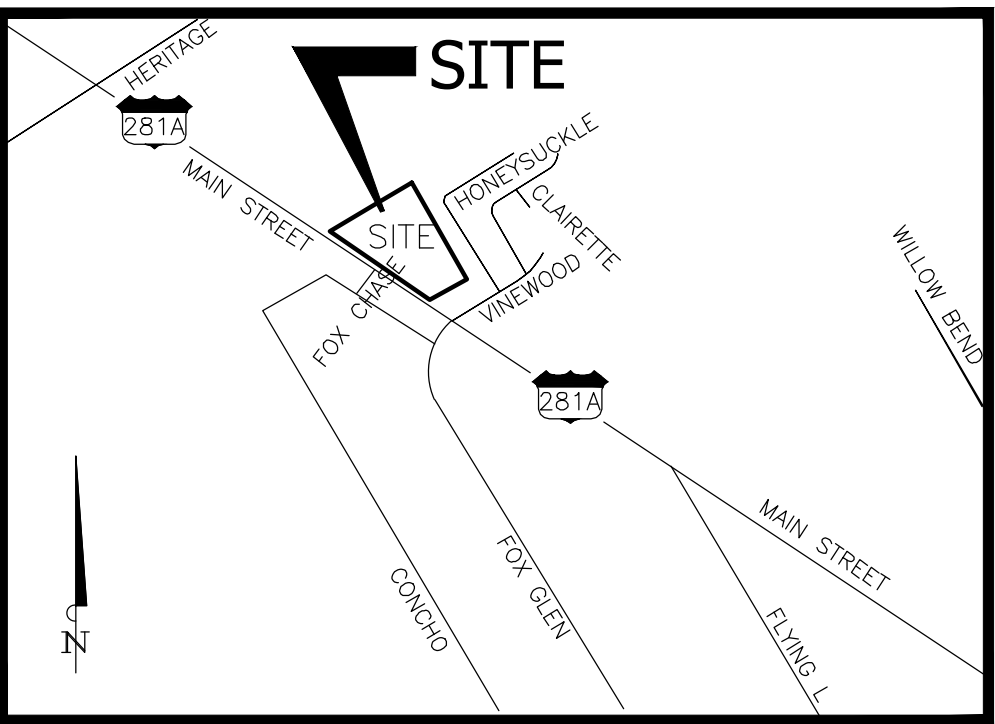


- PLANNED DEVELOPMENT REGULATIONS:**
- THE BASE ZONING DISTRICT FOR THE PLANNED DEVELOPMENT SHALL BE SF 7.5/18 AND SHALL BE SUBJECT TO SECTION 4600 - COMMUNITY DESIGN STANDARDS AS OUTLINED IN THE CITY OF MANSFIELD ZONING ORDINANCE.
 - ALL LOTS IN THIS DEVELOPMENT SHALL HAVE FRONT-LOADING GARAGES. REFER TO GARAGE DATA SUMMARY.
 - STREET LIGHTS SHALL BE ENHANCED WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS.
 - STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
 - A HOME OWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED TO OVERSEE THE CODES AND COVENANTS OUTLINE WITHIN THIS PLANNED DEVELOPMENT. REFER TO SEPARATE NOTES THIS SHEET.
 - THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
 - A DEVIATION IS REQUESTED FOR THE FOLLOWING LOTS IN REGARDS TO THE MINIMUM LOT DEPTH OF 110 FEET:
LOT 9, BLOCK 3 = 106.19' LOT DEPTH
 - A DEVIATION IS REQUESTED OF THE BUILDING LINE ADJACENT TO THE COURT FOR LOT 9 BLOCK 3. THE BUILDING LINE ADJACENT TO THE COURT SHALL BE 10 FEET.
 - ALL INTERNAL REAR AND SIDE YARD FENCES SHALL BE 6-FOOT HIGH WOOD PRIVACY FENCE AND INSTALLED BY THE BUILDER. THE 6-FOOT HIGH MASONRY SCREEN WALL AND DECORATIVE METAL FENCES (D.M.F.) SHALL BE INSTALLED BY THE DEVELOPER. 6-FOOT HIGH WOOD PRIVACY FENCES SHALL BE STOCKADE TYPE. ON METAL POLES AND STAINED WITH NATURAL CEDAR WOOD FENCING / DECKING STAIN.
 - WOOD PRIVACY FENCE ALONG THE EAST PROPERTY LINE SHALL BE 8' IN HEIGHT. WOOD PRIVACY FENCE ALONG THE SOUTH PROPERTY LINE SHALL BE 6' IN HEIGHT.
 - PERIMETER WOOD FENCES SHALL BE INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOME OWNER. ALL PERIMETER SCREENING WALLS AND ALL DECORATIVE METAL FENCES (DMF) SHALL BE MAINTAINED BY THE HOA. ALL DECORATIVE METAL FENCES ABUTTING LOTS SHALL NOT HAVE MASONRY COLUMNS.
 - THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
 - ALL FRONT PORCHES MAY VARY IN LENGTH AND WIDTH BUT WILL BE A MAXIMUM OF 50 SQUARE FEET. PORCHES WILL NOT ENROACH INTO SETBACKS.
 - IN LIEU OF 1 SWING GARAGES, ALL GARAGES WILL BE FRONT ENTRY AND SHALL HAVE A MINIMUM OF TWO (2) OF THE FOLLOWING ARCHITECTURAL ELEMENTS:
 - SCOOCE LIGHTING
 - DECORATIVE BANDING OR MOLDING
 - DECORATIVE OVERHANG ABOVE GARAGE DOORS
 - EYEBROW SOLDIER COURSE OVER GARAGE DOORS
 - DECORATIVE DETAILS ABOVE GARAGE DOORS
 - DECORATIVE BRACKETS ON GARAGE DOORS (CARRIAGE STYLE)
 - COLUMNS FLANKING GARAGE DOORS
 - FAUX WOOD METAL GARAGE DOORS
 - ENGINEERED WOOD OVERLAY
 - EACH LOT WILL HAVE A DRIVEWAY OF WASHED AGGREGATE MATERIAL.

HOME OWNERS ASSOCIATION NOTES:

- A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SCREENING WALL AND DECORATIVE METAL FENCE ALONG MAIN STREET AND ALONG THE NORTH PROPERTY LINE; THE PARKWAY BETWEEN THE SCREENING WALL AND THE STREET; THE OPEN SPACE LOTS; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALL AND SIGNAGE, AND THE DECORATIVE STREET SIGN POLES AND MOUNTS.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN A DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.



VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS

SITE DATA SUMMARY:

BASE ZONING:	SF - 7.5/18
MAXIMUM HEIGHT:	35'
MINIMUM FLOOR AREA:	1800 S.F.
MINIMUM LOT AREA:	6,875 S.F.
AVERAGE LOT AREA:	8,147 S.F.
MAXIMUM LOT COVERAGE:	55%
MINIMUM LOT WIDTH:	55'
MINIMUM LOT DEPTH:	110'
MINIMUM LOT WIDTH FOR CORNER LOTS	ALL CORNER LOTS SHALL BE AT LEAST 10' WIDER THAN THE MIN. LOT WIDTH.
MINIMUM STREET FRONTAGE ON KNUCKLES AND CUL-DE-SACS:	35'
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
MINIMUM FRONT SETBACK:	25' TYPICAL 20' ON KNUCKLES & CUL-DE-SACS
MINIMUM REAR SETBACK:	15'
MINIMUM INTERIOR SIDE YARD:	5' AND 10' FOR A TOTAL OF 15'
MINIMUM EXTERIOR SIDE YARD:	15' ABUTTING REAR YARD 20' ABUTTING SIDE YARD
MIN. MASONRY PERCENTAGE:	90%

EXHIBIT "B"
DEVELOPMENT PLAN
FOREST BROOK

Being approximately 11.820 Acres of land situated in the Treese Crawford Survey, Abstract No. 831
City of Mansfield, Johnson County, Texas

46 Single Family Lots
5 Open Space Lots
ZC#19-002

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)
CONTACT: MICHAEL MARTIN, RLA

Date Prepared: 2/12/2019
Date Revised: 5/17/2019

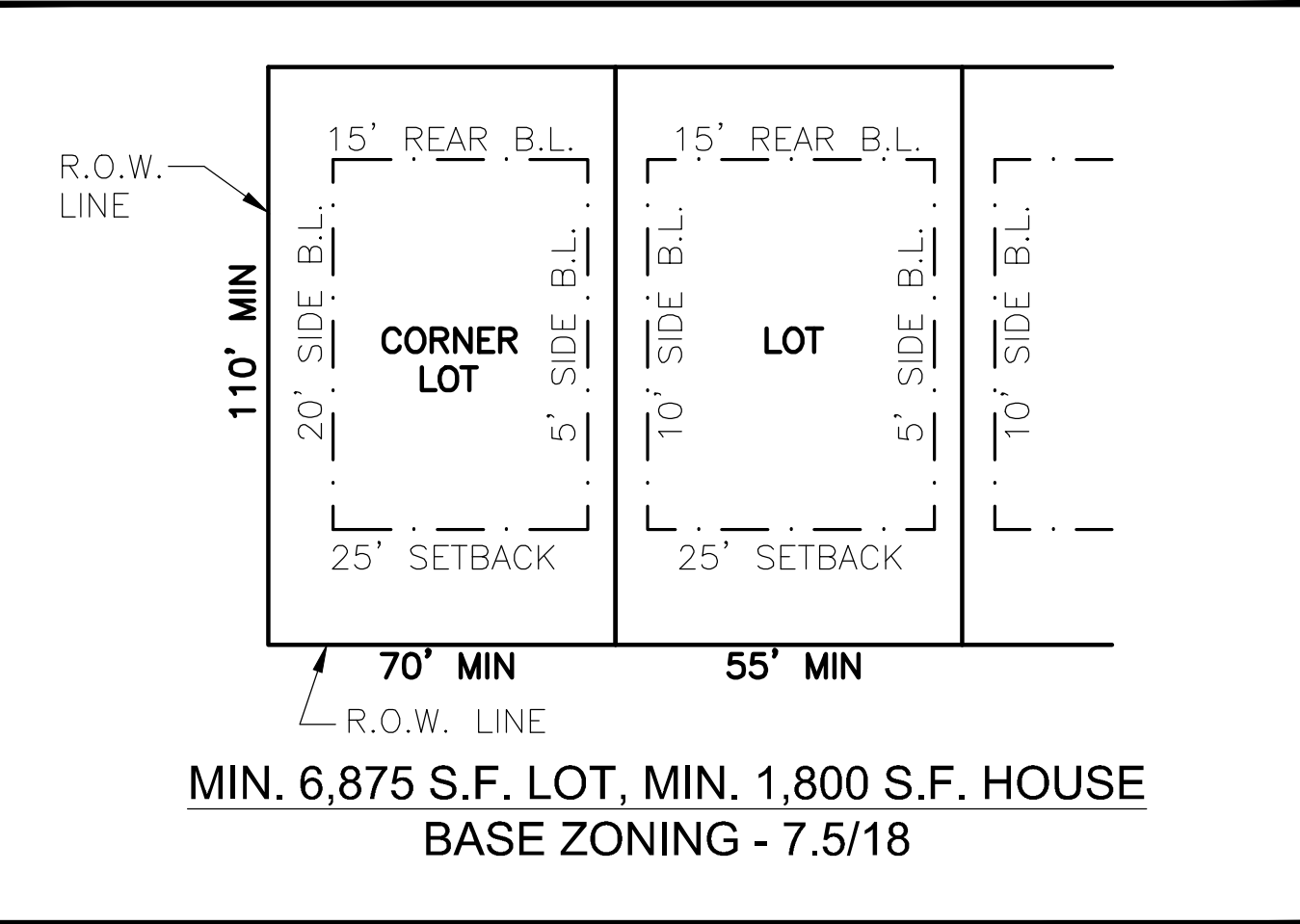
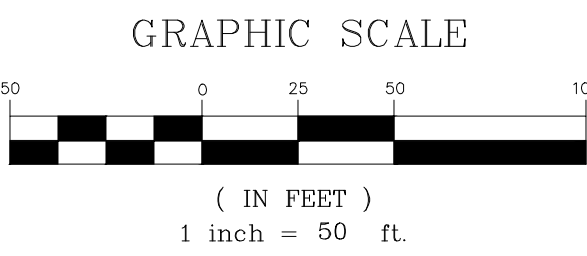
APPLICANT/DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
OFFICE: 214-888-8859
CELL: 314-954-2051
CONTACT: RICH DARRAGH

OWNER #1:
MANSFIELD CHURCH OF CHRIST
105 W. DALLAS STREET
MANSFIELD, TEXAS 76063
CONTACT: LYNN LACEY
PHONE: 817-980-0421

OWNER #2:
MASHBURN LIVING TRUST
240 JAMES MADISON HIGHWAY,
HAYMARKET, VA 22069
CONTACT: BILL MASHBURN
PHONE: 703-906-2454

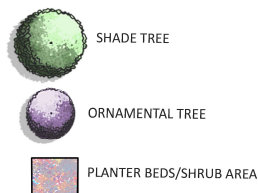
SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
(817) 842-2094
CONTACT: MICHAEL DAVIS

ENGINEER:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
(817) 842-2094
CONTACT: REMINGTON WHEAT, P.E.
CONTACT: MICHAEL MARTIN, RLA
EMAIL: MMARTIN@BANNISTERENG.COM

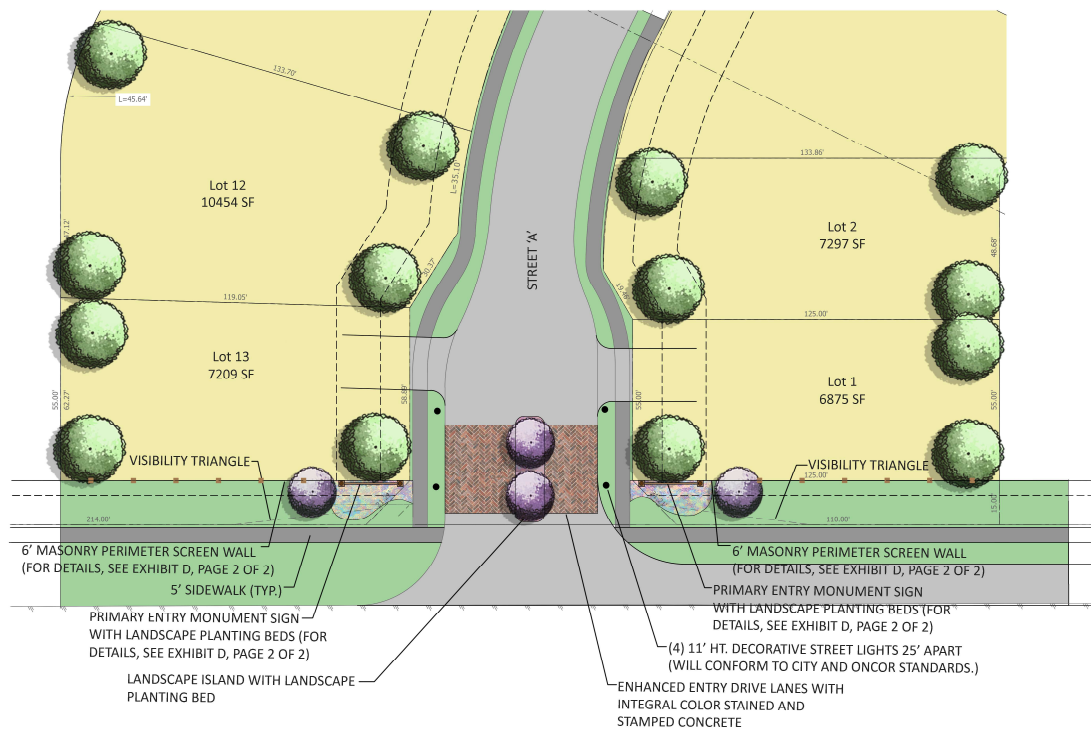




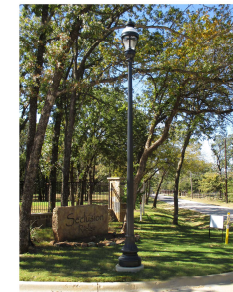
Conceptual Primary Entry Elevation



TYPICAL PLANT LIST:
SHADE TRESS: LIVE OAK, RED OAK, BUR OAK AND CEDAR ELM
ORNAMENTAL TREES: CRAPE MYRTLE, CHITALPA, MEXICAN PLUM, CHINESE PISTACHE, WAX MYRTLE
SHRUBS: DWARF WAX MYRTLE, INDIAN HAWTHORNE, RED YUCCAS, TEXAS SAGE, MEXICAN FEATHER GRASS, RED OR GULF MUHLY GRASS, FIRE POWER NANDINA, DWARF BURFORD HOLLY, NELLY R STEVENS, AMERICAN BEAUTY BERRY, FLAME LEAF SUMAC, ANNUAL COLOR BEDS
GROUND COVER: BUFFALO GRASS 609 OR COMMON BERMUDA



STREET SIGN SAMPLE



STREET LIGHT SAMPLE

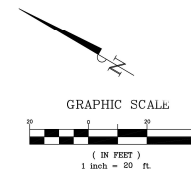
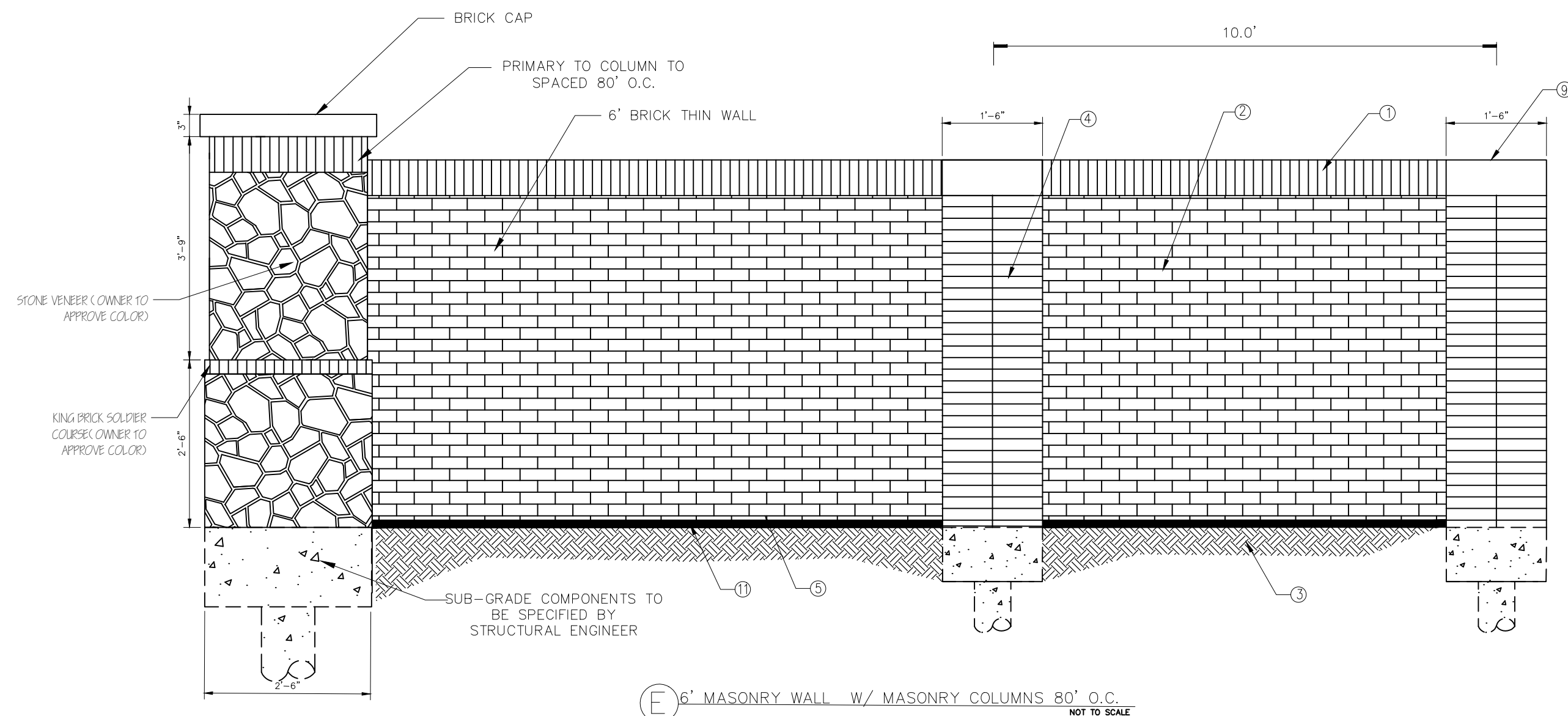
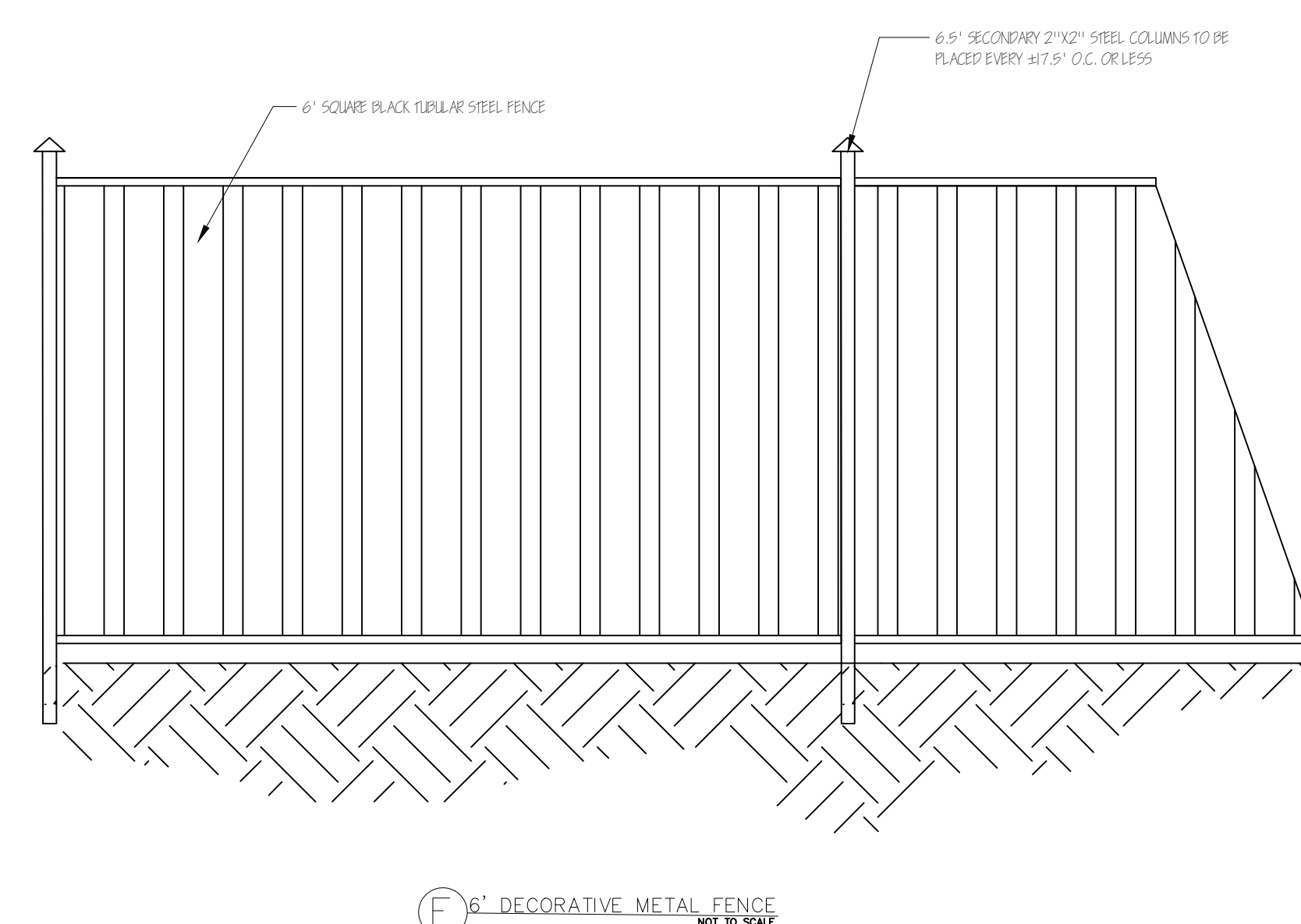
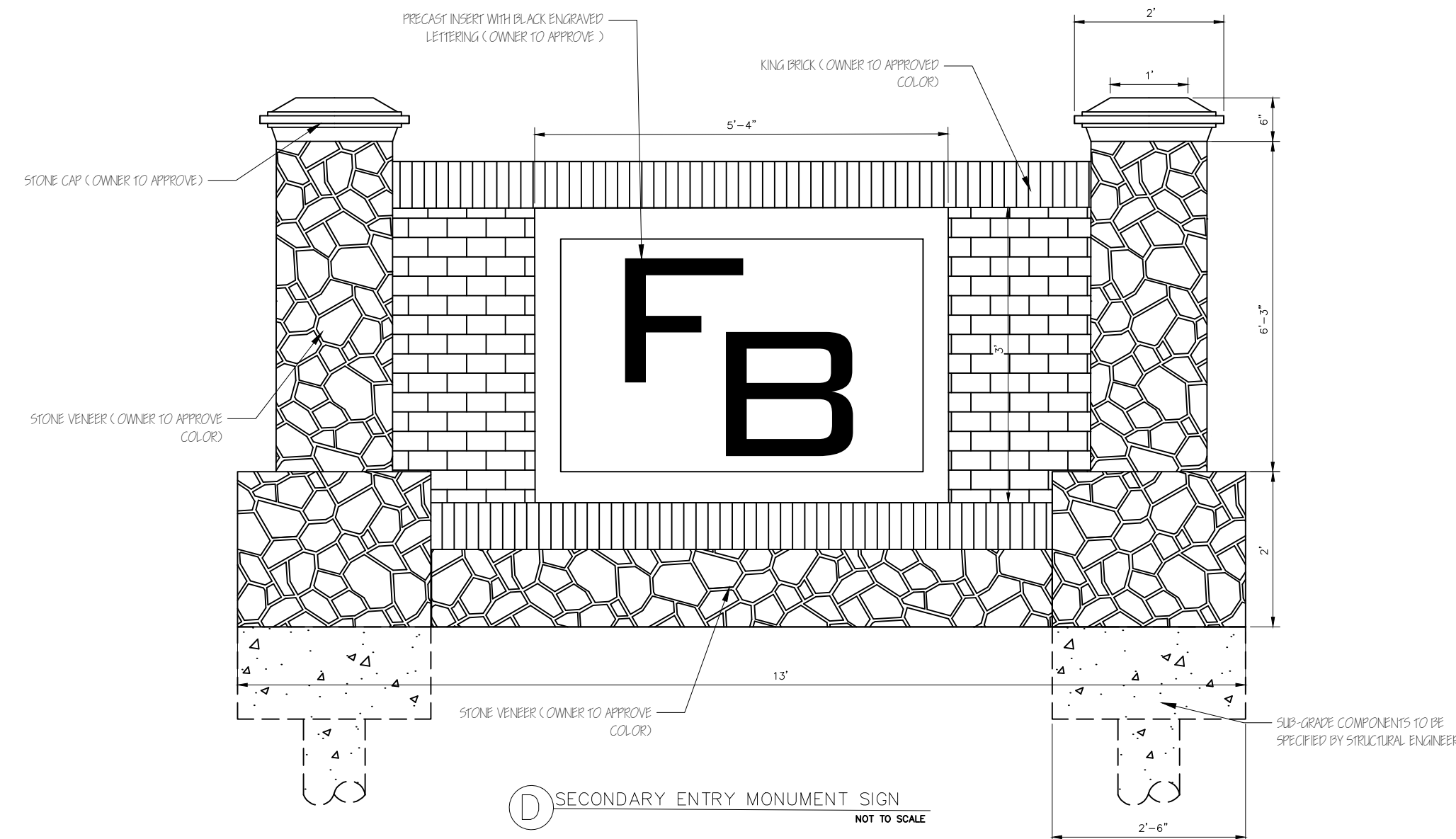
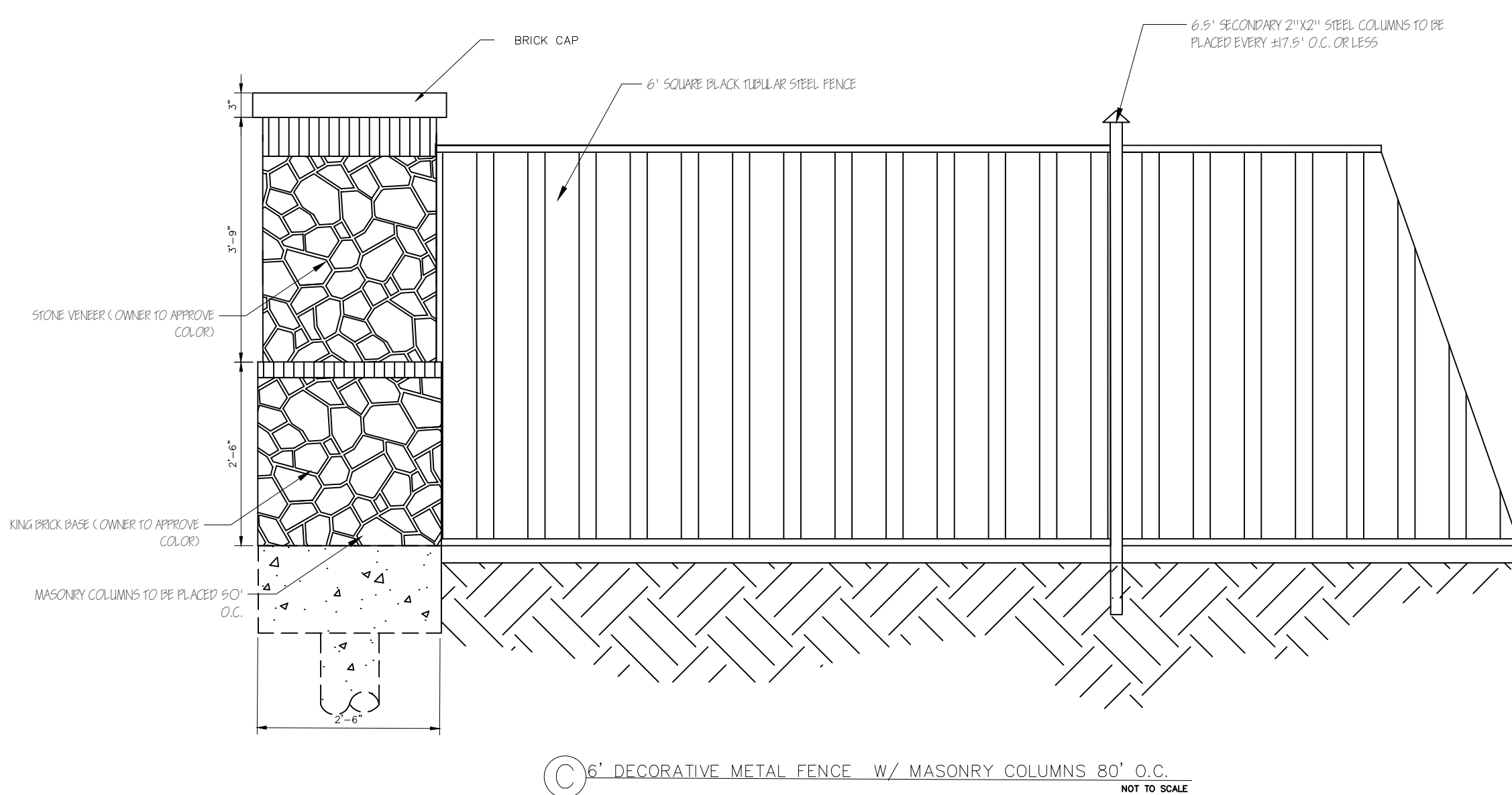
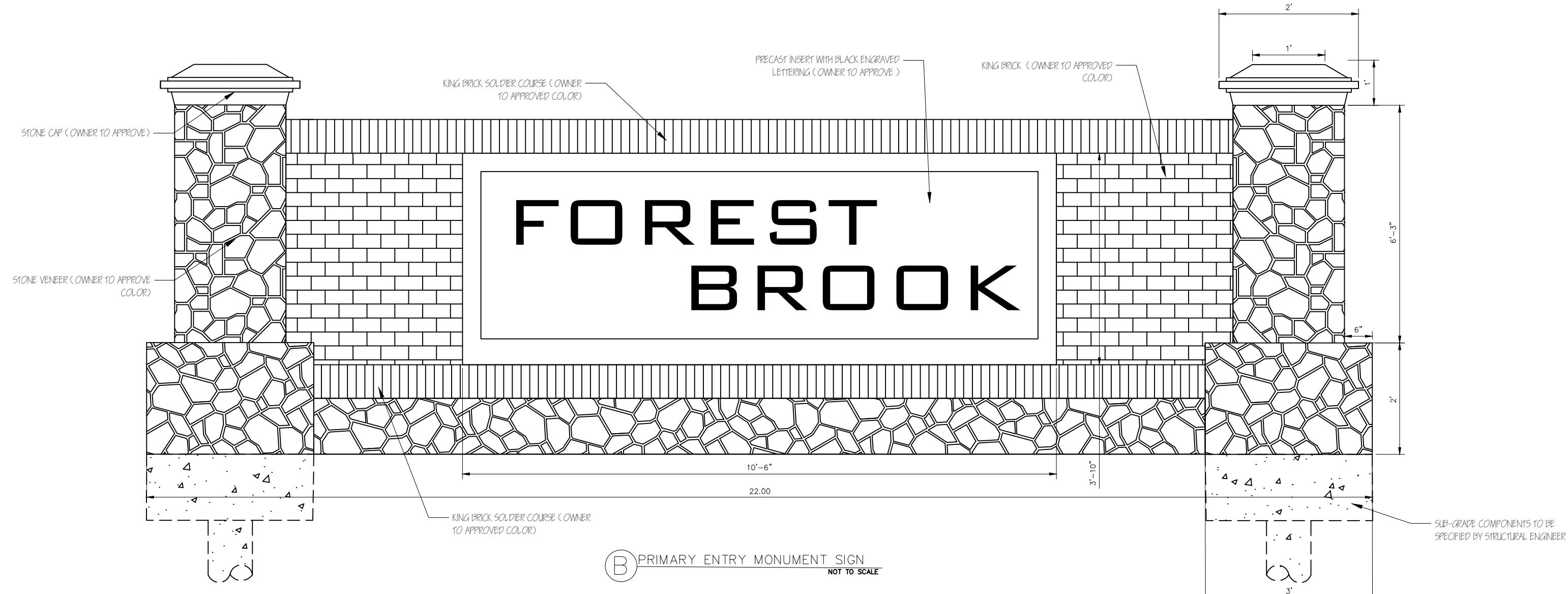
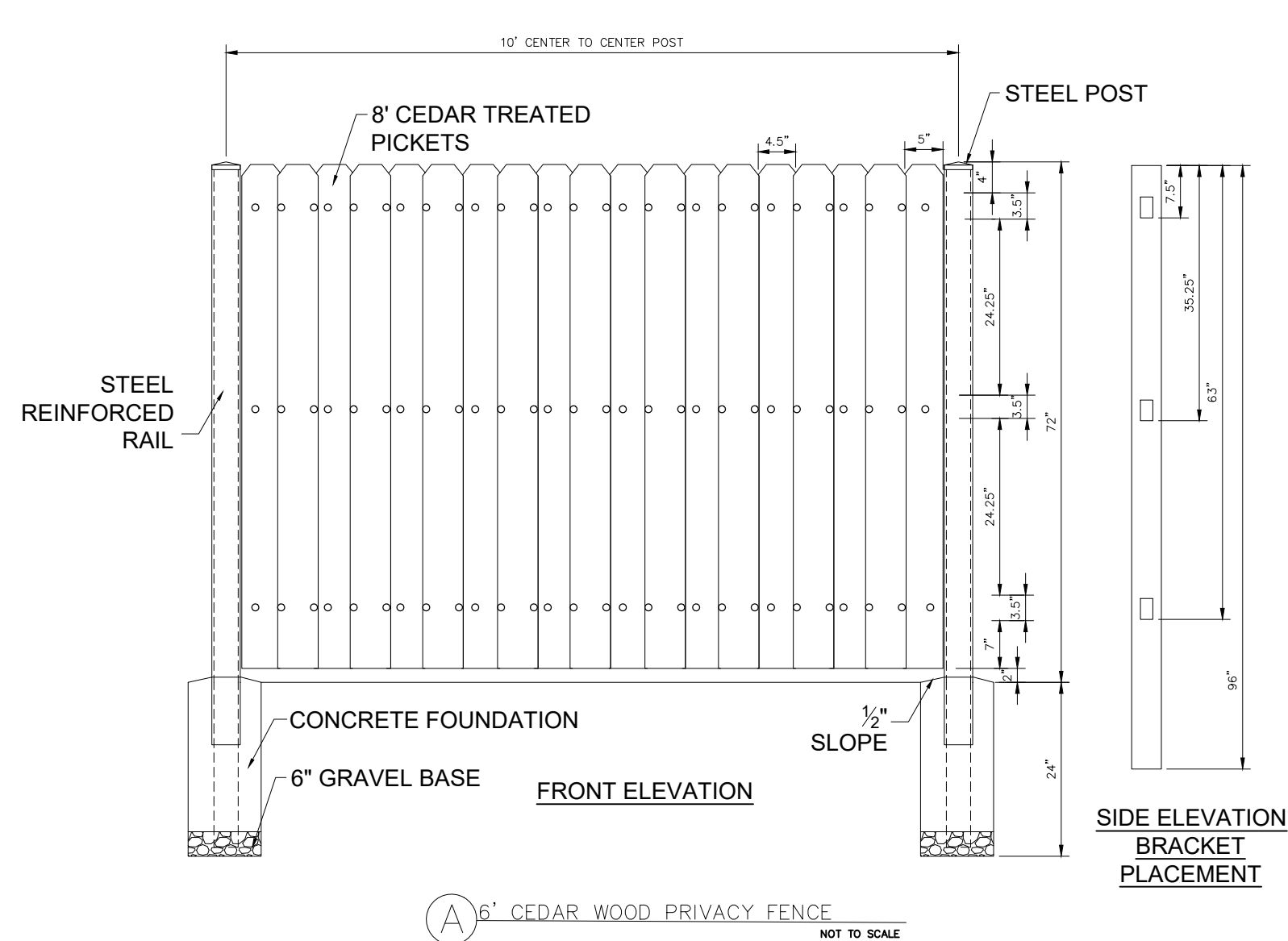


EXHIBIT "C"
ENHANCED ENTRYWAY PLAN
FOREST BROOK
 City of Mansfield
 Tarrant County, Texas

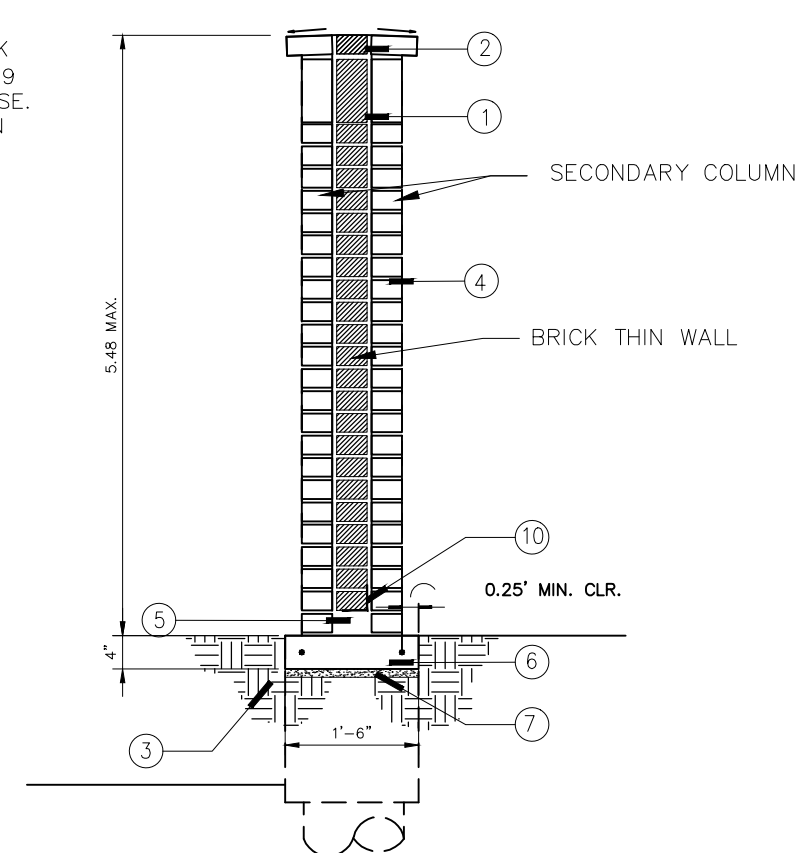


CONTACT: MICHAEL MARTIN, RLA PREPARED DATE: 02/18/2019
 ZC#19-002 REVISED DATE: 05/16/2019





- ① SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- ② STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF AASHTO 1-99 DENSITY.
- ④ STANDARD 16" WIDE BRICK SUPPORT @ 12" OR 10' O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS
- ⑥ CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" o.c. MIN.
- ⑦ 1" SAND SETTING BED.
- ⑧ 12"~ PIER x DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12" O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- ⑨ COLUMN CAP
- ⑩ 3"x3"x1/2" GALVANIZED ANGLE IRON
- ⑪ 4" OPENING



LANDSCAPE AND SCREENING DETAILS EXHIBIT 'D' FOREST BROOK

City of Mansfield

Tarrant County, Texas

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CONTACT: MICHAEL MARTIN, RLA

Prepared Date: 2/18/2019

Revision Date: 05/01/2019

PAGE 2 OF 2

ZC#19-002

Representative Product



Representative Photo

EXHIBIT E
ZC# 19-002

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EXHIBIT E
ZC# 19-002