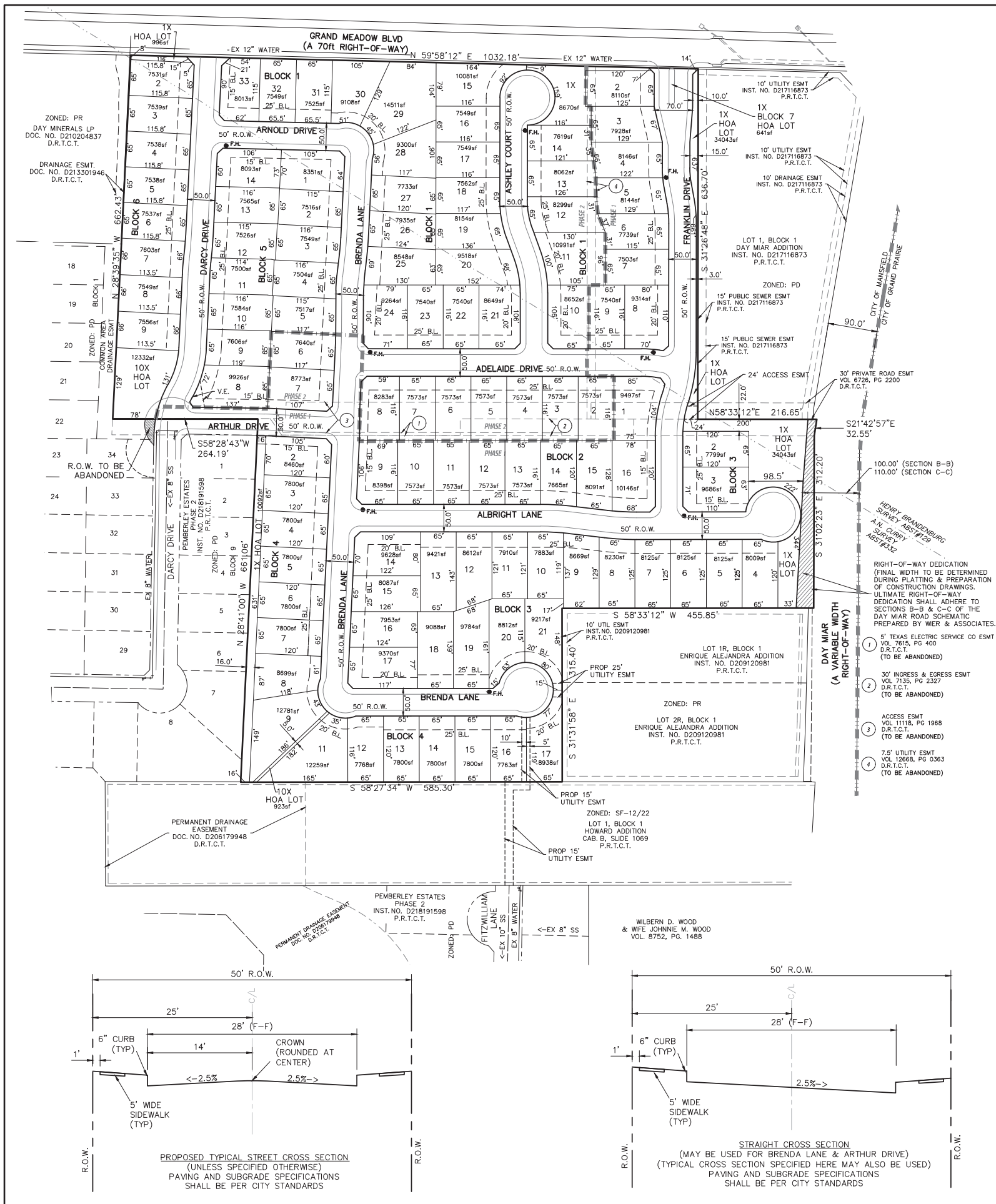
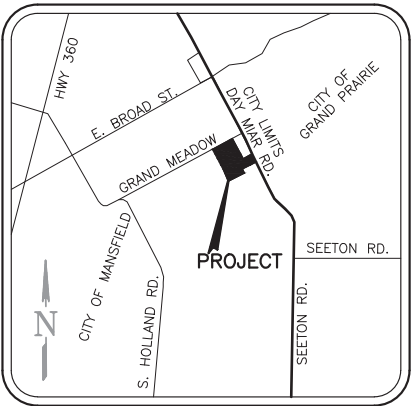
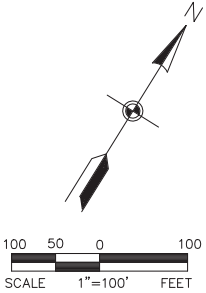
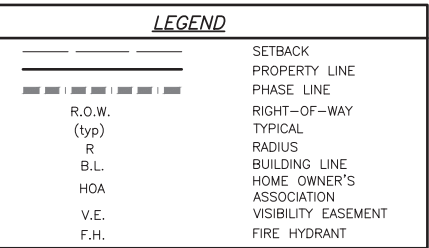




NOTES:

- 1) THIS DEVELOPMENT WILL NOT BE GATED.
- 2) MASONRY SCREENING WALLS SHALL BE 6 FOOT IN HEIGHT.
- 3) THE BOARD-ON-BOARD FENCE AROUND THE PERIMETER OF THIS SUBDIVISION WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS.
- 4) A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL MASONRY SCREENING WALLS, THE HOA LOTS, AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING, DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT, AND THE ENHANCED MASONRY WALLS WITH SIGNAGE.
- 5) THE HOME OWNER'S ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAYS FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.
- 6) THIS PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- 7) THIS DEVELOPMENT WILL BE DEVELOPED IN TWO PHASES.
- 8) ALL STREETS, PARKING AREAS AND DRIVEWAYS WILL BE CONCRETE PAVEMENT CONSTRUCTED TO MEET CITY OF MANSFIELD STANDARD DRAWINGS AND SPECIFICATIONS.
- 9) FIVE (5) FOOT CONCRETE SIDEWALKS WILL BE PROVIDED ALONG ALL PUBLIC STREETS IN ACCORDANCE WITH CITY STANDARDS.
- 10) A TOTAL OF 30% OF THE LOTS WITHIN THIS DEVELOPMENT SHALL HAVE J-SWING GARAGES.



LOCATION MAP
MAPSCO PAGE 126-N, P, S, T
N.T.S.

SITE SUMMARY

PROPOSED LAND USE:	RESIDENTIAL
TOTAL NUMBER OF LOTS:	105 RESIDENTIAL 7 HOA LOTS
BASE ZONING:	SF-7.5/18
MAXIMUM HEIGHT:	35'
MINIMUM FLOOR AREA:	12 LOTS AT 1,800 Sq. Ft. 39 LOTS AT 2,000 Sq. Ft. 54 LOTS AT 2,200 Sq. Ft.
MINIMUM LOT AREA:	7,500 Sq. Ft.
AVERAGE LOT AREA:	8,306 Sq. Ft.
MAXIMUM LOT COVERAGE:	55%
MINIMUM LOT WIDTH:	65' (c)
MINIMUM LOT DEPTH:	110'
MINIMUM STREET FRONTAGE IN KNUCKLES & CUL-DE-SACS:	35'
STREETS:	50' R.O.W.
PAVEMENT:	29' B-B
PROJECT AREA (ACRES):	27.86
OPEN SPACE (ACRES):	1.81
MINIMUM FRONT YARD:	25' (b)
MINIMUM REAR YARD:	15' (d)
MINIMUM INTERIOR SIDE YARD:	5' & 10' (c)
MINIMUM EXTERIOR SIDE YARD:	15' ABUTTING REAR YARD 20' ABUTTING SIDE YARD

MASONRY PERCENTAGE:
-MINIMUM MASONRY PERCENTAGE OF 90% FOR 50% OF THE LOTS IN PHASE 1.
-MINIMUM MASONRY PERCENTAGE OF 80% FOR 50% OF THE LOTS IN PHASE 1.
-MINIMUM MASONRY PERCENTAGE OF 90% FOR 100% OF THE LOTS IN PHASE 2.

DENSITY (GROSS): 3.77 lots/acre

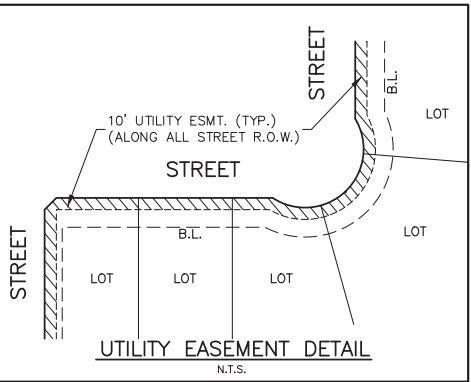
(a) REQUIRES TWO SIDE YARDS TO HAVE A COMBINED TOTAL OF NOT LESS THAN 15' WITH A 5' MINIMUM ON ONE SIDE AND A 10' MINIMUM ON THE OTHER SIDE.

(b) LOTS 11, 28, 29, 30, BLOCK 1, LOTS 20 & 21, BLOCK 3 & LOTS 8, 9, 11 & 17 BLOCK 4 ARE ALLOWED A MINIMUM FRONT YARD OF 20'.

(c) ALL CORNER LOTS SHALL BE AT LEAST 5' WIDER THAN THE MINIMUM LOT WIDTH.

(d) LOTS 3, 6-12, 14-19, 21-24, 27, 28, 30-33, BLOCK 1, LOTS 1-15, BLOCK 2, LOTS 1-14, BLOCK 5 & LOTS 2-9, BLOCK 6 ARE ALLOWED A MINIMUM REAR YARD OF 10'.

ALL HOUSE FACADES SHALL COMPLY WITH SECTION 4600 OF THE CITY OF MANSFIELD ZONING ORDINANCE.



ALL DRIVEWAYS WILL BE
CONSTRUCTED OF CONCRETE
PAVEMENT

ALL EXISTING INGRESS & EGRESS
EASEMENTS & EXISTING TEXAS
ELECTRIC SERVICE EASEMENT
WITHIN BLOCK 1 & 3 WILL BE
ABANDONED.

EXHIBIT B
CASE NO. ZC#18-030
DEVELOPMENT PLAN
SUNSET CROSSING
27.86 ACRES
105 SINGLE FAMILY LOTS
OUT OF THE

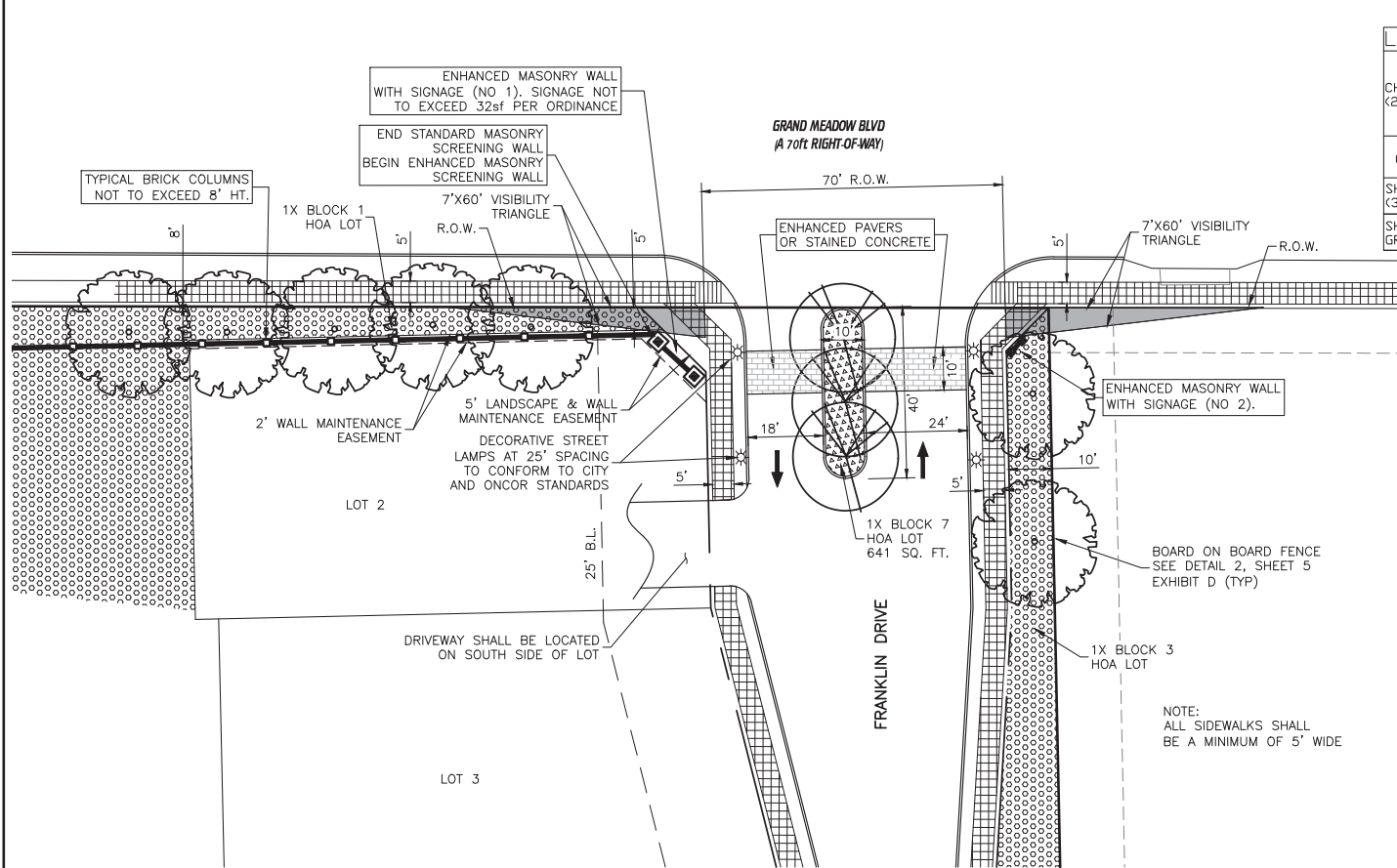
A.N. CURRY SURVEY, ABSTRACT NO. 332 & THE
HENRY BRANDENBURG SURVEY, ABSTRACT NO. 129
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
MARCH 2019

OWNER:
SUNSET CROSSING SF, LTD.
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

OWNER:
YVONNE SLACK
CO: SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

PREPARED BY:
MACATEE ENGINEERING, LLC
3519 MILES STREET
DALLAS, TEXAS 75209
CONTACT: PHILLIP FISHER
(214) 373-1180

DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

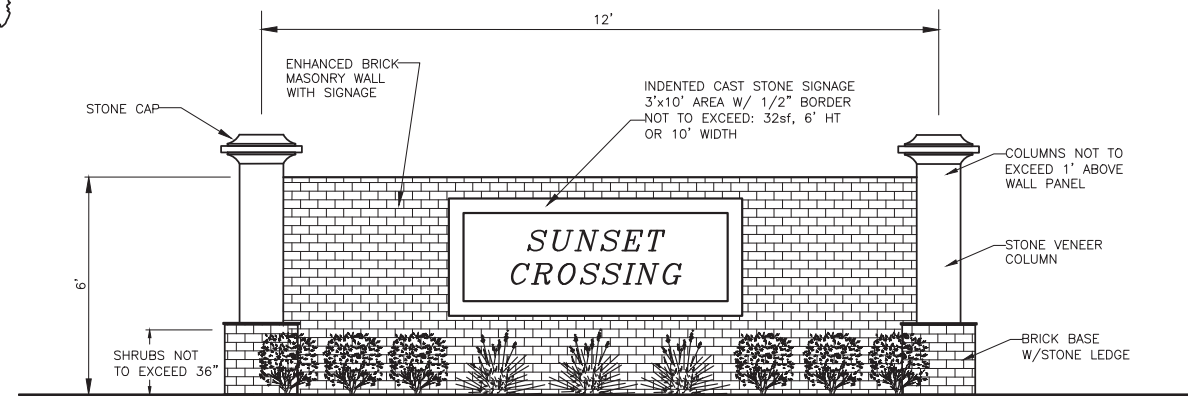


ENHANCED ENTRY FEATURE PLAN

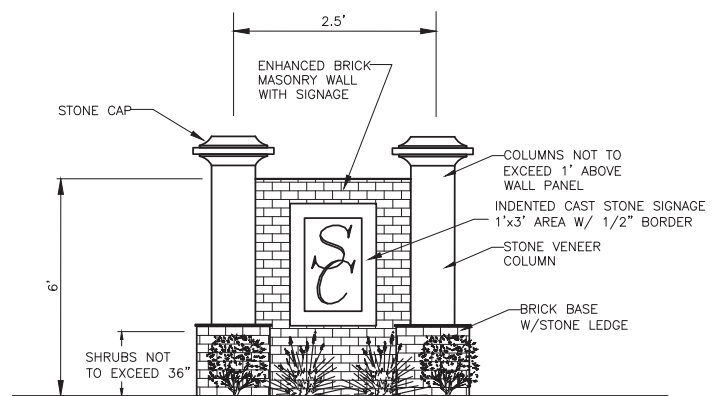
SCALE: 1"=20'

NOTE:

A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL MASONRY SCREENING WALLS, THE HOA LOTS, AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING, DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT, AND THE ENHANCED MASONRY WALLS WITH SIGNAGE.



ENHANCED ARCHITECTURAL SIGNAGE WALL NO. 1



ENHANCED ARCHITECTURAL SIGNAGE WALL NO. 2

EXHIBIT C
CASE NO. ZC#18-030
ENHANCED ENTRYWAY PLAN
SUNSET CROSSING
27.86 ACRES
105 SINGLE FAMILY LOTS
OUT OF THE
A.N. CURRY SURVEY, ABSTRACT NO. 332 & THE
HENRY BRANDENBURG SURVEY, ABSTRACT NO. 129
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
JANUARY 2019

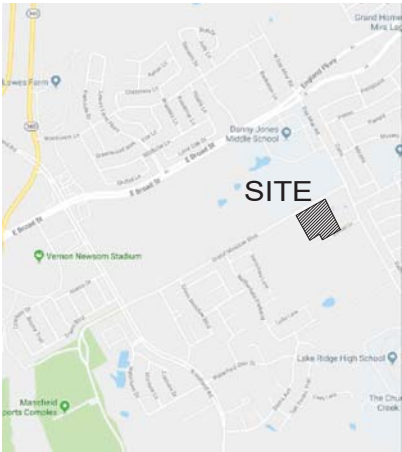
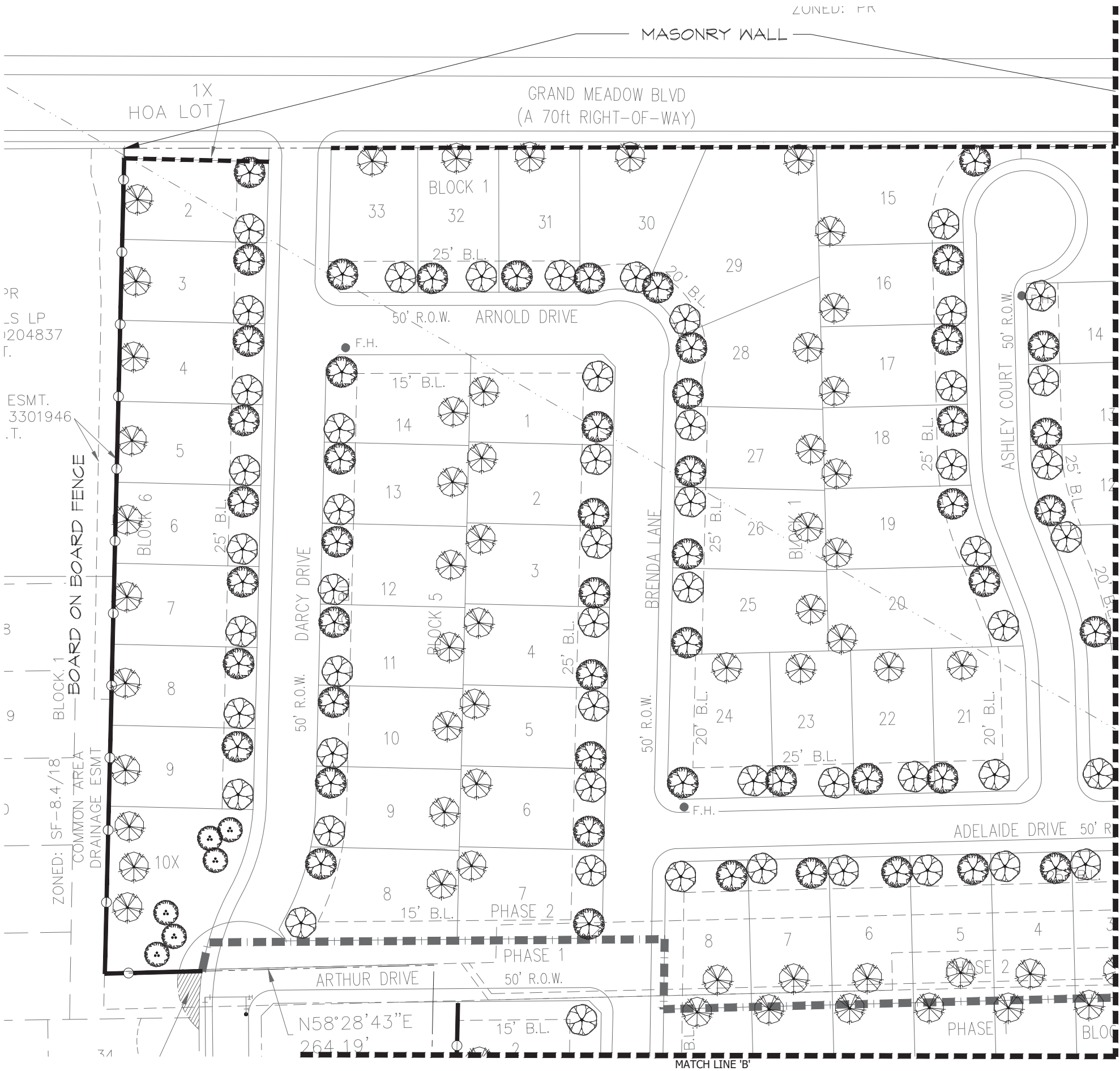
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YVONNE SLACK
CO: SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE #710
DALLAS, TEXAS 75225
CONTACT: NOAH FLABIANO
(214) 212-7025

File: B:\Clients\090 (Storburg Development)\090-19-001 (Sunset Crossing - US)\Civil\Sheet Set\1-10 LANDSCAPE PLAN.dwg Date Plotted: 3/18/2019 3:01 PM Plotted By: drew



VICINITY MAP

NTS

SITE INFORMATION

BASE ZONING DISTRICT: SF-7.5/18
PROPERTY AREA: 1,213,454.5 SF
27.86 ACRES

PROPOSED USE: SINGLE FAMILY RESIDENTIAL

TREE REQUIREMENTS:
EVERY LOT IN A PR AND SF ZONING DISTRICT SHALL PROVIDE A MINIMUM NUMBER OF CANOPY TREES PER LOT AS FOLLOWS:
FOR LOTS CONTAINING 9,600 SQUARE FEET OR LESS, PROVIDE THREE CANOPY TREES. AT LEAST TWO TREES SHALL BE PLACED IN THE FRONT YARD.

105 LOTS x 3 CANOPY TREES = 315 TREES

HOA LOTS = 42 TREES

LANDSCAPING MAINTENANCE NOTES:
1) THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2) THE BOARD-ON-BOARD FENCE AROUND THE PERIMETER OF THE SUBDIVISION WILL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL MASONRY WALLS, THE HOA LOTS, AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING, DECORATIVE STREET LAMPS, ANY NON-STANDARD PAVEMENT AND THE ENHANCED MASONRY WALLS WITH SIGNAGE.

PLANT SCHEDULE							
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE	NOTES	
	104	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	45 GAL	3.5"	12" MIN.	Full, Matching, Symmetrical	
	14	Juniperus virginiana / Eastern Red Cedar	45 GAL	3.5"	12" MIN.	Full, Matching, Symmetrical	
	14	Lagerstroemia indica 'Tuscarora' / Crape Myrtle	30 GAL	3.5"	6'-8'	Full, Matching, Symmetrical	
	5	Pistacia chinensis / Chinese Pistache	45 GAL	3.5"	12" MIN.	Full, Matching, Symmetrical	
	106	Quercus shumardii / Shumard Red Oak	45 GAL	3.5"	12" MIN.	Full, Matching, Symmetrical	
	114	Quercus virginiana / Southern Live Oak	45 GAL	3.5"	12" MIN.	Full, Matching, Symmetrical	
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPACING	NOTES	
	48	Ilex x 'Nellie R Stevens' / Nellie Stevens Holly	15 GAL	48" HT	PER PLAN	Full, Matching, Symmetrical	



Know what's below.
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ZC# 18-030



SUNSET CROSSING
MANSFIELD, TEXAS

EXHIBIT D

No.	Date	Revision	Description

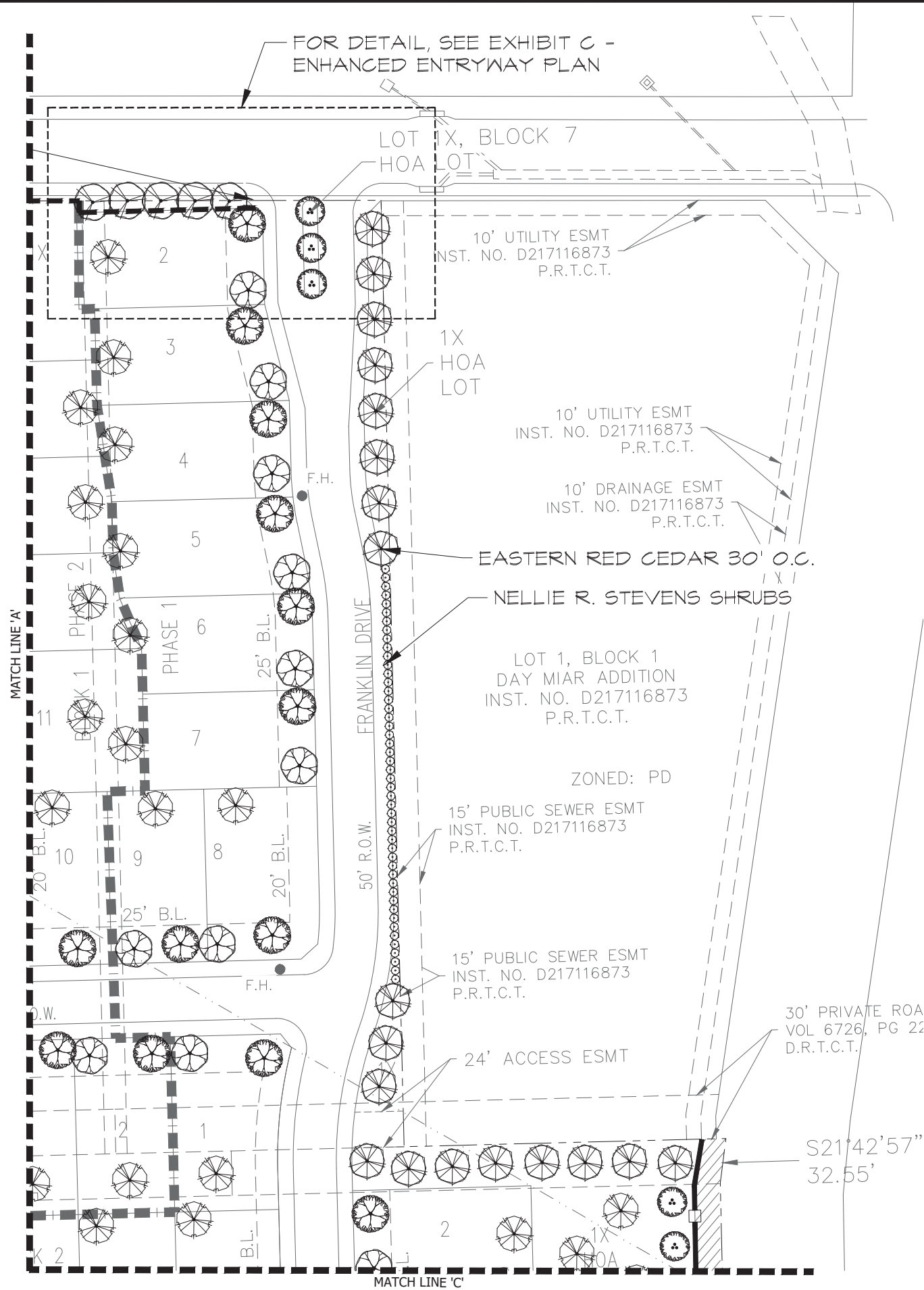
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LA.#3141
3/18/2019

SHEET NUMBER

1 OF 4

PROJECT NO.: 090-18-022

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PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	NOTES
	104	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	45 GAL.	3.5"	12" MIN.	Full, Matching, Symmetrical
	19	Juniperus virginiana / Eastern Red Cedar	45 GAL.	3.5"	12" MIN.	Full, Matching, Symmetrical
	19	Lagerstroemia indica 'Tuscanora' / Grape Myrtle	30 GAL.	3.5"	6"-8"	Full, Matching, Symmetrical
	5	Pistacia chinensis / Chinese Pistache	45 GAL.	3.5"	12" MIN.	Full, Matching, Symmetrical
	106	Quercus shumardii / Shumard Red Oak	45 GAL.	3.5"	12" MIN.	Full, Matching, Symmetrical
	114	Quercus virginiana / Southern Live Oak	45 GAL.	3.5"	12" MIN.	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPACING	NOTES
	48	Ilex x Nellie R Stevens' / Nellie Stevens Holly	15 GAL.	48" HT	PER PLAN	Full, Matching, Symmetrical



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ZC# 18-030

SUNSET CROSSING
MANSFIELD, TEXAS

EXHIBIT D

No. Date Revision Description

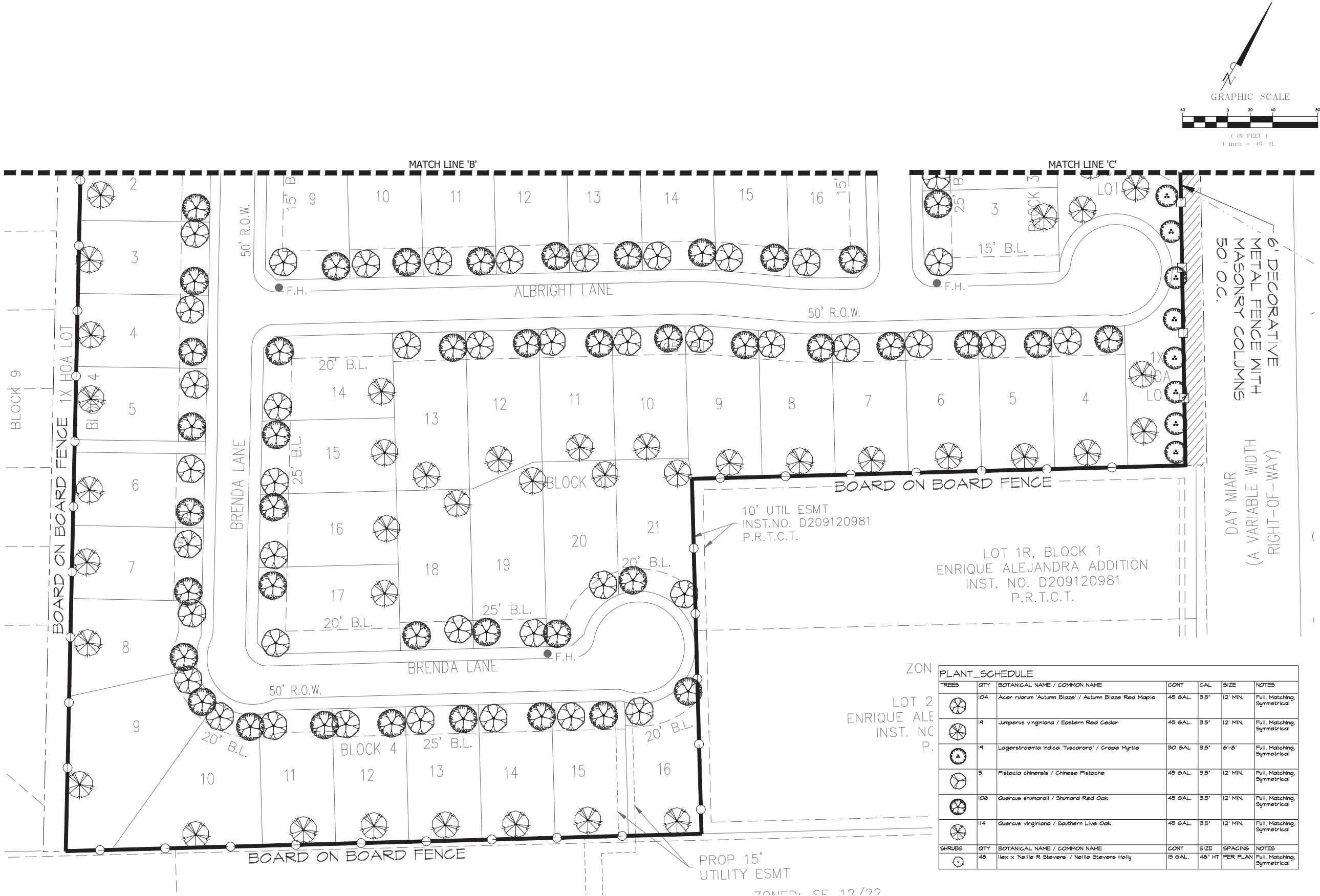
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L.A.#3141
3/18/2019

SHEET NUMBER

2 OF 4

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

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PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE	NOTES
	104	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	45 GAL.	9.5"	12" MIN.	Full, Matching, Symmetrical
	19	Juniperus virginiana / Eastern Red Cedar	45 GAL.	9.5"	12" MIN.	Full, Matching, Symmetrical
	19	Lagerstroemia indica 'Tuscarora' / Grape Myrtle	30 GAL.	9.5"	6'-8'	Full, Matching, Symmetrical
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	114	Quercus virginiana / Southern Live Oak	45 GAL.	9.5"	12" MIN.	Full, Matching, Symmetrical
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	SPACING	NOTES
	48	Ilex x 'Nellie R. Stevens' / Nellie Stevens Holly	15 GAL.	48" HT	PER PLAN	Full, Matching, Symmetrical

811
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ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 Fax
REGISTRATION # F-10599 (TEXAS)

SUNSET CROSSING
MANSFIELD, TEXAS

EXHIBIT D

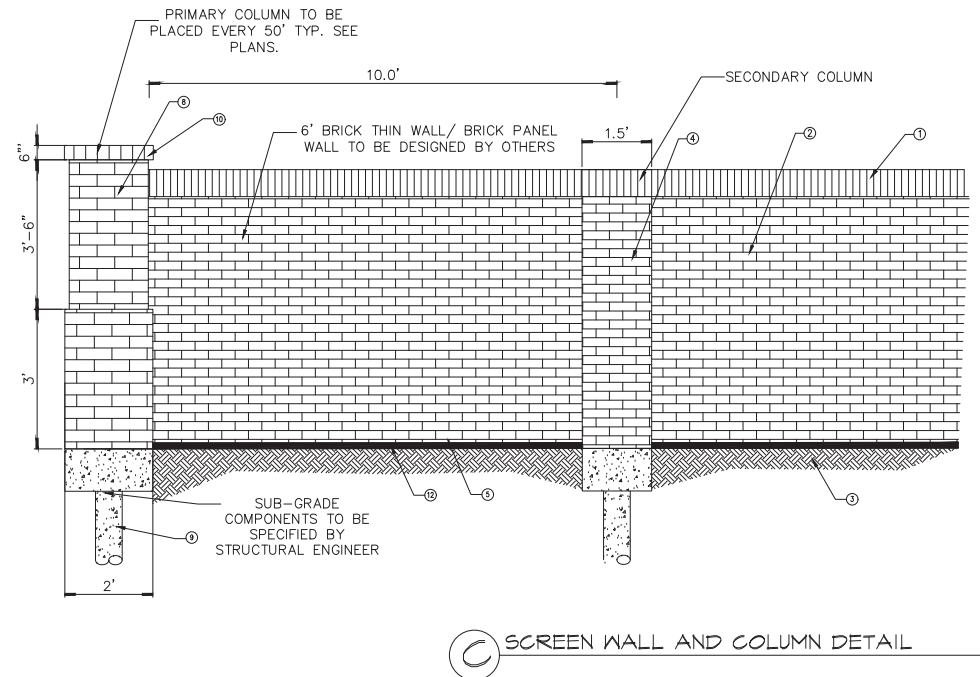
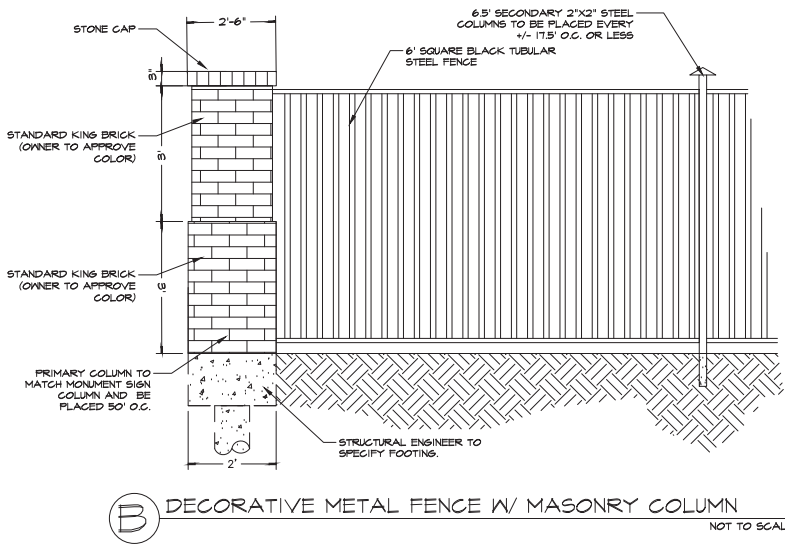
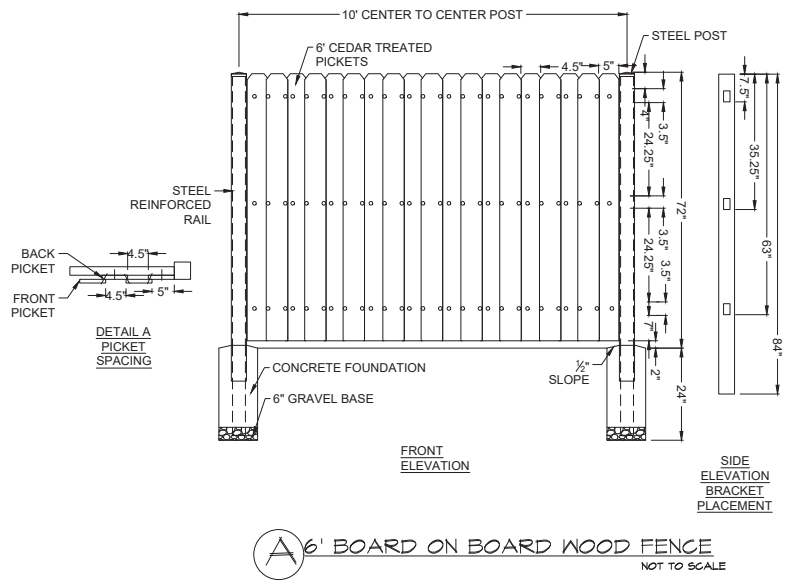
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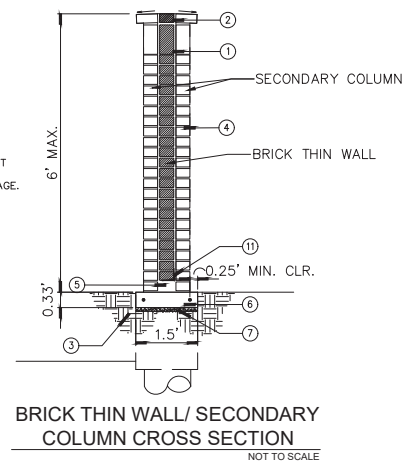
SHEET NUMBER
3 OF 4

PROJECT NO.: 090-18-022

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- 1 SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- 2 STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- 3 COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- 4 STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- 5 BOTTOM COURSE WITH WEEP OPENINGS
- 6 CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS @ 8" O.C. MIN.
- 7 1" SAND SETTING BED.
- 8 STANDARD 24"x24" COLUMN @ 60' OR 20' O.C.
- 9 12"~ PIER x DEPTH TO 6' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- 10 CAST STONE COLUMN CAP
- 11 3"x3"x1" GALVANIZED ANGLE IRON
- 12 4" OPENING



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EXHIBIT E
ZC#18-030

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EXHIBIT E
ZC#18-030

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EXHIBIT E
ZC#18-030

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