



March 26, 2019

Lisa Sudbury, AICP
Interim Director of Planning
City of Mansfield Department of Planning
1200 E Broad St.
Mansfield, TX 76063

RE: Request to amend Exhibit "F" Design Standards for Building A3-Theatre for the Shops at Broad PD ZC #16-008 Planned Development.

City Council Members:

We are submitting this request to amend the exterior wall requirements described in the Design Standards referenced above to include cast in place concrete exterior wall construction with the use of Formliners.

Formliners are typically used to cast a simulated look of masonry into the exterior concrete walls during fabrication. Attached is the product data sheet we are proposing to use that described the pattern and texture the exterior walls will be prepared to simulate concrete masonry units (CMU). The exterior walls will be reviewed after the Formliners are removed and prior to erection for any imperfections to ensure the quality of the pattern and texture are maintained. Then a colored coating will be applied to represent the design pattern and colors shown on the renderings that have been included in this proposal.

We respectfully request the Council support our request to include cast in place concrete walls using Formliners to simulate the look and texture of concrete masonry units.

Sincerely,

PARADIGM DESIGN

Daniel Colella, AIA
Senior Project Manager



PARADIGM DESIGN

KEY

1. C1 - CONCRETE TILT-UP PANEL - FORMLINER PATTERN TO MATCH 8"X16" CMU - PAINT COLOR TO MATCH SHERWIN WILLIAMS SW7052 GRAY AREA
2. C2 - CONCRETE TILT-UP PANEL - FORMLINER PATTERN TO MATCH 8"X16" CMU - PAINT COLOR TO MATCH SHERWIN WILLIAMS SW7050 USEFUL GRAY
3. G1 - WINDOW FRAME - COLOR: ANODIZED ALUMINUM - SEE SPEC. FOR GLAZING
4. G2 - ENTRANCE SYSTEM - ANODIZED ALUMINUM WITH ALMINATED GLASS IN DOORS AND SIDELITES - SEE SPEC. FOR GLAZING
5. G3 - STRUCTURAL GLAZING SYSTEM - ANODIZED ALUMINUM WITH 1" INSULATED GLASS COLOR: ANODIZED ALUMINUM
6. L1 - EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL
7. M1 - METAL CAP FLASHING - COLOR: MEDIUM BRONZE
8. M2 - ALUMINUM METAL PANEL - COLOR: MATCH SHERWIN WILLIAMS SW6904 GUSTO GOLD
9. M3 - METAL PANEL - FIRESTONE - KYNAR 500/HYLAR/5000 FLOUROCARBON STEEL - COLOR: MEDIUM BRONZE
10. P1 - PAINT - COLOR: MATCH SHERWIN WILLIAMS SW9174 MOTH WING
11. S1 - STONE VENEER - ELDORADO STONE - CUFFSTONE - COLOR: WHITEBARK
12. S2 - PRECAST SILL - COLOR: READING ROCK BUFFSTONE - SEE WALL SECTIONS
13. S3 - CONCRETE BASE CURB - REFER TO WALL SECTIONS
14. T1 - CROSSVILLE - LAMINAM - URBAN INFLUENCES - OXIDE - SIZE: 1M X 1M COLOR: L3764 PERLA
15. T2 - CROSSVILLE - LAMINAM - FILO - SIZE: 1M X 1M COLOR: L2095 GHISA
16. T3 - VIRGINIA TILE - SIZE: 24"X24" - COLOR: CTI 2099 BLANCO
17. T4 - VIRGINIA TILE - TAU GRES - SIZE: 12"X24" - COLOR: CORBEN BLACK



FLIX
BREWHOUSE

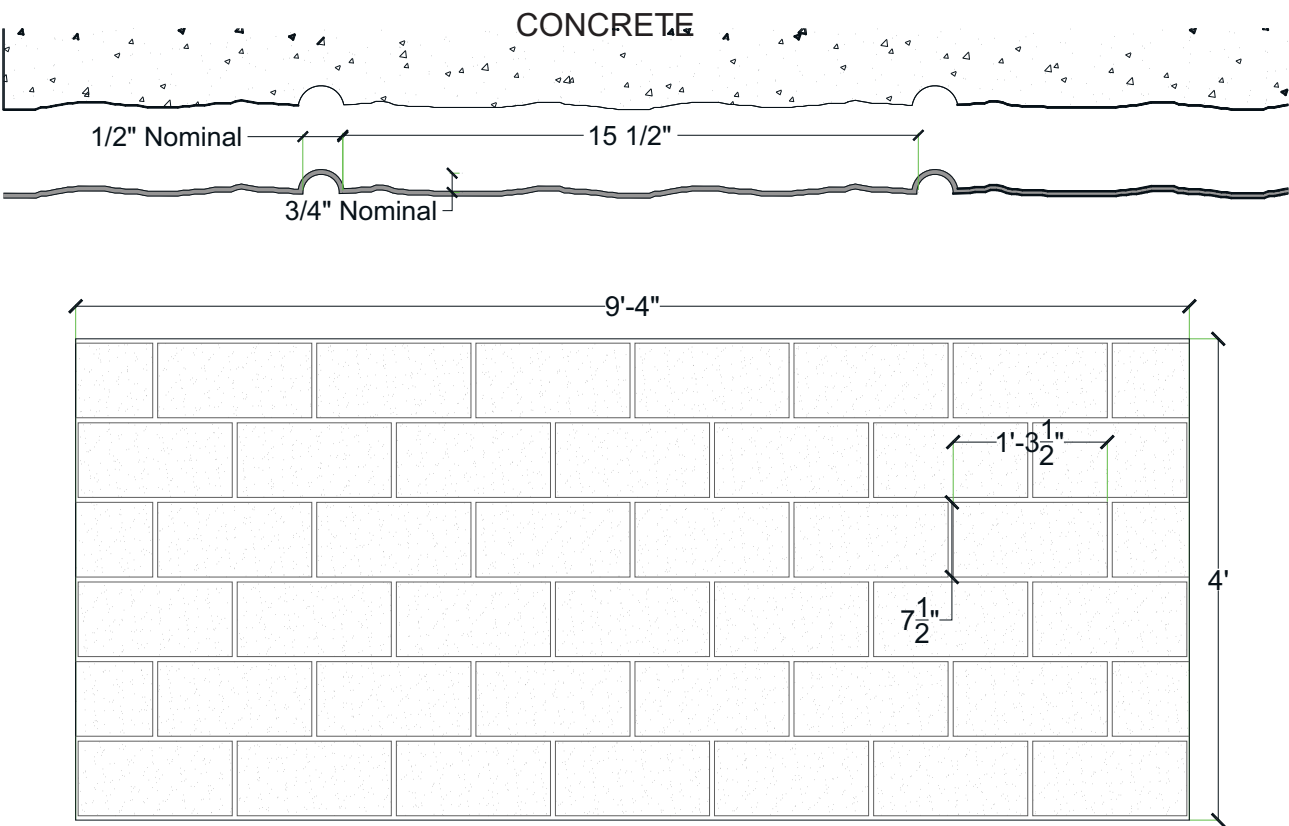
FLIX BREWHOUSE - EXTERIOR CONCEPT

MANSFIELD, TX
26 MARCH 2019


PARADIGM DESIGN

General Information:

Thermoformed ABS and Styrene plastic formliners are an inexpensive alternative for providing architectural concrete. The Styrene single use liner is the least expensive liner option. The ABS plastic formliner properties allows for an up to ten reuse factor depending on the design and handling.



- Thermal Deformation:
- Do not expose to temperatures >140°F (60°C)
- Care and Handling:
- Keep out of the sunlight and covered when not in use
 - Keep away from steam, acids, and certain fuels
 - For further instructions refer to the application guide
- Thermal expansion:
- +/- 1/8" @ 70°F
- Note:
- Pattern may require additional backing. We recommend a mockup pour simulating job conditions.

Material	Product Code	# of Reuses	Std. Dims.	Color
Styrene	5000-STY	1	4'x9' 4"	White
ABS	5000-ABS	Up to 10	4'x9' 4"	Gray

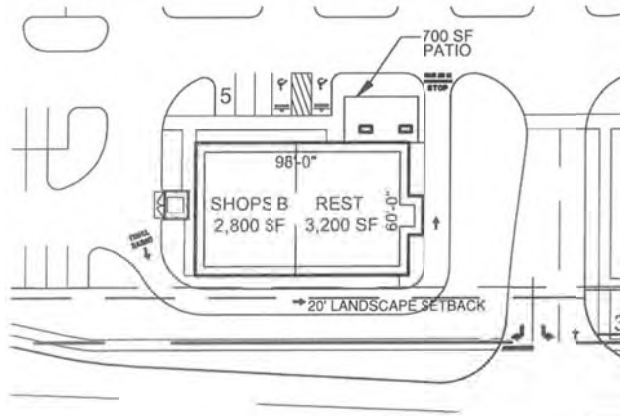
EXHIBIT “F”
DESIGN STANDARDS

1. Applicability. Development of the Property must generally comply with regulations set forth in this Exhibit “F”, the “Design Standards”.
2. Exterior walls of all structures, including screening walls, wing walls, columns and supports, shall consist of at least fifty (50) percent masonry construction materials. This requirement shall not apply to roofs, awnings, canopies, doors, windows, glass walls and frame assemblies thereof. The remaining fifty (50) percent of the exterior surfaces may be constructed of masonry-like construction materials or any construction materials not expressly prohibited by this exhibit.
3. All non-residential buildings with facades greater than one hundred (100’) feet in length shall incorporate wall plane projections or recesses that are at least two (2) feet deep. Projections/recesses must be at least two (2) feet in length. No uninterrupted length of façade may exceed one hundred (100) feet in length.
4. All non-residential buildings with flat roof planes greater than one hundred (100’) feet in length shall incorporate variations in the visual appearance in the height of the roof plane. Variations to flat roof planes may include pilasters and projected or raised features that present variations in the roof plane. No uninterrupted length of any flat roof plane may exceed eighty (80) feet in length.
5. All non-residential building facades shall include a repeating pattern of elements such as material module change, colors or textures. Repeating patterns can be expressed in the vertical or horizontal plane.
6. Outside display of goods, wares, or merchandise shall be permitted provided that the area used for outside storage must not exceed ten (10) percent of the gross floor area of the property containing the outside display.
7. “Sign Area” is defined as the imaginary area within a circle, triangle or parallelogram immediately surrounding the extreme limits of the text, representation, emblem or any figure of similar character.
8. For purposes of this planned development district, Section 7100.H.2 regarding the requirement the removal of neighborhood information signs within twenty-four (24) hours after an event displayed on the sign does not apply.
9. All signs, whether temporary or permanent, shall be located at least ten (10) feet from the right-of-way line.
10. Required parking for multifamily residential uses shall be a minimum ratio of 1.5

spaces per unit.

11. Required parking for hotel uses shall be a minimum of 1 space/room plus 5 additional employee spaces.
12. Notwithstanding section 7200B, the sports facility (i.e. StarCenter) shall be require a minimum of 250 parking spaces.
13. The parking requirement for “Eating Place with drive through service, Bar, Night Club, and Private Club” shall be 1 parking space for each 100 sf of floor area.
14. Parking area layout shall not require approval by The Director of Planning so long as the final layout conforms to the general layout as shown on The Development Plan.
15. Electrical transformers and similar equipment shall be permitted to be placed within buffer yards or landscape setbacks provided that they are not located within the required street landscape setback.
16. Metal, black powder coated fence with landscaping screening, organically attached to the fence at a height equal to the fence at maturity shall be permitted as an SW6 or SW8 wall.
17. Where drive-through lanes are situated parallel to a public street, a landscape median with a minimum width of three (3) feet (from back of curb to back of curb) may be situated parallel with the drive-through stacking lanes that are visible from the adjacent public streets.
18. All buildings designed with parapet walls or other similar architectural elements shall be constructed to screen the mechanical and other rooftop equipment from adjacent parking lots and streets. Accordingly, such parapet walls and other similar architectural elements may exceed the maximum height to achieve the required screening.
19. Landscaping shall be permitted as an acceptable material for all required ground equipment screening. The compliance of height requirements shall be determined at plant maturity and the width matching the item or equipment being screened.
20. Switch gear devices shall be screened by a hedgerow of dense evergreen shrubbery to form a visual screen using plant materials approved by the Landscape Administrator.
21. Trash container and storage area for refuse or material awaiting disposal or recycling shall be visually screened in accordance with the requirements in Section 7301.B of the Zoning Ordinance.
22. Paving design and specifications for internal public and private streets, driveways, parking lots and other paved areas shall be determined by developer’s Civil and Geotechnical engineers.

23. All vehicular access to Multi-Family shall be as shown on the development plan.
24. No single structure shall exceed 1000' in length.
25. Stacking lane(s) for drive-thru shall be allowed to be parallel to a public street as illustrated below.



26. There shall be a minimum of eight (8) stacking spaces within any drive-thru configuration. The building occupant's site design shall determine the specific layout.

CLIFFSTONE®



Banff Springs Cliffstone



Barley Cliffstone



Boardwalk Cliffstone



Cambria Cliffstone



Lantana Cliffstone



Manzanita Cliffstone



Mesquite® Cliffstone



Montecito Cliffstone

CLIFFSTONE CONTINUED



Whitebark Cliffstone

L I M E S T O N E



Grand Banks Limestone



San Marino Limestone



York Limestone





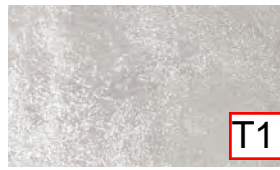
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L0577 Bianco Assoluto Polished
Collection 5.6



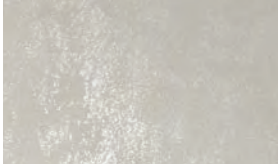
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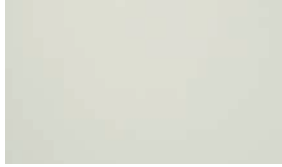
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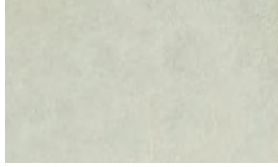
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L2012 Avorio
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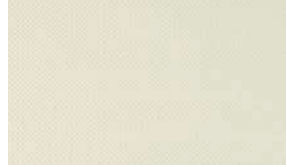
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L3914 Sale
Fokos 5.6



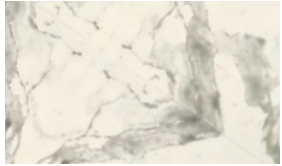
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L2879 Brina
Filo 3+



L6477 Beige
Satori 3+



L5778 Statuario Venato
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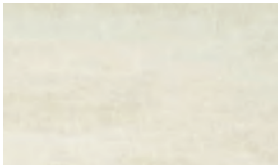
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L6093 Calacatta Oro Venato
I Naturali 5.6



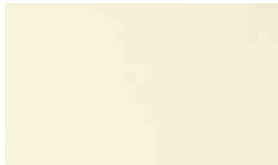
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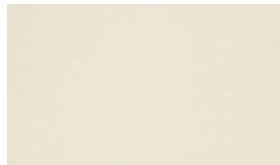
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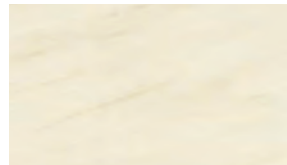
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L0102 Neve
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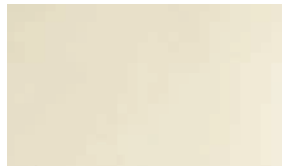
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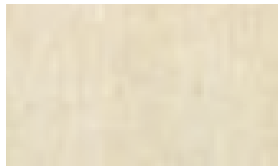
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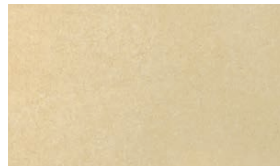
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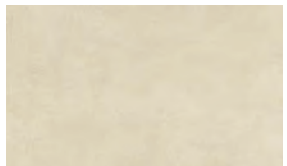
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L2226 Crema Marfil
I Naturali 3+



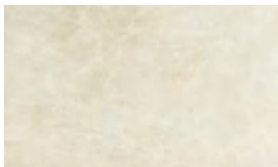
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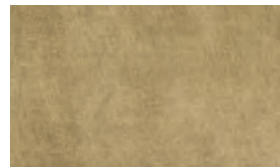
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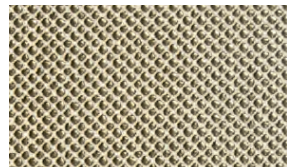
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Cava 5.6



F7467 Oro
Seto 3+



L2092 Argento
Filo 3+



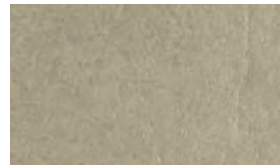
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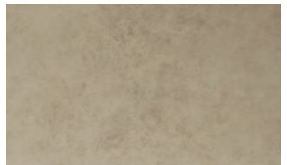
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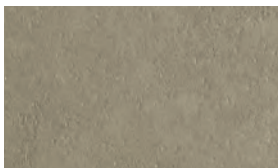
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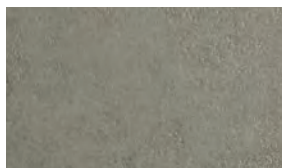
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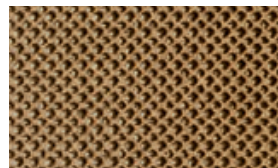
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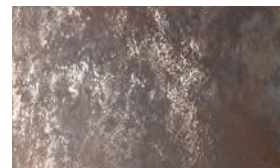
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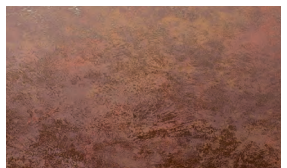
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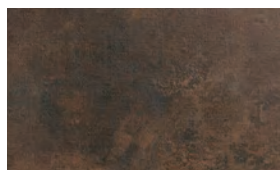
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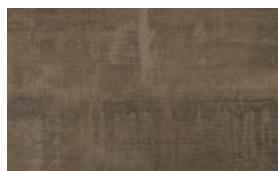
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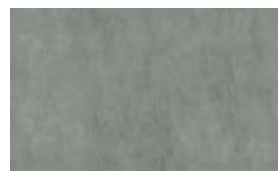
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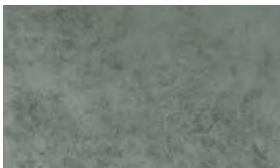
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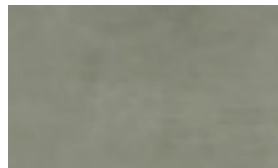
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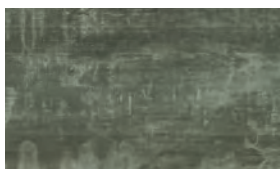
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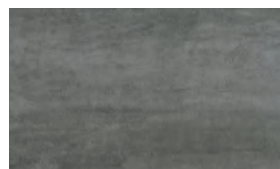
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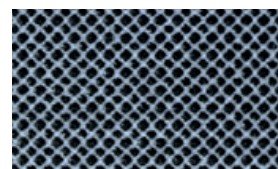
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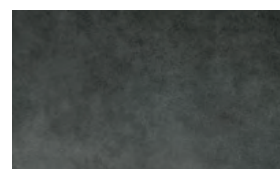
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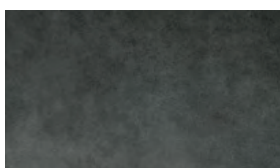
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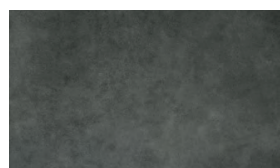
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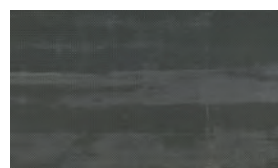
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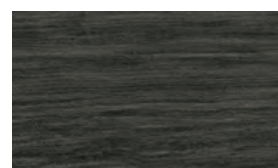
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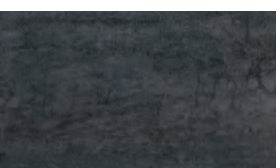
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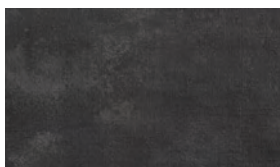
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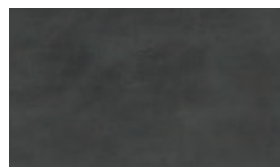
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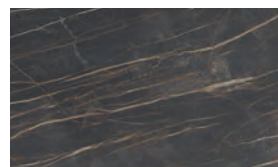
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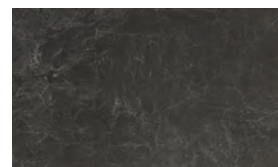
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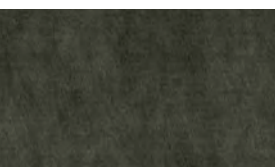
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F0373 Nero Greco Polished
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L2880 Pece
Filo 3+