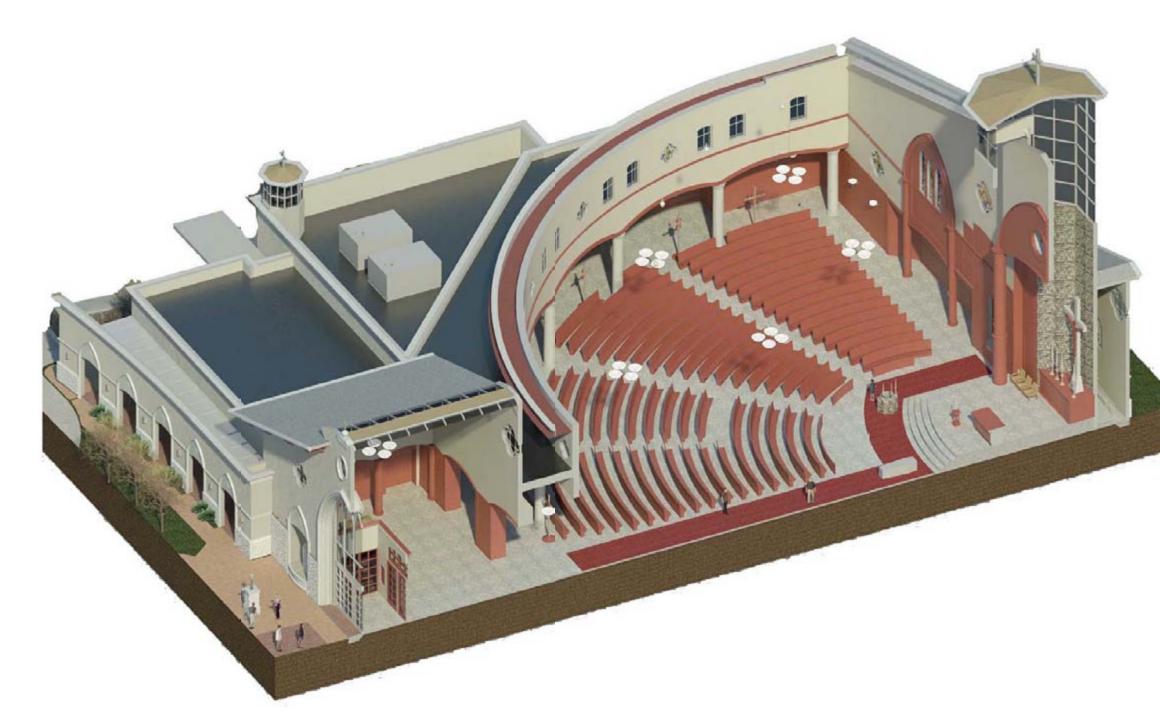
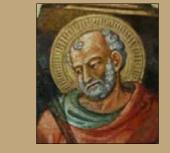
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### ST. JUDE CATHOLIC CHURCH

IN THE LATE NINETEENTH CENTURY, FATHER THOMAS HAGERTY, PASTOR OF ST. JOSEPH CATHOLIC CHURCH IN WAXAHACHIE, TRAVELED BY TRAIN ONCE EACH MONTH TO CELEBRATE MASS WITH THE SIX CATHOLIC FAMILIES IN THIS AREA. IN 1898, A SMALL FRAME CHURCH WAS ERECTED ON LAND DONATED BY LOCAL MERCHANT J. W. WRIGHT.

BY 1928, THE PARISH HAD GROWN TO TWENTY-EIGHT FAMILIES. THEY BEGAN TO MEET IN A RED BRICK CHURCH ERECTED ON THIS SITE AND DEDICATED AS ST. JAMES CATHOLIC CHURCH IN NOVEMBER OF THAT YEAR BY BISHOP JOSEPH LYNCH.

THE PASTORAL NEEDS OF THE PARISH WERE MET BY PRIESTS FROM WAXAHACHIE THROUGH THE 1930s. IN THE 1940s AND EARLY 1950s THE PARISH FELL UNDER THE JURISDICTION OF ST. PATRICK CATHOLIC CHURCH IN FORT WORTH. THE WOMEN OF THE CHURCH FORMALLY ESTABLISHED THE ST. JAMES ALTAR SOCIETY. BY 1954 A WEEKLY MASS WAS HELD IN ST. JAMES, WITH ST. JOSEPH PRIESTS AGAIN ADMINISTERING THE RITES.

AN INFLUX OF CZECH AND GERMAN FAMILIES IN THE LATE 1950s CONTRIBUTED SIGNIFICANTLY TO THE GROWTH OF THE PARISH IN THE MID TO LATE 20TH CENTURY, LAND FOR A NEW STRUCTURE WAS DONATED IN 1969; THE FIRST MASS WAS HELD IN ST. JUDE, THE NEW CHURCH BUILDING WHICH SEATED THREE HUNDRED PEOPLE, IN 1971. GROWTH IN THE 1970s WAS A RESULT OF A RISE IN THE AREA'S POPULATION AND AN INCREASE IN THE NUMBER OF MEXICAN AMERICAN PARISHIONERS. THE FARISH BOASTED 350 REGISTERED FAMILIES IN THE 1980s; BY 1998 THAT NUMBER HAD GROWN TO 700 FAMILIES WHO CONTINUE TO UPHOLD THE TRADITIONS OF THE CHURCH'S FOUNDERS.

# **PROJECT/ SITE INFORMAT**

LOT SIZE:	12.385 ACRES (539,490 SF)
EXISTING ZONING:	SF7.5/12
BUILDING AREA:	
EXISTING BUILDING(S):	43,000 (GROSS AREA - FOOTPRINT) - SINGLE STORIES
PROPOSED BUILDING(S):	27,000 SF (PHASE I) SINGLE STORY BUILDING(S)
FLOOR/AREA RATIO:	
MAX FLOOR RATIO:	0.6 PER SECTION 4500
ACTUAL FLOOR RATIO:	0.13 (PHASE I)
PARKING:	
REQUIRED:	375 (SANCTUARY: 1 PER 4 SEATS @ 1,500 SEATS)
PROVIDED:	299 - EXISTING <u>82 - NEW (PHASE I)</u> 381 - TOTAL
PROPOSED ZONING:	PD (PLANNED DEVELOPMENT) FOR CHURCHES, CHURCH EDUCATION, MEETING SPACES, ADMINISTRATIVE OFFICE, AND OTHER CHURCH RELATED ACTIVITIES

### ZONING REQUIREMENTS

- 1 NO DEVIATION REQUESTED FROM OFF STREET PARKING AND LOADING
- STANDARDS.
- 2 NO DEVIATION REQUESTED FROM TRASH ENCLOSURE SCREENING AND SETBACK REQUIREMENTS
- NO DEVIATION REQUESTED FROM LANDSCAPING STANDARDS, EXCEPT
- AS NOTED (PHASING NO DEVIATION REQUESTED FROM UNDERGROUND UTILITY
- REQUIREMENTS. NO DEVIATION REQUESTED FROM SITE LIGHTING STANDARDS.
- NO DEVIATION REQUESTED FROM THE BUFFER YARD AND SCREENING REQUIREMENTS, EXCEPT AS NOTED (PHASING).
- NO DEVIATION REQUESTED FROM SIGNAGE REQUIREMENTS. NEW/FUTURE MONUMENT SIGN TO BE SUBMITTED AND PERMITTED PER CITY OF MANSFIELD SIGNAGE ORDINANCE AT A LATER DATE.

### ZONING REQUESTED VARIANCES

- ALLOW A MAXIMUM BUILDING HEIGHT FOR THE CHURCH BUILDING OF 1 65'-0" TO THE PEAK OF THE ROOF, AND 75'-0" TO THE PEAK OF THE STEEPLE IN LIEU OF THE 35'-0" HEIGHT ALLOWED BY THE ORDINANCE)
- 2 ALLOW A MINIMUM OF 20% MASONRY MATERIAL TOTAL ON ALL EXTERIOR WALL SURFACES, AND ALLOW A MAXIMUM OF 80% OF MASONRY LIKE MATERIAL FOR A TOTAL OF 100% MASONRY AND MASONRY LIKE MATERIAL, EXCLUDING OPENINGS (GLAZING AND DOORS), IN LIEU OF THE 80% MINIMUM MASONRY MATERIAL IN THE ORDINANCE.
- INCLUDE LANDSCAPING FOR THE AREA UNDER DEVELOPMENT FOR 3 PHASE I & II ONLY, AND FOR EXISTING DEVELOPED AREA AS FEASABLE. ADDITIONAL LANDSCAPING WILL BE ADDED PER THE LANDSCAPE ORDINANCE AS REMAINING AREAS ARE DEVELOPED IN THE FUTURE.

### NARRATIVE

1

St Jude Catholic Church has been a part of Mansfield since-1898 and is pleased to be growing with the community.

There are several goals for the long range plan for St Jude Catholic Church including the idea to create a more unified campus with additional landscaping, and with a new Worship building. Originally, the Campus consisted of several buildings and parking areas scattered over different properties, with a main thoroughfare road dividing the area. Earlier -as part of the process, the Church requested that the public R.O.W. of part of E. Dallas Street -be abandoned, and effectively turning it into a private drive, primarily for accessing existing and future parking. The property is currently being replated as a single lot.

The Church's current needs (and this building project) are to construct a new Church building for 14-1500. This facility will meet the long range needs of the Parish-and there are no plans for ever having a larger Worship facility. The new building will be primarily a Worship space, and the height of the roof as it slopes up to the steeple reflects the capacity and use of the building. The proposed building form is carefully articulated with the form stepping up-from lower heights on the perimeter-to help reduce the apparent size of the building and make it seem at a more pedestrian scale.

The exterior of the facility has been crafted and carefully designed to maintain this human scale-as well as to reflect the character of the Church community/congregation-it is a blend of stone-stucco and ornate window/opening fenestration.

The location of the new Church building was carefully selected for several reasons. The intent from many past years of effort is to convert the existing Church building to a Parish Hall and as such it requires close proximity and the opportunity to have a direct connection to the new Church Building. The location is also in a central area of the property-close to existing parking-facilities existing buildings, and a generous- landscaped pedestrian plaza will be located immediately north of the Church building, creating a "nave" from where the different buildings and parking areas can be reached.

As part of this project, the Church is also creating a permanent greenpark like garden area on the public street-Waxahachie-which in conjunction with all of the proposed landscape features-should help transform the campus into a much more pleasant development.

### NOTE: THE NEW BUILDING IS ONE STORY WITH NO MEZZANINE OR ANY UPPER LEVELS



500 E. Dallas Street - Mansfield, Texas 76063

ION	





### **OWNER:**

CATHOLIC DIOCESE OF FORT WORTH 800 W LOOP 820 SOUTH FORT WORTH, TEXAS 76108 PH: 817.560.2452

CONTACT: MR. GARY FRAGOSSO

### **ARCHITECT:**

O'CONNOR ARCHITECTURE & INTERIOR DESIGN, LTD 304 MAIN STREET FORT WORTH, TEXAS 76102 PH: 817.877.0691 www.oaid.net

CONTACT: MR. RAYMOND O'CONNOR, AIA

### **COMPLIANCE NOTE:**

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICATIN THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS AS SET FORTH IN SECTION 5100.F.10

DRAWING INDEX - PD			
SHEET DESCRIPTION DATE RI			REV
EX. B	DEVELOPMENT PLAN NOTES	01.03.2011	1
EX. C	EXISTING SITE PLAN	01.03.2011	1
EX. D	SITE PLAN - PHASE I & II	01.03.2011	1
EX. E	SITE PLAN - ENLARGED - PHASE I & II	01.03.2011	1
EX. F	LANDSCAPE PLAN	01.03.2011	1
EX. G	ELEVATIONS	01.03.2011	1
EX. H	LONG RANGE MASTER PLAN	01.03.2011	1

DEVELOPMENT SCHEDULE	USE	ACRE
PHASE I: 2011-2012	NEW CHURCH NEW PARKING NEW LANDSCAPING	2.656
PHASE II: 2012-2013	REMODEL EXISTING CHURCH TO PARISH HALL ADD "CONNECTOR"	0.578
PHASE III: 2018-2025	NEW MEETING FACILITY REMODEL/REMOVE PARTS OF EXISTING MEETING FACILITY COMPLETE BUFFER LANDSCAPING OVERFLOW PARKING	2.968

ZC#11-002 **DEVELOPMENT PLAN** Lot 1, Block 1 St Jude Catholic Church Addition **12.385 Acres, Tarrant County** 



O'CONNOR ARCHITECTURE & INTERIOR DESIGN LTD

EX. B

SHEET No:



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EXISTING RESIDENTIAL (SF7.5/12)

Dallas Street

EXISTING BUILDING

33~~

P-1

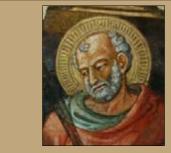
<u>S 85°</u>43'17" E

137 137

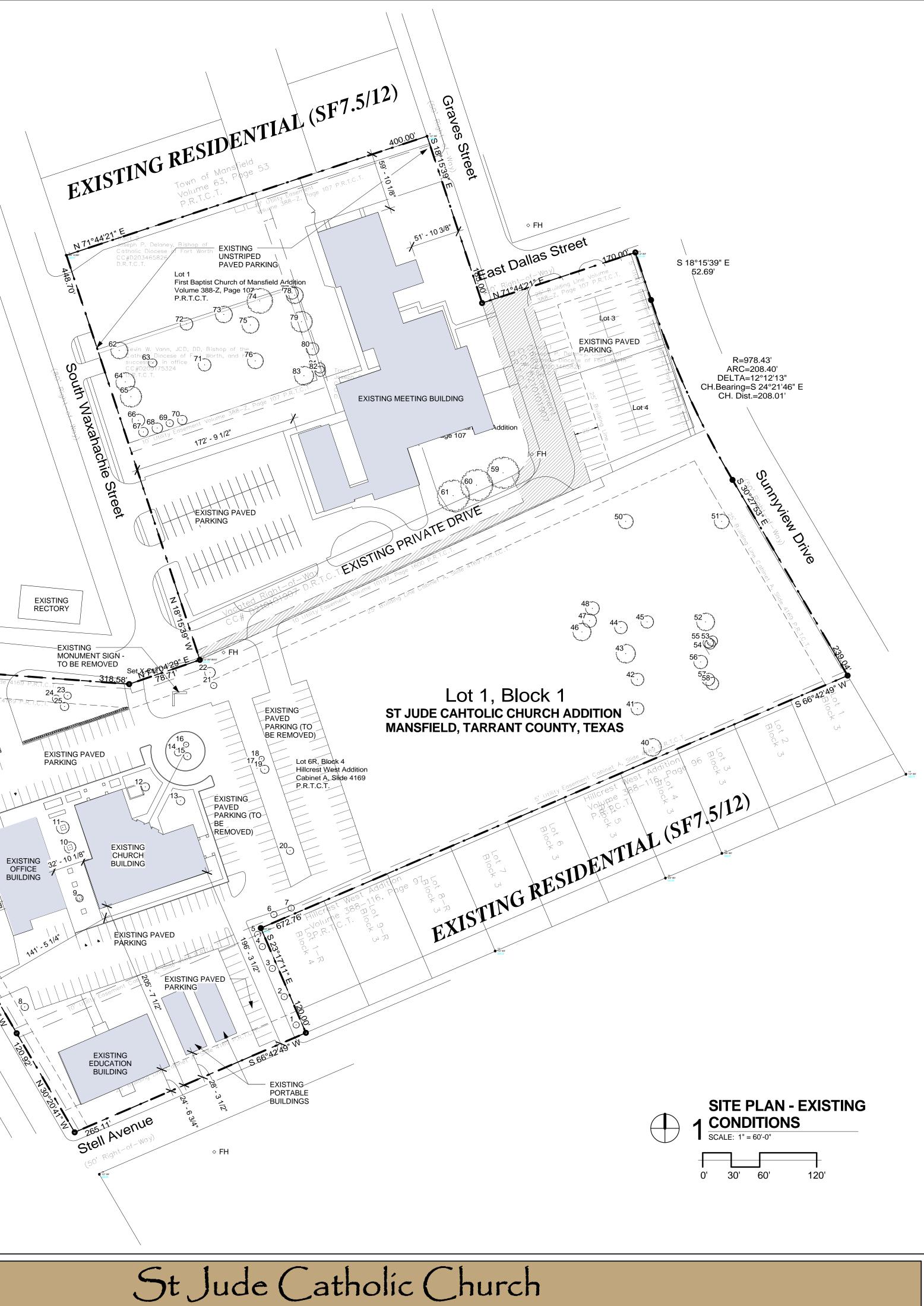
price Road

N 42°13'29" E 25.24'

EXISTING **RESIDENTIAL (PD)** 



EXISTING SITE PLAN Issued 01.03.2011 Revised 01.20.2011



500 E. Dallas Street - Mansfield, Texas 76063

	EXISTING TREE	SURVEY
MARK		NOTES
1 2	6" Elm 6" Elm	
3	6" Elm	
4	6" Elm 6" Elm	
5 6	6" Elm	REMOVED IN PHASE I
7	6" Elm	REMOVED IN PHASE I
8	7" Elm	
9 10	7" Red Oak 11" Pear	
11	12" Pear	
12	8" Live Oak	
13 14	8" Live Oak 7" Elm	REMOVED IN PHASE I
15	7" Elm	REMOVED IN PHASE I
16	5" Elm	REMOVED IN PHASE I
17 18	4" Live Oak 5" Live Oak	REMOVED IN PHASE I
19	8" Live Oak	REMOVED IN PHASE I
20	7" Live Oak	REMOVED IN PHASE I
21	6" Elm	
22 23	10" Hackberry 7" Elm	
24	7" Elm	
25	8" Elm	
26 27	5" Elm 28" Willow	
28	10" Live Oak	
29	15" Willow	
30 31	14" Pine 6" Hackberry	
32	30" Mulberry	
33	15" Elm	
34 35	12" Elm 12" Elm	
35 36	12 Eim 12" Pear	
37	14" Pear	
38	18" Pear	
39 40	10" Live Oak 17" Hackberry	
41	12" Hackberry	
42	12" Hackberry	
43 44	18" Cedar 12" Hackberry	
45	12" Hackberry	
46	17" Hackberry	
47 48	13" Hackberry	
48 50	13" Hackberry 14" Mesquite	
51	14" Cedar	
52	17" Hackberry	
53 54	10" Hackberry 10" Hackberry	
55	10" Hackberry	
56	13" Hackberry	
57 58	12" Cedar 12" Cedar	
58 59	30" Mulberry	
60	30" Mulberry	
61 62	30" Mulberry 16" Elm	
62 63	8" Elm	
64	18" Elm	
65 66	20" Elm	
66 67	12" Elm 9" Elm	
68	10" Elm	
69	7" Elm	
70 71	9" Elm 12" Elm	
72	12" Hackberry	
73	16" Red Oak	
74	24" Red Oak	
75 76	16" Hackberry 15" Elm	
77	12" Hackberry	
78	16" Hackberry	
79 80	20" Hackberry	
80 81	12" Hackberry 10" Hackberry	
82	10" Hackberry	
83	18" Hackberry	

## **DEVELOPMENT PLAN** Lot 1, Block 1 **St Jude Catholic Church Addition** 12.385 Acres, Tarrant County

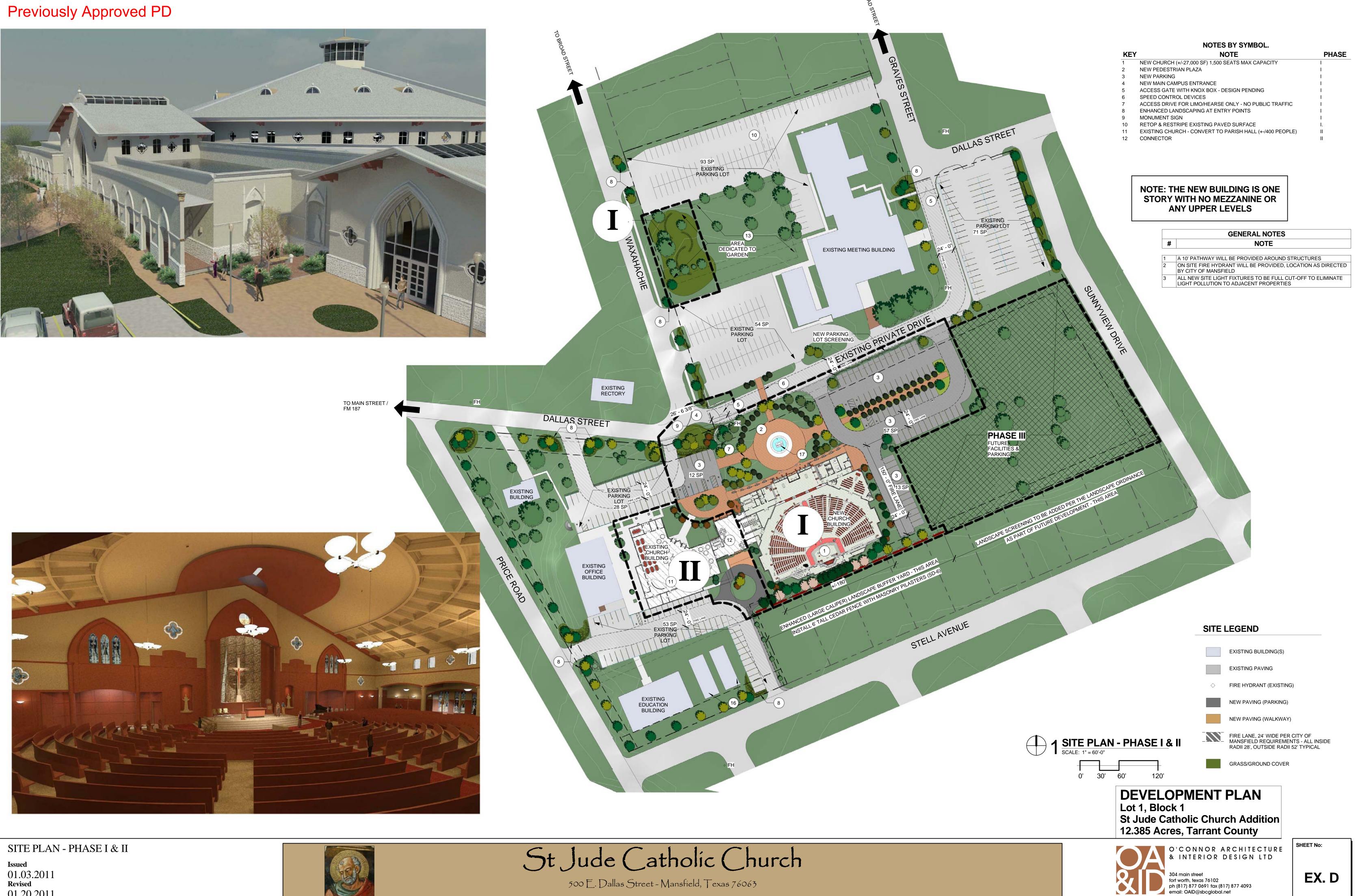
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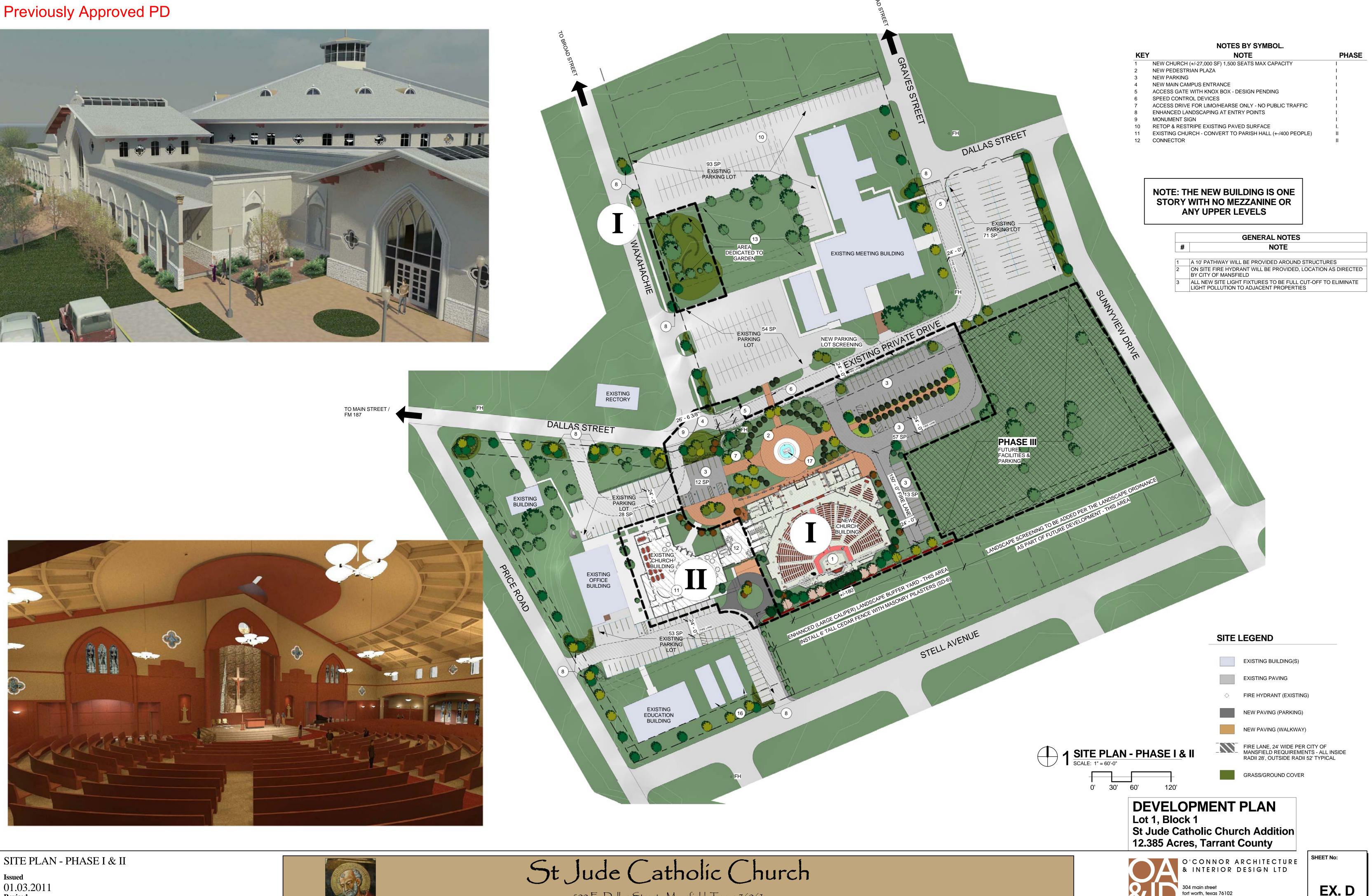
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EX. C





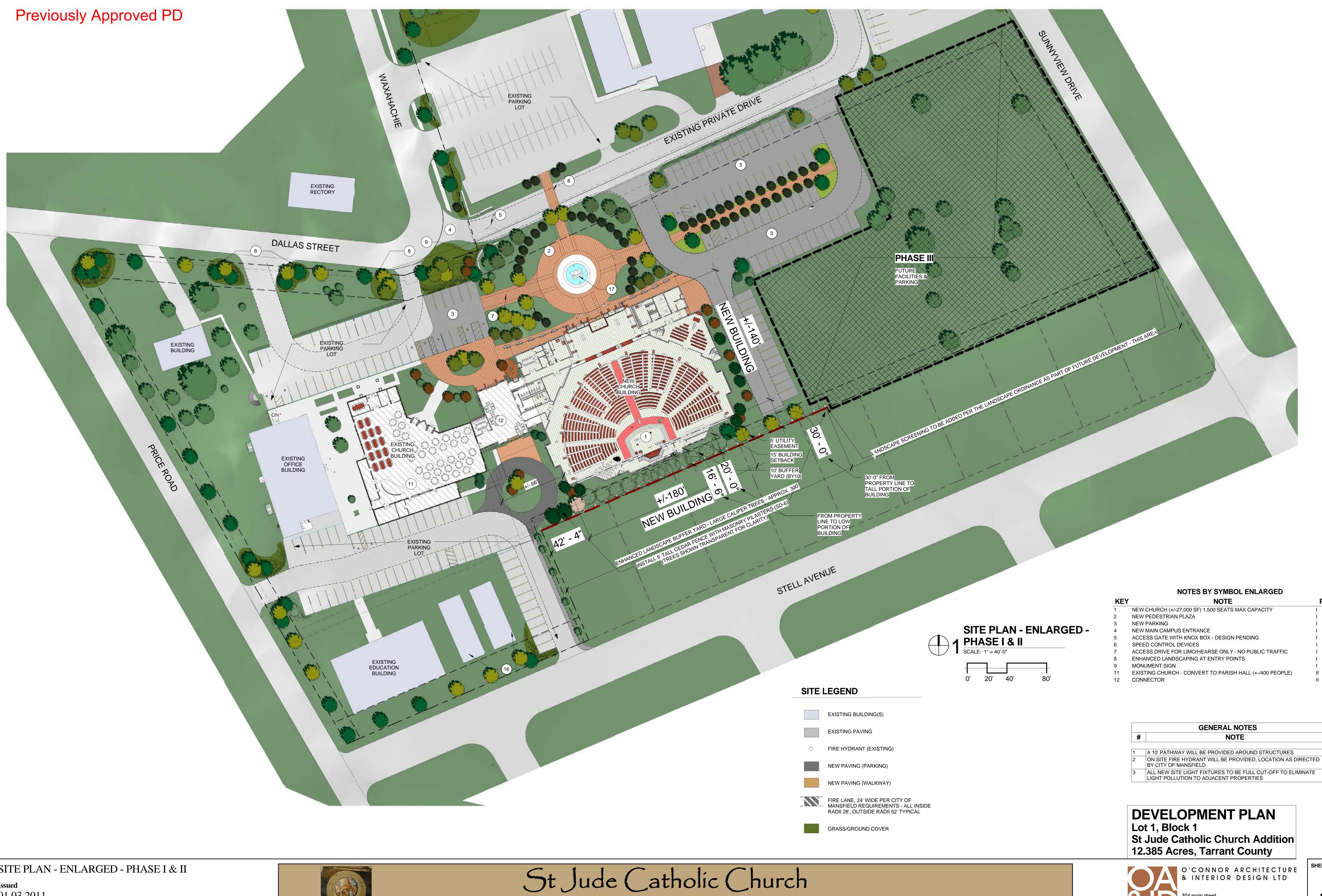


Revised 01.20.2011





500 E. Dallas Street - Mansfield, Texas 76063





500 E. Dallas Street - Mansfield, Texas 76063

<b>KEY</b>	NOTE	PHASE
	NEW CHURCH (+/-27,000 SF) 1,500 SEATS MAX CAPACITY	I
	NEW PEDESTRIAN PLAZA	I
	NEW PARKING	I
	NEW MAIN CAMPUS ENTRANCE	I
	ACCESS GATE WITH KNOX BOX - DESIGN PENDING	I
	SPEED CONTROL DEVICES	I
	ACCESS DRIVE FOR LIMO/HEARSE ONLY - NO PUBLIC TRAFFIC	I
	ENHANCED LANDSCAPING AT ENTRY POINTS	I
	MONUMENT SIGN	I
1	EXISTING CHURCH - CONVERT TO PARISH HALL (+-/400 PEOPLE)	II
2	CONNECTOR	II



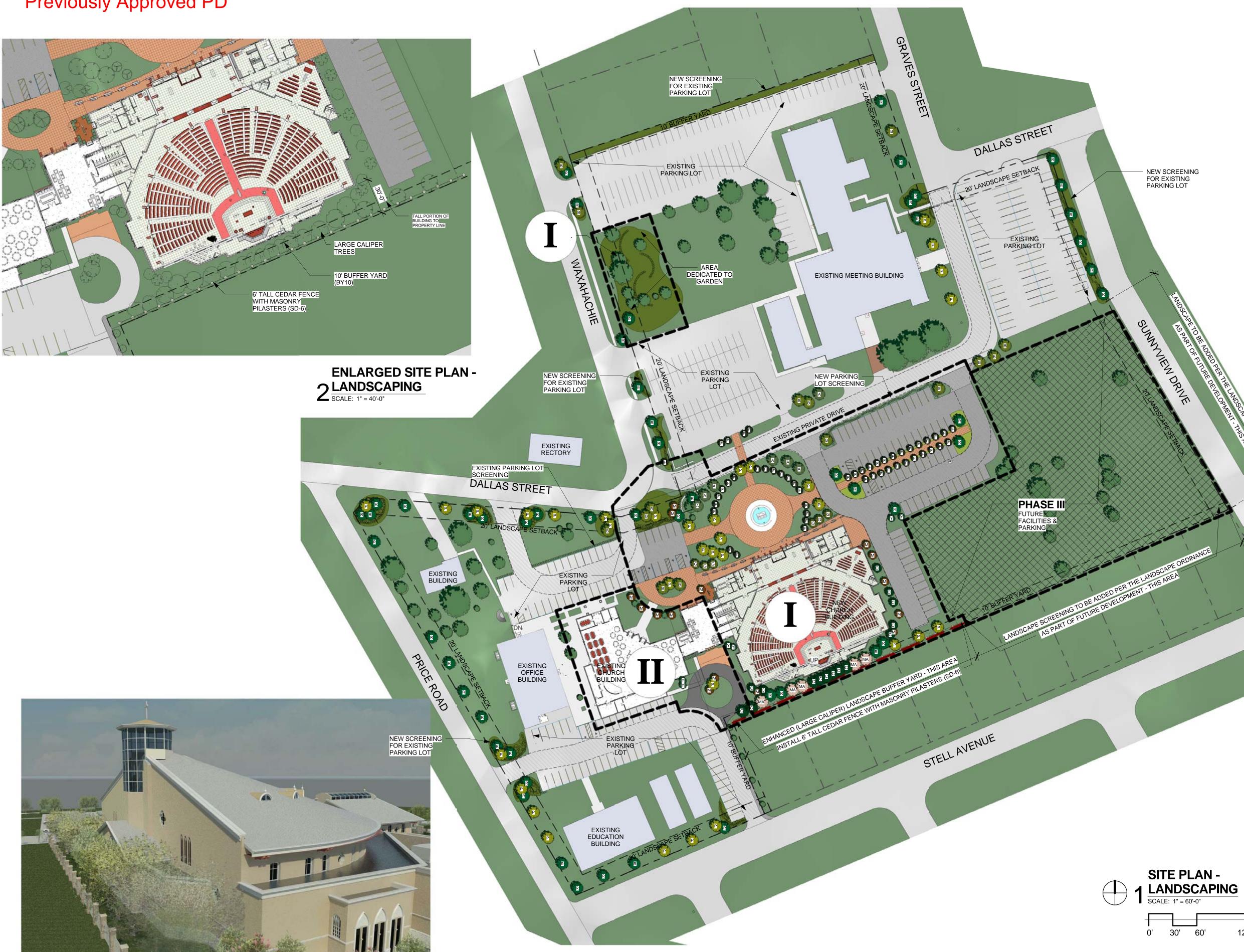
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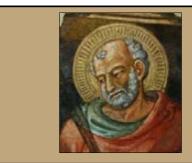


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LANDSCAPE PLAN Issued 01.03.2011 Revised 01.20.2011





500 E. Dallas Street - Mansfield, Texas 76063

LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITITES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

### SITE LEGEND

	EXISTING BUILDING(S)
	EXISTING PAVING
÷¢	FIRE HYDRANT (EXISTING)
	NEW PAVING (PARKING)
	NEW PAVING (WALKWAY)
	FIRE LANE, 24' WIDE PER CITY OF MANSFIELD REQUIREMENTS - ALL INSIDE RADII 28', OUTSIDE RADII 52' TYPICAL



### TREE CALCULATIONS

STREET TREES: PROPERTY ALONG PUBLIC R.O.W (INCL AREA TO BE DEVELOPED IN PHASE III): 2,524 LF

REQUIRED STREET TREES: 2,524/40= 64 PROVIDED STREET TREES: 66(N) + 8(E)= 74 TOTAL

PROPERTY LINE ALONG NEIGHBORING PROPERTY (INCL AREA TO BE DEVELOPED IN PHASE III): 1,193 LF

BUFFER YARD (BY10) FOR PHASE I & II REQUIRED BUFFER YARD TREES: 315 LF/25= 13 PROVIDED BUFFER YARD TREES: 20(N) + 5(E)= 25 TOTAL

NEW PARKING: 79 SPACES REQUIRED PARKING LOT TREES: 79/20 = 4 PROVIDED PARKING LOT TREES: 7

Ð

TREE PRESERVATION: NOTE: 8 TREES TOTALING 51", ARE REMOVED DURING PHASE I & II, ALL LOCATED UNDER THE PROPOSED BUILDING PAD AND NEW PARKING.

	PLANT MATERIAL LIST			
MARK	DESCRIPTION	SIZE	COUNT	TYPE
AP	AUSTRIAN PINE	3" CAL	7	ORNAMENTAL
BC	BALD CYPRESS	3" CAL	15	CANOPY
CL1	CHERRY LAUREL	15 GAL	7	ORNAMENTAL
CL2	CHERRY LAUREL	30 GAL	8	ORNAMENTAL
СМ	CRAPE MYRTLE	15 GAL	15	ORNAMENTAL
СР	CHINESE PISTACHE	3" CAL	34	CANOPY
FH	FOSTER HOLLY	15 GAL	49	ORNAMENTAL
GA	GREEN ASH	3" CAL	6	CANOPY
МА	MAGNOLIA	4" CAL	5	CANOPY
RO1	RED OAK	4" CAL	4	CANOPY
RO2	RED OAK	3" CAL	49	CANOPY
YH	YAUPON HOLLY	15 GAL	6	ORNAMENTAL

### SHRUBS

MARK	DESCRIPTION	SIZE
HO	HOLLY	5 GAL
PG	PAMPAS GRASS	5 GAL
SGJ	SEA GREEN JUNIPER	5 GAL
SP	SPIRAEA	5 GAL
WM	WAX MYRTLE	5 GAL

NOTE: LANDSCAPE PLAN IS PRELIMINARY, AND INTENDED TO SHOW GENERAL DESIGN INTENT, LOCATION AND QUANTITY OF PLANT MATERIAL WHICH MEETS ALL THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE. ADJACENT TO THE PROPOSED NEW CHURCH BUILDING AND PARKING, FINAL LOCATION, TYPES OF MATERIAL AND QUANTITY MAY BE MODIFIED DURING DESIGN & PERMIT REVIEW.

## **DEVELOPMENT PLAN** Lot 1, Block 1 St Jude Catholic Church Addition 12.385 Acres, Tarrant County



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EX. F

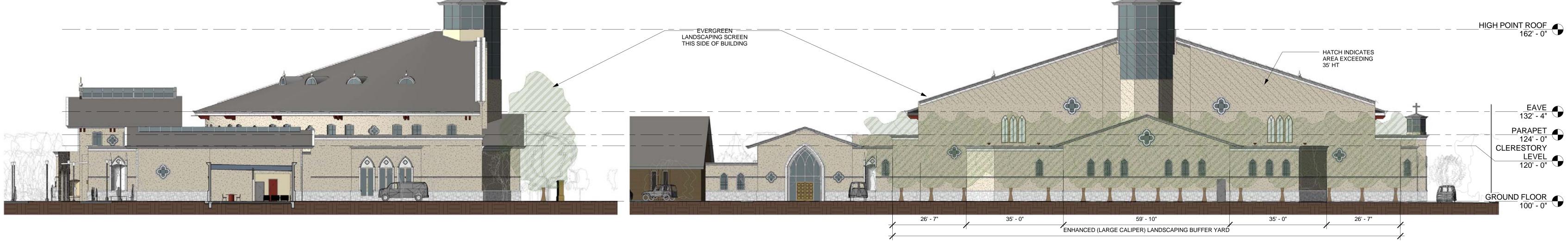


120'

Issued 01.03.2011 Revised 01.20.2011









# Previously Approved PD



## **CONCEPTUAL ELEVATION**

500 E. Dallas Street - Mansfield, Texas 76063

### MASONRY CALCULATIONS:

TOTAL SURFACE WALL AREA:+/- 30,000 SFTOTAL MASONRY AREA:+/- 6,000 SFMASONRY %:20%

ELEVATIONS ARE PRELIMINARY ILLUSTRATIONG THE GENERAL DESIGN APPROACH - THEY ARE SUBJECT TO DESIGN/ENGINEERING, CONSTRUCTION MODIFICATIONS AND CLARIFICATIONS, AS THE DESIGN OF THE FACILITY PROGRESSES.

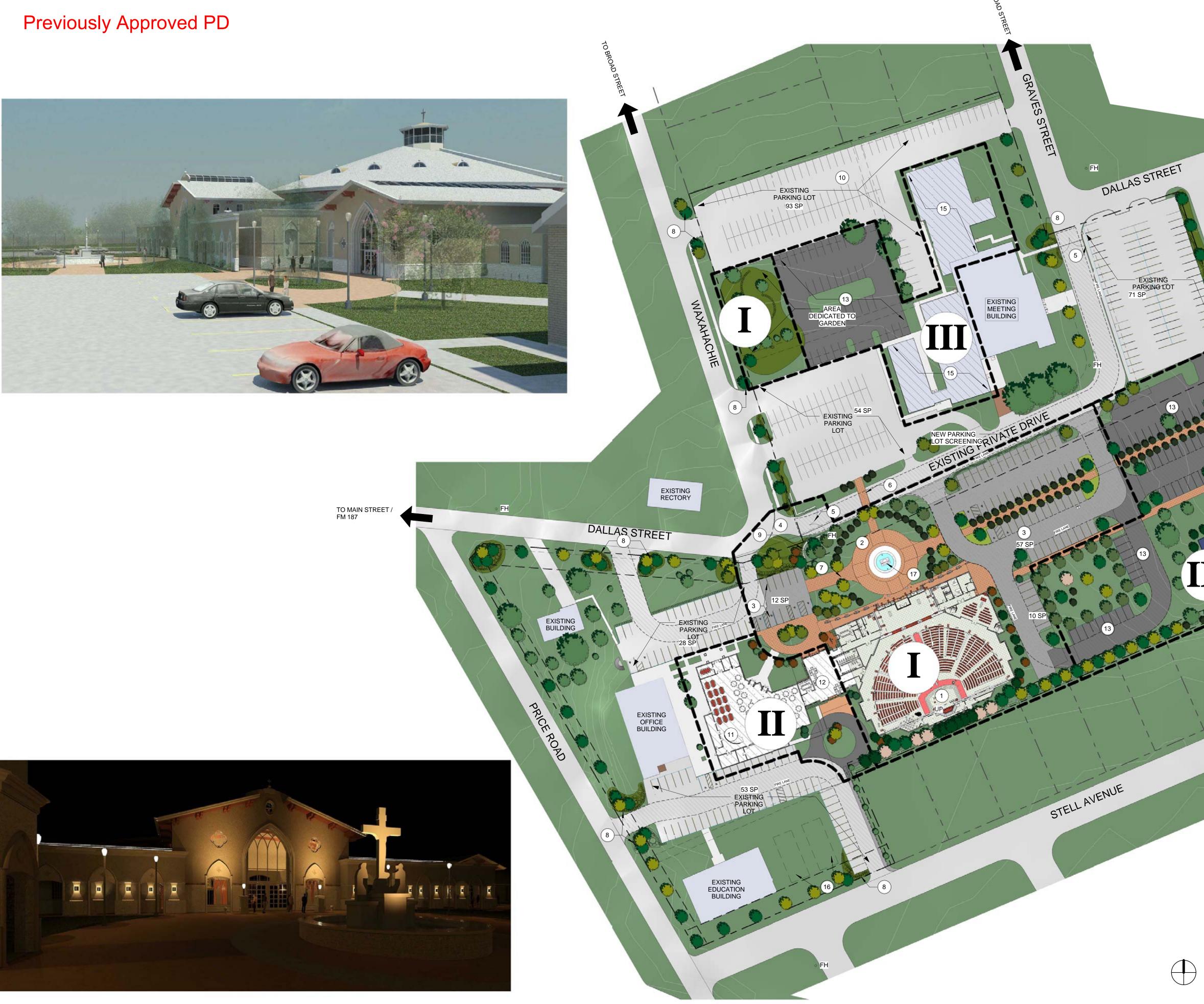
# **CONCEPTUAL ELEVATION** 2-SOUTH SCALE: 1/16" = 1'-0"

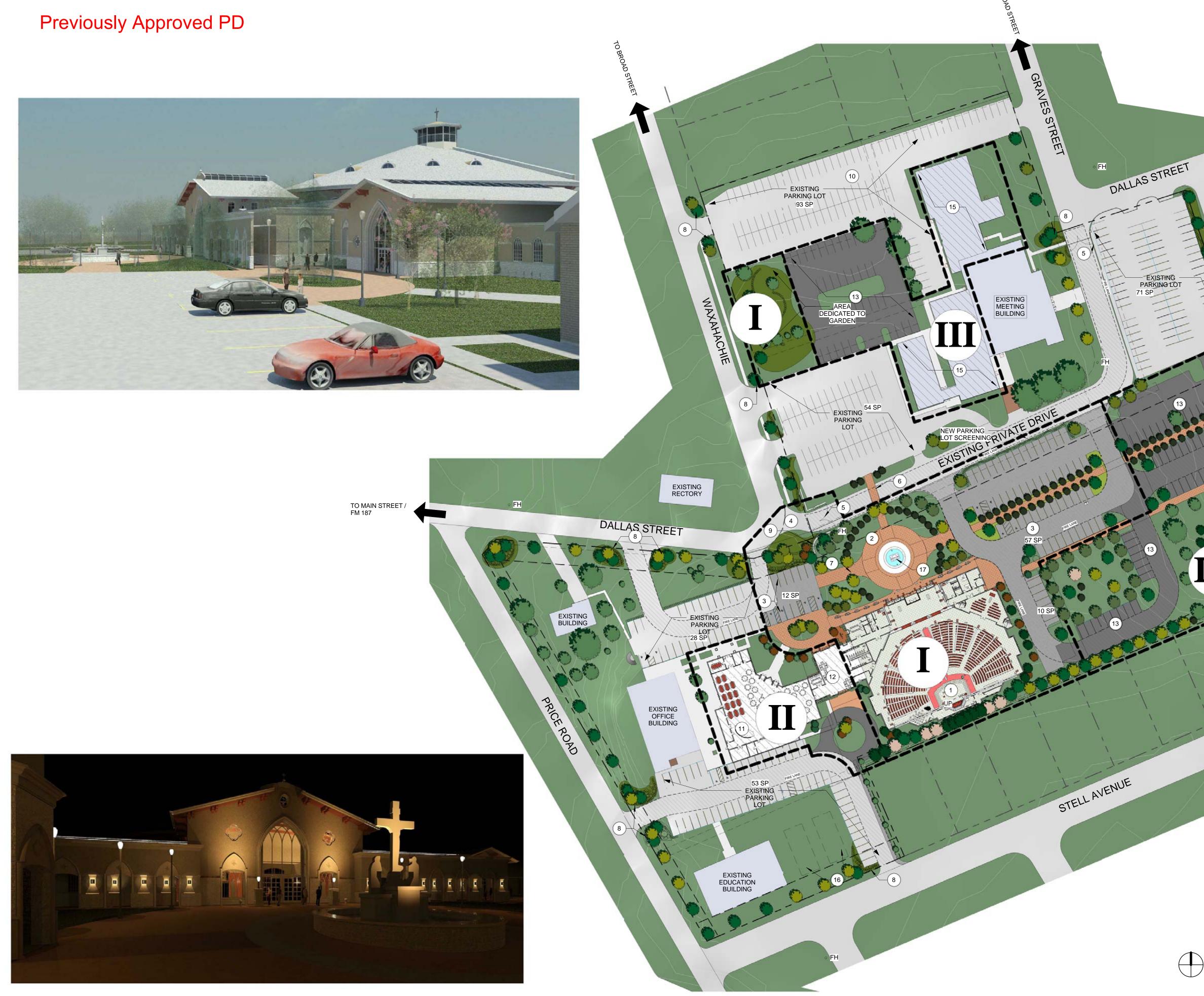


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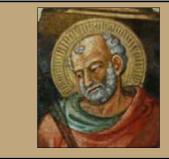
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LONG RANGE MASTER PLAN Issued 01.03.2011 Revised 01.20.2011





### NOTES BY SYMBOL

KEY	NOTE	PHASE
1	NEW CHURCH (+/-27,000 SF) 1,500 SEATS MAX CAPACITY	l
2	NEW PEDESTRIAN PLAZA	I
3	NEW PARKING	I
4	NEW MAIN CAMPUS ENTRANCE	I
5	ACCESS GATE WITH KNOX BOX - DESIGN PENDING	I
6	SPEED CONTROL DEVICES	I
7	ACCESS DRIVE FOR LIMO/HEARSE ONLY - NO PUBLIC TRAFFIC	I
8	ENHANCED LANDSCAPING AT ENTRY POINTS	I
9	MONUMENT SIGN	I
10	RETOP & RESTRIPE EXISTING PAVED SURFACE	Ι.
11	EXISTING CHURCH - CONVERT TO PARISH HALL (+-/400 PEOPLE)	II
12	CONNECTOR	II
13	FUTURE PARKING	III
14	FUTURE MEETING FACILITY	Ш
15	REMOVE PORTIONS OF EXISTING MEETING FACILITY, WITH OPTION TO REPLACE FACILITIES	111
16	EXISTING PORTABLE BUILDINGS TO BE REMOVED IN FUTURE	III
17	FUTURE MONUMENT	111

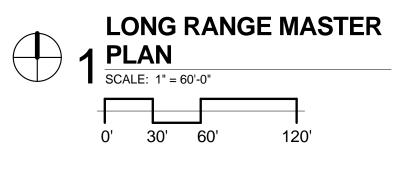
### SITE LEGEND

	EXISTING BUILDING(S)
	EXISTING PAVING
÷	FIRE HYDRANT (EXISTING)
	NEW PAVING (PARKING)
	NEW PAVING (WALKWAY)

FIRE LANE, 24' WIDE PER CITY OF MANSFIELD REQUIREMENTS - ALL INSIDE RADII 28', OUTSIDE RADII 52' TYPICAL

GRASS/GROUND COVER

GENERAL NOTES		
#	NOTE	
1	A 10' PATHWAY WILL BE PROVIDED AROUND STRUCTURES	
2	ON SITE FIRE HYDRANT WILL BE PROVIDED, LOCATION AS DIRECTED BY CITY OF MANSFIELD	
3	ALL NEW SITE LIGHT FIXTURES TO BE FULL CUT-OFF TO ELIMINATE LIGHT POLLUTION TO ADJACENT PROPERTIES	



MIEN DRIVE

**DEVELOPMENT PLAN** Lot 1, Block 1 St Jude Catholic Church Addition 12.385 Acres, Tarrant County



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SHEET No:

EX. H

:22:18 1/19/2