

SECTION 1: DEVELOPMENT PLAN

The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

SECTION 2: RESIDENTIAL LOT STANDARDS

Lake Park will have front-entry, minimum 2 ½ car garage, single-family detached residential lots as shown on Exhibit C. The residential single-family lots must comply with the following area and setback requirements:

Zoning District	Minimum Lot Area	Minimum Lot Width **	Minimum Lot Depth *	Minimum Front Yard	Minimum Rear Yard	Minimum Interior Side Yard	Min. Exterior Side Yard (backing up to an abutting side yard)	Min. Exterior Side Yard (backing up to an abutting rear yard) ***	Maximum Lot Coverage	Minimum Floor Area
Lake Park	7,500 sf	65'	110'	25'	15'	5' & 10'	20'	15'	45%	2,200 sf
* The typical lot depth provided is 120'.										
** Corner lots that are adjacent to ROW must be at least 10' wider than the minimum lot width.										
*** Requires two side yards to have a combined total of not less than 15' with a 5' minimum on one side and a 10' minimum on the other side.										

SECTION 3: COMMUNITY DESIGN STANDARDS

Residential development in Lake Park must comply with the community design standards in Section 4600 of the Zoning Ordinance and the Subdivision Control Ordinance, and amendments thereof. All lots within the community will be front-entry, minimum 2 ½ car garage with Cedar doors. Lots that back or side against National Parkway or Seeton Road Road will provide full masonry (brick or stone) on these roadway facing facades. This condition will apply to Lot 1-3, & 6, Block 2; and Lot 2 & 28, Block 1 as depicted on the Development Plan, Exhibit “C”. The Planned Development is requesting a variance from the City’s maximum allowable cul-de-sac length per the length shown on the Development Plan Exhibit “C” for Lake Park Drive. The boundary conditions for the property do not allow the City’s maximum allowable cul-de-sac length of 600’ to be met.

SECTION 4: GENERAL CONDITIONS

A. Landscaping:

1. All landscaping on each lot must meet the requirements of the Residential Landscape Requirements described in Section 7300 of the Zoning Ordinance.

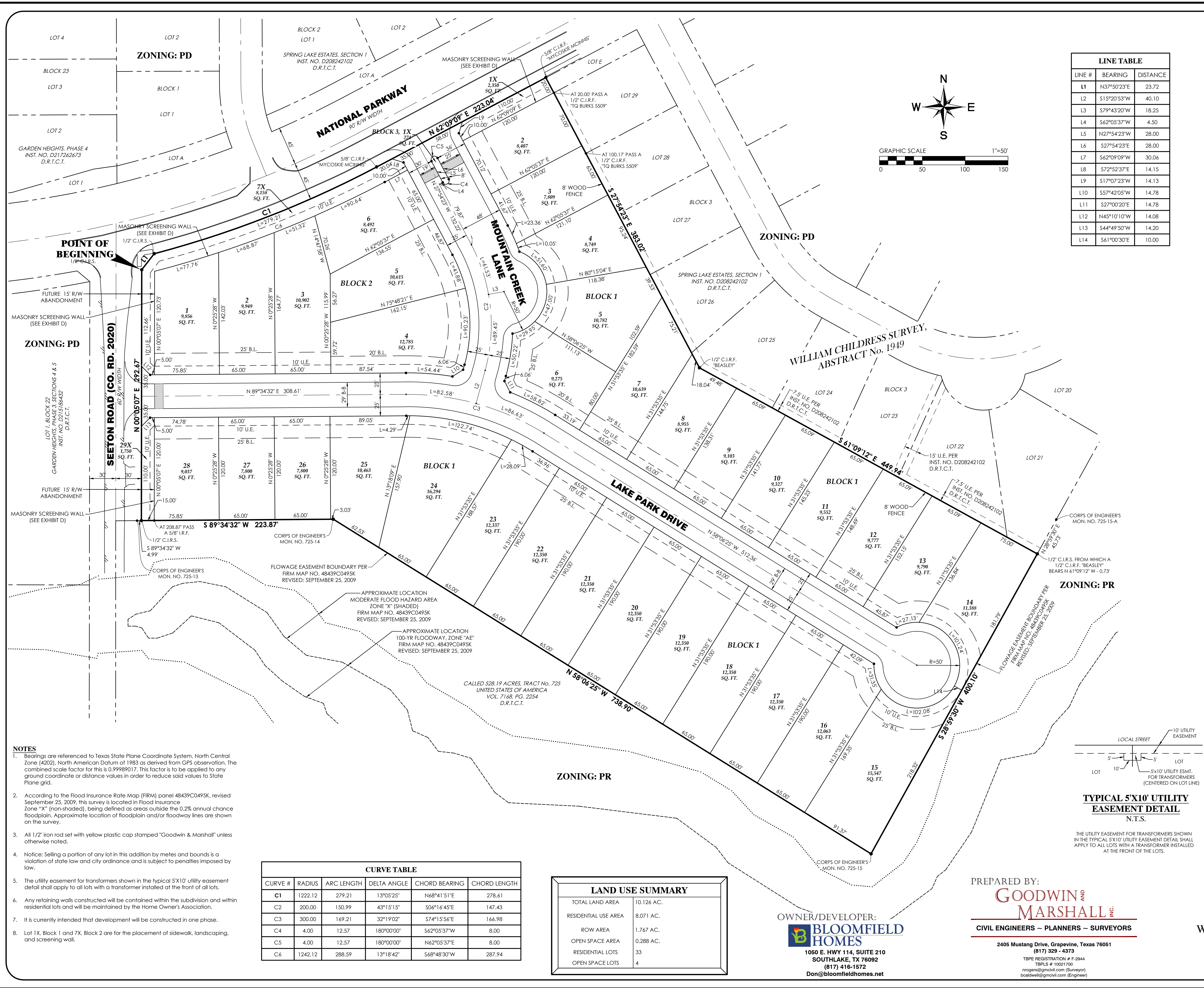
B. Perimeter Walls/ Screening:

1. A minimum six (6) foot masonry screening wall must be provided along National Parkway and Seeton Road in accordance with Ordinance No. 1270.
2. A minimum eight (8) foot wood fence must be provided along the northeast property line adjacent to Spring Lake Estates.

SECTION 5: HOMEOWNERS ASSOCIATION

A mandatory homeowners association will be responsible for the maintenance of the masonry walls along National Parkway and Seeton Road, including the parkway between the screening wall or device and the street; the open space lots and medians; and the enhanced entryway features, including but not limited to, medians, landscaping, any non-standard pavement, and the enhanced masonry walls with signage.

The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.



VICINITY MAP
N.T.S.

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N37°50'23"E	23.72
L2	S15°20'53"W	40.10
L3	S79°43'20"W	18.25
L4	S62°05'37"W	4.50
L5	N27°54'23"W	28.00
L6	S27°54'23"E	28.00
L7	S62°09'09"W	30.06
L8	S72°52'37"E	14.15
L9	S17°07'23"W	14.13
L10	S57°42'05"W	14.78
L11	S27°00'20"E	14.78
L12	N45°10'10"W	14.08
L13	S44°49'50"W	14.20
L14	S61°00'30"E	10.00

LEGEND	
●	BOUNDARY CORNER AS NOTED
SQ. FT.	SQUARE FEET
U.E.	UTILITY EASEMENT
B.L.	BUILDING LINE
R/W	RIGHT-OF-WAY
INST. NO.	INSTRUMENT NUMBER
CAB.	CABINET
SL.	SLIDE
VOL.	VOLUME
PG.	PAGE
D.R.T.C.T.	DEED RECORDS, TARRANT COUNTY, TEXAS
P.R.T.C.T.	PLAT RECORDS, TARRANT COUNTY, TEXAS
I.R.F.	IRON ROD FOUND
C.I.R.F.	CAPPED IRON ROD FOUND
C.I.R.S.	CAPPED IRON ROD SET (GOODWIN & MARSHALL)
---	BOUNDARY LINE
- - -	ADJOINER LINE
---	ABSTRACT LINE
---	EASEMENT LINE
---	100-YEAR FLOODWAY
---	MODERATE FLOOD HAZARD AREA

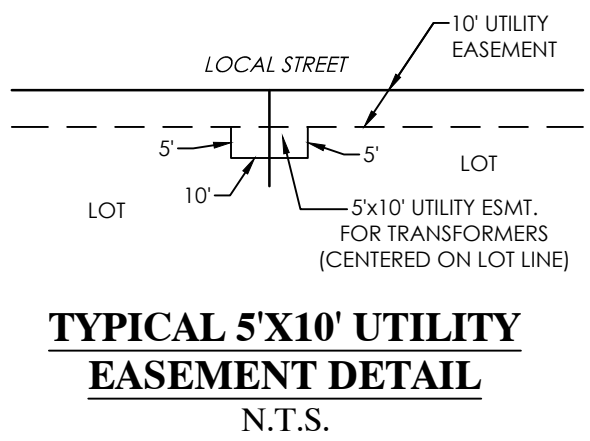
- NOTES**
- Bearings are referenced to Texas State Plane Coordinate System, North Central Zone (4202), North American Datum of 1983 as derived from GPS observation. The combined scale factor for this is 0.99989017. This factor is to be applied to any ground coordinate or distance values in order to reduce said values to State Plane grid.
 - According to the Flood Insurance Rate Map (FIRM) panel 48439C0495K, revised September 25, 2009, this survey is located in Flood Insurance Zone "X" (non-shaded), being defined as areas outside the 0.2% annual chance floodplain. Approximate location of floodplain and/or floodway lines are shown on the survey.
 - All 1/2" iron rod set with yellow plastic cap stamped "Goodwin & Marshall" unless otherwise noted.
 - Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
 - The utility easement for transformers shown in the typical 5'x10' utility easement detail shall apply to all lots with a transformer installed at the front of all lots.
 - Any retaining walls constructed will be contained within the subdivision and within residential lots and will be maintained by the Home Owner's Association.
 - It is currently intended that development will be constructed in one phase.
 - Lot 1X, Block 1 and 7X, Block 2 are for the placement of sidewalk, landscaping, and screening wall.

CURVE TABLE				
CURVE #	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD BEARING
C1	1222.12	279.21	13°05'25"	N68°41'51"E
C2	200.00	150.99	43°15'15"	S06°16'45"E
C3	300.00	169.21	32°19'02"	S74°15'56"E
C4	4.00	12.57	180°00'00"	S62°05'37"W
C5	4.00	12.57	180°00'00"	N62°05'37"E
C6	1242.12	288.59	13°18'42"	S68°48'30"W

LAND USE SUMMARY	
TOTAL LAND AREA	10.126 AC.
RESIDENTIAL USE AREA	8.071 AC.
ROW AREA	1.767 AC.
OPEN SPACE AREA	0.288 AC.
RESIDENTIAL LOTS	33
OPEN SPACE LOTS	4

OWNER/DEVELOPER:
BLOOMFIELD HOMES
1050 E. HWY 114, SUITE 210
SOUTHLAKE, TX 76092
(817) 416-1572
Don@bloomfieldhomes.net

PREPARED BY:
GOODWIN & MARSHALL INC.
CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
(817) 329 - 4373
TBPE REGISTRATION # F-2944
TBPLS # 10021700
mrogers@gmciwi.com (Surveyor)
baldwell@gmciwi.com (Engineer)



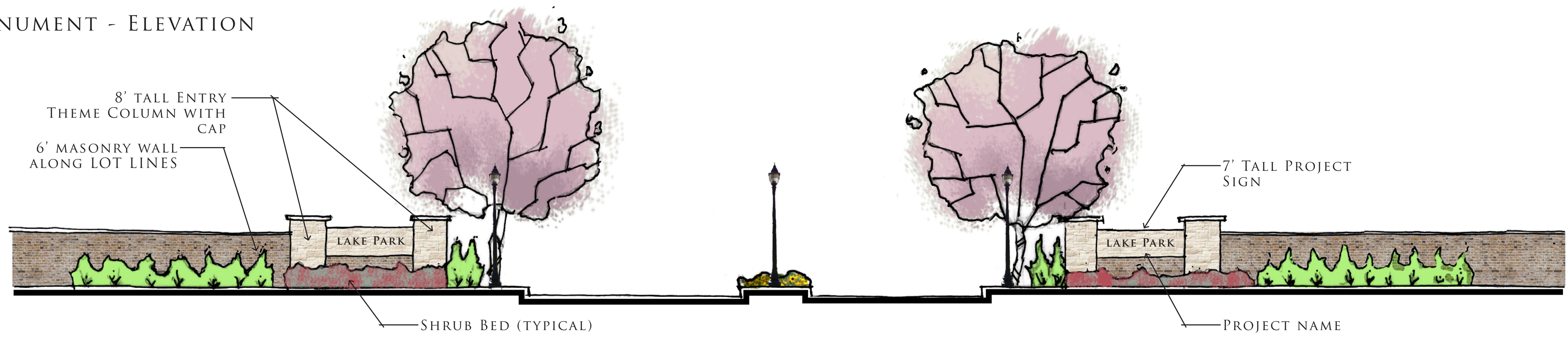
TYPICAL 5'X10' UTILITY
EASEMENT DETAIL
N.T.S.

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.
Issued for review 4/29/2019 11:30 AM

EXHIBIT "C"
DEVELOPMENT PLAN
OF
LAKE PARK
BEING
10.126 ACRES
SITUATED IN THE
WILLIAM CHILDRESS SURVEY, ABSTRACT No. 1949
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
33 RESIDENTIAL LOTS, 4 NON-RESIDENTIAL LOTS
Date: April 2019
ZC # 19-001

SHEET 1 of 1

ENTRY MONUMENT - ELEVATION



11' TALL ONCOR LIGHT STANDARD
- AMERICAN POLE WITH FRISCO
LUMINAIRE*
(NOTE* THE ACORN LUMINAIRE
MAYBE USED AS AN ALTERNATIVE
TO THE FRISCO LUMINAIRE.)



SHRUB BEDS - LITTLE
PRINCESS CRAPE MYRTLE OR
ALTERNATIVE



ENTRY ORNAMENTAL TREE - CRAPE MYRTLE
(TUSCARORA OR CATAWBA)



ORNAMENTAL GRASS MASSING - MISCANTHUS
OR ALTERNATIVE



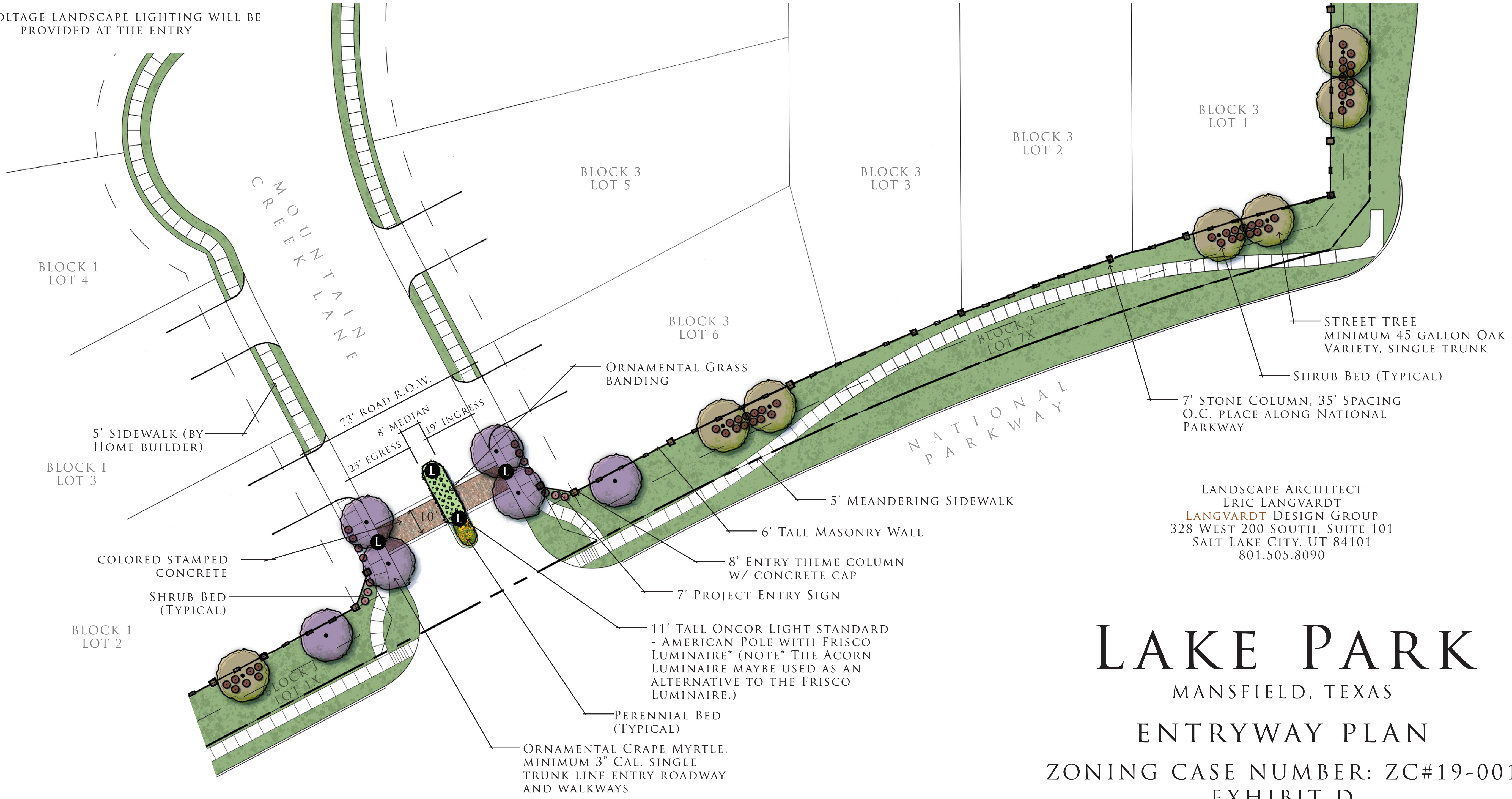
BRICK MASONRY WALLS



PERENNIAL BEDS - BLACK EYED SUSAN OR
ALTERNATIVE

NATIONAL PARKWAY - PLAN VIEW

LOW VOLTAGE LANDSCAPE LIGHTING WILL BE
PROVIDED AT THE ENTRY



LANDSCAPE ARCHITECT
ERIC LANGVARDT
LANGVARDT DESIGN GROUP
328 WEST 200 SOUTH, SUITE 101
SALT LAKE CITY, UT 84101
801.505.8090

LAKE PARK

MANSFIELD, TEXAS

ENTRYWAY PLAN

ZONING CASE NUMBER: ZC#19-001

EXHIBIT D

SEETON ROAD - PLAN VIEW



SHRUB BEDS - LITTLE PRINCESS GRAPE MYRTLE OR ALTERNATIVE



ENTRY ORNAMENTAL TREE - GRAPE MYRTLE (TUSCARORA OR CATAWBA)



BRICK MASONRY WALLS



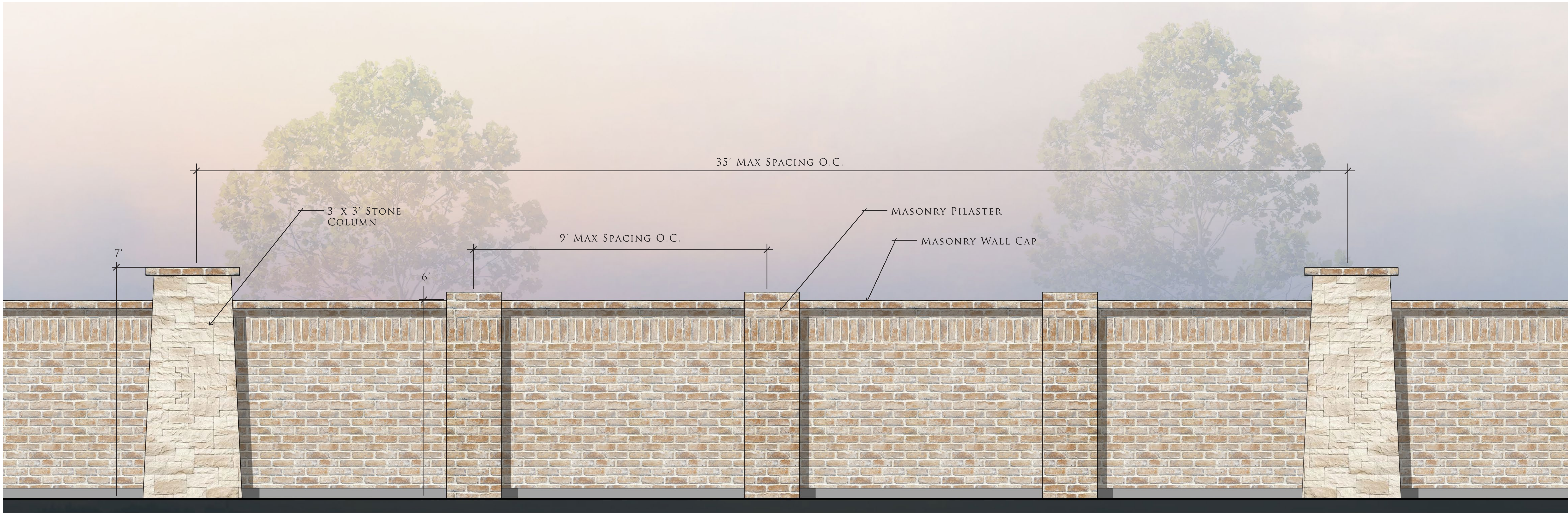
LAKE PARK

MANSFIELD, TEXAS

ENTRYWAY PLAN

ZONING CASE NUMBER: ZC#19-001
EXHIBIT D

MASONRY WALL ELEVATION



LAKE PARK

MANSFIELD, TEXAS

ENTRYWAY PLAN

ZONING CASE NUMBER: ZC#19-001
EXHIBIT D

ENTRY MONUMENT ELEVATION



LAKE PARK

MANSFIELD, TEXAS

ENTRYWAY PLAN

ZONING CASE NUMBER: ZC#19-001
EXHIBIT D









