

EXHIBIT B

PLANNED DEVELOPMENT STANDARDS

BIRDSONG

COMMUNITY FRAMEWORK

Birdsong will be a multi-generational community where an emphasis on being able to experience a small town environment where you know your neighbors, is balanced with the conveniences of a suburban lifestyle.

A variety of housing types and lot sizes will be provided to meet the needs of a complete life cycle. This mix of home styles and sizes will be fully integrated throughout the community instead of establishing a pod-type development pattern. This will encourage a diverse community both in terms of the people and families living in it, as well as the homes being built within it. This community design preference will also allow residents to move within the community and not have to distance themselves from family and friends as changes occur in their lives.

In keeping with the vision of community, public and private spaces are given equal importance and brought to the forefront. Open spaces, public parks, and common areas are interspersed throughout the neighborhoods and connected with an extensive trail system. This design encourages personal interaction by families and residents in all stages of life.

COMMERCIAL TRACT

(Tract 1)

1. Uses:
 - A. Permitted uses shall be all principal and accessory uses which are allowed by right in the (C-2) Community Business District, in accordance with Section 4400 B Permitted Use Table of the Mansfield Zoning Ordinance, as amended.
 - B. A Specific Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the (C-2) Community Business District, in accordance with Section 4400 B Permitted Use Table of the Mansfield Zoning Ordinance, as amended.
2. Development Standards: Development shall be in accordance with the development standards established in the (C-2) Community Business District in the Mansfield Zoning Ordinance as it exists or may be amended.
3. Rezoning: Any rezoning of Tract 1, whether to a different zoning category, amended development standards, or for a Specific Use Permit shall be treated as a stand-alone request from Tract 2. As such, property owners of land located within Tract 2 do not have to be party to any rezoning of Tract 1. Additionally, a rezoning request specifically for Tract 1 does not allow for the zoning and/or development standards of Tract 2 to be altered.

SINGLE FAMILY TRACT (TRACT 2)

GENERAL STANDARDS

1. The design and development of the Birdsong community shall take place in general accordance with the attached Development Plan (Exhibit C-1), Street Plan (Exhibit C-2), Open Space/Amenity Plan (Exhibit D-1), Screening Plan (Exhibit D-2), Trail Plan (Exhibit D-3), and Enhanced Entryway Plan (Exhibit E).
2. Unless otherwise specified in this planned development, development within the Birdsong community is governed by the Mansfield Zoning Ordinance as currently enacted at the time of approval of this ordinance by the City Council. In the event of any conflict or inconsistency between these standards and the applicable City regulations, the terms and provisions of this planned development shall apply.
3. Unless otherwise specified in this planned development, the design and construction of public infrastructure and utilities within the Birdsong community shall be in accordance with the Mansfield Design Standards as currently enacted at the time of approval of this ordinance by the City Council. In the event of any conflict or inconsistency between these standards and the applicable City regulations, the terms and provisions of this planned development shall apply.
4. In the event of a conflict between the written text and the illustrations provided in this planned development, the written text contained herein shall control.
5. The maximum number of homes in the Birdsong community shall be 540.
6. A minimum of 14% of land (25.75 AC +/-) located within Tract 2 shall be used as open space, as identified on the Open Space Plan.
 - A. The open space will be dispersed throughout the community. In order for the open space to be counted towards meeting the minimum requirement, it must be at least 0.5 acre in size or contain recreational elements (i.e. hike & bike trail, etc.), as well as be readily accessible to the residents of the Birdsong community. The open space may be public or private.
 - B. If the open space is private, it shall be owned and maintained by a mandatory Homeowners Association.
 - C. At least one private amenity center shall be provided for residents of the Birdsong community. The amenity center shall include, at a minimum, a swimming pool, and family lifestyle oriented facilities.
7. Homeowners Association (HOA)
 - A. A mandatory homeowners association will be responsible for the maintenance of lots owned by the (HOA), detention ponds, amenity center, play area equipment not located with a public park, trails, entryway features, screening walls and fences shown on Exhibit D-2-Screening Plan, master developer provided canopy trees, landscaping at the entryway and on HOA lots.
 - B. The HOA documents shall be filed in accordance with the City of Mansfield policies. These documents shall be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Johnson County and deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay

in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

8. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

DEVELOPMENT STANDARDS

1. Uses
 - A. Permitted uses allowed in Tract 2 shall be all principal and accessory uses which are allowed by right in the SF-7.5/18 Single Family Residential District, in accordance with Section 4400 B Permitted Use Table of the Mansfield Zoning Ordinance, as amended.
 - B. A Specific Use Permit shall be required for all uses otherwise requiring a Special Use Permit in the SF-7.5/18 Single Family Residential District, in accordance with Section 4400 B Permitted Use Table of the Mansfield Zoning Ordinance, as amended.
2. The allowable lotting mix on Tract 2 shall be as follows:

<u>LOT TYPE</u>	<u>LOTS</u>		
TYPE 1	MAX	202	37%
TYPE 2		258	48%
TYPE 3	MIN	80	15%
	TOTAL	540	

3. Single Family Detached Lot Development Standards:

DEVELOPMENT STANDARD

Lot Type	TYPE 1	TYPE 2	TYPE 3
Minimum Lot Width	50'	60'	70'
Minimum Lot Area (SQ FT)	6,000	7,200	8,400
Minimum Lot Depth	110'	110'	110'
Minimum Front Yard Setback	25'	25'	25'
Minimum Rear Yard Setback	15'	15'	15'
Minimum Side Yard Setback	5'	5'	5'
Exterior at Corner	15'	15'	15'
Minimum Dwelling Area (SQ FT)	1,800	2,200	2,400
Maximum Lot Coverage	55%	55%	55%
Maximum Height	35'	35'	35'

Note: Location of Lot Type shall be in accordance with the Development Plan.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' narrower as long as the lot area exceeds the minimum area square footage.

Note: Lots on a cul-de-sac bulb or elbow may be up to 10' shallower as long as the lot area exceeds the minimum area square footage.

Note: Corner lots shall be at least 10' wider than the specified minimum lot width for each Lot Type identified above.

Note: Outdoor living areas shall have a minimum rear setback of 10' whether or not the area is covered by a roof which is integrated into the house.

Note: The minimum front yard setback may be reduced to 20' for homes with J-swing garages.

Note: The minimum dwelling area on at least 30% of homes on Type 1 lots shall be 2,000 square feet.

4. Single Family Detached Architectural Standards: Homes constructed within the Birdsong community shall comply with the architectural standards established in Section 4600 of the Mansfield Zoning Ordinance unless otherwise indicated below.

- A. Swing/Non-Front Entry Garages: A minimum of 20% of the total number of lots within the Birdsong community shall contain a J-Swing, side entry oriented (door facing a side street), or non-front entry (access to garage is from a drive interior to the lot) garage. J-Swing garages shall not be required on TYPE 1 lots.
- B. Garage Doors: Garage doors may face a public street. If a garage door faces the street, the garage face may not be closer to the street than the primary façade of the home. Additionally, if a garage door faces the street, it shall have a minimum front setback of at least 25'.

Garage doors shall be constructed of a composite material made to have the appearance of wood.

C. Canopy Trees:

1. On all single family lots, a minimum of 2, 3" caliper canopy trees shall be provided for each home, one of which may be located in the back yard.

COMMUNITY DESIGN STANDARDS

1. Community Buffers:

A. Lone Star/Bedford Road:

1. A minimum 20' wide landscape buffer shall be provided adjacent to the right-of-way. Berms and retaining walls may be constructed within the buffer.
2. A mix of canopy and ornamental trees shall be planted within the required landscape buffer. Canopy trees shall consist of a minimum of 33% of all tree plantings within the buffer.
3. Ground cover may also be planted throughout the buffer. Ground cover includes, but is not limited to, shrubs, grasses, turf, mulched planter beds and hardscape.
4. A minimum 6'-8' wide, concrete trail shall be provided within the buffer along the Lone Star/Bedford Road right-of-way. The location of the trail shall be coordinated with any trail located within adjacent developments.

2. Buffer Vegetation:

- A. Canopy Trees: Canopy trees shall be a minimum 3 caliper inches in size, measured 6" above the planting surface, and 7' in height at the time of planting.

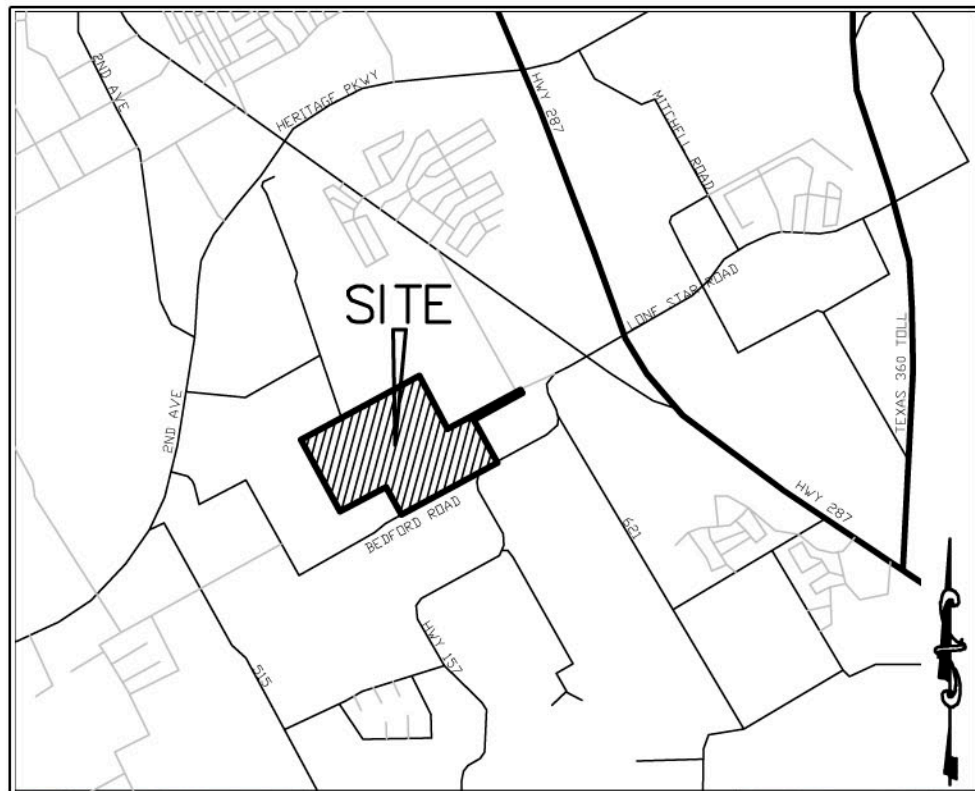
Canopy trees shall have a minimum crown spread of 25' at maturity.

- B. Ornamental Trees: Ornamental trees shall be a minimum 1 caliper inch in size, measured 6" above the planting surface at the time of planting.

Ornamental trees shall have a minimum crown spread of 15' at maturity. Ornamental trees having a mature crown spread of less than 15' may be substituted by grouping the trees to create the equivalent crown spread of 15'.

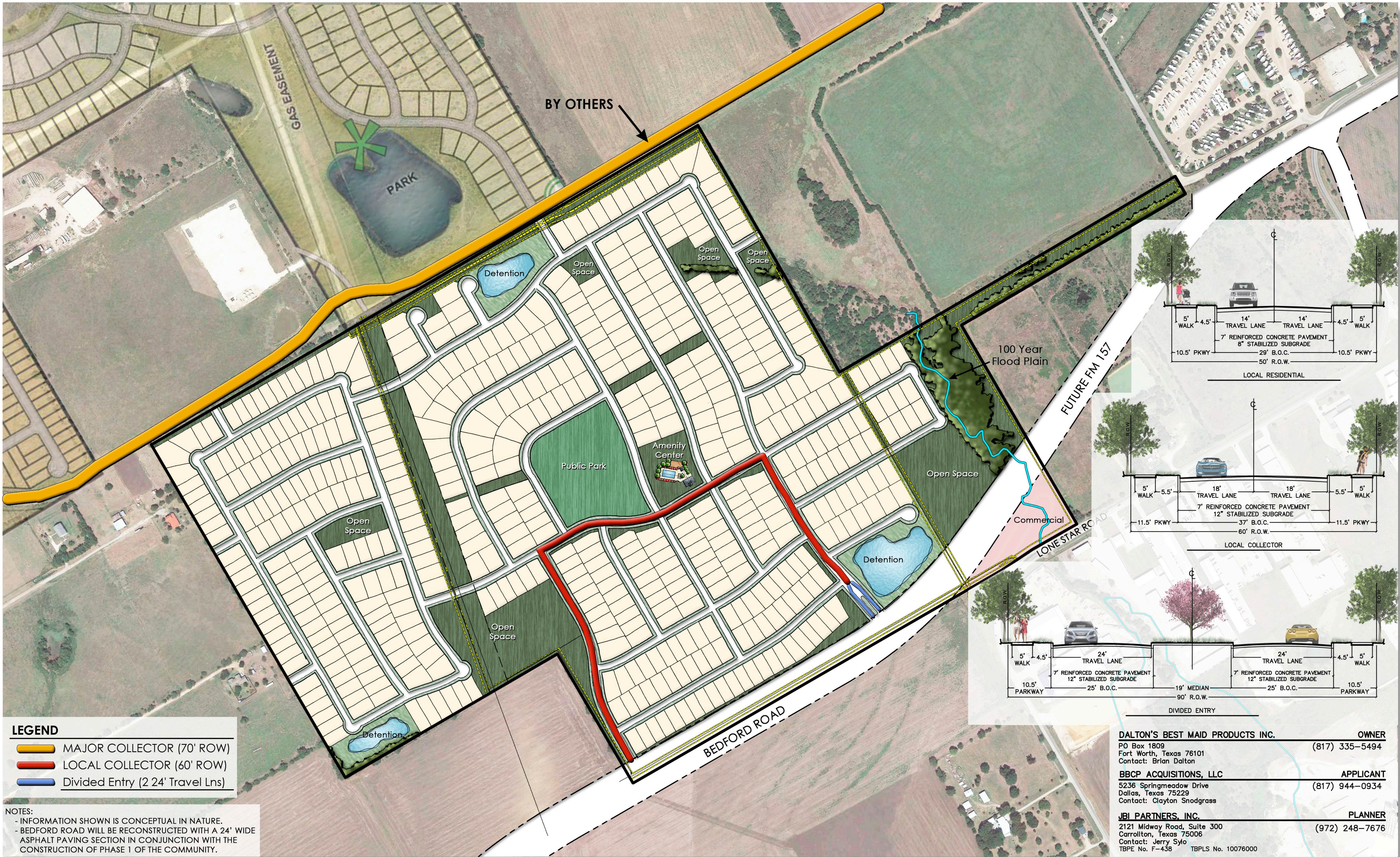
- C. Shrubs: Shrubs shall be a minimum 3 gallons in size at the time of planting and shall attain a minimum height of 3' within two growing seasons.
- D. All landscaping shall be provided in accordance with an approved landscape plan prior to acceptance of the subdivision by the City except as follows. During times of drought or water emergency response stages, or inappropriate season for the plant material, (i.e. Ornamental tree in August or Agave in January) the Planning Director or his/her designee may grant permission to delay the installation of the required landscaping for up to 6 months.
3. Irrigation: Landscape buffers shall be irrigated with irrigation systems. Trees and shrubs shall be irrigated by drip irrigation lines. Other landscaping may be irrigated by spray irrigation.
4. Perimeter Screening:
- A. Lone Star/Bedford Road:
1. Screening where lots back or side: Minimum 6' tall and maximum 8' tall brick or stone screening wall.
 2. Where open spaces are adjacent to the road, ornamental metal or split rail fencing shall be provided as shown on Exhibit D-2, Screening Plan.
- B. North Perimeter Collector Street:
1. Where single family lots back to the Collector Street, screening at a minimum, 6' tall, board-on-board cedar fencing. The cedar fencing shall have metal poles. The fence's rails shall face the inside of the lot. The fencing shall be stained to a uniform color and be maintained by the Homeowner's Association.

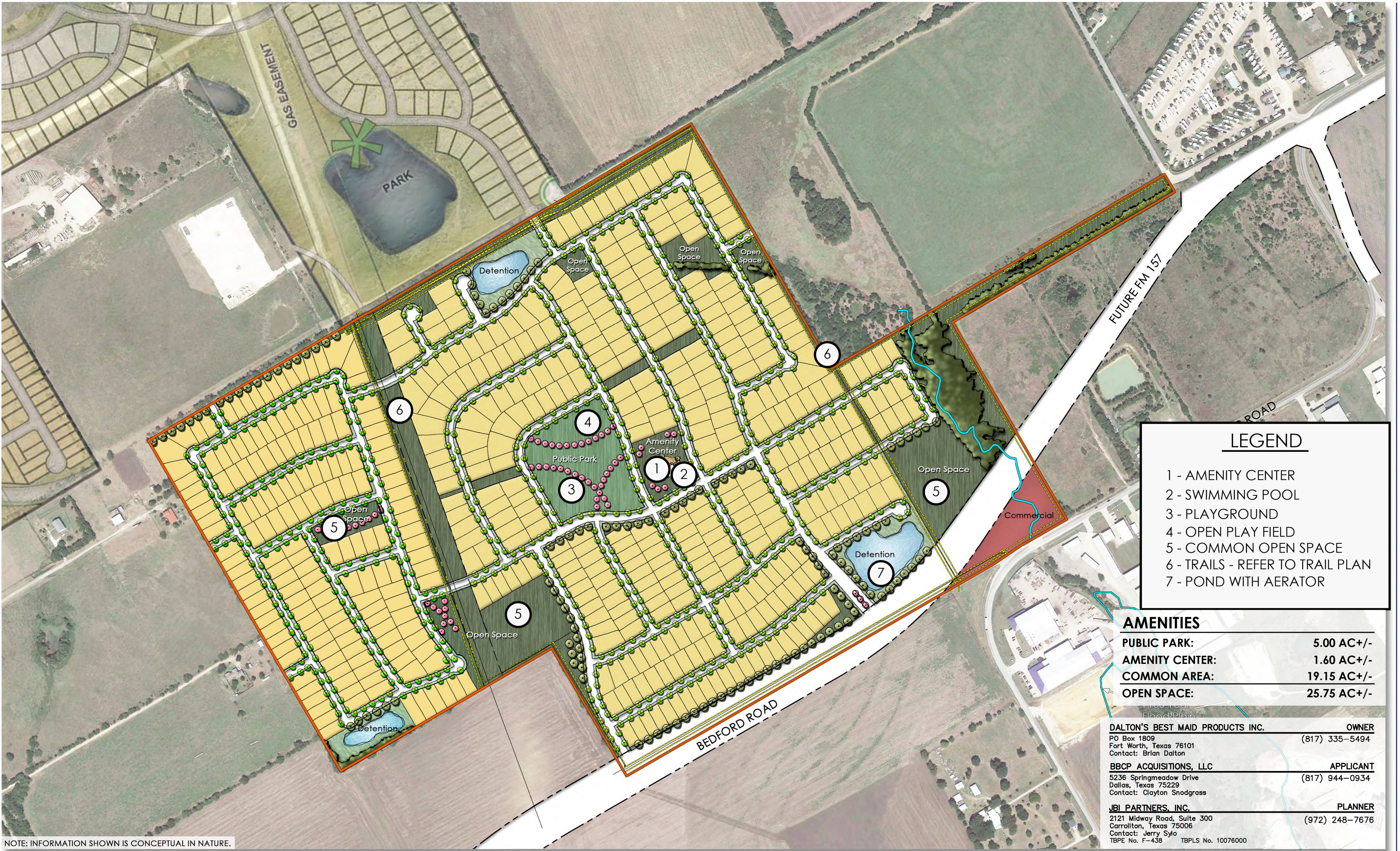
2. The screening shall incorporate masonry columns into its design. The columns shall be located approximately every 100'. The exact location of the column shall correspond to the intersection of an adjacent side lot line with the fencing.
3. Where single family lots side to the Collector Street and/or where open spaces are adjacent to the Collector Street, ornamental metal or split rail fencing shall be provided as shown on Exhibit D-2, Screening Plan.
5. Neighborhood Entry Features: Architectural features on masonry walls or masonry monuments shall be located at the primary and secondary entrances for the Birdsong community. The general design of which shall correspond with Exhibit E (Enhanced Entryway Plan). Entry features and/or community signage may be lighted.



LOCATION MAP
NOT TO SCALE







LEGEND

1 - AMENITY CENTER

2 - SWIMMING POOL

3 - PLAYGROUND

4 - OPEN PLAY FIELD

5 - COMMON OPEN SPACE

6 - TRAILS - REFER TO TRAIL PLAN

7 - POND WITH AERATOR

AMENITIES

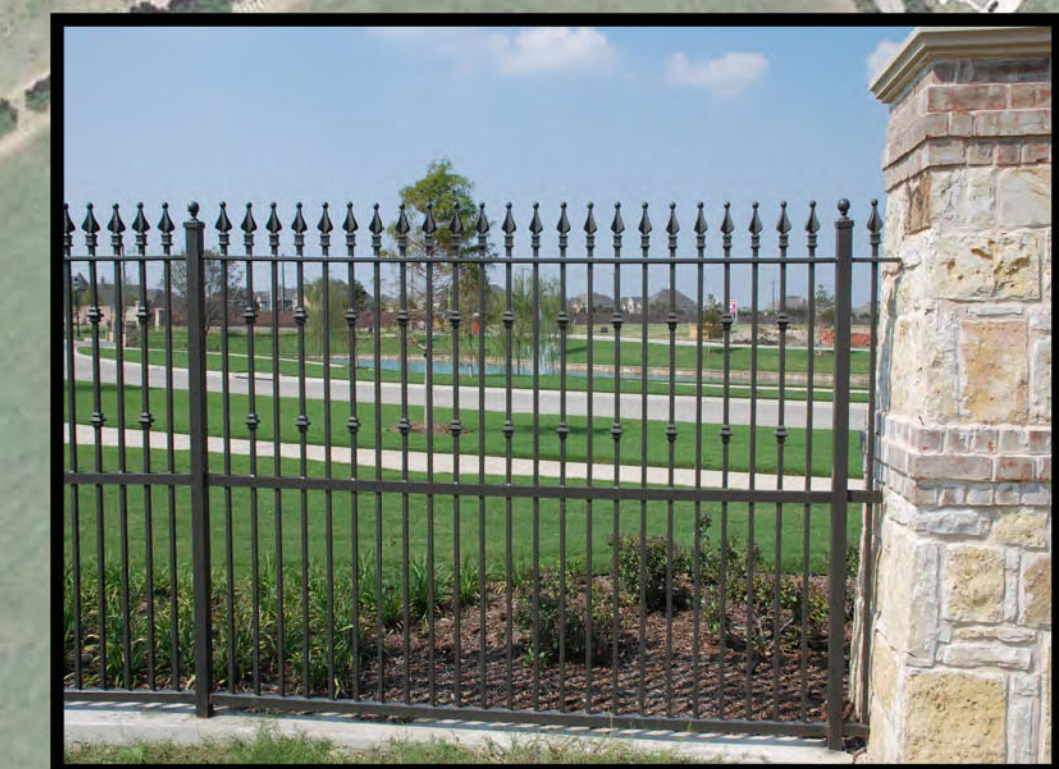
PUBLIC PARK:	5.00 AC+/-
AMENITY CENTER:	1.60 AC+/-
COMMON AREA:	19.15 AC+/-
OPEN SPACE:	25.75 AC+/-

DALTON'S BEST MAID PRODUCTS INC.	OWNER
PO Box 1809	(817) 335-5494
Fort Worth, Texas 76101	
Contact: Brian Dalton	
BBCP ACQUISITIONS, LLC	APPLICANT
5236 Springmeadow Drive	(817) 944-0934
Dallas, Texas 75229	
Contact: Clayton Snodgrass	
JB PARTNERS, INC.	PLANNER
2121 Midway Road, Suite 300	(972) 248-7676
Carrollton, Texas 75006	
Contact: Jerry Sylo	
TBPE No. F-438	TBPLS No. 10076000

NOTE: INFORMATION SHOWN IS CONCEPTUAL IN NATURE.

LEGEND

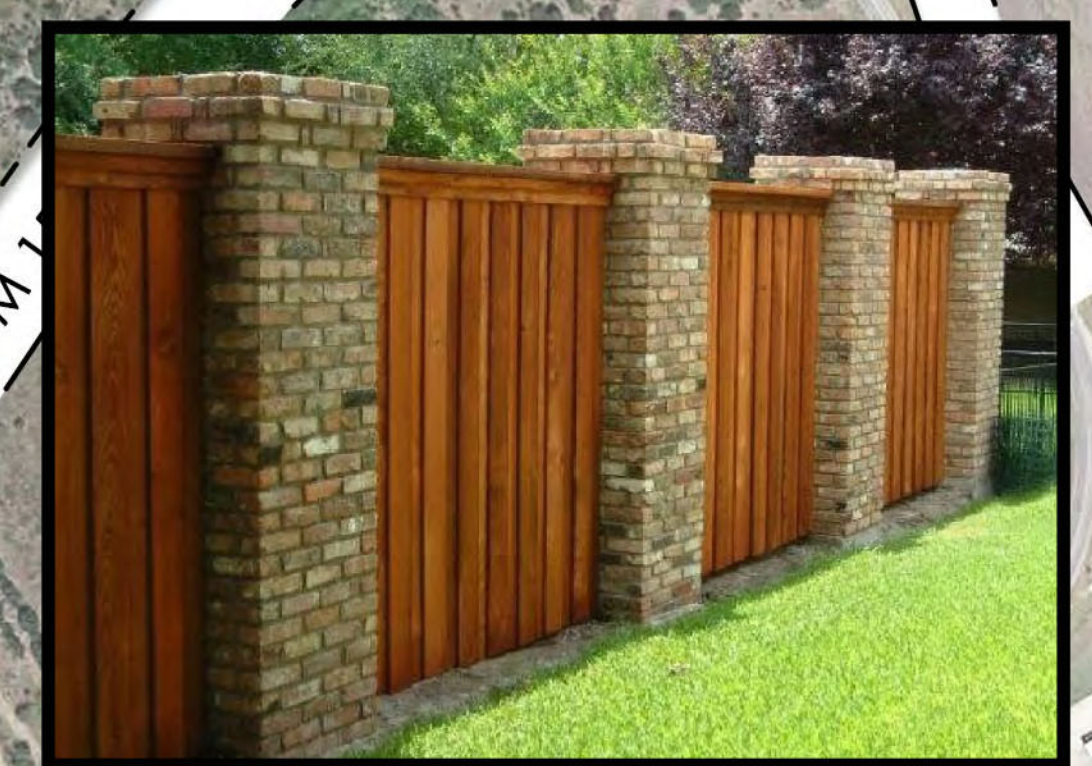
- 6'-0" HT. MASONRY SCREENWALL W/ MASONRY COLUMNS
- 6'-0" HT. WOOD FENCE W/ MASONRY COLUMNS (COLUMNS SPACED PER PD)
- ORNAMENTAL METAL FENCE/ OR SPLIT RAIL FENCE



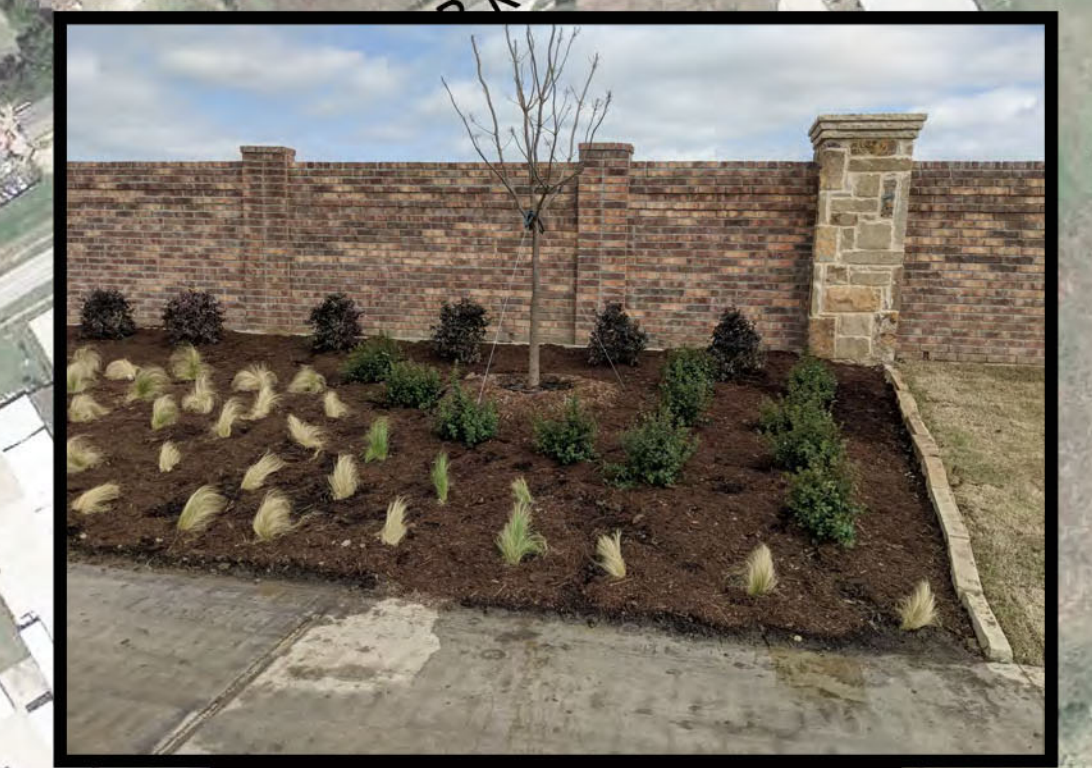
ORNAMENTAL METAL FENCE



SPLIT RAIL FENCE



WOOD FENCE W/ MASONRY COLUMNS (COLUMNS SPACED PER PD)



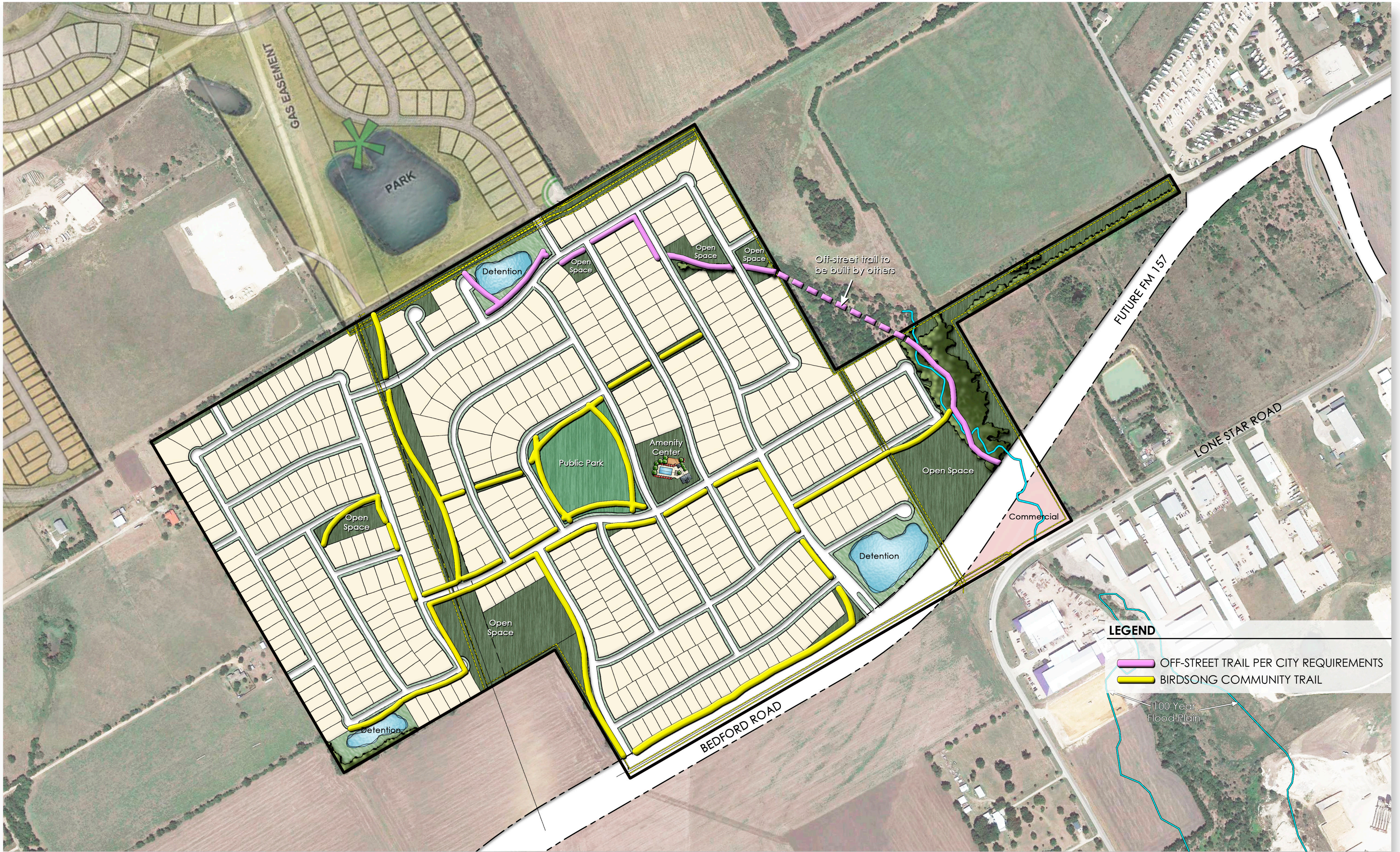
MASONRY SCREENWALL W/ MASONRY COLUMNS

AMENITIES

PUBLIC PARK:	5.00 AC+/-
AMENITY CENTER:	1.60 AC+/-
COMMON AREA:	19.15 AC+/-
OPEN SPACE:	25.75 AC+/-

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LEGEND

- OFF-STREET TRAIL PER CITY REQUIREMENTS
- BIRDSONG COMMUNITY TRAIL

100 Year
Flood Plain

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Submittal 10-17-2018



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

ENHANCED ENTRYWAY PLAN

PRIMARY ENTRANCE

Birdsong

City of Mansfield, Johnson County, Texas

#	PLAN REVIEW/REVISIONS	BY	DATE
0			

PROJECT

EXHIBIT E

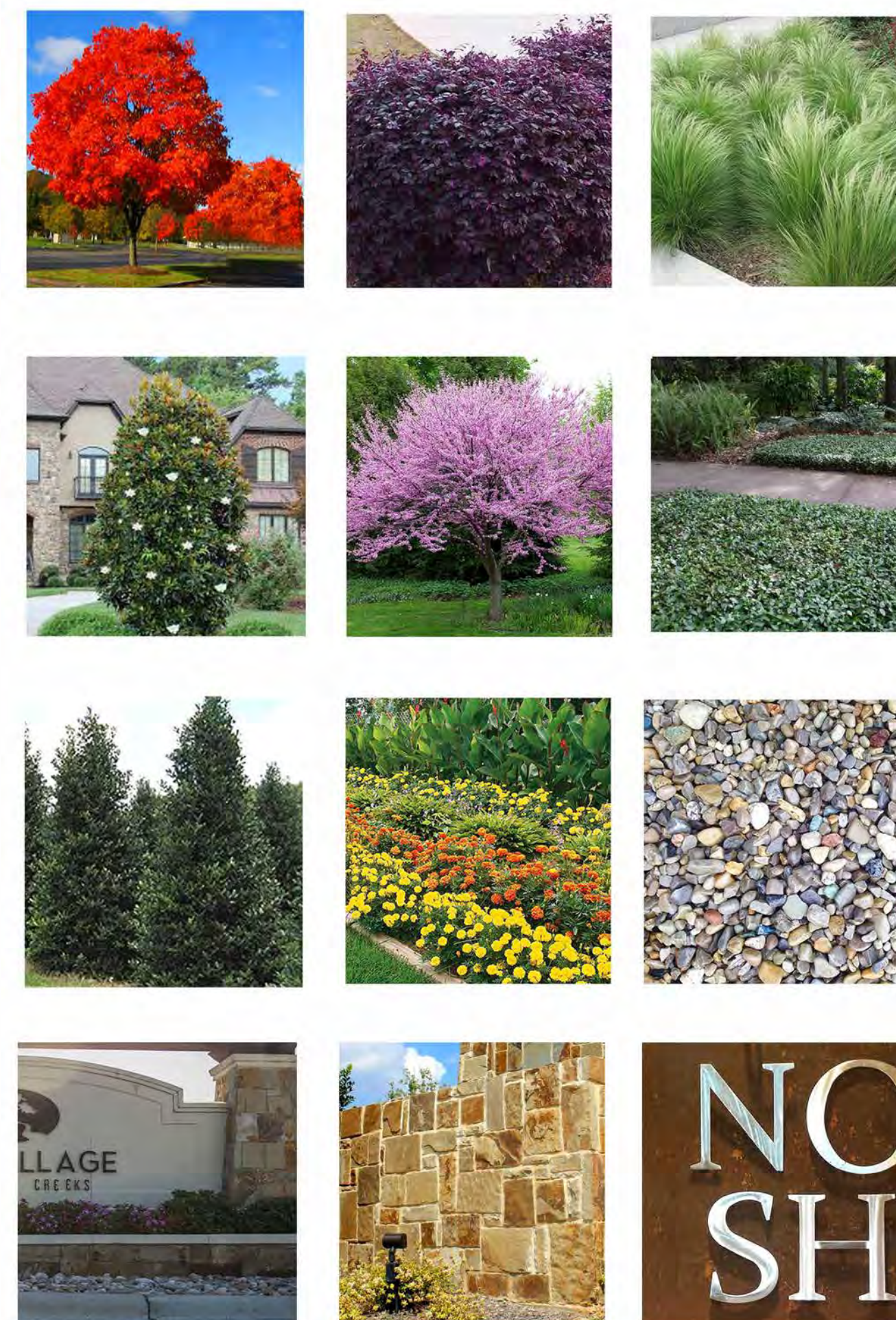
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PG. 1 of 3

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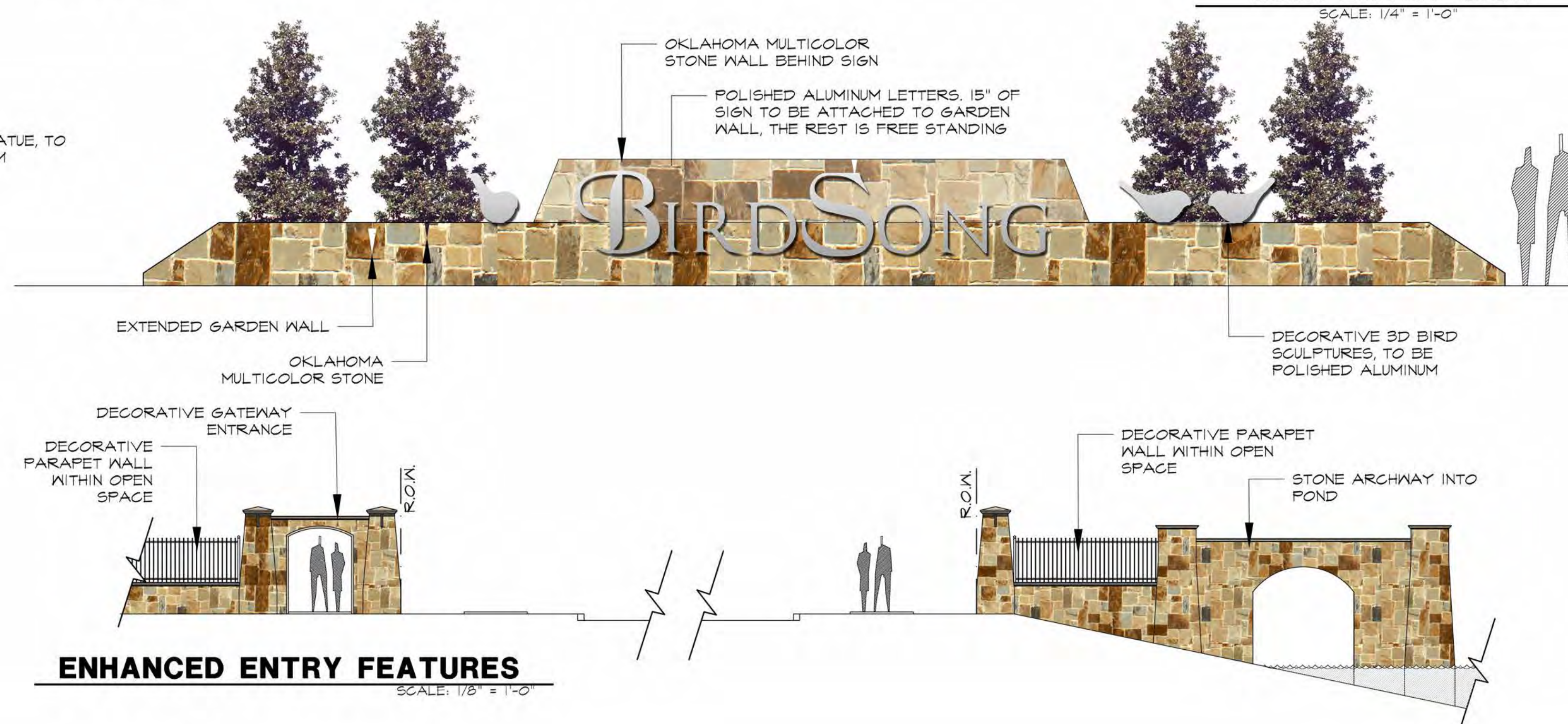


SAMPLE PHOTOS



MAIN ENTRY SIGN

SCALE: 1/4" = 1'-0"



ENHANCED ENTRY FEATURES

$$G.A | F_1 | \beta'' = 1.0$$

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SECONDARY ENTRANCE

SECONDARY SIGN



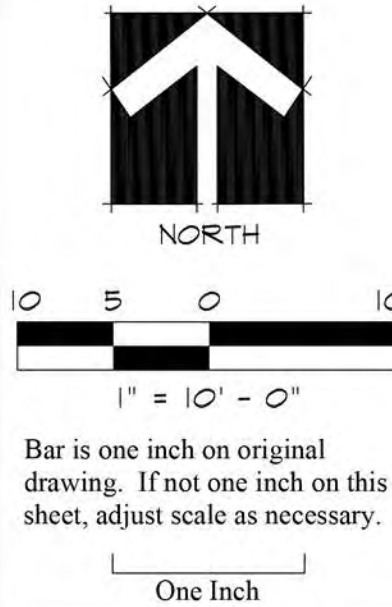
NOTE:
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THIS PLAN ARE CONCEPTUAL IN
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STUDIO 13
DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900
TBAE Firm #BR643

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Submittal 10-24-2018



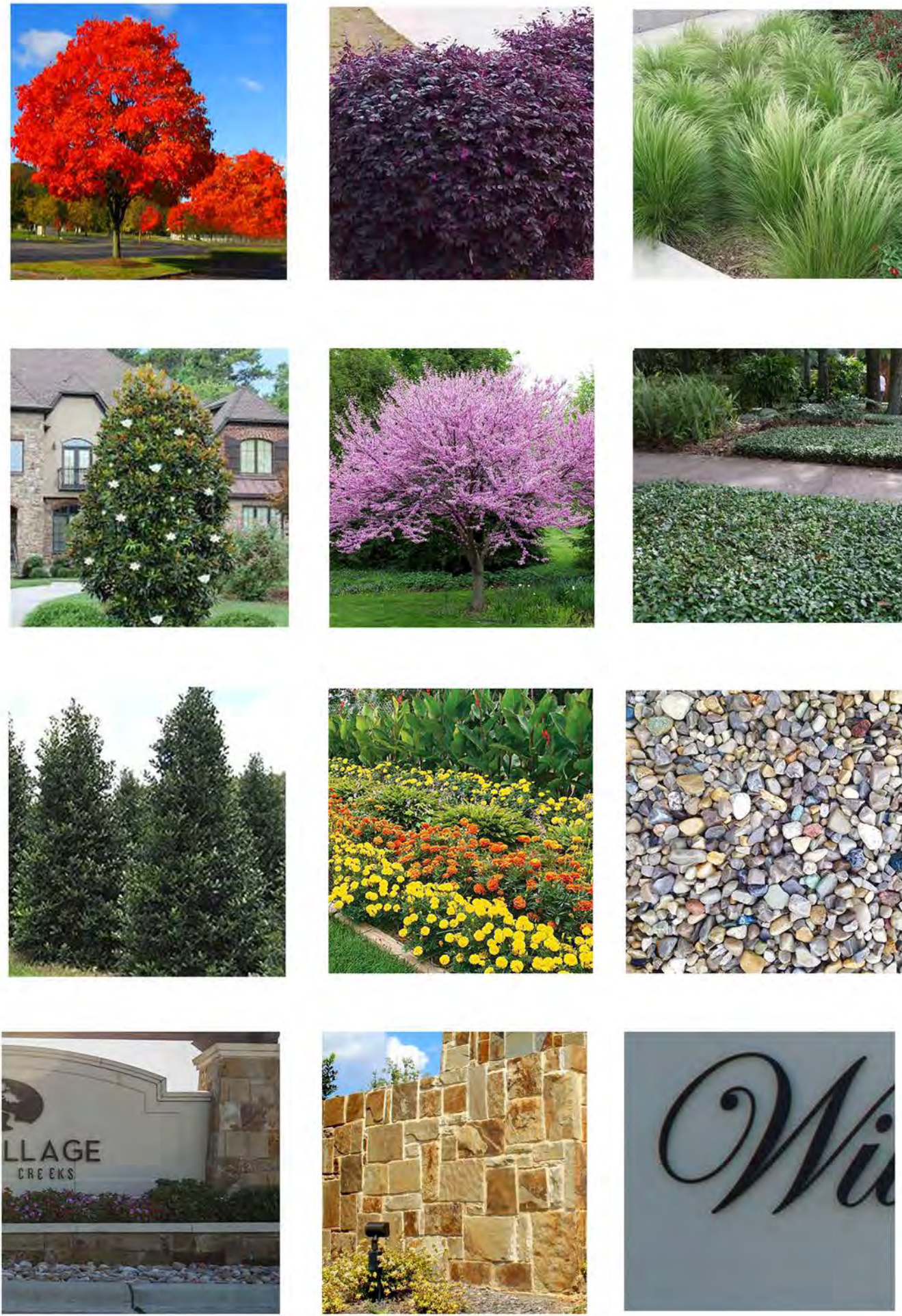
ENHANCED ENTRYWAY PLAN

SECONDARY ENTRY

Birdsong

City of Mansfield, Johnson County, Texas

SAMPLE PHOTOS



PLAN REVIEW REVISIONS	BY	DATE
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PROJECT	EXHIBIT E	
SHEET	PG. 2 of 3	

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AMENITY CENTER BUILDING



FORMAL PLANTINGS



POND FOUNTAIN



FORMAL PLANTINGS



DECORATIVE STONE

NOTE:
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LANDSCAPE CHARACTER
EXAMPLES

STUDIO 13
DESIGN GROUP

Studio 13 Design Group, PLLC.
386 W. Main Street
Lewisville, Texas 75057
469-635-1900

TBAE Firm #BR643

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Submittal 10-5-2018

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drawing. If not one inch on this
sheet, adjust scale as necessary.

One Inch

ENHANCED ENTRYWAY PLAN

CHARACTER EXAMPLES

Birdsong
City of Mansfield, Johnson County, Texas



NEIGHBORHOOD FEATURE



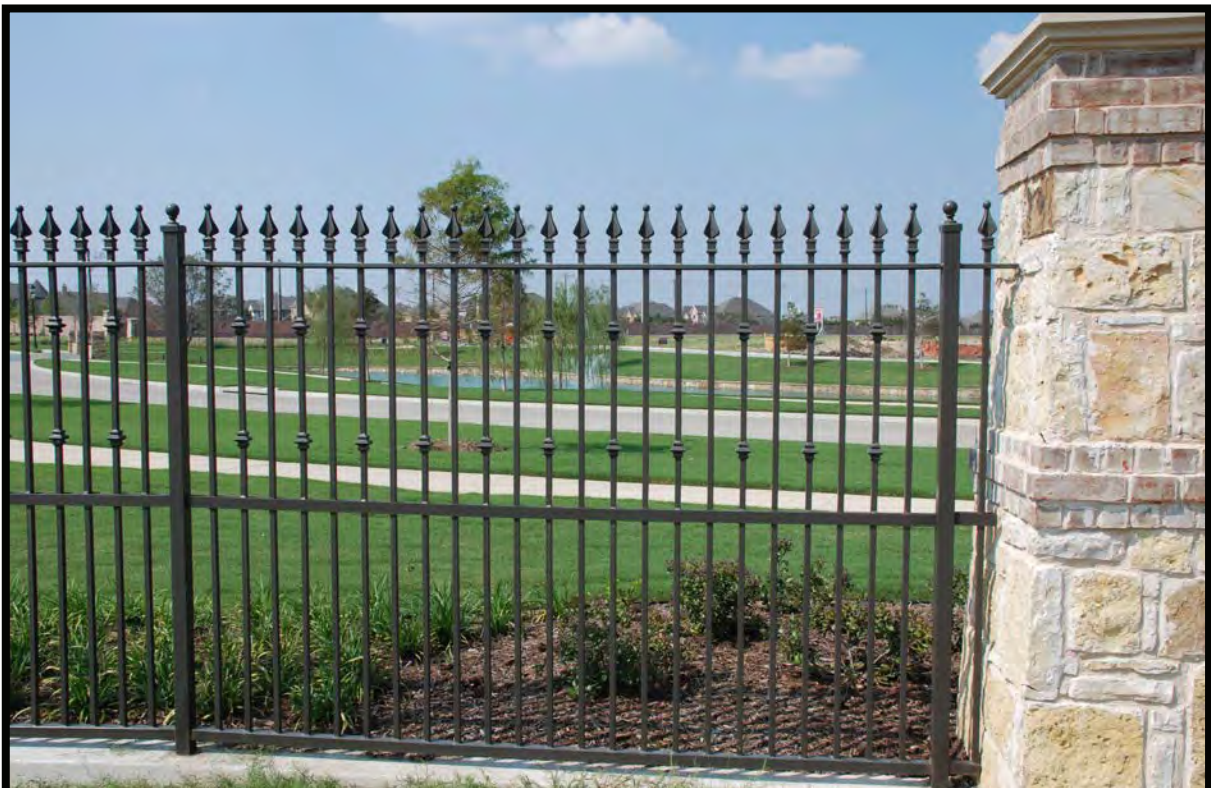
NEIGHBORHOOD FEATURE



AMENITY CENTER BUILDING



NEIGHBORHOOD PAVILION



ORNAMENTAL METAL



PARAPET WALLS



6'-0" HT. BRICK THINWALL



NEIGHBORHOOD PARK

HARDSCAPE CHARACTER
EXAMPLES

PLAN REVIEW REVISIONS	BY	DATE							
#	0								

PROJECT
EXHIBIT E

SHEET
PG. 3 of 3