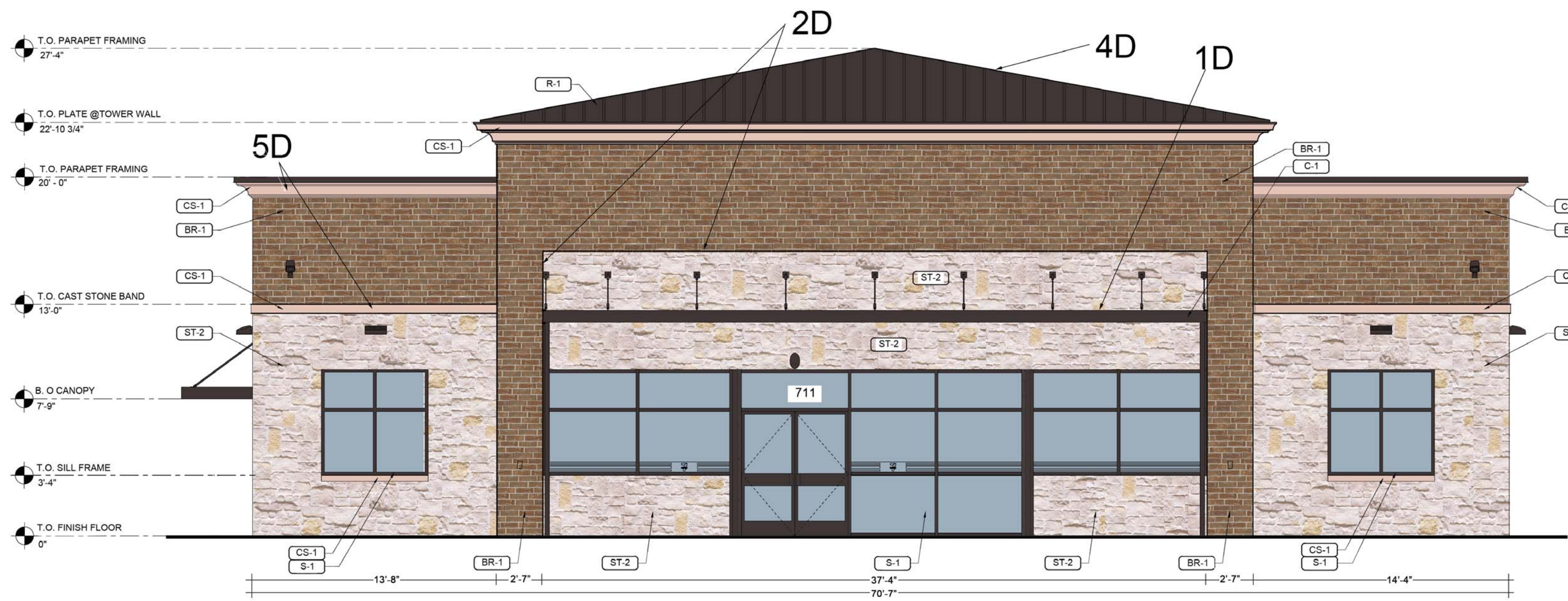
10755 SANDHILL ROAD, DALLAS, TEXAS 75238
TEL: 214-343-9400 www.dimensiongrp.com

SITE PLAN FOR SUP

7-ELEVEN STORE
U.S. HIGHWAY 287 & BARRINGTON WAY
MANSFIELD, TEXAS 76065

SHEET

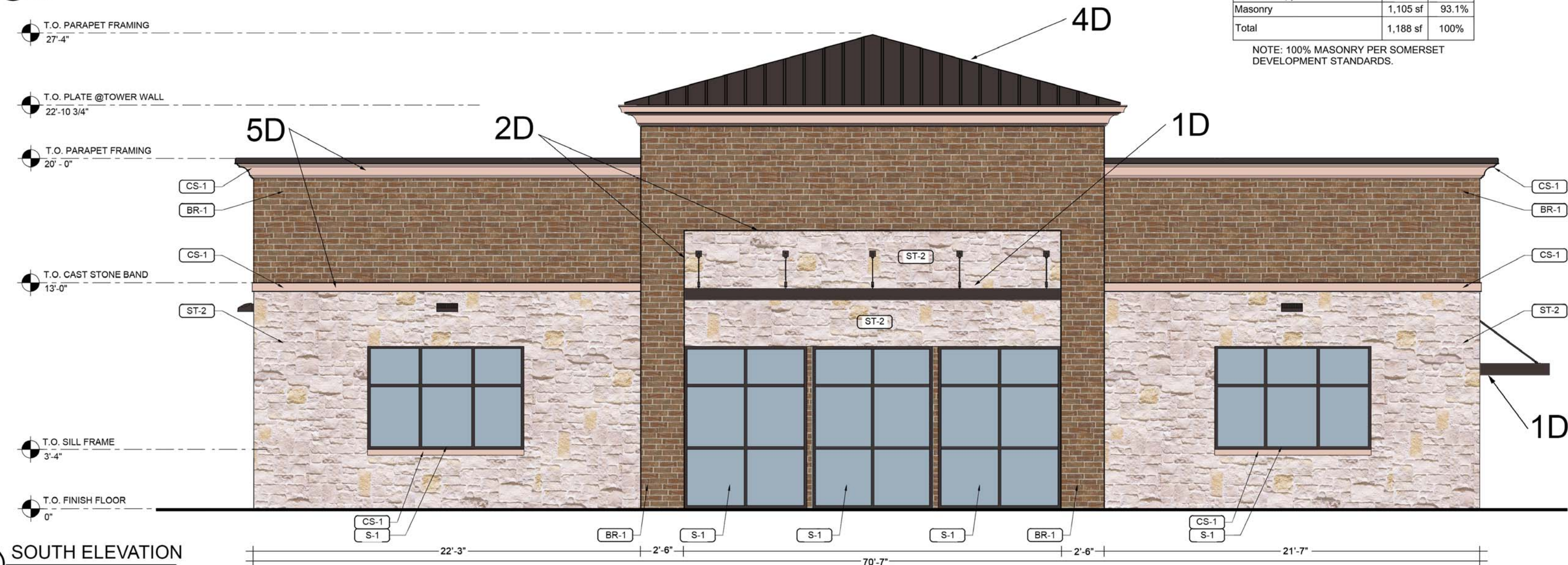
C3.0



1 NORTH ELEVATION
NTS

North Elevation Materials	SF	Percent
EIFS Cornice	58 sf	4.8%
Metal Canopy	25 sf	2.1%
Masonry	1,105 sf	93.1%
Total	1,188 sf	100%

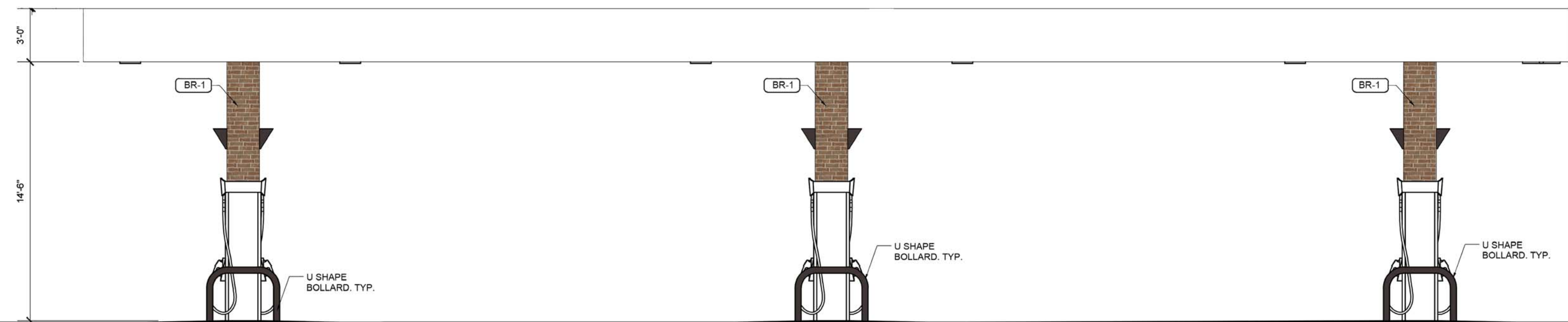
NOTE: 100% MASONRY PER SOMERSET DEVELOPMENT STANDARDS.



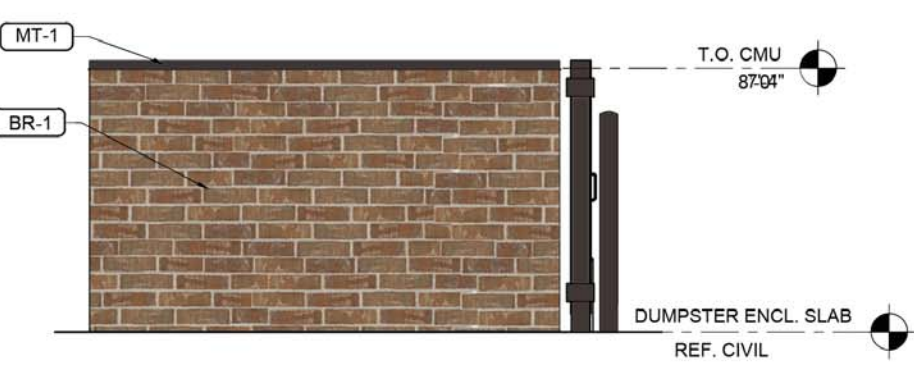
3 SOUTH ELEVATION
NTS

South Elevation Materials	SF	Percent
EIFS Cornice	60 sf	4%
Metal Canopy	14.4 sf	2%
Masonry	1,204 sf	94%
Total	1,278 sf	100%

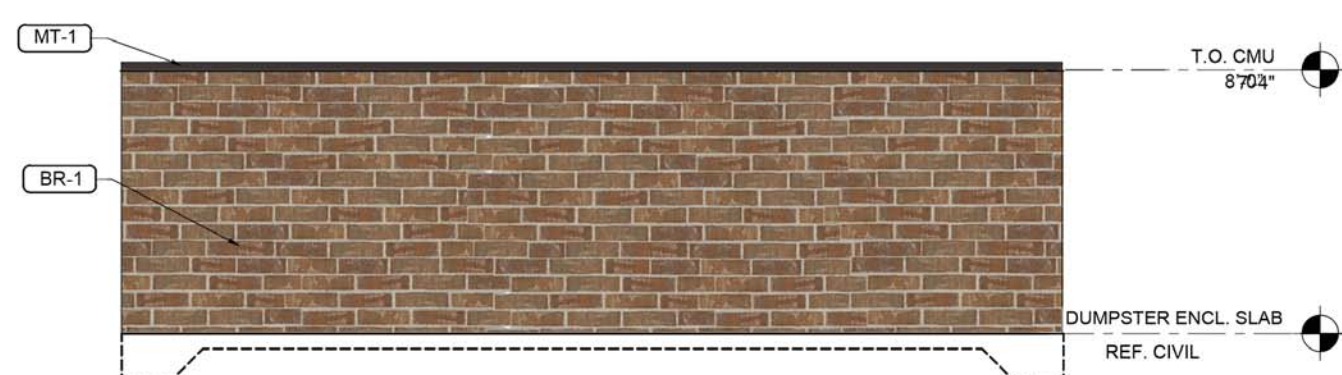
NOTE: 100% MASONRY PER SOMERSET DEVELOPMENT STANDARDS.



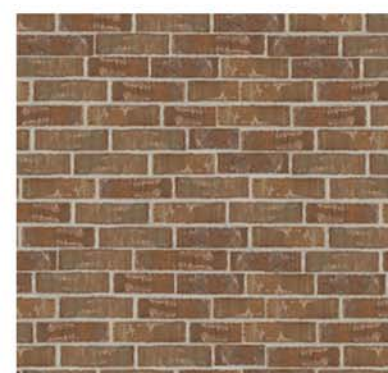
5 CANOPY FRONT ELEVATION
NTS



7 SIDE DUMPSTER ENCL. ELEVATION
NTS



8 REAR DUMPSTER ENCL. ELEVATION
NTS



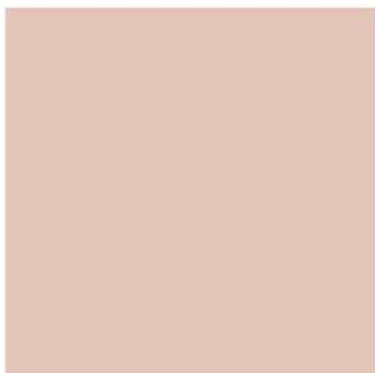
BR-1
BINSIA COUNTRY CLUB



ST-2
GRANBURY CHAMPAGNE



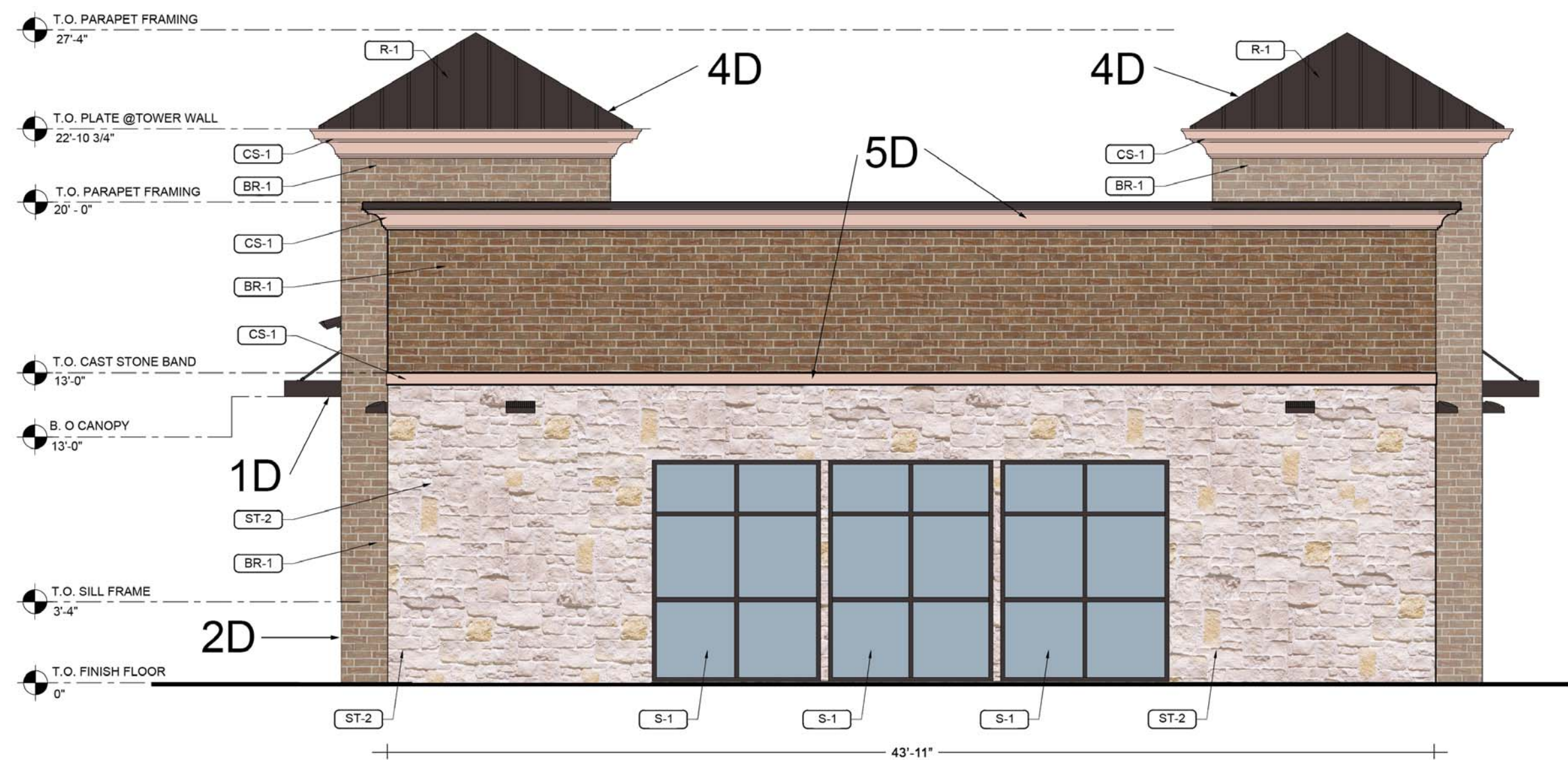
S-1
STOREFRONT
DARK BRONZE ALUMINIUM



CS-1
CAST STONE
ARLINGTON
MOCHA



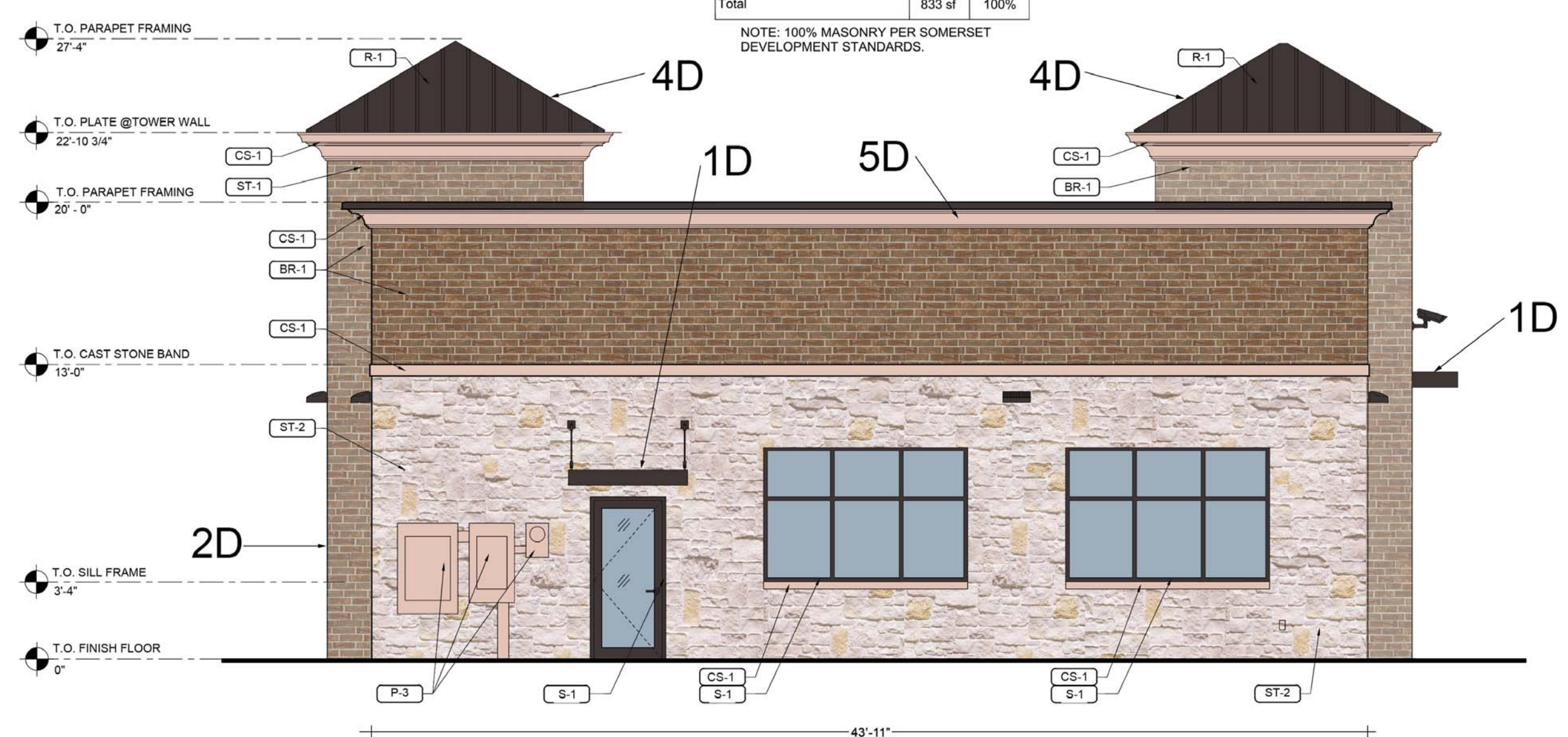
R-1
STANDING SEAM
DARK BRONZE



2 WEST ELEVATION
NTS

West Elevation Materials	SF	Percent
EIFS Cornice	58 sf	7%
Masonry	775 sf	93%
Total	833 sf	100%

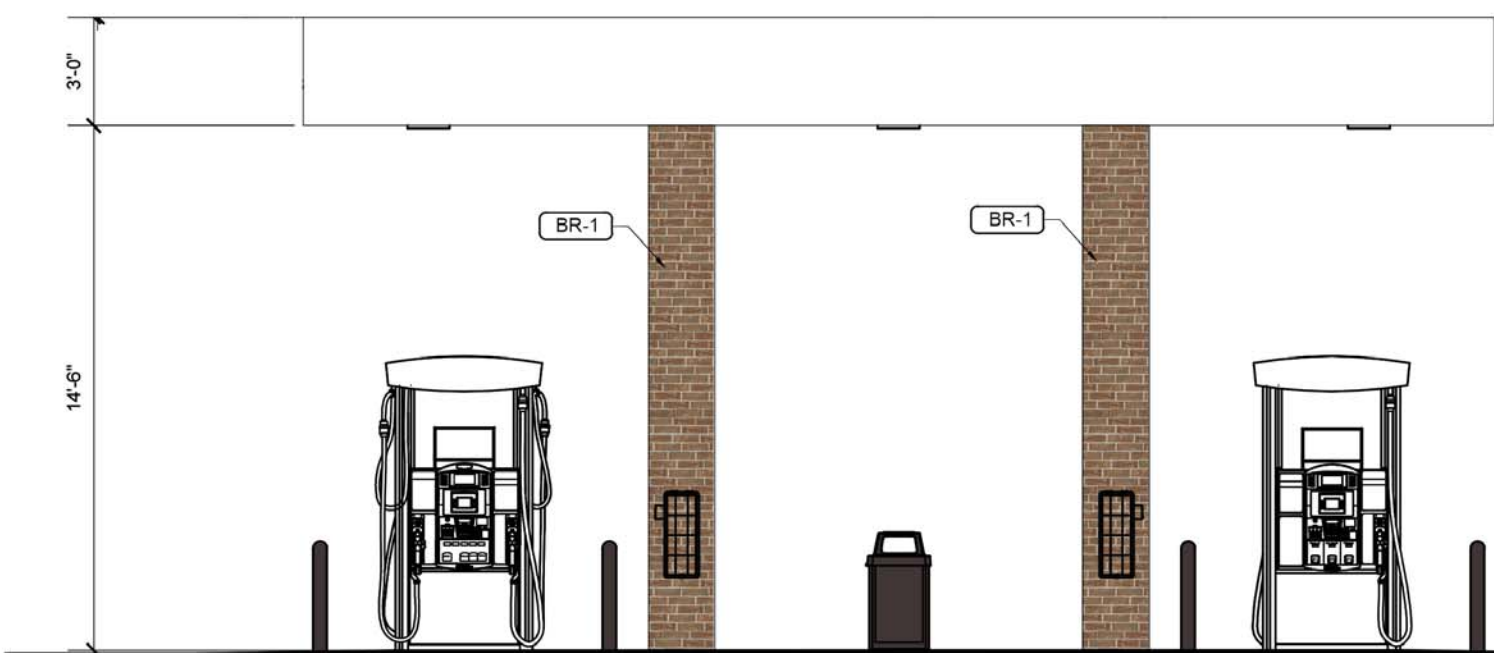
NOTE: 100% MASONRY PER SOMERSET DEVELOPMENT STANDARDS.



4 EAST ELEVATION
NTS

East Elevation Materials	SF	Percent
EIFS Cornice	58 sf	6.5%
Metal Canopy	3.5 sf	0.5%
Masonry	825 sf	93%
Total	886 sf	100%

NOTE: 100% MASONRY PER SOMERSET DEVELOPMENT STANDARDS.



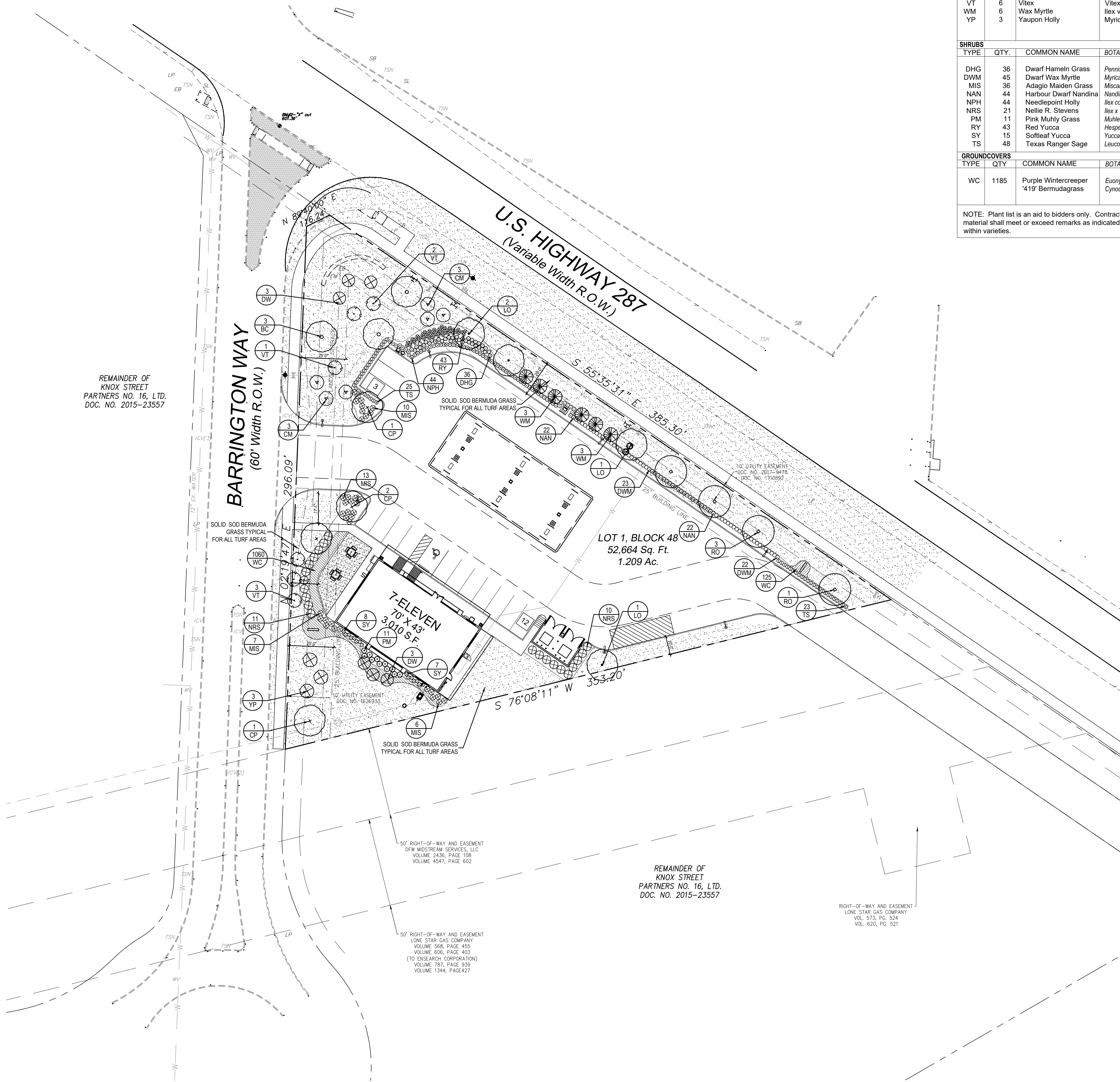
6 CANOPY SIDE ELEVATION
NTS

SOMERSET DEVELOPMENT DESIGN ELEMENTS

- 1D CANOPIES
- 2D RECESSES OR PROJECTIONS
- 3D OUTDOOR PATIO
- 4D PEAKED ROOF FORMS
- 5D ARCHITECTURAL DETAILS:
CORNICE/HORIZONTAL BANDS

ZC# 18-024

7-ELEVEN, INC.		Description	
3200 Hackberry Rd, Irving, Texas 75063		Date	
7-ELEVEN #1043042		Rev. #	
U.S. HIGHWAY 287 & BARRINGTON WAY		1	
MANSFIELD TX			
EXTERIOR ELEVATIONS			
ARCHITECTURE CIVIL ENGINEERING MEP ENGINEERING PLANNING			
10755 SANDHILL ROAD DALLAS, TEXAS 75238 O: 214-343-9400 F: 214-503-6778 dimensiongrp.com			
Job#:	18-614	Scale:	AS NOTED
Date:	9/14/18	Drawn By:	
Checked By:			
Documents prepared by The Dimension Group are to be used only for the specific project and not for any other project. Any extension of use to other projects, by owner or any other party, without the expressed, written consent of The Dimension Group is done at the user's own risk. If used in a way other than that specifically intended, user will hold The Dimension Group harmless from all claims and losses.			
EXHIBIT "C"			



PLANT MATERIAL SCHEDULE					
TREES					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
BC	3	Bald Cypress	<i>Taxodium distichum</i>	3" cal.	container, 13' ht., 5' spread min., 5' clear trunk
CM	6	Crepe Myrtle 'Dallas Red'	<i>Lagerstroemia indica 'Dallas Red'</i>	8' ht.	container, 8' ht., 3 or 5 trunks, tree form
CP	4	Chinese Pistache	<i>Pistacia chinensis</i>	3" cal.	container, 13' ht., 5' spread min., 5' clear trunk
DW	6	Desert Willow	<i>Chilopsis linearis</i>	8' ht.	container, 4' spread, 5' clear straight trunk
LO	4	Live Oak	<i>Quercus virginiana</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
RO	4	Red Oak	<i>Quercus shumardii</i>	3" cal.	container, 14' ht., 6' spread, 5' clear straight trunk
VT	6	Vitex	<i>Vitex agnus-castus</i>	8' ht.	container, 8' ht., 3 or 5 trunks, tree form
WM	6	Wax Myrtle	<i>Ilex vomitoria</i>	8' ht.	container, 8' ht., 3 or 5 trunks, tree form
YP	3	Yaupon Holly	<i>Myrica cerifera</i>	8' ht.	container, 8' ht., 3 or 5 trunks, tree form
SHRUBS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DHG	36	Dwarf Hameln Grass	<i>Pennisetum alopecuroides 'Hameln'</i>	5 gal.	container full, well rooted
DWM	45	Dwarf Wax Myrtle	<i>Myrica pusilla</i>	5 gal.	container, 24" ht., 20" spread
MIS	36	Adagio Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>	5 gal.	container full, well rooted
NAN	44	Harbour Dwarf Nandina	<i>Nandina domestica 'Harbour Dwarf'</i>	5 gal.	container, 24" ht., 20" spread
NPH	44	Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>	5 gal.	container, 24" ht., 20" spread
NRS	21	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	6' ht.	container, 48" spread, full to base
PM	11	Pink Muhly Grass	<i>Muhlenbergia capillaris 'Lenca'</i>	5 gal.	container full, well rooted
RY	43	Red Yucca	<i>Hesperaloe parviflora</i>	5 gal.	container, full, well rooted
SY	15	Softleaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	container, 20" ht., 20" spread
TS	48	Texas Ranger Sage	<i>Leucophyllum frutescens 'Texas Ranger'</i>	5 gal.	container, 24" ht., 20" spread
GROUNDCOVERS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
WC	1185	Purple Wintercreeper '419' Bermudagrass	<i>Euonymus fortunei 'Coloratus'</i> <i>Cynodon dactylon '419'</i>	4" pots	container, 3- 12" runners min., 12" o.c. Solid Sod refer to notes
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.					

SOMERSET LANDSCAPE REQUIREMENTS

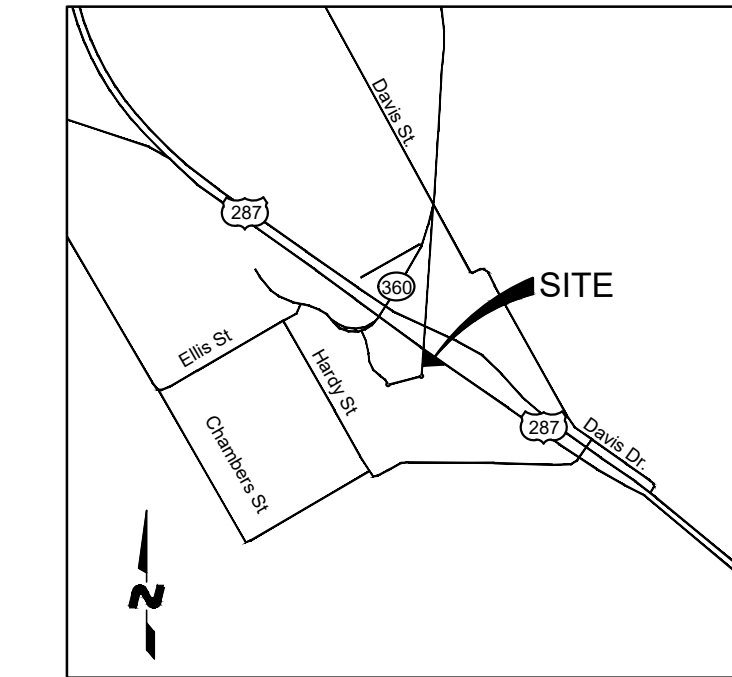
SCREENING:
REQUIREMENT:
DUMPSTER TO BE SCREENED WITH 4' HT. EVERGREEN PLANT MATERIAL- PROVIDED

PARKING LANDSCAPE GUIDELINES:
REQUIREMENTS:
EVERY PARKING SPACE IN WITH IN 100 FEET OF THE TRUNK OF A TREE- PROVIDED
ONE TREE OR TWO ORNAMENTAL TREES ARE REQUIRED IN THE LANDSCAPE ISLANDS- PROVIDED

LANDSCAPE ISLANDS ARE REQUIRED AT THE TERMINUS OF EACH PARKING BAY.
ONE TREE OR TWO ORNAMENTAL TREES ARE REQUIRED IN THE LANDSCAPE ISLANDS- PROVIDED

PERIMETER PARKING LOT LANDSCAPE- 695.83 L.F.
ONE SHADE TREE SPECIES PER 60 L.F.
ONE ORNAMENTAL TREE PER 30 L.F.
ONE (5) GALLON SHRUB PER 5 L.F.

REQUIRED	PROVIDED
12 SHADE TREES	12 SHADE TREES
24 ORNAMENTAL TREES	24 ORNAMENTAL TREES
139 (5) GALLON SHRUBS	259 (5) GALLON SHRUBS



VICINITY MAP
N.T.S.

GENERAL LAWN NOTES

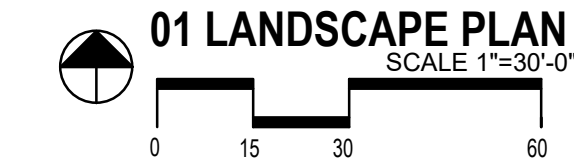
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

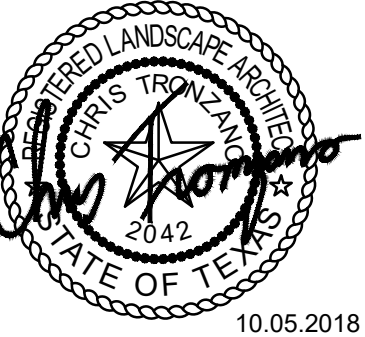
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



7- ELEVEN STORE
U.S. 287 AND BARRINGTON WAY
MANSFIELD, TEXAS

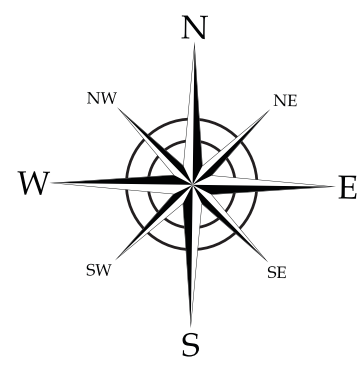
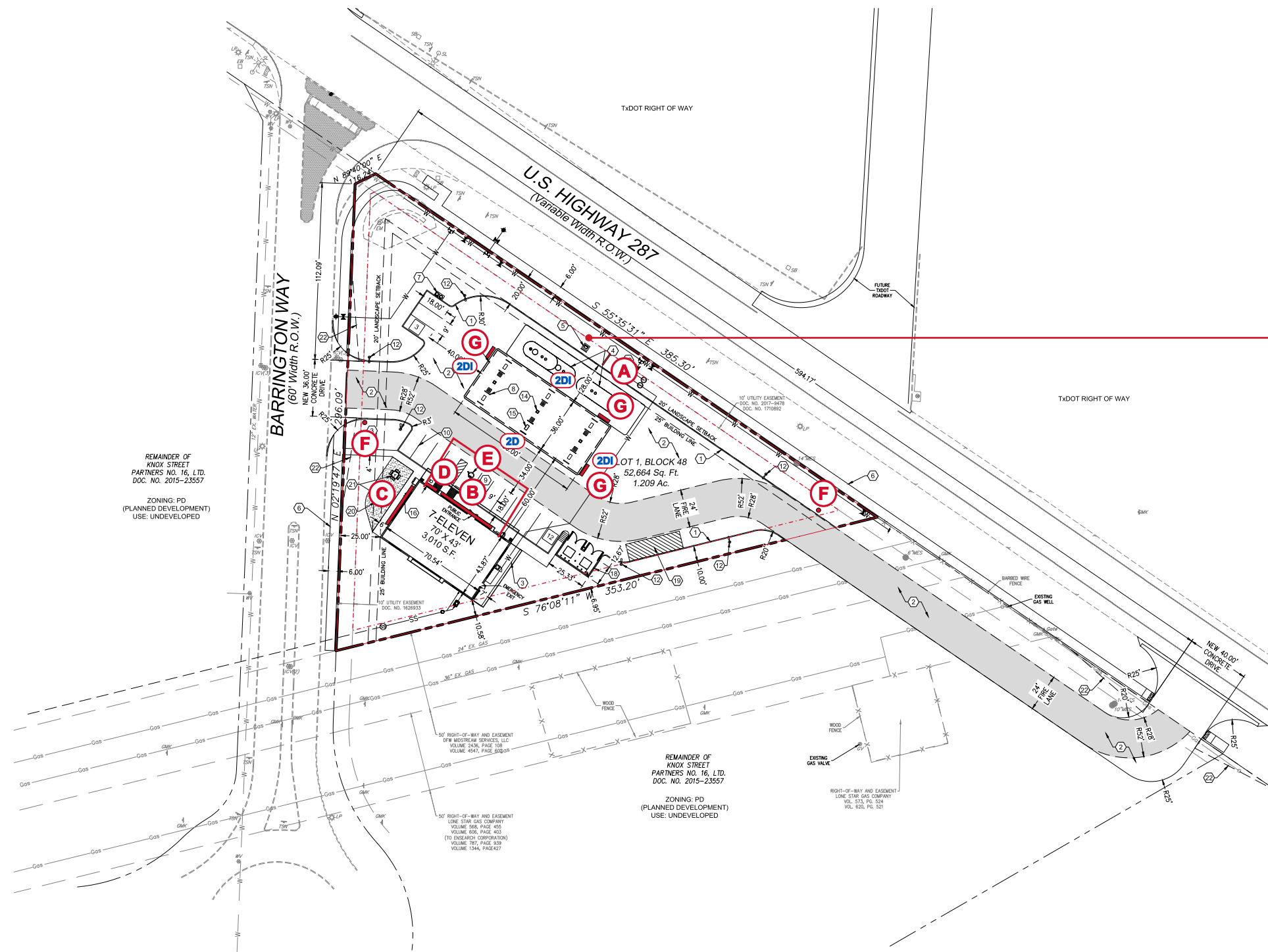
ISSUE:
FOR CONSTRUCTION 09.12.2018
CITY COMMENTS 10.05.2018

DATE:
10.05.2018

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

EXHIBIT D
ZC#18-024



10'-0" SET BACK

(A)	Monument Sign
(B)	7-Pack SEJ W/S
(C)	5-Pack SEJ W/S
(D)	Exterior ATM Sign
(E)	Window Graphics
(F)	Directional Sign
(G)	Exxon Canopy Signs

Site Plan
1" = 80'-0"

harbinger[®]

sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681
2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450

7

ELEVEN

7-Eleven #38568 (1043042)

Barrington Way @

US-287 (Business)

Mansfield, Texas 76063

SVE6964-R2

F:\Customers\7 Eleven\Art
\SVE6964-R2 #38568 (1043042).cdr

date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh

CDR: bb

Designer: mh

customer approval

DPM: aa

RCC: aa

RER: aa

Page: 1

date:

LISTED

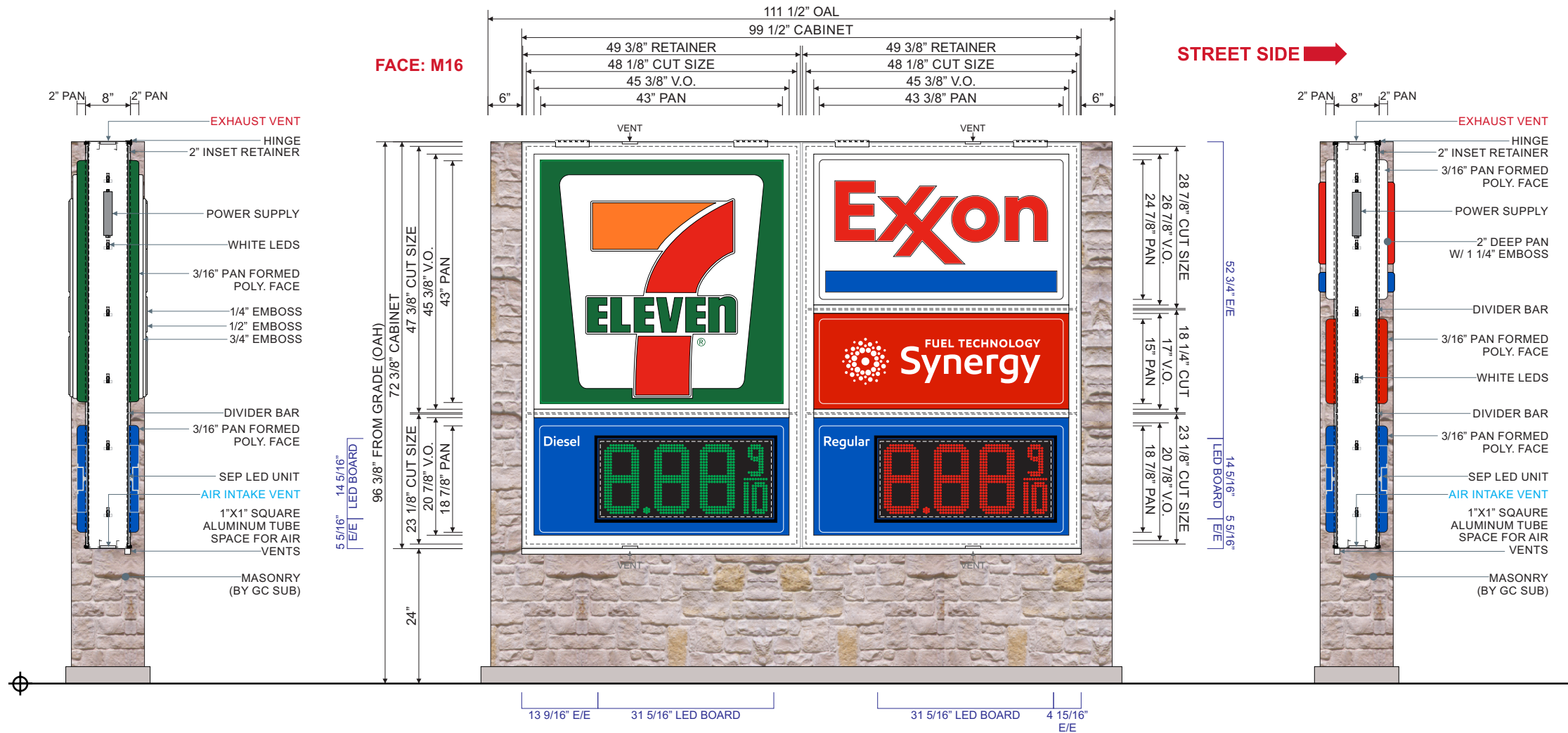
MET[®]

us

Complies with
UL 48
CSA C22.2 No.207

THE SIGNS ON THESE PAGES HAVE BEEN DESIGNED
TO MEET OR EXCEED ALL APPLICABLE CODES OR
REQUIREMENTS OF THE NEC-2014 AND OR
THE 2014 FBC AND OR THE 2007 SFBC

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.



STONE WORK NOTE

Stone: Granbury "Champagne"
Pattern: Random Ashlar Cast Stone
Color: Mocha (Arlington Cast Stone)
Mortar: Buff (White cement and red masonry sand)
PHOTO OF STONE ONLY, PATTERN, COLOR & MORTAR NOT REPRESENTED.

LANDSCAPE NOTE

- Landscaping should be incorporated at the base of the sign.
- minimum 4 ft. landscape bed shall be created on all sides of the sign.
- All landscaping to be by landscape GC.

MANUFACTURE & SHIP ONE (1) **CUSTOM** D/F INTERNALLY ILLUMINATED DUAL BRAND (7-ELEVEN & EXXON) SIGN CABINET WITH RED & GREEN LEDS. 8" DEEP EXTRUDED ALUM. CABINET WITH 2" INSET HINGED RETAINERS & 1 1/2" DIVIDER BARS TO BE PAINTED **EXXON P8 EGGSHELL WHITE**. CABINET TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS. 2" INSET RETAINERS TO BE HINGED ON ONE SIDE OF CABINET.

STANDARD 7-ELEVEN M16 FACES: 3/16" THICK PAN FORMED & EMBOSSED WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL GRAPHICS APPLIED FIRST SURFACE.
EXXON FACES: 3/16" THICK PAN FORMED & EMBOSSED CLEAR POLYCARBONATE FACES BACK SPRAYED **PMS 485 RED & PMS 293 BLUE** THEN **PMS WHITE**
EXXON SYNERGY FACE SPECS: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE BACK SPRAYED **PMS 485 RED** THEN **PMS WHITE**.
EXXON BRAND GAS PRICE FACES: 3/16" THICK PAN FORMED CLEAR POLYCARBONATE FACES BACK SPRAYED **PMS 293 BLUE** THEN **PMS WHITE** W/ **3M 7725-12 BLACK** VINYL TRIM AROUND LED WINDOW APPLIED SECOND SURFACE.

PROPOSED WITH 12" SEP PRICE-VISION RED & GREEN LED UNITS.

7-ELEVEN VINYL SPECS: 3M 3630-44 ORANGE, 3M 3630-33 RED, 3M 3630-26 GREEN, 3M 7725-12 BLACK

EXXON PAINT SPECS: EXXON P8 EGGSHELL WHITE, PMS 485 C EXXON RED, PMS 293 C EXXON BLUE, PMS WHITE

PROVIDE 1" x 1" ALUMINUM SQUARE TUBE FINISHED **P8 EGGSHELL WHITE** TO FILL/PROVIDE VENTILATION SPACE ABOVE & UNDERNEATH CABINET FOR AIR FLOW VENTS.

NOTE: MONUMENT SIGN SHALL BE CONSTRUCTED OF THE SAME PRIMARY MASONRY MATERIALS AS THE FRONT BUILDING FACADE OR THE PRINCIPAL OR MAIN BUILDING ON THE SAME LOT OR SHALL BE STONE OR BRICK AND SHALL BE SIMILAR ARCHITECTURAL STYLE.
NOTE: ALL BRICK/MASONRY TO BE PROVIDED BY GC'S SUBCONTRACTOR.

Total Sign Square footage Calculations:	
Allowed:	50.0 sqft
Proposed:	50.0 sqft

Overall Height:	
Allowed:	10 Feet
Proposed:	8 Feet

SetBacks:	
Requirements:	5 Feet
Proposed:	5 Feet

7-ELEVEN LOGO
DIMENSIONS:
OAH: 39 3/4"
OAL: 36 1/4"

SEP PRICE VISION LED UNITS:	
LED UNIT SIZE:	14.284" X 31.3"
LED CHARACTER SIZE:	12.340"

Front Elevation & Side Detail - **Custom Dual Brand - Monument Sign Structures - Sign A**
1/2" = 1'-0"

Display Square Footage (Cabinet): **50.0**
Sign Plan - EXHIBIT E - ZC# 18-024 Pg. 2 of 8

harbinger
sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681
2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450



7-Eleven #38568 (1043042)
Barrington Way @
US-287 (Business)
Mansfield, Texas 76063

SVE6964-R2

F:\Customers\7 Eleven\Art
\SVE6964-R2 #38568 (1043042).cdr

date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh

CDR: bb
Designer: mh

DPM: aa
RCC: aa
RER: aa

Page: 2

customer approval

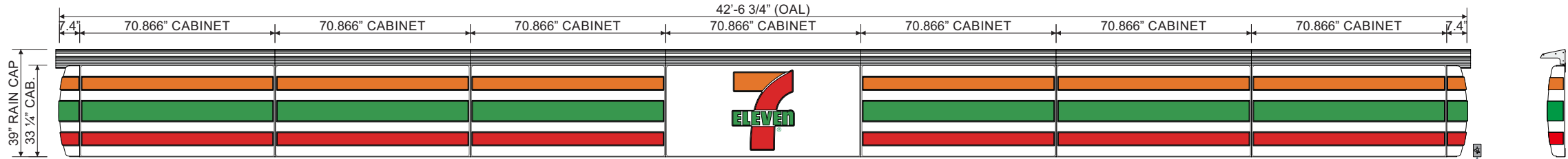
date:



Complies with
UL 48
CSA C22.2 No.207

THE SIGNS ON THESE PAGES HAVE BEEN DESIGNED
TO MEET OR EXCEED ALL APPLICABLE CODES OR
REQUIREMENTS OF THE NEC-2014 AND OR
THE 2014 FBC AND OR THE 2007 SFBC

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.



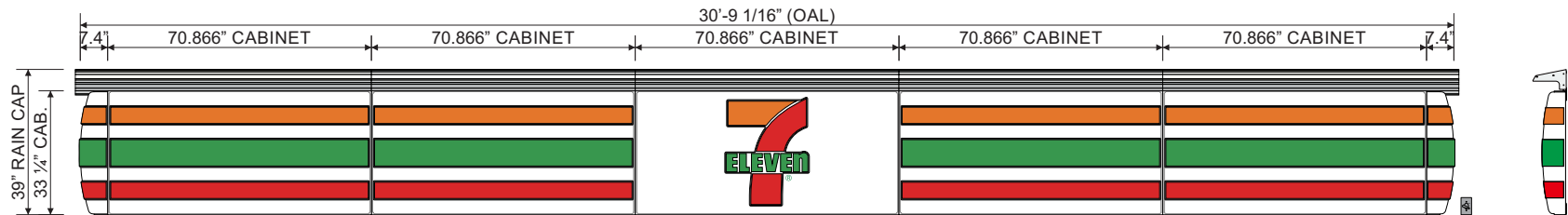
MANUFACTURE & SHIP ONE (1) SET OF 33 1/4" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1800 SERIES).

ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V ALL SIGNAGE WILL BE (MET) LISTED,(U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

Front Elevation - SEJ 1800 Series Wall Sign Sections - Sign B

1/4" = 1'-0"

Display Square Footage (Cabinets): 117.9



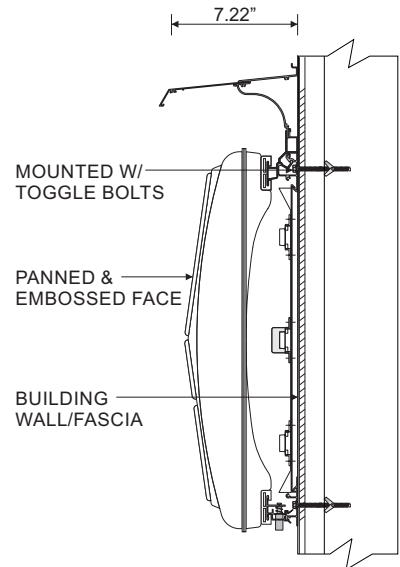
MANUFACTURE & SHIP ONE (1) SET OF 33 1/4" S/F INTERNALLY ILLUMINATED WALL SIGNS (SEJ 1800 SERIES).

ELECTRICAL NOTE: EXPOSED EXTERIOR 20 AMP WEATHERPROOF ELECTRICAL DISCONNECT REQUIRED WITHIN VISUAL RANGE OF SIGN REQUIRED FOR EVERY 16 AMPS OF SIGNAGE. ACTUAL NUMBER OF CIRCUITS TO BE DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR. ACTUAL LOCATION OF BOX MAY VARY. CIRCUITS AND SWITCH TO BE PROVIDED BY OTHERS. INPUT VOLTAGE - 120V ALL SIGNAGE WILL BE (MET) LISTED,(U.L.) 48STD COMPLIANT AND CARRY (MET) LABELS.

Front Elevation - SEJ 1800 Series Wall Sign Sections - Sign C

1/4" = 1'-0"

Display Square Footage (Cabinets): 85.3



Side Mounting Detail - Sign B, C

NTS

Sign Plan - EXHIBIT E - ZC# 18-024 Pg. 3 of 8

harbinger
sign of the future

5300 Shad Road, Jacksonville, FL. 32257 • 904.268.4681
2301 Ohio Dr, Plano, TX. 32257 • 972.905.9450



7-Eleven #38568 (1043042)
Barrington Way @
US-287 (Business)
Mansfield, Texas 76063

SVE6964-R2

F:\Customers\7 Eleven\Art
\SVE6964-R2 #38568 (1043042).cdr

date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh

CDR: bb
Designer: mh

DPM: aa
RCC: aa
RER: aa

Page: 3

customer approval

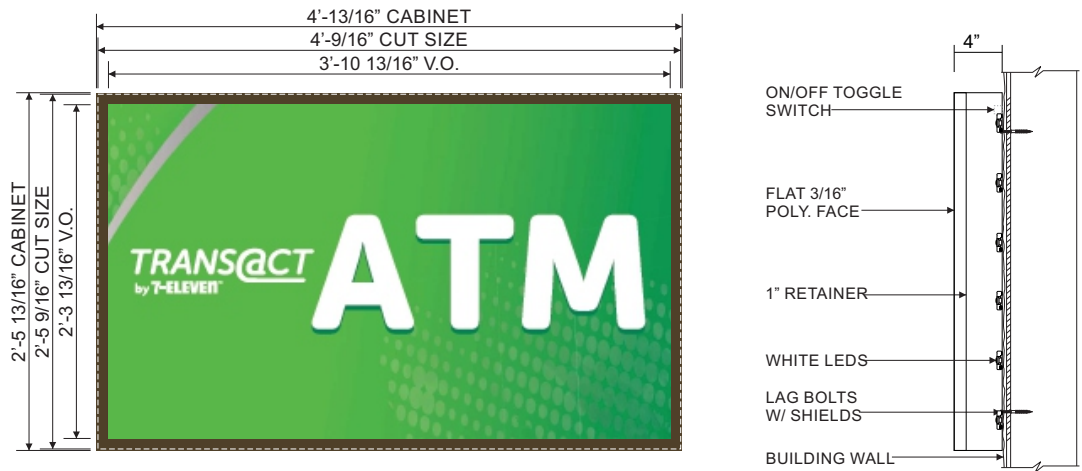
date:



Complies with
UL 48
CSA C22.2 No.207

THE SIGNS ON THESE PAGES HAVE BEEN DESIGNED
TO MEET OR EXCEED ALL APPLICABLE CODES OR
REQUIREMENTS OF THE NEC-2014 AND OR
THE 2014 FBC AND OR THE 2007 SFBC

THIS DESIGN IS FOR THE SOLE PURPOSE OF ILLUSTRATION & CONCEPT DESIGN. THIS FILE IS NOT TO BE USED FOR PRODUCTION AND/OR FABRICATION. THIS DESIGN IS THE SOLE PROPERTY OF HARBINGER AND MAY NOT BE USED OR DUPLICATED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF HARBINGER.



ONE (1) **EXTERIOR ATM** INTERNALLY ILLUMINATED S/F WALL SIGN.
3/16" THICK FLAT WHITE POLYCARBONATE FACE W/ DIGITALLY PRINTED IMAGE VINYL TO BE APPLIED FIRST SURFACE. CABINET TO BE INTERNALLY ILLUMINATED W/ GE WHITE LEDS. 4" DEEP EXTRUDED ALUMINUM CABINET & 1" RETAINERS ALL PAINTED **313E DURANODIC BRONZE**.

VINYL SPECS: DIGITALLY PRINTED IMAGE VINYL
PAINT SPECS: 313E DURANODIC BRONZE

NOTE: ATM WALL SIGN TO BE FABRICATED & PROVIDED BY OTHERS

Front Elevation & Side Mounting Detail - **ATM S/F Wall Sign - Sign D**

3/4" = 1'-0"

Display Square Footage (Cabinet): **10.1**



WINDOW VINYL GRAPHICS.
VINYL GRAPHICS TO BE APPLIED SECOND SURFACE ONTO DESIGNATED STORE WINDOWS.

NOTE: WINDOW GRAPHICS KITS TO BE PROVIDED AND INSTALLED BY OTHERS. NOT PART OF HARBINGERS SCOPE OF WORK.
NOTE: FOR FULL INSTALLATION INSTRUCTIONS, REFER TO 7-ELEVEN SIGNAGE MANUAL.

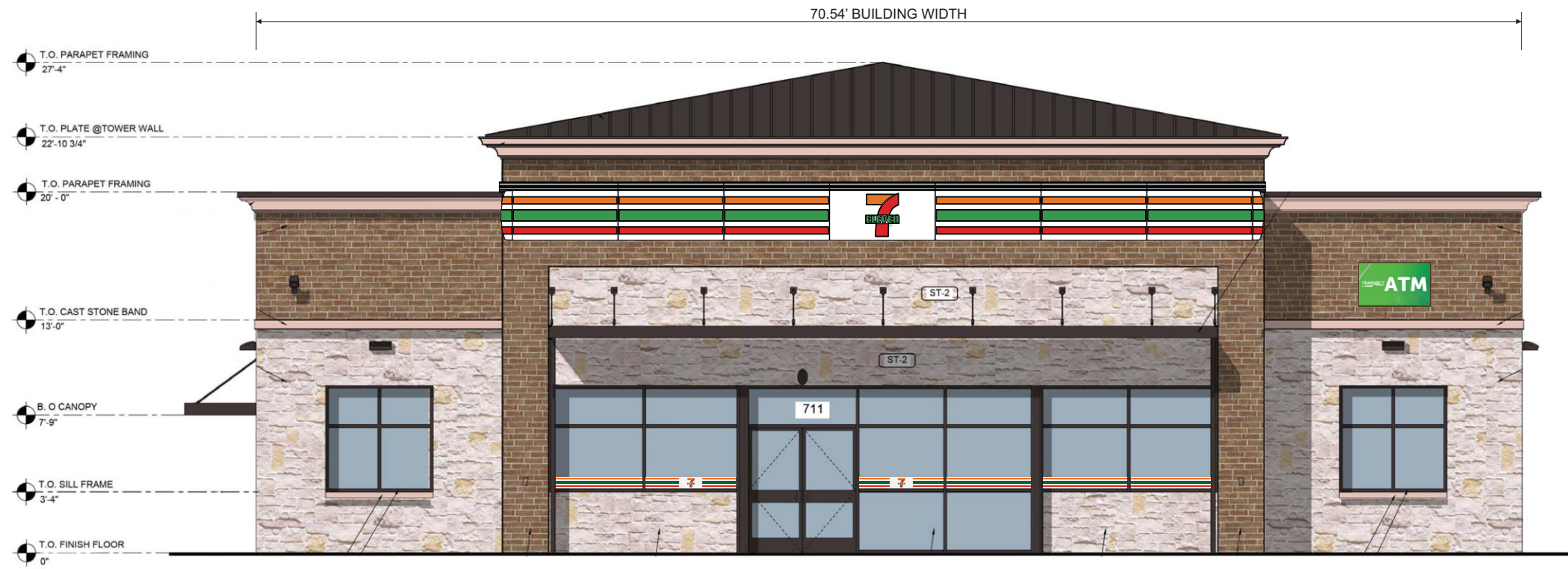
Front Elevation - **Typical Window Vinyl Graphics - Sign E**

3/8" = 1'-0"



date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh





Square footage Calculations:	
Allowed:	0.0 sqft
Proposed:	121.1 sqft

Storefront Elevation - Signs B, D, E
1/8"=1'-0"



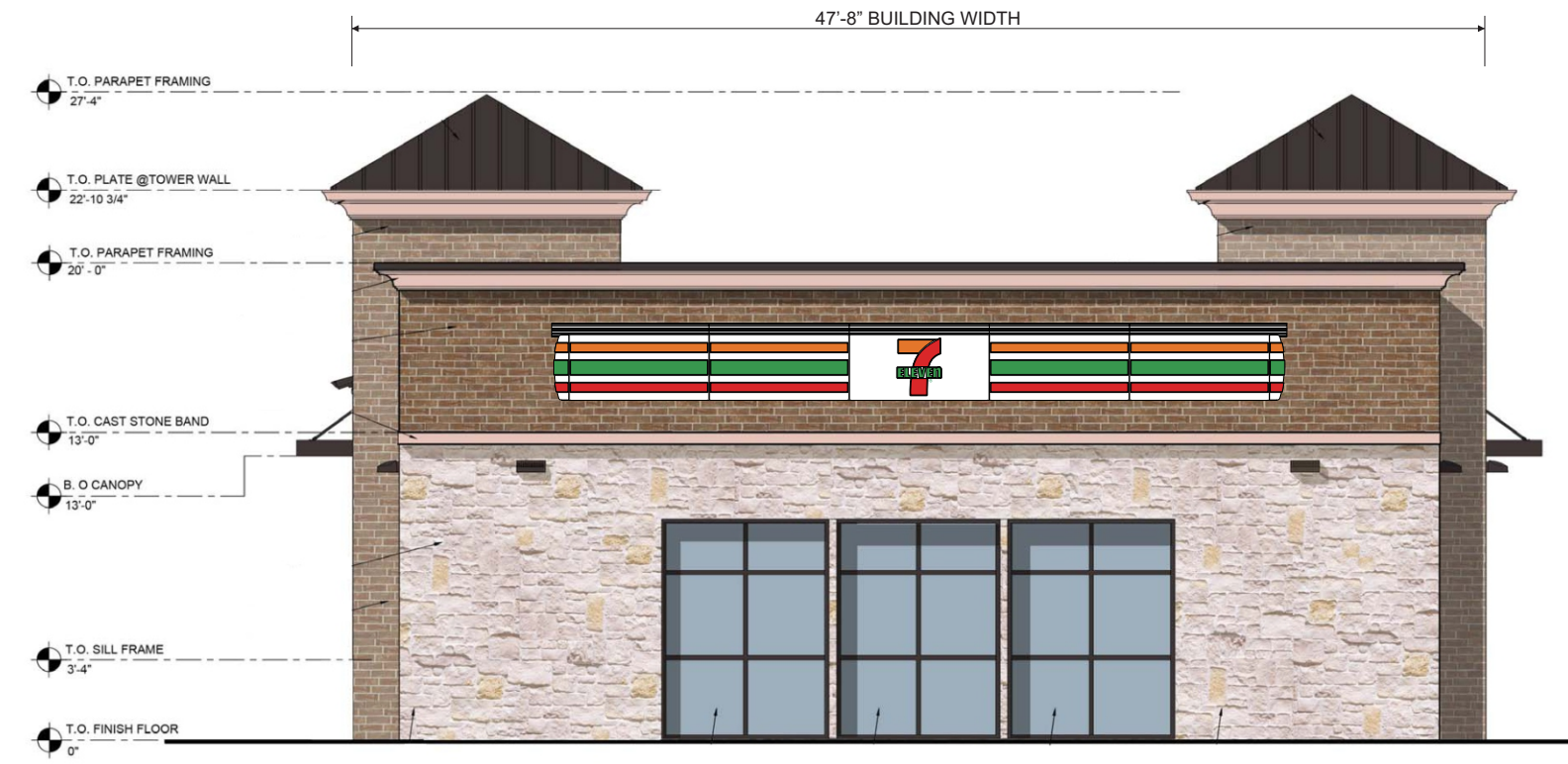
Square footage Calculations:	
Allowed:	0.0 sqft
Proposed:	0.0 sqft

Rear Elevation -
1/8"=1'-0"



date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh





Square footage Calculations:	
Allowed:	0.0 sqft
Proposed:	85.3 sqft

Side (Right) Elevation - **Sign C**
1/8"=1'-0"



Square footage Calculations:	
Allowed:	0.0 sqft
Proposed:	0.0 sqft

Side (Left) Elevation -
1/8"=1'-0"



date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh

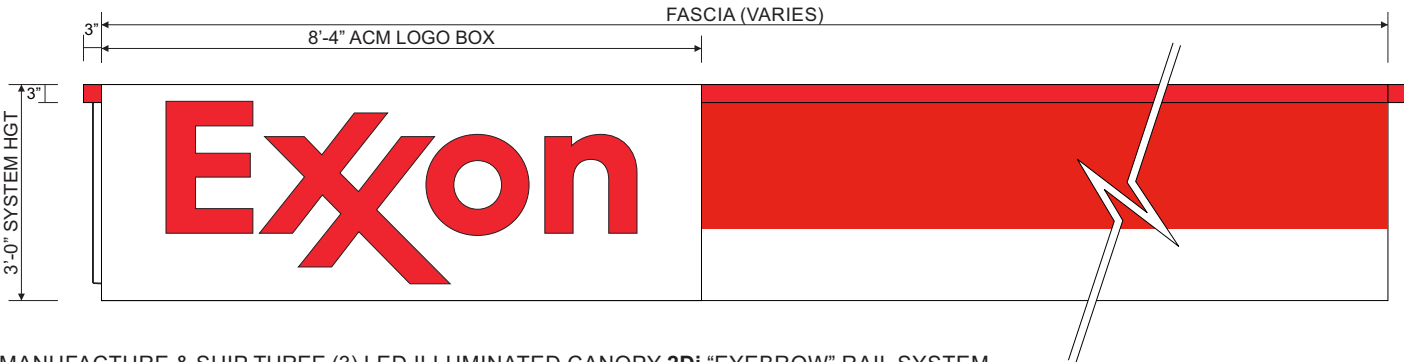




THREE (3) 2D EXXON ACM LOGO BOX CANOPY SIGNS.
THERMOFORMED LETTERSET MOUNTED TO ACM BOX. BOXES TO BE INTERNALLY ILLUMINATED W/ WHITE LEDS.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.

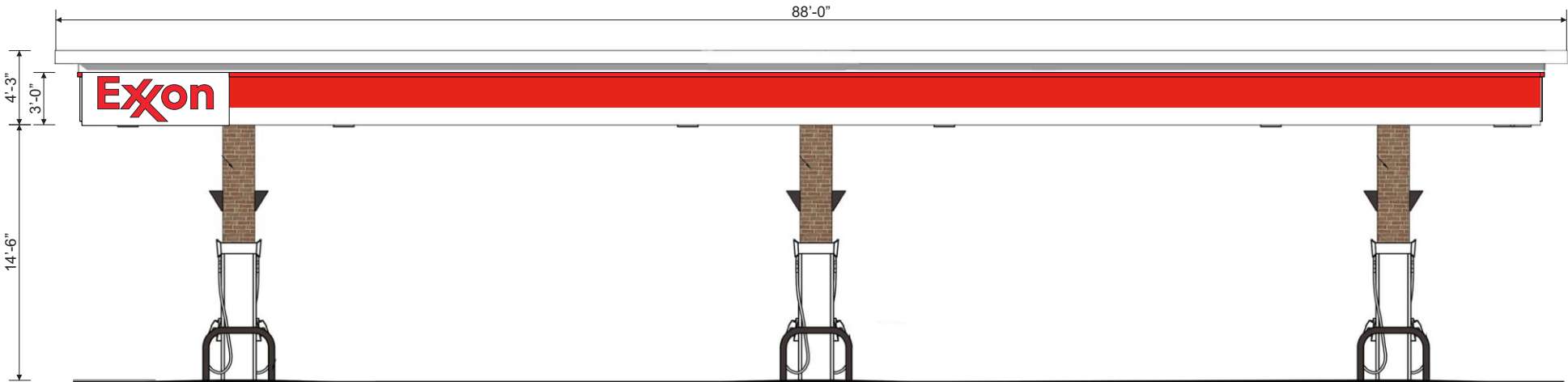
Front Elevation & Side Mounting Detail - Exxon ACM Logo Box - 2D Canopy Fascia - Sign G1
1/2" = 1'-0" Display Square Footage: (ACM Box) 24.9



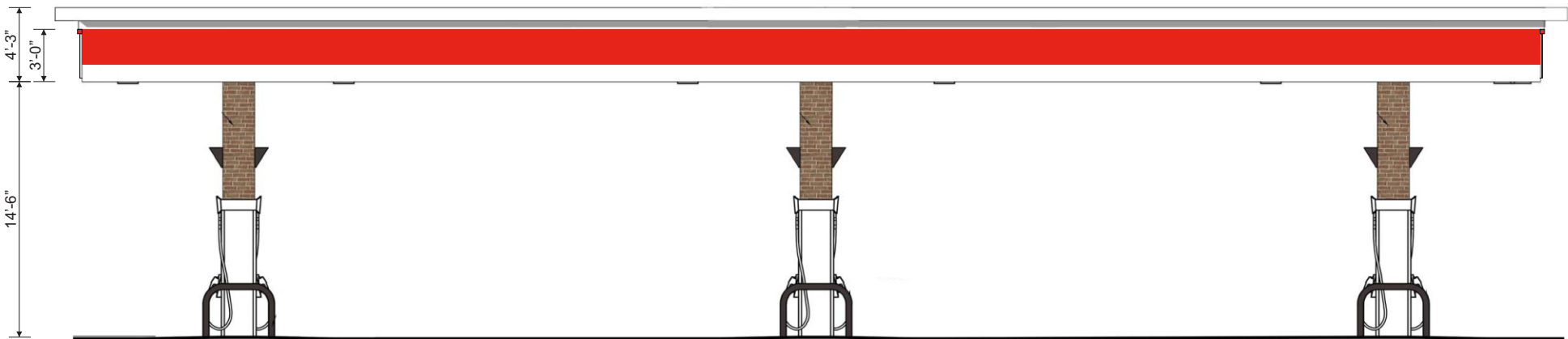
MANUFACTURE & SHIP THREE (3) LED ILLUMINATED CANOPY 2Di "EYEBROW" RAIL SYSTEM.

NOTE: CANOPY SIGNS & LAYOUT TO BE APPROVED & PROVIDED BY SIGN MANUFACTURER OF EXXON MOBIL.
NOTE: LED ILLUMINATED RAILS TO BE INSTALL ON SIDES OF THE CANOPY WHICH ARE TO BE FACING TOWARDS THE STREET.

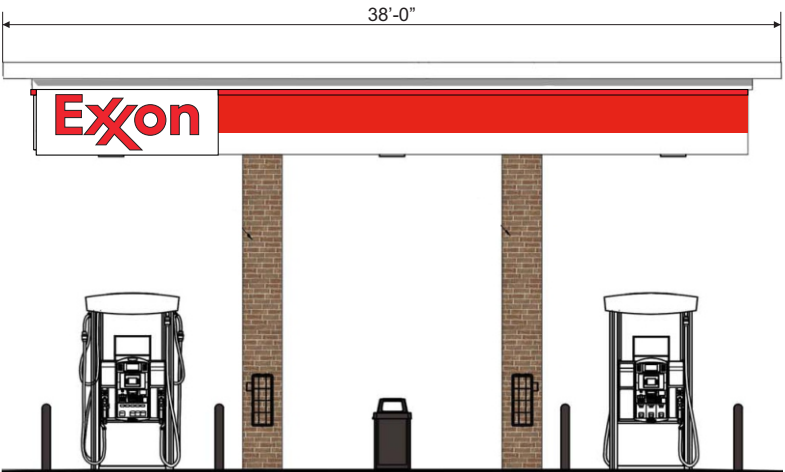
Typical Canopy Sign & LED Illuminated 2Di EYEBROW Rail System Layout - Sign G2
3/8" = 1'-0"



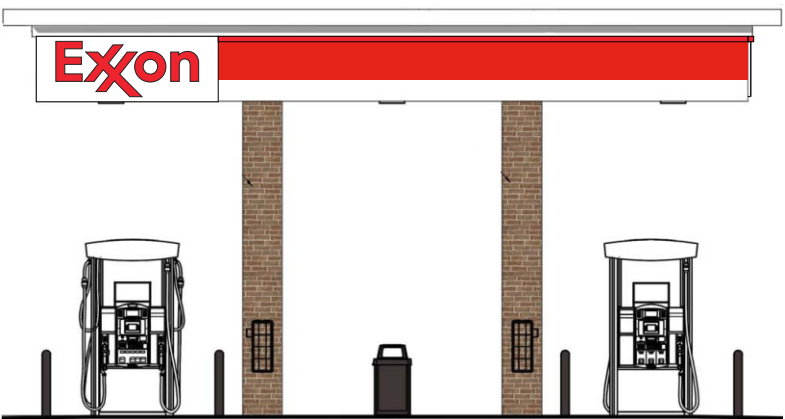
FRONT ELEVATION: 2Di ILLUMINATED CANOPY EYEBROW RAIL SYSTEM



REAR ELEVATION: 2D NON-ILLUMINATED CANOPY BAND



SIDE ELEVATION: 2Di ILLUMINATED CANOPY EYEBROW RAIL SYSTEM



SIDE ELEVATION: 2Di ILLUMINATED CANOPY EYEBROW RAIL SYSTEM

Front and Side Elevation (6MPD Stacked Canopy Configuration) - Signs G
NTS

date:	rev.	description:	designer:
05.08.18	00	Original Concept	mh
09.06.18	R1	Revised site & building elevations.	mh
10.08.18	R2	Revised to new site plan, removed side 3 pack sign.	mh