

PROJECT/ SITE INFORMATION

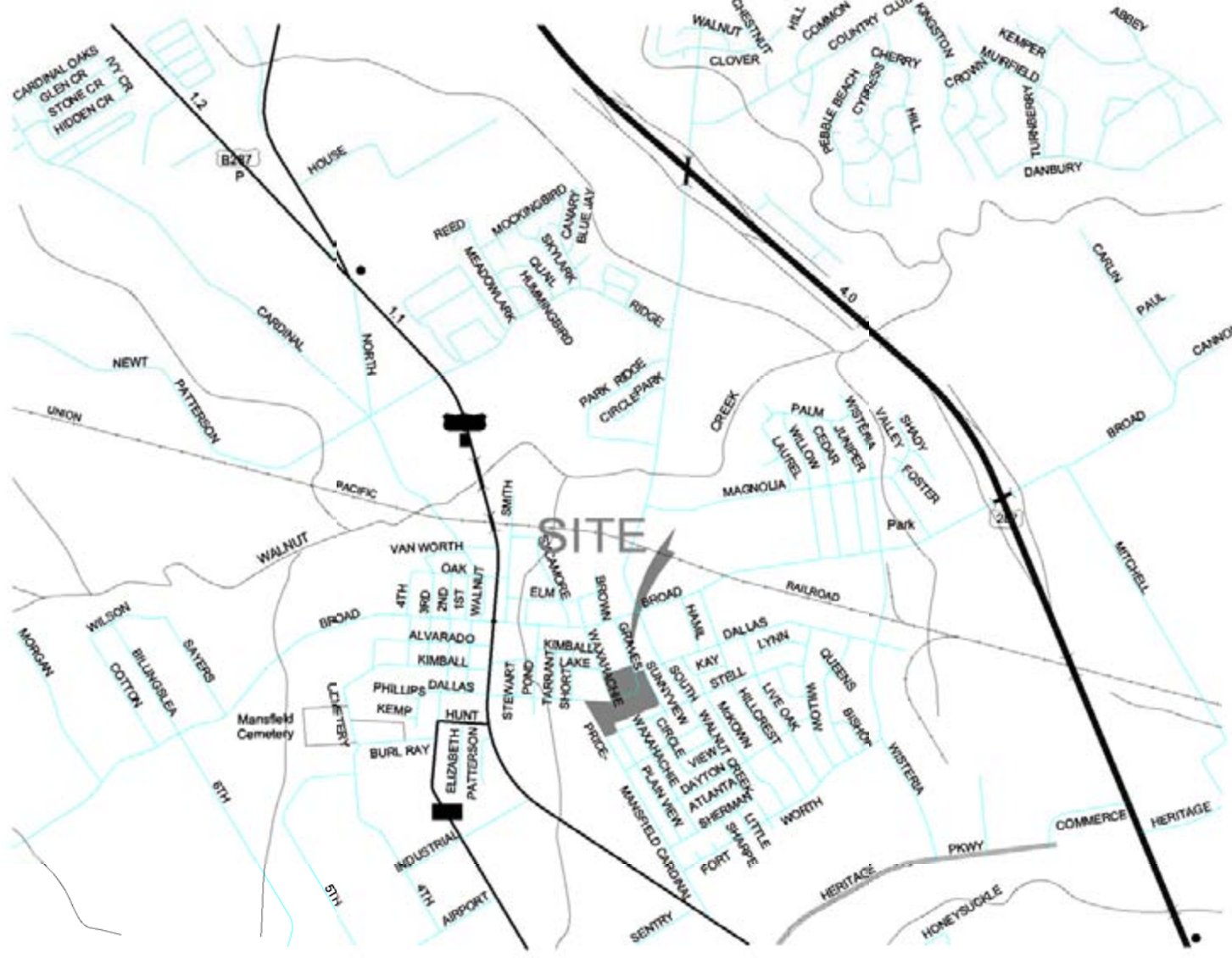
LOT SIZE:	12.385 ACRES (539,490 SF)
EXISTING ZONING:	SF7.5/12
BUILDING AREA:	
EXISTING BUILDING(S):	43,000 (GROSS AREA - FOOTPRINT) - SINGLE STORIES
PROPOSED BUILDING(S):	27,000 SF (PHASE I) SINGLE STORY BUILDING(S)
FLOOR/AREA RATIO:	
MAX FLOOR RATIO:	0.6 PER SECTION 4500
ACTUAL FLOOR RATIO:	0.13 (PHASE I)
PARKING:	
REQUIRED:	375 (SANCTUARY: 1 PER 4 SEATS @ 1,500 SEATS)
PROVIDED:	298 - EXISTING 82 - NEW (PHASE I) 381 - TOTAL
PROPOSED ZONING:	PD (PLANNED DEVELOPMENT) FOR CHURCHES, CHURCH EDUCATION, MEETING SPACES, ADMINISTRATIVE OFFICE, AND OTHER CHURCH RELATED ACTIVITIES

ZONING REQUIREMENTS

1. NO DEVIATION REQUESTED FROM OFF STREET PARKING AND LOADING STANDARDS.
2. NO DEVIATION REQUESTED FROM TRASH ENCLOSURE SCREENING AND SETBACK REQUIREMENTS.
3. NO DEVIATION REQUESTED FROM LANDSCAPING STANDARDS, EXCEPT AS NOTED (PHASING).
4. NO DEVIATION REQUESTED FROM UNDERGROUND UTILITY REQUIREMENTS.
5. NO DEVIATION REQUESTED FROM SITE LIGHTING STANDARDS.
6. NO DEVIATION REQUESTED FROM THE BUFFER YARD AND SCREENING REQUIREMENTS, EXCEPT AS NOTED (PHASING).
7. NO DEVIATION REQUESTED FROM SIGNAGE REQUIREMENTS. NEW/FUTURE MONUMENT SIGN TO BE SUBMITTED AND PERMITTED PER CITY OF MANSFIELD SIGNAGE ORDINANCE AT A LATER DATE.

ZONING REQUESTED VARIANCES

1. ALLOW A MAXIMUM BUILDING HEIGHT FOR THE CHURCH BUILDING OF 65'-0" TO THE PEAK OF THE ROOF, AND 75'-0" TO THE PEAK OF THE STEEPLE IN LIEU OF THE 35'-0" HEIGHT ALLOWED BY THE ORDINANCE)
2. ALLOW A MINIMUM OF 20% MASONRY MATERIAL TOTAL ON ALL EXTERIOR WALL SURFACES, AND ALLOW A MAXIMUM OF 80% OF MASONRY LIKE MATERIAL FOR A TOTAL OF 100% MASONRY AND MASONRY LIKE MATERIAL, EXCLUDING OPENINGS (GLAZING AND DOORS), IN LIEU OF THE 80% MINIMUM MASONRY MATERIAL IN THE ORDINANCE.
3. INCLUDE LANDSCAPING FOR THE AREA UNDER DEVELOPMENT FOR PHASE I & II ONLY, AND FOR EXISTING DEVELOPED AREA AS FEASIBLE. ADDITIONAL LANDSCAPING WILL BE ADDED PER THE LANDSCAPE ORDINANCE AS REMAINING AREAS ARE DEVELOPED IN THE FUTURE.



VICINITY MAP

OWNER:
CATHOLIC DIOCESE OF FORT WORTH
800 W LOOP 820 SOUTH
FORT WORTH, TEXAS 76108
PH: 817.560.2452

CONTACT: MR. GARY FRAGOSSO

ARCHITECT:
O'CONNOR ARCHITECTURE & INTERIOR DESIGN, LTD
304 MAIN STREET
FORT WORTH, TEXAS 76102
PH: 817.877.0691
www.oaid.net

CONTACT: MR. RAYMOND O'CONNOR, AIA

COMPLIANCE NOTE:

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICATIN THEREOF. HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS AS SET FORTH IN SECTION 5100.F.10

ZC#11-002

DEVELOPMENT PLAN

Lot 1, Block 1
St Jude Catholic Church Addition
12.385 Acres, Tarrant County



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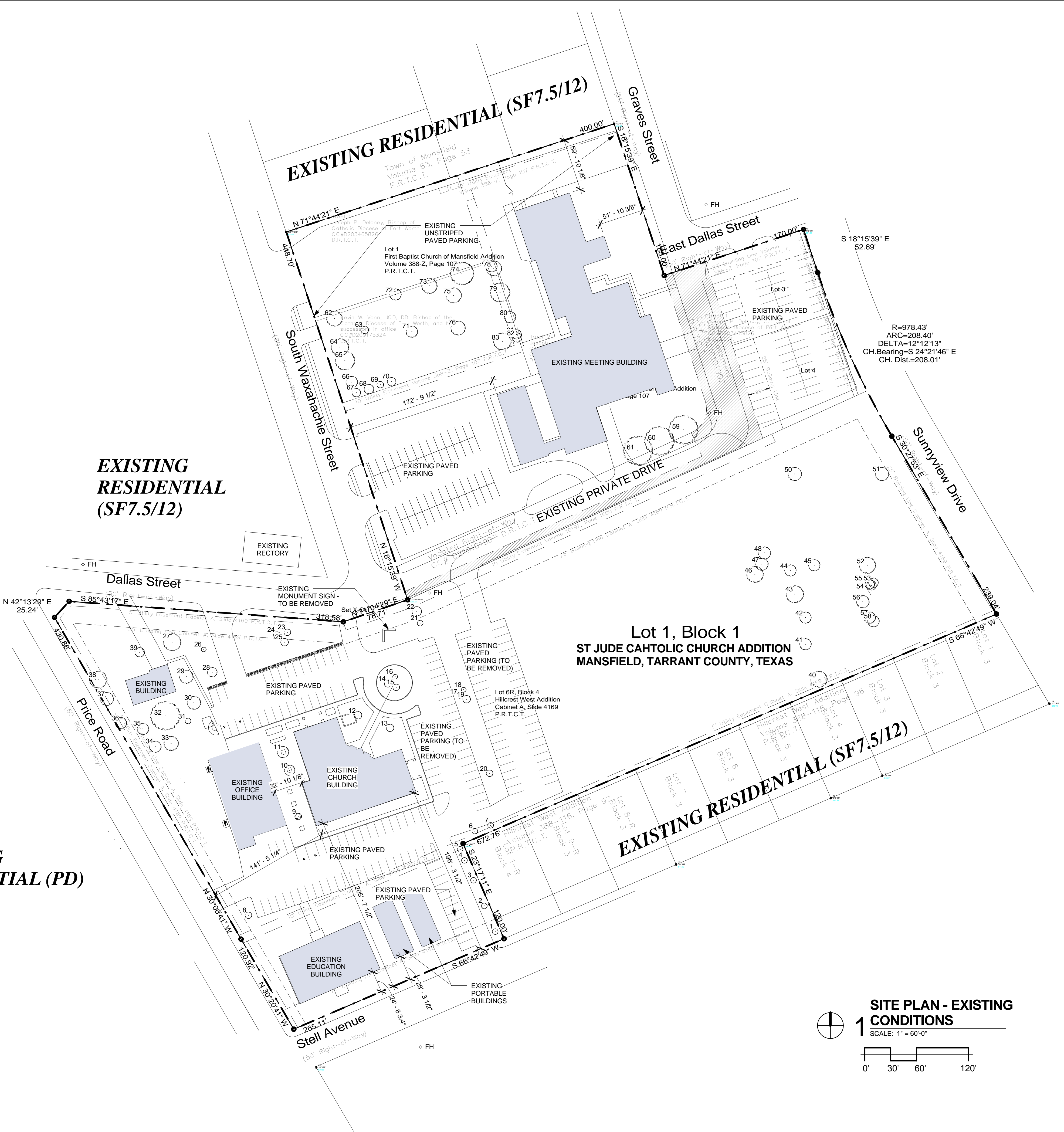
DEVELOPMENT PLAN NOTES

Issued
01.03.2011
Revised
01.20.2011



St Jude Catholic Church

500 E. Dallas Street - Mansfield, Texas 76063



EXISTING TREE SURVEY		
MARK	DESCRIPTION	NOTES
1	6" Elm	
2	6" Elm	
3	6" Elm	
4	6" Elm	
5	6" Elm	
6	6" Elm	REMOVED IN PHASE I
7	6" Elm	REMOVED IN PHASE I
8	7" Elm	
9	7" Red Oak	
10	11" Pear	
11	12" Pear	
12	8" Live Oak	
13	8" Live Oak	
14	7" Elm	REMOVED IN PHASE I
15	7" Elm	REMOVED IN PHASE I
16	5" Elm	REMOVED IN PHASE I
17	4" Live Oak	
18	5" Live Oak	REMOVED IN PHASE I
19	8" Live Oak	REMOVED IN PHASE I
20	7" Live Oak	REMOVED IN PHASE I
21	6" Elm	
22	10" Hackberry	
23	7" Elm	
24	7" Elm	
25	8" Elm	
26	5" Elm	
27	28" Willow	
28	10" Live Oak	
29	15" Willow	
30	14" Pine	
31	6" Hackberry	
32	30" Mulberry	
33	15" Elm	
34	12" Elm	
35	12" Elm	
36	12" Pear	
37	14" Pear	
38	18" Pear	
39	10" Live Oak	
40	17" Hackberry	
41	12" Hackberry	
42	12" Hackberry	
43	18" Cedar	
44	12" Hackberry	
45	12" Hackberry	
46	17" Hackberry	
47	13" Hackberry	
48	13" Hackberry	
49	14" Mesquite	
50	14" Cedar	
51	14" Cedar	
52	17" Hackberry	
53	10" Hackberry	
54	10" Hackberry	
55	10" Hackberry	
56	13" Hackberry	
57	12" Cedar	
58	12" Cedar	
59	30" Mulberry	
60	30" Mulberry	
61	30" Mulberry	
62	16" Elm	
63	8" Elm	
64	18" Elm	
65	20" Elm	
66	12" Elm	
67	9" Elm	
68	10" Elm	
69	7" Elm	
70	9" Elm	
71	12" Elm	
72	12" Hackberry	
73	16" Red Oak	
74	24" Red Oak	
75	16" Hackberry	
76	15" Elm	
77	12" Hackberry	
78	16" Hackberry	
79	20" Hackberry	
80	12" Hackberry	
81	10" Hackberry	
82	10" Hackberry	
83	18" Hackberry	

EXISTING SITE PLAN

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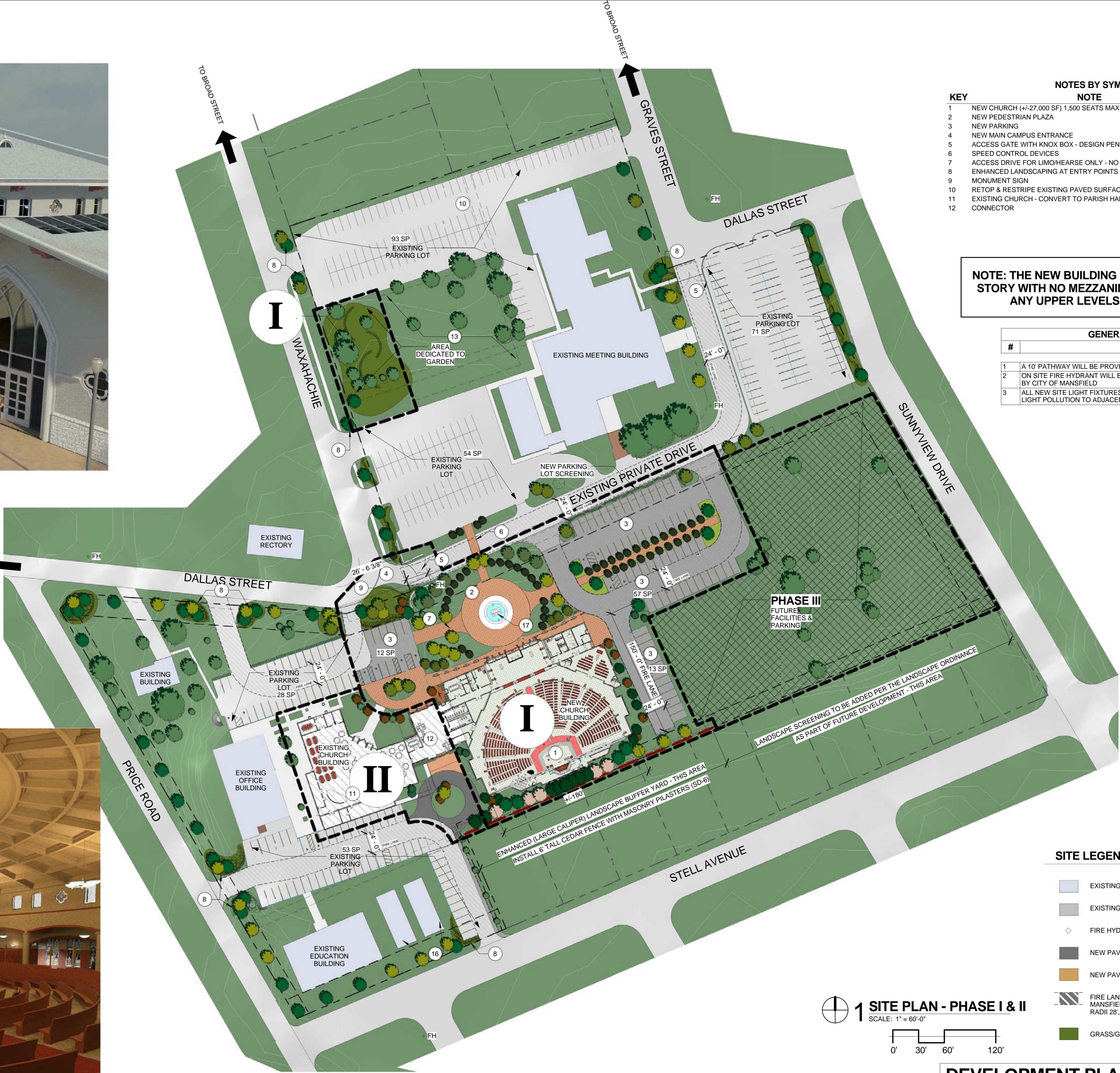
DEVELOPMENT PLAN
Lot 1, Block 1
St Jude Catholic Church Addition
12.385 Acres, Tarrant County

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Previously Approved PD



SITE PLAN - PHASE I & II

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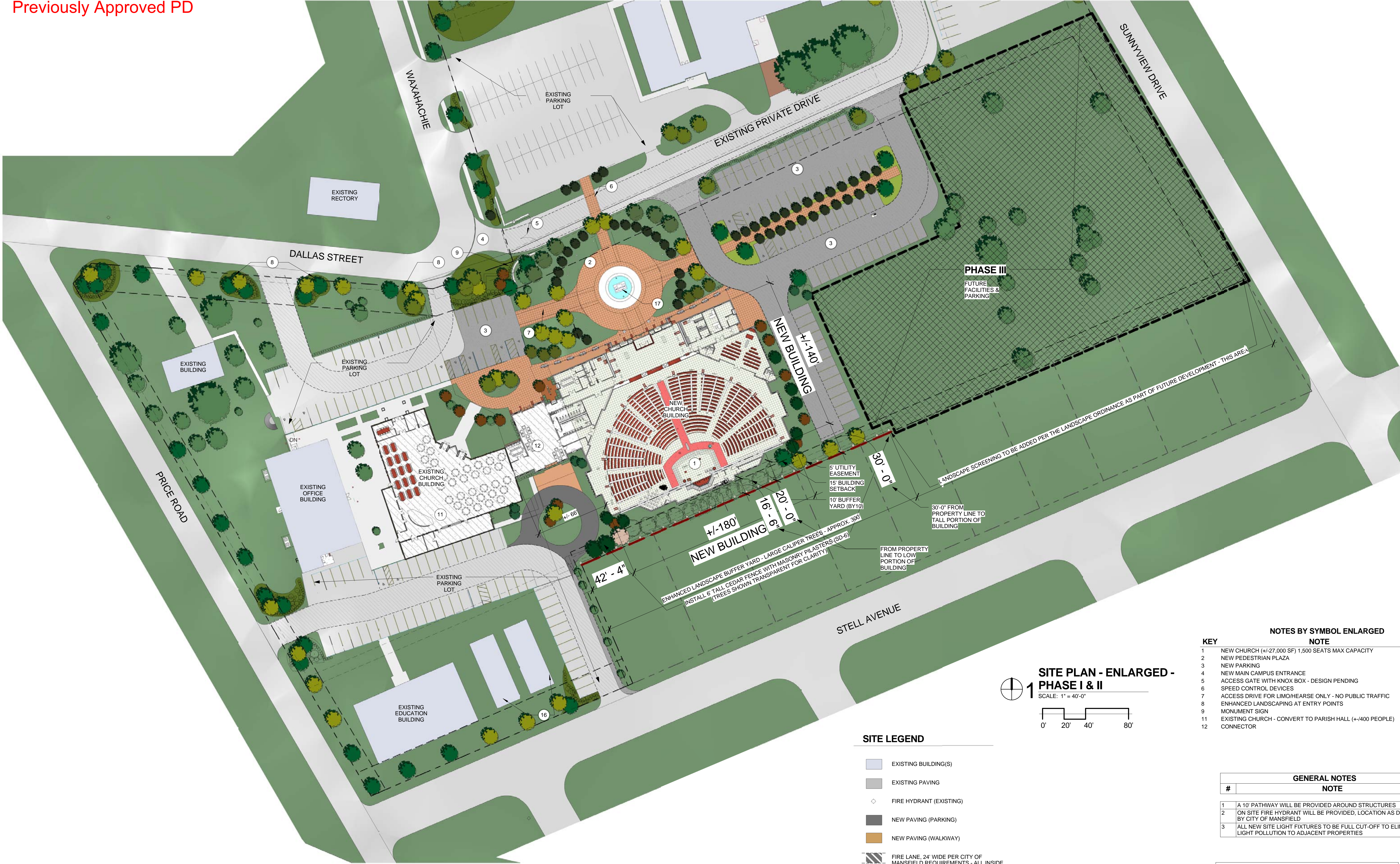


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SITE PLAN - ENLARGED - PHASE I & II
SCALE: 1" = 40'-0"

SITE LEGEND

- EXISTING BUILDING(S)
- EXISTING PAVING
- FIRE HYDRANT (EXISTING)
- NEW PAVING (PARKING)
- NEW PAVING (WALKWAY)
- FIRE LANE, 24' WIDE PER CITY OF MANSFIELD REQUIREMENTS - ALL INSIDE RADII 28', OUTSIDE RADII 52' TYPICAL
- GRASS/GROUND COVER

NOTES BY SYMBOL ENLARGED		
KEY	NOTE	PHASE
1	NEW CHURCH (+/-27,000 SF) 1,500 SEATS MAX CAPACITY	I
2	NEW PEDESTRIAN PLAZA	I
3	NEW PARKING	I
4	NEW MAIN CAMPUS ENTRANCE	I
5	ACCESS GATE WITH KNOX BOX - DESIGN PENDING	I
6	SPEED CONTROL DEVICES	I
7	ACCESS DRIVE FOR LIMO/HEARSE ONLY - NO PUBLIC TRAFFIC	I
8	ENHANCED LANDSCAPING AT ENTRY POINTS	I
9	MONUMENT SIGN	I
11	EXISTING CHURCH - CONVERT TO PARISH HALL (+/-400 PEOPLE)	II
12	CONNECTOR	II

GENERAL NOTES	
#	NOTE
1	A 10' PATHWAY WILL BE PROVIDED AROUND STRUCTURES
2	ON SITE FIRE HYDRANT WILL BE PROVIDED, LOCATION AS DIRECTED BY CITY OF MANSFIELD
3	ALL NEW SITE LIGHT FIXTURES TO BE FULL CUT-OFF TO ELIMINATE LIGHT POLLUTION TO ADJACENT PROPERTIES

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Lot 1, Block 1
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SITE PLAN - ENLARGED - PHASE I & II

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SITE PLAN - LANDSCAPING
SCALE: 1" = 60'-0"

PHASE I
NEW CHURCH BUILDING

PHASE II
EXISTING CHURCH

PHASE III
FUTURE FACILITIES & PARKING

EXISTING RECTORY

EXISTING OFFICE BUILDING

EXISTING EDUCATION BUILDING

EXISTING CHURCH

EXISTING PARKING LOT

EXISTING PRIVATE DRIVE

DALLAS STREET

PRICE ROAD

STELL AVENUE

20' LANDSCAPE SETBACK

10' BUFFER YARD

ENHANCED (LARGE CAUPEL) LANDSCAPE BUFFER YARD - THIS AREA
INSTALL 6' TALL CEDAR FENCE WITH MASONRY PILASTERS (SD-6)

LANDSCAPE SCREENING TO BE ADDED PER THE LANDSCAPE ORDINANCE
AS PART OF FUTURE DEVELOPMENT - THIS AREA

NEW SCREENING FOR EXISTING PARKING LOT

1" = 60'-0"

0' 30' 60' 120'



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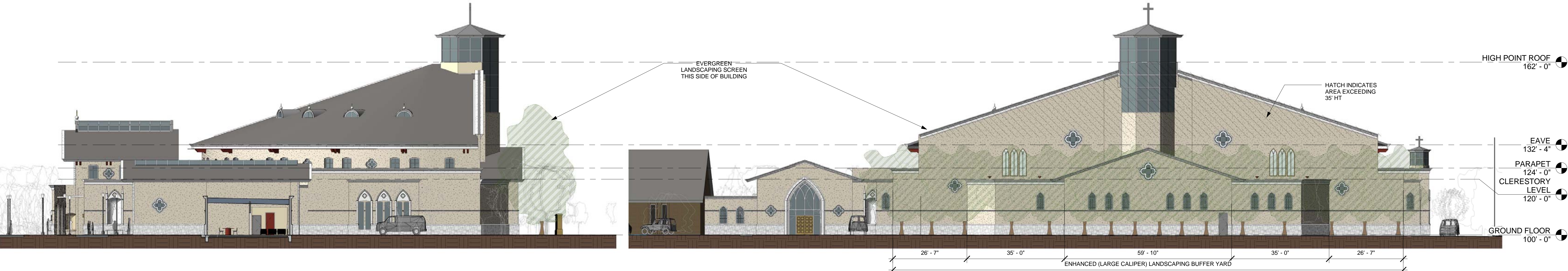
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MASONRY CALCULATIONS:

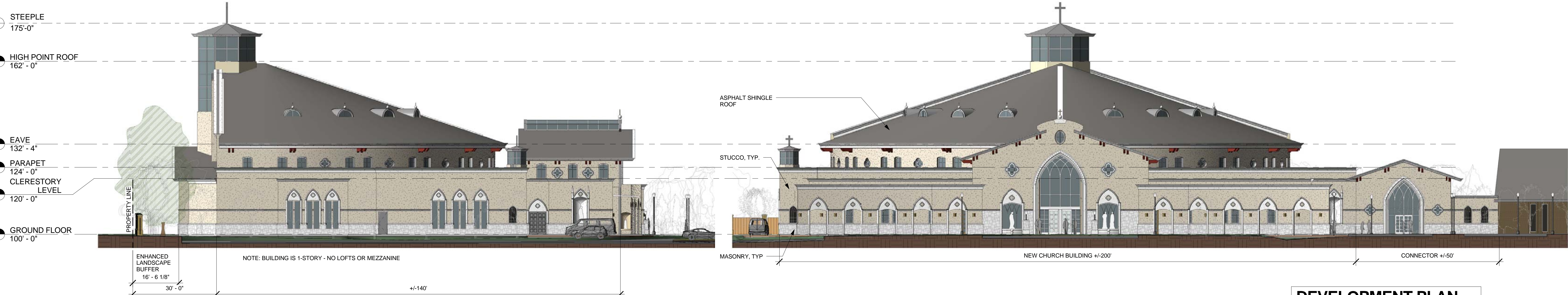
TOTAL SURFACE WALL AREA: +/- 30,000 SF
TOTAL MASONRY AREA: +/- 6,000 SF
MASONRY %: 20%

ELEVATIONS ARE PRELIMINARY ILLUSTRATIONS OF THE GENERAL DESIGN APPROACH. THEY ARE SUBJECT TO DESIGN/ENGINEERING, CONSTRUCTION MODIFICATIONS AND CLARIFICATIONS, AS THE DESIGN OF THE FACILITY PROGRESSES.



CONCEPTUAL ELEVATION
4 - WEST
SCALE: 1/16" = 1'-0"

CONCEPTUAL ELEVATION
2 - SOUTH
SCALE: 1/16" = 1'-0"



CONCEPTUAL ELEVATION
3 - EAST
SCALE: 1/16" = 1'-0"

CONCEPTUAL ELEVATION
1 - NORTH
SCALE: 1/16" = 1'-0"

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ELEVATIONS

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