

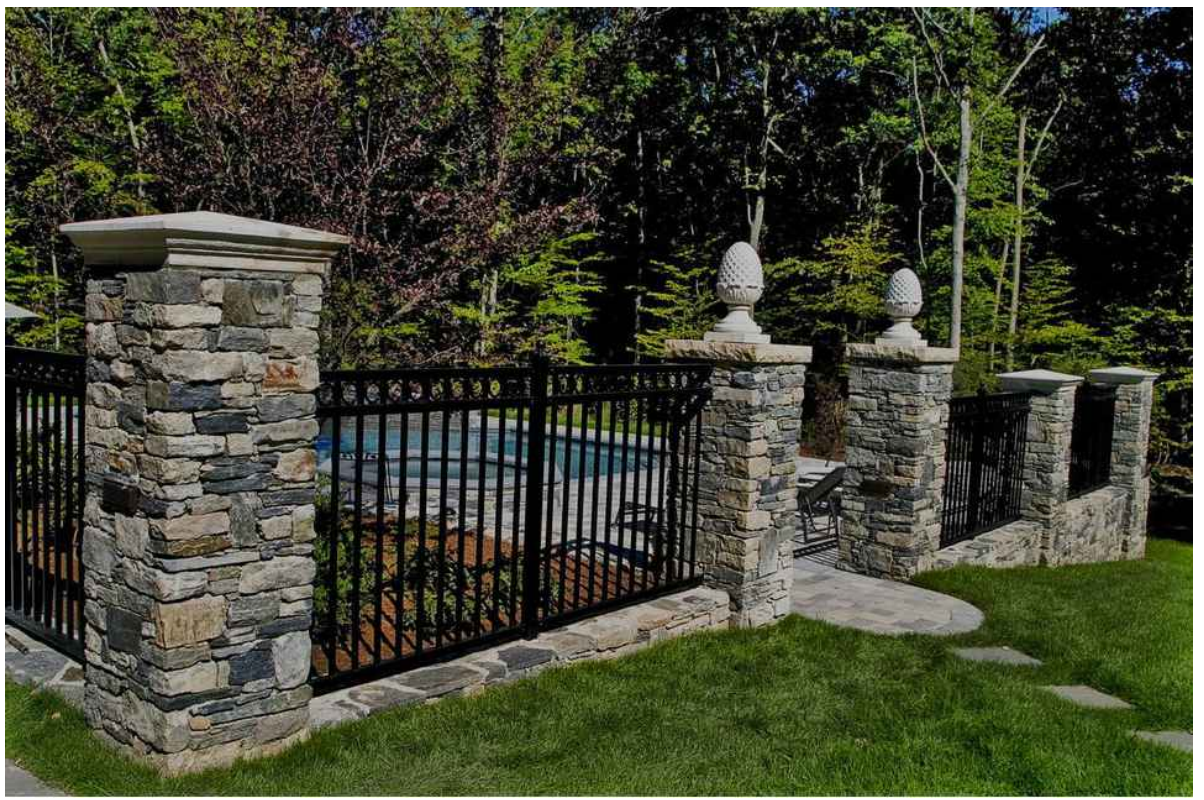








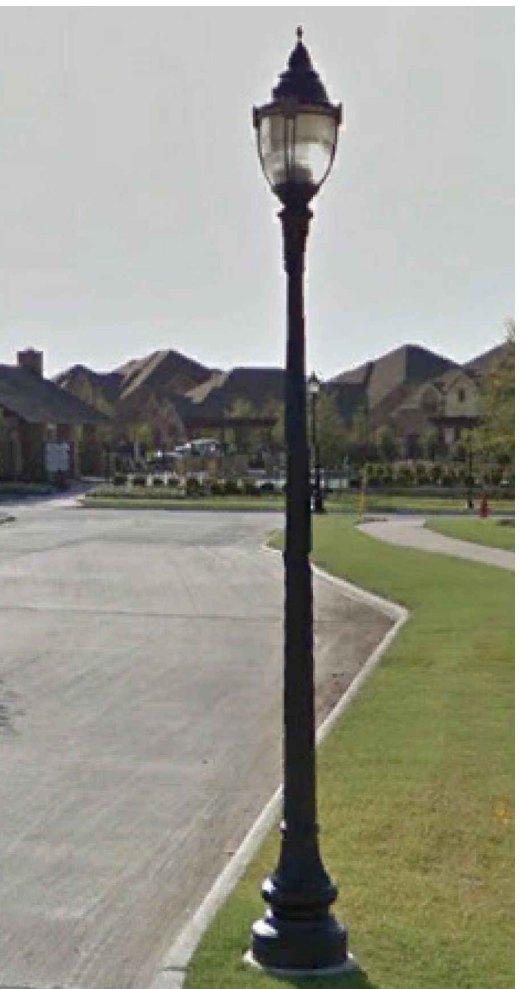
X:\0284-Dolce vita\0284-1701 Woodlands Estates\Drawings\Zoning Exhibit-With Perspective.dwg May 17, 2019-9:58am Terra Associates Inc., Charles Dibrell



8' WROUGHT IRON WITH COLUMNS



LANDSCAPE PLANTERS



DECORATIVE STREET LIGHT



STUCCO AND STONE WALL



COMMUNITY CENTER



BACKLIT ENTRY SIGNAGE



ZC#17-022

DOLCE VITA AT MANSFIELD  
CITY OF MANSFIELD, TEXAS

ZONING EXHIBIT

**TERRA**  
ASSOCIATES, INC.  
CONSULTING ENGINEERS  
LANDSCAPE ARCHITECTS

2000 E. LAMAR BLVD. - SUITE 150  
ARLINGTON, TEXAS 76006  
817-635-0066  
CFD@terraassoc.com  
TBPE Registration No.: F-003832

|                 |            |                                      |
|-----------------|------------|--------------------------------------|
| DRAWN BY: ED    | SCALE: N/A | PROJECT No. 0284-1701<br>CONTRACT: 1 |
| CHECKED BY: CFD | DATE:      | SHEET 3 OF 5                         |



**EXHIBIT “B”**  
**ZC#17-022**  
**Dolce vita’ at Mansfield**  
**PLANNED DEVELOPMENT STANDARDS**

**SECTION 1: DEVELOPMENT PLAN**

The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

The Dolce vita’ at Mansfield Planned Development (DPD) shall apply to the 81.122-acres described in the legal description in Exhibit A. The DPD shall have three distinct product line as represented in Table 1 below. The maximum number of residential lots allowed within the DPD is 279.

**SECTION 2: RESIDENTIAL PRODUCTS**

Dolce vita’ at Mansfield will have single-family detached residential lots as shown on the Development Plan on Exhibit B, page 1 and the Zoning Exhibit on Exhibit B, page 2. The single-family residential lots will comply with the following requirements.

| Product Type | Min. Lot Area | Min. Lot Width | Min. Lot Depth | Min. Front Yard | Min. Interior Side Yard | Min Exterior Side Yard | Min. Rear Yard | Max. Lot Coverage | Min. Floor Area Per Unit | Max. Height |
|--------------|---------------|----------------|----------------|-----------------|-------------------------|------------------------|----------------|-------------------|--------------------------|-------------|
| Sterling     | 8,200 sq. ft. | 70’ (a)        | 115’           | 25’             | 5’ & 10’                | 15’                    | 15’            | 55%(c)            | 2,200 sq. ft.            | 35’         |
| Hill         | 7,500 sq. ft. | 65’ (a)        | 115’(b)        | 25’             | 5’ & 10’                | 15’                    | 15’            | 55%(c)            | 2,000 sq. ft.            | 35’         |
| Arbor        | 6,325 sq. ft. | 55’ (a)        | 115’           | 25’             | 5’ & 10’                | 15’                    | 15’            | 55%(c)            | 1,800 sq. ft.            | 35’         |

- a. Corner lots must be at least 10’ wider than the minimum lot width.  
b. Exceptions for lots 1-4 and 272-277; minimum lot depths are 100’.

**Table 1 – Residential Product Table**

**SECTION 3: COMMUNITY DESIGN STANDARDS**

Residential development in Dolce vita’ Estates must comply with the community design standards in Section 4600 of the Zoning Ordinance.

**SECTION 4: GENERAL CONDITIONS**

**A. Landscaping:**

1. There will be a minimum of three trees required for each lot with a minimum three (3.0) inch caliper. For lots 19-27 AND lots 30-44 there shall be four trees, two in front and two in back.

**B. Perimeter Walls/Screening:**



**EXHIBIT “B”**  
**ZC#17-022**  
**Dolce vita’ at Mansfield**  
**PLANNED DEVELOPMENT STANDARDS**

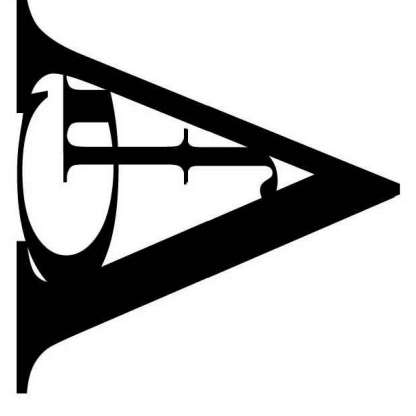
1. Masonry screening walls and wrought iron fence with stone columns shall be provided along Summer Trail and Callender Road as shown on the Entryway Plan.

**SECTION 5: HOMEOWNERS ASSOCIATION**

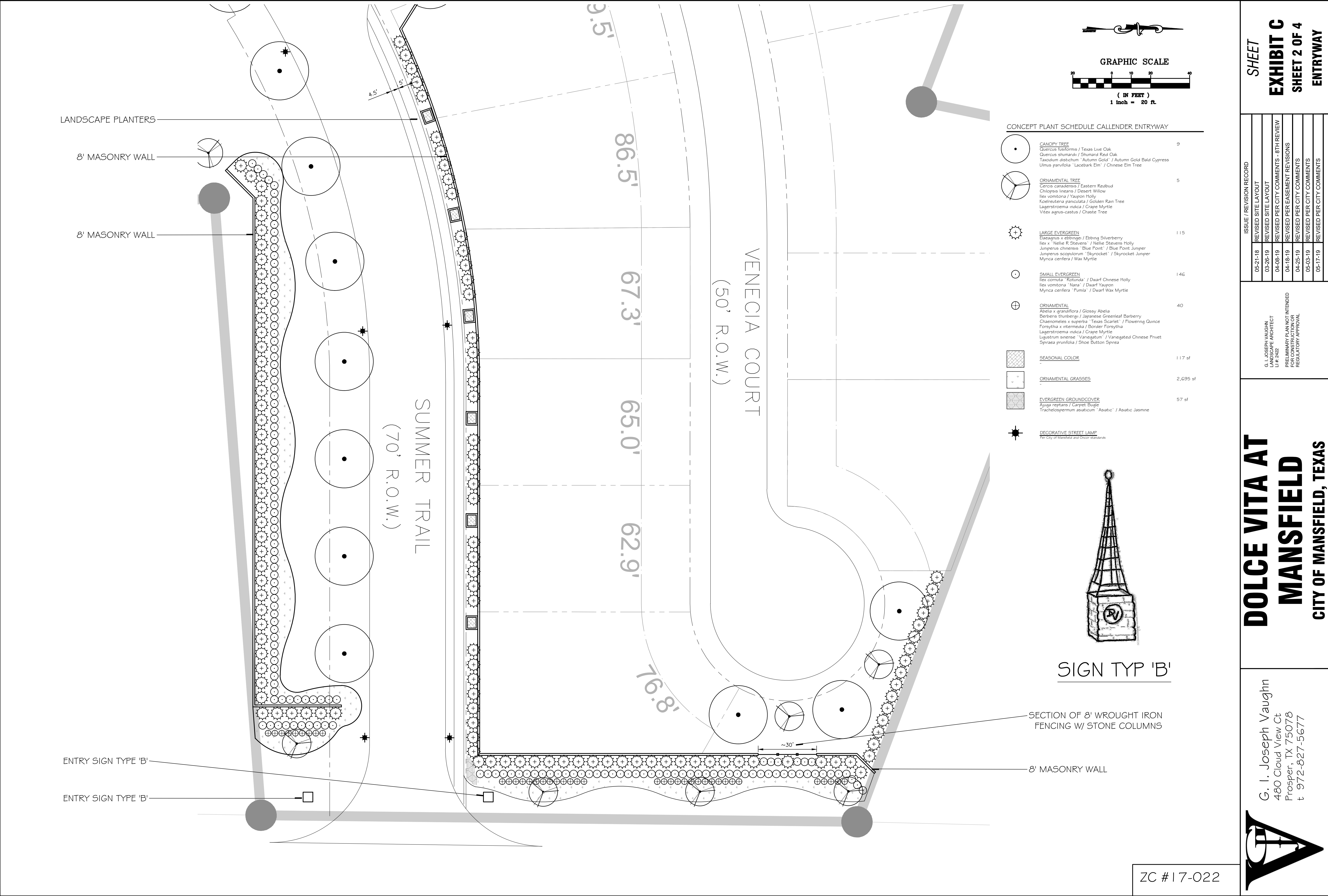
A mandatory homeowner’s association will be responsible for the maintenance of all the open spaces and screening walls along Callender Road and Summer Trail. Maintenance shall include the parkway between the screening wall and the street; the open space lots and medians; along the rear property line of lots 272-277; and the enhanced entryway features, including but not limited to landscaping, and the enhanced masonry walls with entry signage and signage lighting.

The Owners association and associated documents shall be filed in accordance with the City of Mansfield policies. The documents must be reviewed by the City Attorney prior to the filing of the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the City Attorney. The documents shall be submitted in a timely manner to allow for a minimum of 15 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision, or delay in approval of building permits. The city does not accept responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.



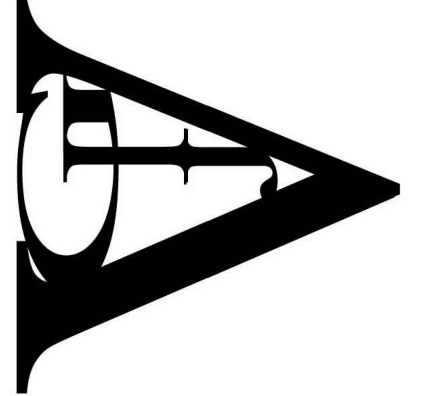






**DOLCE VITA AT**  
**MANSFIELD**  
**CITY OF MANSFIELD, TEXAS**

G. I. Joseph Vaughn  
480 Cloud View Ct  
Prosper, TX 75078  
t 972-827-5677



**SHEET**  
**EXHIBIT C**  
**SHEET 2 OF 4**  
**ENTRYWAY**









*SHEET*  
**EXHIBIT C**  
**SHEET 4 OF 4**  
**COMMUNITY CENTER**

| ISSUE / REVISION RECORD |                                        |
|-------------------------|----------------------------------------|
| 03-21-18                | REVISED SITE LAYOUT                    |
| 03-26-19                | REVISED SITE LAYOUT                    |
| 04-08-19                | REVISED PER CITY COMMENTS - 8TH REVIEW |
| 04-18-19                | REVISED PER EASEMENT REVISIONS         |
| 04-25-19                | REVISED PER CITY COMMENTS              |
| 05-03-19                | REVISED PER CITY COMMENTS              |
| 05-17-19                | REVISED PER CITY COMMENTS              |

G. I. JOSEPH VAUGHN  
LANDSCAPE ARCHITECT  
LI # 2422

PRELIMINARY PLAN NOT INTENDED  
FOR CONSTRUCTION OR  
REGULATORY APPROVAL

**DOLCE VITA AT  
MANSFIELD  
CITY OF MANSFIELD, TEXAS**

G. I. Joseph Vaughn  
480 Cloud View Ct  
Prosper, TX 75078  
t 972-827-5677



# INTERIOR

HOLLY



LIVE OAK



HOLLY



HOLLY



HOLLY



LIVE OAK



# EXTERIOR

LIVE  
OAK



ASH



CYPRESS



HOLLY





## TWO STORIES

