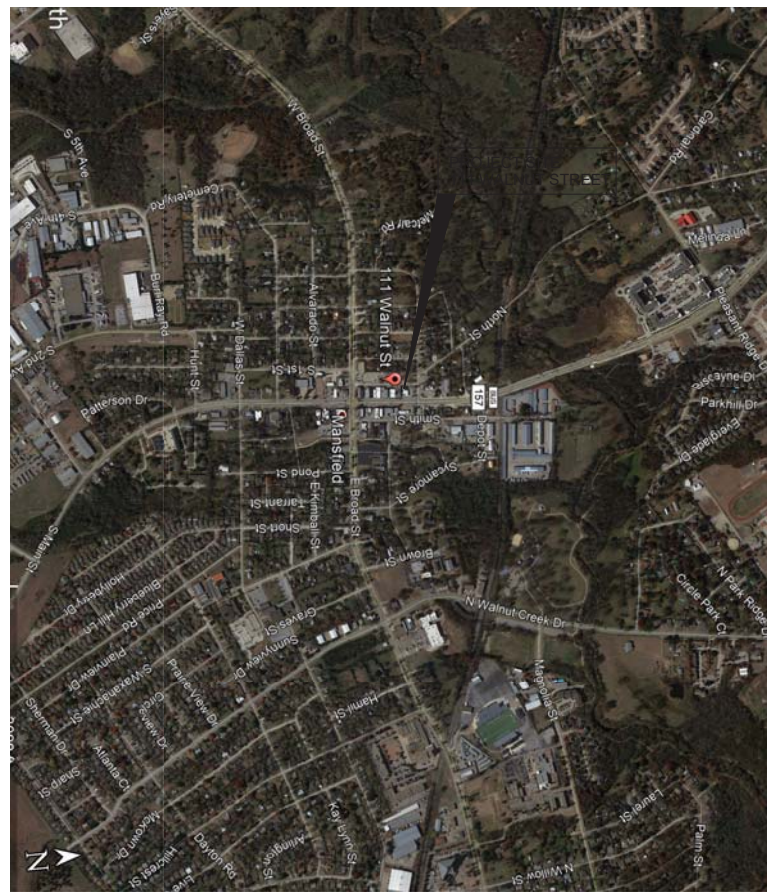




BUILDING SUMMARY				
FOOD TRUCK	3 TRUCKS	NO ALCOHOL SALES		
AIRSTREAM	1 AIRSTREAM	ALCOHOL SALES		
BUILDING 1	-	NO ALCOHOL SALES	3,600sf EXISTING	
BUILDING 2	-	ALCOHOL SALES	2,562sf (1,250sf EXIST / 1,312sf NEW)	
BUILDING 3	-	NO ALCOHOL SALES	(2,962sf INTERIOR/ 1000sf EXTERIOR) EXISTING	
BUILDING 4	1 FOOD TRUCK SMOKER, CONTAINER	NO ALCOHOL SALES	225sf PROPOSED	
BUILDING 5	SNOW CONE, FOOD STAND, REFRESHMENTS OR BAR	ALCOHOL SALES	100sf PROPOSED	
PARKING SUMMARY				
TOTAL NEW PARKING PROVIDED		21 SPACES (1 ACCESSIBLE INCLUDED)		
ADJACENT PUBLIC PARKING		65 SPACES (4 ACCESSIBLE INCLUDED)		
TOTAL		86 SPACES		
REQUIRED				
BUILDING 1 OFFICE BUILDING	1 SPACE PER 300sf	3,600sf	12 SPACES	
BUILDING 2 BAR AREA	1 SPACE PER 75sf	2,562sf	34 SPACES	
BUILDING 3 COVERED PATIO	1 SPACE PER 75 sf	5,000sf	23 SPACES	
OUTDOOR AMUSEMENT	1 SPACE PER 600sf	5,000sf	17 SPACES	
FOOD TRUCK	4 PER TRUCK	4 TRUCKS	16 SPACES	
TOTAL		92 SPACES		

SITE MAP



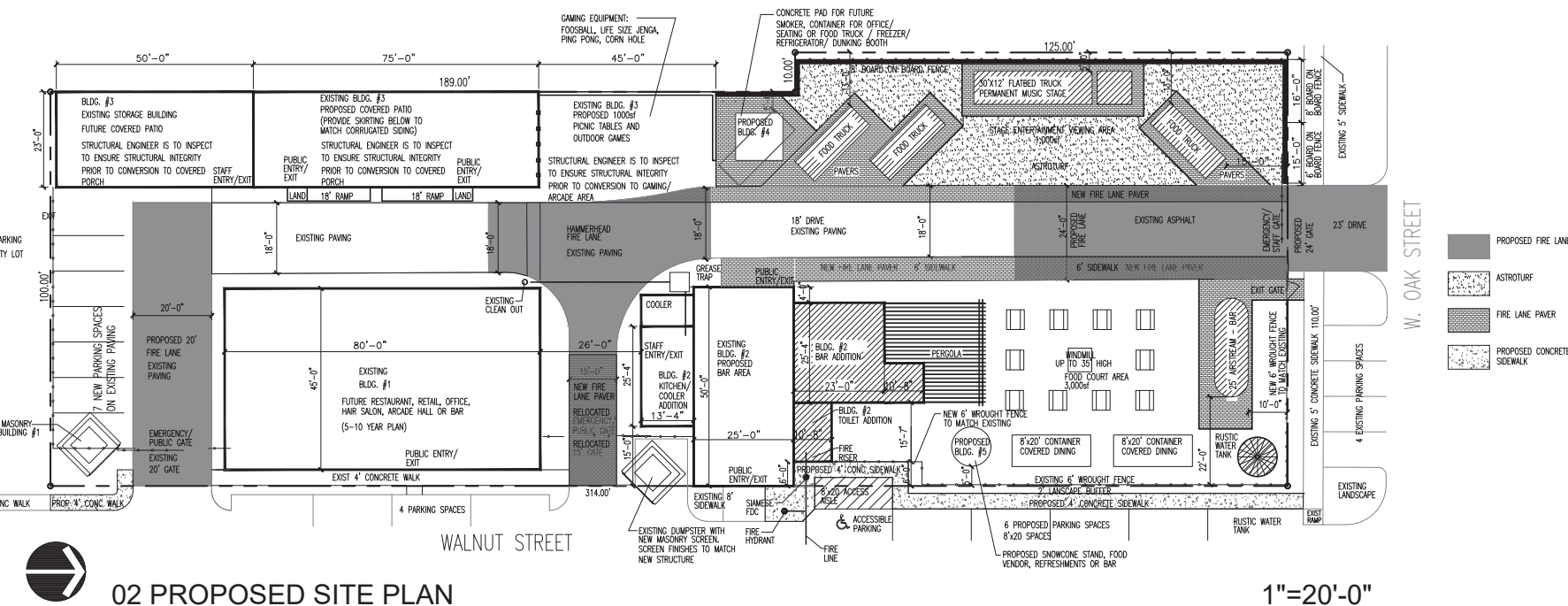
01 EXISTING SITE PLAN



02 PROPOSED SITE PLAN

DEVELOPMENT SITE PLAN NOTES

1. ALL SIGNAGE WILL COMPLY WITH C-2 REGULATIONS
2. NO DRIVE THROUGH SERVICES PERMITTED ON PROPERTY
3. THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREAFTER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSOR AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
4. PROPERTY IS EXEMPT FROM THE THREE HUNDRED (300') RULE, AS OUTLINED IN SECTION 7800, B21C OF THE ZONING ORDINANCE.
5. ALL EXTERIOR LIGHTING WILL BE CONTAINED ON THE PROPERTY AND WILL NOT TRESPASS ONTO ADJACENT PROPERTIES AND THAT THE LIGHT FIXTURES WILL BE SHIELDED AND ORIENTED AWAY FROM SURROUNDING PROPERTIES AND PUBLIC STREETS.
6. ALL FOOD TRUCK OWNERS WILL BE PERMITTED AND HOLD THE REQUIRED LICENSES AND SPECIAL EVENT PERMITS IN ORDER TO CONDUCT BUSINESS ON THE PREMISES.
7. MOBILE FOOD UNITS WILL NOT BE PERMANENTLY ON THE SITE.
8. THE FACILITY HOURS WILL BE 9:00am TO 12:00am SEVEN DAYS A WEEK.
9. DRIVE THROUGH SERVICE WILL NOT BE ALLOWED ON THE PROPERTY.



DEVELOPMENT PLAN
ZONING CASE NUMBER: ZC#18-007



106 E Church Street
Weatherford, TX 76086
(817) 565-9826
matt@covenantarch.com

Lumberyard
Food Truck and Bar
111 Walnut Street
Mansfield, TX 76063

ISSUE DATE
05-01-2019

EXHIBIT B
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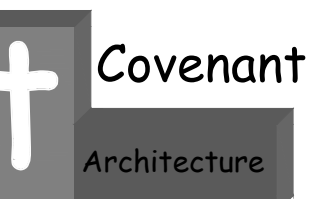
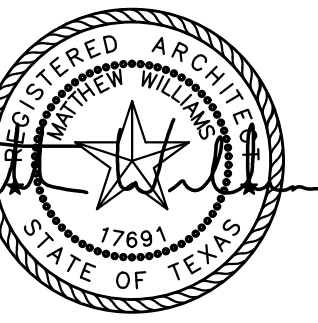


01 VICINITY MAP

ARCHITECT
COVENANT ARCHITECTURE
106 E CHURCH STREET
WEATHERFORD, TX 76086
817.565.9826
matt@covenantarch.com

OWNER DEVELOPER
SHANE FARRAR
113 Walnut Avenue
Mansfield, TX 76063
817.614.4354
timbertree817@aol.com

DEVELOPMENT PLAN
ZONING CASE NUMBER: ZC#18-007



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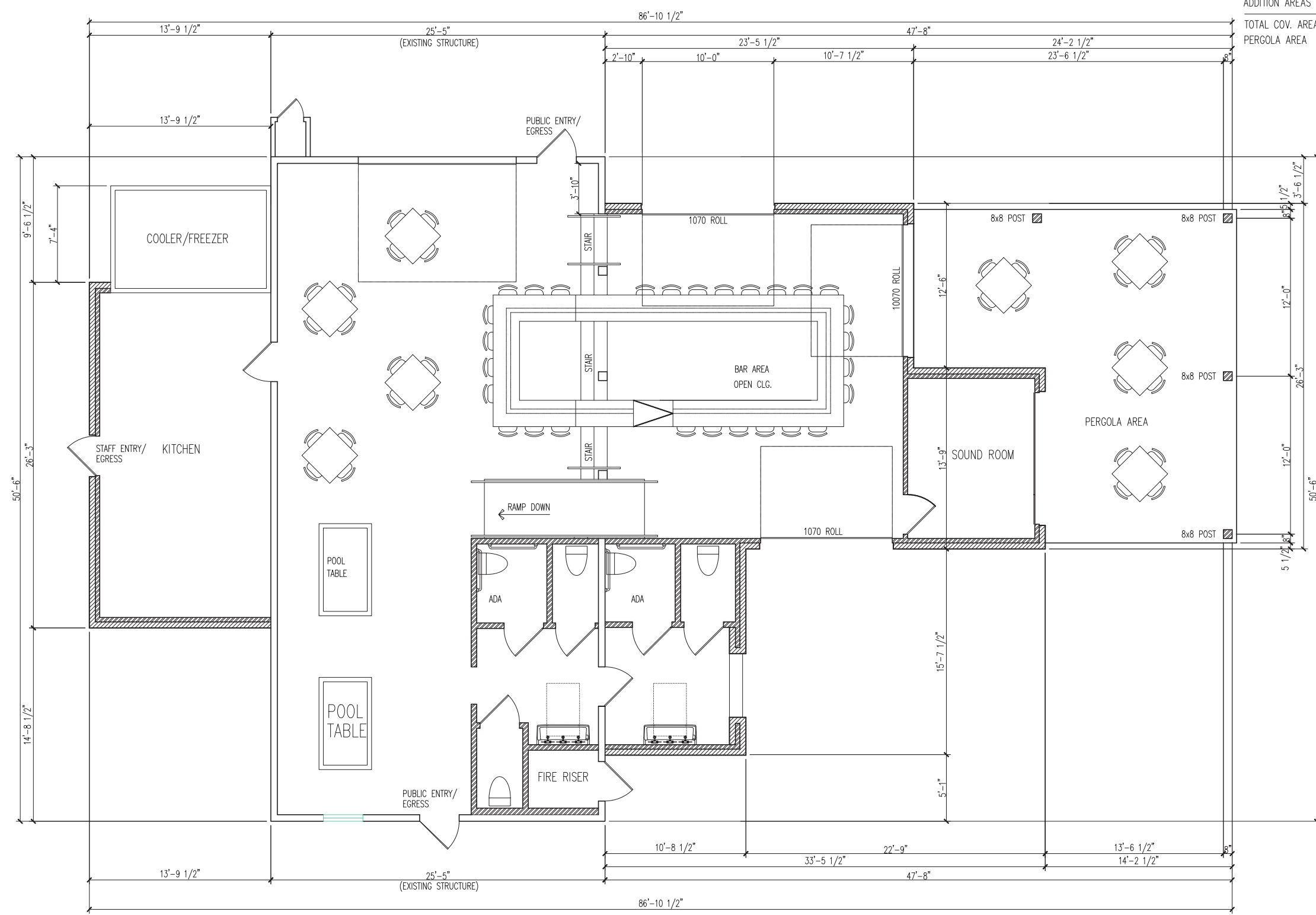
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EXHIBIT C
PAGE 1 OF 2

AREA ANALYSIS		
EXISTING AREA	1282	S.F.
ADDITION AREAS	1401	S.F.
TOTAL COV. AREA	2683	S.F.
PERGOLA AREA	488	S.F.



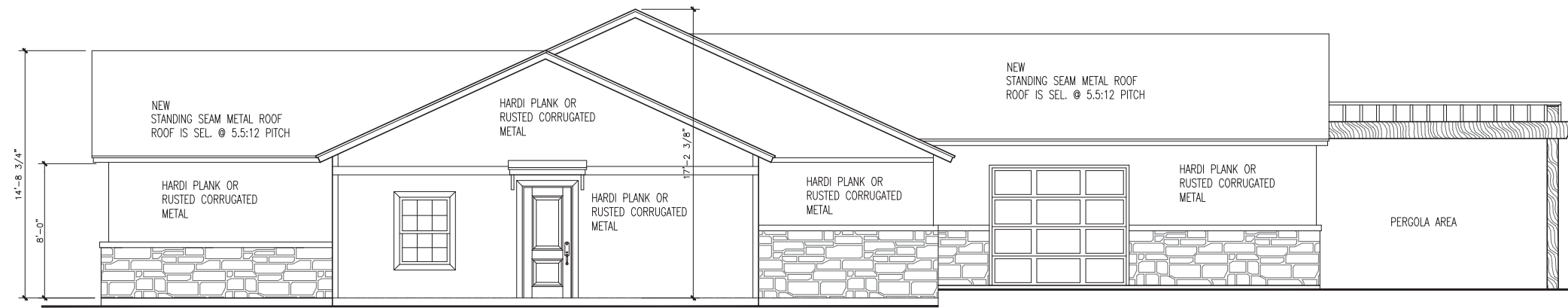
Proposed Floor Plan Building #2

Scale 1/4"=1'-0"

ARCHITECT
COVENANT ARCHITECTURE
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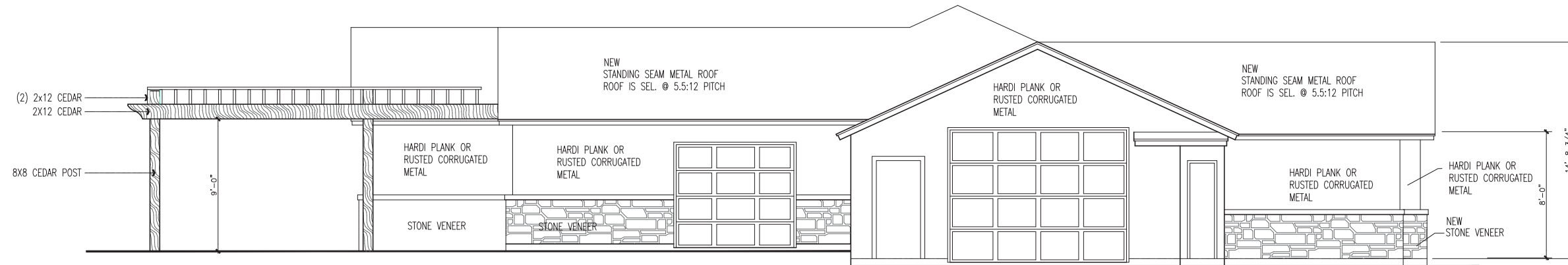
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ARCHITECTURAL FLOOR PLANS AND ELEVATIONS
EXISTING BUILDING #2 AND ADDITIONS - PROPOSED BAR AREA
ZONING CASE NUMBER: ZC#18-007



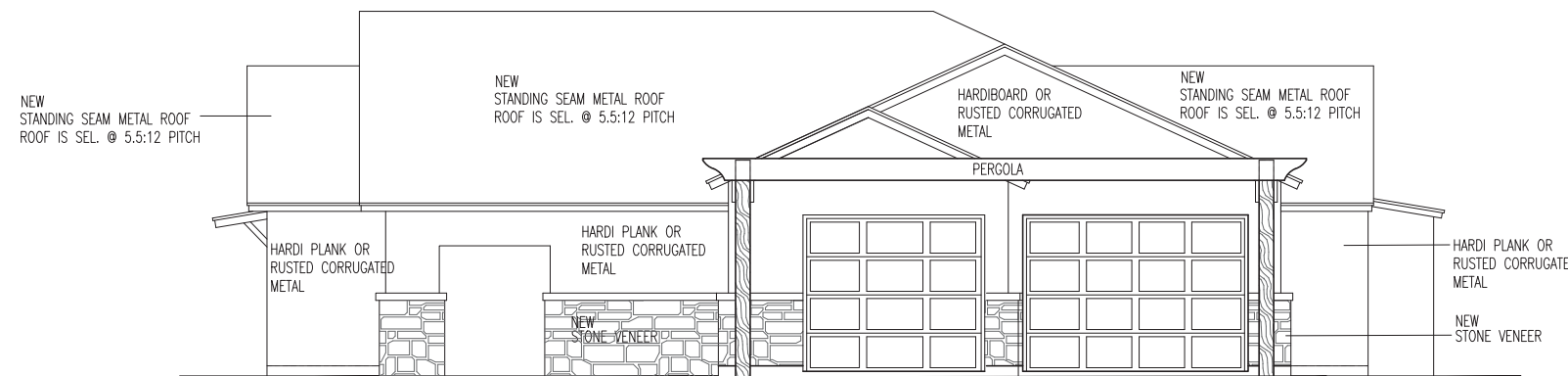
Proposed East Elevation

Scale 1/4"=1'-0"



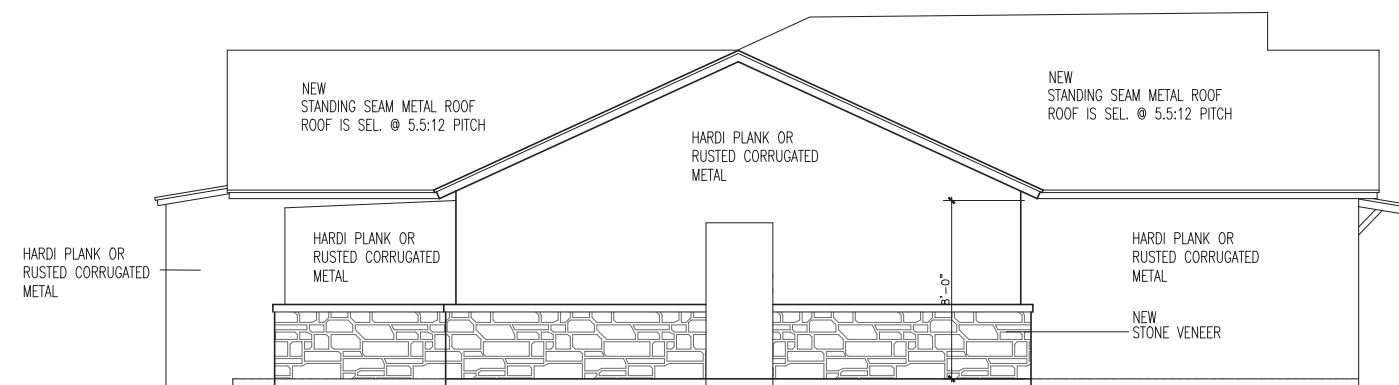
Proposed West Elevation

Scale 1/4"=1'-0"



Proposed North Elevation

Scale 1/4"=1'-0"



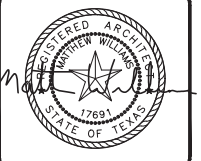
Proposed South Elevation

Scale 1/4"=1'-0"

MATERIAL SUMMARY

	TOTAL AREA	STONE	METAL	GLASS/DOOR
EAST ELEVATION	686sf	150sf	448sf	88sf
WEST ELEVATION	675sf	130sf	345sf	200sf
NORTH ELEVATION	461sf	80sf	231sf	150sf
SOUTH ELEVATION	390sf	111sf	258sf	21sf

ARCHITECTURAL FLOOR PLANS AND ELEVATIONS
EXISTING BUILDING #2 AND ADDITIONS - PROPOSED BAR AREA
ZONING CASE NUMBER: ZC#18-007

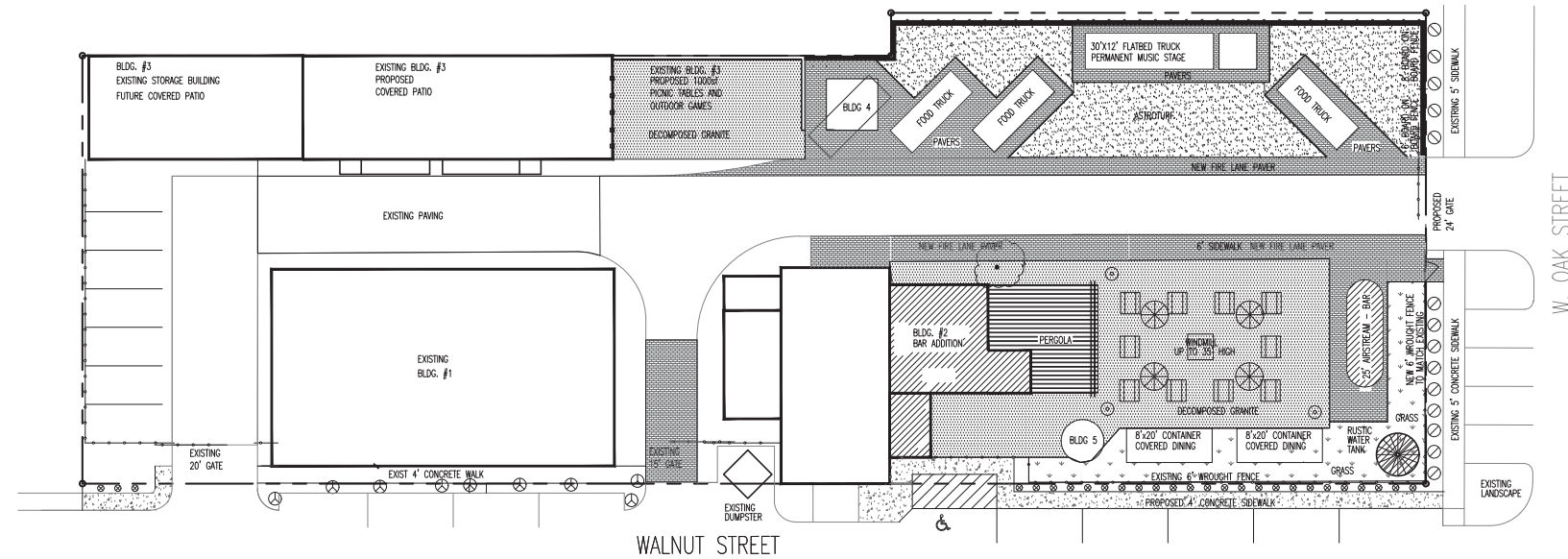


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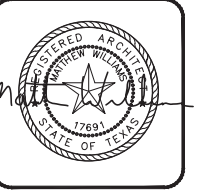
01 LANDSCAPE PLAN

- PROPOSED FIRE LANE
- ASTROTURF
- FIRE LANE PAVES
- DECOMPOSED GRANITE
- TURF GRASS
- PROPOSED CONCRETE SIDEWALK

PROPOSED TREES			
	EXISTING TREE		
	RED OAK (QUERCUS RUBRA)	6" CAL	SPACING AS SCALED
PROPOSED SHRUBS			
	EXISTING SHRUB		
	HOLLY, NELLIE R. STEVENS (ILEX NELLIE R. STEVENS)	15 GAL	72" SPACING
	GULF MUHLY (Muhlenbergia capillaris)	5 GAL	48" SPACING
	CROSSVINE (BIGNONIA CAPREOLATA)	5 GAL	48" SPACING

PROPOSING TO DEVELOP WITHOUT BUFFER YARDS

1"=20'-0"



Covenant
Architecture

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