



SUBMITTAL DATE:  
**August 19 2019**

A DEVELOPMENT BY:  
REALTY CAPITAL MANAGEMENT, LP  
909 Lake Carolyn Parkway  
Irving, TX 75039  
469-533-4100

PLANNING BY:  
Roaring Brook Development Co.  
3058 Lakeside Parkway  
Flower Mound, TX 75022  
817.706.8353

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**DEVELOPMENT NARRATIVE**

REALTY CAPITAL MANAGEMENT, LLC,  
Watson Branch  
Letter of Intent

Lisa Sudbury  
Director of Planning  
City of Mansfield  
1200 E. Broad Street  
Mansfield, Texas 76063

Re: Zoning Change Request for Day-Sowell Property (Approximately 78 acres)  
Watson Branch

Dear Lisa Sudbury,

The intent of this project is to continue to enhance, grow and define the FM 157 corridor attracting a high quality demographic that will support local growth. The project is located on the inside eastern corner of a sweeping turn in FM 157 (south of Debbie) at the proposed new lighted intersection. Our project would include some neighborhood retail at the intersection with FM 157, but it is mostly comprised of a mix of high quality urban residences (market and senior) providing a more "lock and leave" lifestyle that supports the current downtown area initiatives. Any traffic from the project would have a minor impact on existing infrastructure due to the ease of access to both Main Street and the 287 frontage road.

To summarize, our plan features:

- Some neighborhood retail (location for at least two restaurants)
- Unique single-family homes that benefit from this very central location.
- Higher density market-rate rental lots and active adult living options, all connected by a regional trail system
- that connects FM 157 to Mouser along Watson Branch.

The neighborhood commercial would be located at the proposed traffic signal and there are significant additional commercial options both across and south on FM 157 (towards the larger intersection with Mouser). Our vision/main goal of this infill project is to provide support to other better located commercial sites. We need to avoid cannibalizing or distracting from these other options. We anticipate home prices to be from \$350k to over \$450,000 and this community will provide a unique supply of different lots to differentiate our project from the more traditional master plan communities. In the higher density residential area, the Main Street Lofts will serve as the minimum standard for architectural design and quality. The buildings fronting FM 157 will have heightened standards for materials and appearance and the ample greenspace throughout the site and we will utilize the natural creek area for a public trail system. We anticipate a blended residential density of less than 14 units per acre.

We look forward to the opportunity to work with you and contribute to the growth of Mansfield.

Tim Coltart  
Managing Director  
Realty Capital Management

**ADMINISTRATION**

## SECTION 2: ADMINISTRATION

### A) Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of this Planned Development District must adhere to the rules and regulations set forth herein.

### B) Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. In the event of any conflict or inconsistency between these Standards and the applicable City regulations, the terms and provisions of these Standards shall control. In the event of a conflict between the text and the graphic images, the text shall control. Building codes, life safety codes, and Federal and State regulations take precedence where a standard requires actions that are in conflict with such codes and regulations.

### C) Regulating Plan

The Regulating Plan defines the areas and locations of the Zones for regulatory purposes. The Regulating Plan and Zone Standards are included as a part of this Planned Development in Section 3, and identifies the rules for development.

### D) Permitted Uses

1. The applicability of the permitted uses and development standards contained within the Watson Branch Planned Development District is conditioned upon Realty Capital Management, LLC or its assignee acquiring the entirety of the property located within the boundaries of this Planned Development District.
2. The Permitted Uses include two categories due to the constraints of the acquisition process. One category includes all the current permitted uses under the existing C-2 zoning. The second category includes the additional residential uses permitted within the Watson Branch Planned Development District. In the event that the first site plan includes C-2 uses without any residential land uses, then the site plan shall comply with C-2 zoning regulations as specified in the City of Mansfield zoning ordinance, and the development standards contained herein shall not apply.

### E) Development Procedure

To develop a portion of the Planned Development District, or the entire District, the Applicant shall meet with the Development Review Committee (DRC) for preliminary review and comment. Any portion of the District may be developed, and may be developed in any order. The DRC shall indicate if any of the following procedures may be modified or omitted. A Preliminary Plat and/or a Site Plan must be submitted and approved by P&Z.

### F) Simultaneous Submittal

A Preliminary Plat and/or Site Plan Submittal may be submitted for simultaneous review and approval. If sufficient information is provided with the Site Plan, the Site Plan may

replace the Preliminary Plat; and the Site Plan and the Final Plat may be submitted and reviewed for simultaneous approval. If the Site Plan information is insufficient to replace the Preliminary Plat, then sequential approval shall be required.

### G) Site Plan

1. The Site Plan application shall be submitted to Staff for review and comment by Staff. The Site Plan may include all of the property within this Planned Development or any portion of thereof.
2. The Site Plan must be approved by the Planning and Zoning Commission. If the Site Plan substantially deviates from the Illustrative Plan, Staff may refer the Site Plan to City Council for approval.
3. Site Plan Denials at the Planning & Zoning Commission may be appealed to the City Council.

### H) Minor Modifications

The City Manager or designee may grant modifications to the requirement of street width, visibility, fire access or landscape requirements provided the modifications are deemed to be minor, are consistent with standards of health and safety, and are consistent with the goals of the overall development.

### I) Final Plat

Final Plats shall be submitted and reviewed by Staff and shall be approved by the Planning and Zoning Commission and filed on record prior to obtaining a building permit. A Final Plat must be approved by P&Z and filed on Record prior to obtaining a building permit. The Site Plan and Final Plat may be submitted for simultaneous review and approval in accordance with Paragraph 'F' above.

### J) Council Overview

In the event that Staff denies a submittal, or deems that a proposed modification is not a Minor Modification, the Applicant will have the option to submit the application to the City Council for approval, though such application shall not constitute a zoning change unless the proposed land use differs from the permitted land uses.

### K) Private Deed Restrictions

A mandatory Owners Associations will be responsible for the maintenance of all common areas as listed on the Site Plan(s). The documents shall also require an architectural review and approval process prior to construction. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit documents or incomplete documents may result in a delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

**ZONE STANDARDS**

*Figure 3.1 REGULATING PLAN AND ZONE IDENTIFICATION*



### 3.1: General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development. Additional Regulations specific to each zone are found in the following Sections.
- B. Regulating Plan (See Figure 3.1): The Regulating Plan shows the Zones within the Watson Branch Planned Development. The Zones are subject to regulations governing the following aspects of the development:
- C. Illustrative Concept (See Figure 3.2): The illustrative concept of the proposed land use is an example of the possible build-out of the subject property under the proposed zoning. The illustrative concept is not regulatory, and the final build-out may differ from the illustration. If Staff determines that any Plat/Site Plan application substantially differs from the Illustrative Concept, Staff may process the application in accordance with Paragraph 2.G.2.
  1. Minimum and maximum land areas permitted within each zone;
  2. Permitted Land Uses within each zone;
  3. Maximum and minimum residential and commercial uses;
  4. The primary vehicular ingress and egress.
  5. Open Space, Park and Trail requirements specific to each zone;
  6. Streetscape and building façade restrictions specific to each zone;
  7. Parking on-street, off-street and garage parking standards;
8. Other restrictions that may affect the land use, character or aesthetics of each zone.
- D. Lot Development Standards (See Table 3.3): The Development Standards define the minimum and maximum areas and/or dimensions within the Regulating plan.
- E. Permitted Use Tables (See Table 3.2):
  1. Permitted Use Table lists the permitted and prohibited uses within the Watson Branch Planned Development.
  2. C-2 Permitted Uses: Where C-2 commercial uses are proposed in any zone within the Watson Branch PD District where no residential uses exist or are proposed, the standard City development regulations shall apply, as amended, under the City of Mansfield Code of Ordinances and the development standards herein shall not apply.
  3. Except as specified in this PD, C-2 Uses requiring an SUP in the Code of Ordinances shall also require an SUP under this planned development ordinance.
- F. Character Zones Special Conditions
  1. Zone 1:
    - a. The Zone 1 is primarily multifamily uses, with some commercial uses required fronting SH 157 as indicated in Table 3.1.
    - b. All building facades fronting SH 157 frontage shall have a commercial storefront appearance,



in accordance with Overlay Area requirements.

- c. Where the Zone 1 bounds PR-zoned property, multifamily property, or commercial property, parking shall be set back 10' minimum and buildings shall be set back 10' minimum.
- d. Where Zone 1 bounds residential zoned property, parking shall be set back 0' minimum, and buildings shall be set back a minimum of 10'.
- e. Between the SH 157 ROW and buildings fronting SH 157, a minimum buffer shall be required in accordance with Open space requirements.
- f. Between the SH 157 ROW and buildings fronting SH 157, a maximum of one drive aisle and 2 bays of parking shall be permitted, in accordance with Section 3.2 Standards for Zone 1.
- g. Commercial Space Required:
  - I. The minimum commercial space required excludes the ancillary residential uses such as leasing office, fitness rooms, common rooms, and mail rooms.
  - II. The minimum commercial space shall include at least two Eating Places without drive-thru service.
  - III. Eating Places with drive-thru service with menus that are focused on burgers, tacos, or chicken meals are prohibited.
  - IV. Eating Places with drive-thru service with menus focused on coffee, ice cream, or juice beverages, may

apply for an SUP. The SUP must specify that the drive-thru window shall be located only on the south or east wall of the commercial building.

2. Zone 2
  - a. The Zone 2 is primarily senior housing.
  - b. Where the Zone 2 bounds PR-zoned property, parking shall be set back 10' minimum from the property line and buildings shall be set back 10' minimum.
  - c. Between the SH 157 ROW and buildings fronting SH 157, a maximum of one drive aisle and 2 bays of parking shall be permitted, in accordance with Section 3.2 Standards for Zone 2.
  - d. Between the SH 157 ROW and buildings fronting SH 157, a minimum buffer shall be required in accordance with Open space requirements.
3. Zone 3
  - a. The Zone 3 consists of single family uses.
  - b. Lots shall comply with Table 3.3 Lot Standards.
  - c. If Townhomes or 2-family homes are included within Zone 3, they shall be located adjacent to Zone 1 to serve as a buffer between the multifamily and the single family detached.
  - d. Between the Mouser Way ROW and lots, a mini-

TABLE 3.1 ZONE STANDARDS TABLE	ZONES			
P=Permitted	1	2	3	4
<b>ZONE STANDARDS</b>				
AREA IN ACRES (+/- 20%)	23.0	6.0	45.6	3.5 (no min)
	Maximum 29 acres		Minimum 49 acres	
<b>OPEN SPACE MINIMUM STANDARDS</b>				
OPEN SPACES REQUIRED	OS-1a		OS-1b	OS-1c
	OS-2			
	BUFFER 1		BUFFER 2	
<b>COMMERCIAL REQUIREMENTS</b>				
FRONTAGE FAÇADE BUILT TO COMMERCIAL STOREFRONT STANDARDS (MIN LF)	400 LF		NA	P
NON-RESIDENTIAL OCCUPANCY REQUIRED. SEE ZONE 1 SPECIAL CONDITIONS	8000 SF	0	0	0

TABLE 3.2 PERMITTED USE TABLE	ZONES						
P=Permitted; R=Required; Blank=Not Permitted	1	2	3	4	Maximum Residential	Lot Mix	Estimated Density
C-2 Permitted Uses	P	P	P	P			
Restaurants (See Zone 1 Special Conditions)	P						
<b>Residential Uses</b>							
Single Family Dwelling	P	P	P	P	300 Lots	See TABLE 3.3 for required Lot Mix	6.1 lots/ac
Zero-Lot line Dwelling	P	P	P	P			
Townhouse	P	P	P	P			
Multifamily Dwelling	P				400 Dwelling Units	400; 5% Max 3-bedroom	17.4 du/ac
Senior housing units	P	P			200 Dwelling Units	200, 0% 3-bedroom	33 du/ac

Note: C-2 Uses requiring an SUP, not listed above, shall still require an SUP under this Ordinance.

- mum buffer shall be required in accordance with Open space requirements.
- e. No residential lots shall be located north of the existing gas line easement.
  - f. All Lots shall comply with the International Fire Code access requirements.
4. Zone 4
- a. Zone 4 is separated from Zone 3 by the floodway and floodplain.
- b. Land uses are unspecified, but may include single family residential, commercial or civic uses.
5. Overlay Area: See Section 7.G. for Overlay Area Standards.

**TABLE 3.3 LOT DEVELOPMENT STANDARDS**

COMMERCIAL, MIXED-USE AND MULTIFAMILY LOT STANDARDS		ZONE 1		ZONE 2	
MINIMUM LOT WIDTH		100'			
MINIMUM LOT DEPTH		120'			
MINIMUM LOT AREA		12.000 SF			
MINIMUM FLOOR AREA PER DWELLING UNIT					
EFFICENCY		550 SF			
1-BEDROOM		650 SF			
2-BEDROOM		900 SF			
3-BEDROOM		1000 SF (MAXIMUM 30 3-BDRM UNITS)			
SENIOR LIVING APARTMENT		NO MINIMUM			
MINIMUM FRONT SETBACK		5'		5'	
MINIMUM REAR SETBACK		0'		0'	
MINIMUM INTERIOR SIDE SETBACK (ADJACENT TO LOT)		0'		0'	
MINIMUM EXTERIOR SIDE SETBACK (ADJACENT TO PUBLIC STREET)		5'		5'	
MAXIMUM HEIGHT IN STORIES		4		4	
MINIMUM MASONRY CONSTRUCTION		See Table 7.2			
MINIMUM SETBACK FROM PUBLIC ROW					
FRONT BUILDING SETBACK FOR REQUIRED COMMERCIAL STOREFRONT		0' from sidewalk			
FRONT PARKING SETBACK FOR REQUIRED COMMERCIAL STOREFRONT		0' from Buffer 1			
SINGLE FAMILY LOT STANDARDS		SINGLE FAMILY	SINGLE FAMILY	ZERO LOTLINE	TOWNHOME
MINIMUM LOT WIDTH (FT)		50'	45'	30'	22'
MINIMUM LOT DEPTH (FT)		100'	90'	90'	90'
MINIMUM LOT AREA (SF)		5000 SF	4050 SF	2700 SF	1980 SF
MINIMUM FLOOR AREA PER DWELLING UNIT (SF)		1800 SF	1800 SF	1800 SF	1800 SF
GARAGE ACCESS		STREET	STREET	ALLEY	ALLEY
SETBACKS					
MINIMUM FRONT SETBACK (EXCLUDING PORCHES OR STOOPS)		10'	10'	10'	10'
MINIMUM FRONT SETBACK TO PORCH OR STOOP		5'	5'	5'	5'
MINIMUM FRONT SETBACK TO GARAGE DOORS		20'	20'	NA	NA
MINIMUM REAR SETBACK		15'	15'	15'	15'
MINIMUM REAR SETBACK TO GARAGE DOORS		NA	NA	18'	18'
MINIMUM INTERIOR SIDE SETBACK (ADJACENT TO LOT)		5'	5'	0' / 5'	0'
MINIMUM EXTERIOR SIDE SETBACK (ADJACENT TO PUBLIC STREET)		10'	10'	10'	10'
MAXIMUM HEIGHT IN FEET		35'	35'	35'	35'
REQUIRED LOT MIX (BY NUMBER OF LOTS)		MIN 20%	MAX 50%	MAX 15%	MAX 15%
MINIMUM MASONRY CONSTRUCTION		See Table 7.2			

*Figure 3.2a ILLUSTRATIVE CONCEPT PLAN*



*Figure 3.2a ILLUSTRATIVE SITE PLAN, ZONES 1 AND 2*





**Figure 3.3a Illustrative Example of Conceptual Single Story Storefront Facades:**

*Elevations are conceptual and subject to change. Images are intended to convey proposed use of materials on facades.*



**Figure 3.3b Illustrative Example of Conceptual Multi-Story Facades:**

*Elevations are conceptual and subject to change. Images are intended to convey proposed use of materials on facades.*





*Figure 3.4 Elevations Single Family: Illustrative Examples of Conceptual Facades*



*Figure 3.5 Elevations Zero Lotline: Illustrative Examples of Conceptual Facades*





*Figure 3.6 Elevations Townhomes: Illustrative Examples of Conceptual Facades*



### 3.2 STANDARDS FOR ZONES 1 & 2

#### Frontage on SH 157 with parking in front of building

##### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

##### B. STREETScape STANDARDS

1. Tree Space: Tree Space width shall comply with Table 4.1
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions, and shall connect to entrances on front facades.
3. Setback: Setback shall be a minimum of 0' from the sidewalk to the primary front wall.

4. Porch Space: All dwelling and commercial units with parking in front of the building and fronting on SH 157 shall have entrances that open directly onto the sidewalk. Balconies on the upper floors may encroach into the setback.
5. Finished Floor Elevation: The pedestrian entries to commercial units with front parking and fronting on SH 157 shall be accessed directly from the sidewalk.
6. Parking: Front parking lots may include a single or double row of parking spaces, either angled or head-in.
7. Buffer 1: The buffer space shall comply with Section 5, Table 5.1.

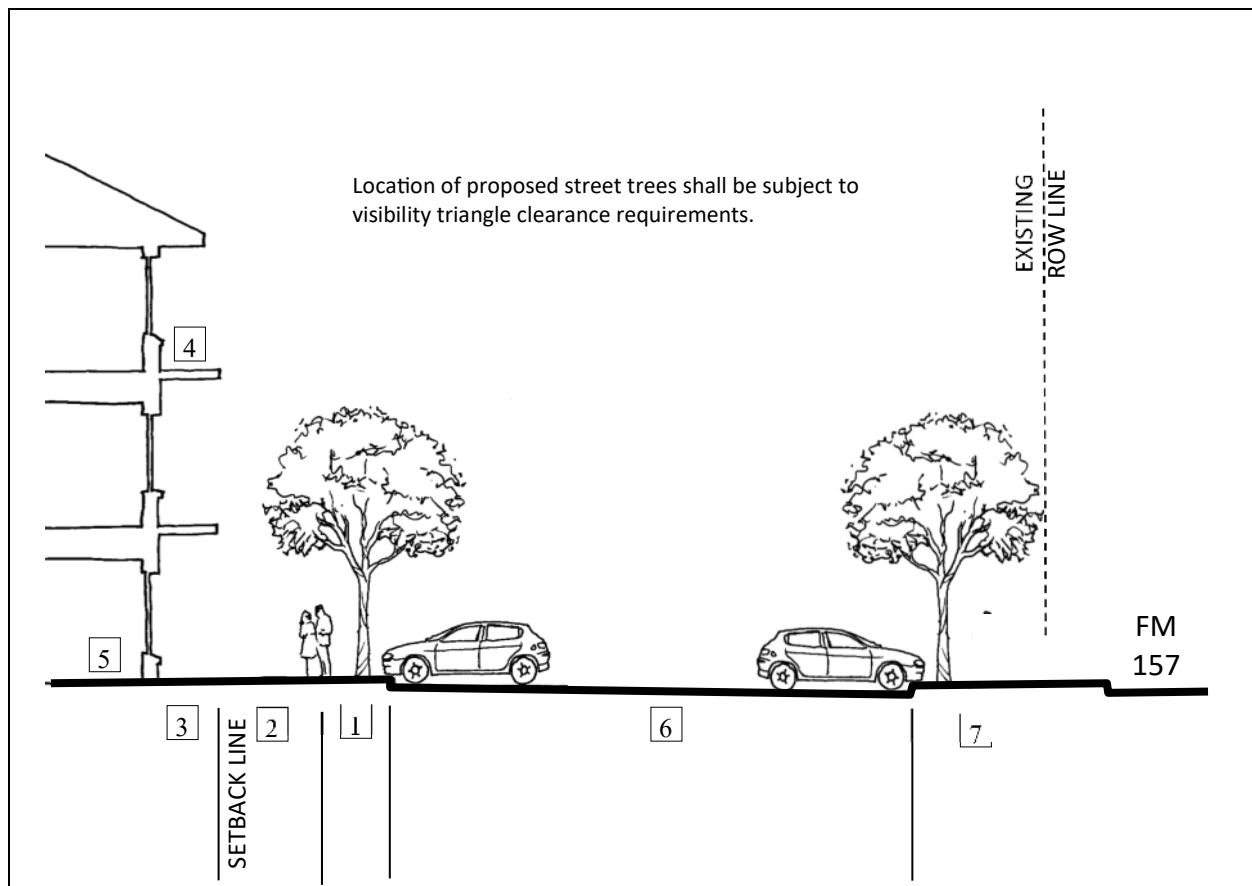


FIGURE 3.2.1 Streetscape Components

### 3.3 STANDARDS FOR ZONES 1 & 2

#### Frontage on Public Streets

##### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

##### B. STREETScape STANDARDS

1. Tree Space: Tree Space width and Tree spacing along frontage shall comply with Table 4.1.
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions.
3. Setback: Setback shall be a minimum of 5' from

the ROW to the primary wall surface.

4. Porch Space: All residential buildings shall have at least one entrance that opens directly onto the sidewalk. Balconies on the upper stories may encroach into the setback.
5. Finished Floor Elevation: The pedestrian entries of buildings fronting on public streets shall have a primary entry accessible from the sidewalk.
6. Parking: On-street parking is permitted. Parking spaces may be head-in, angled or parallel in accordance with street types in Section 4.
7. Public Rights-of-way: See Section 4 for street standards.

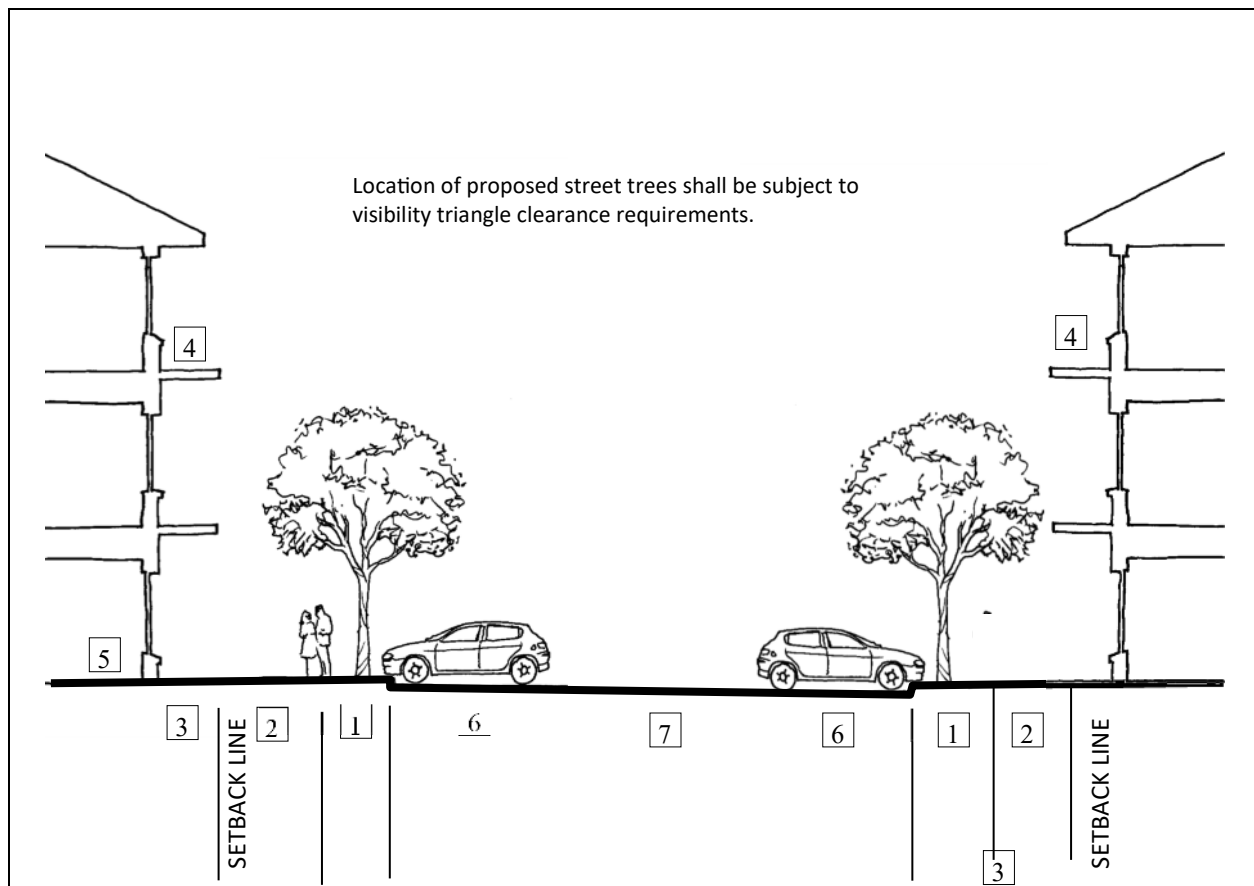


FIGURE 3.3.1 Streetscape Components



### 3.4 STANDARDS FOR ZONES 1 & 2 Side / Rear of Buildings, Parking

#### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

#### B. DEVELOPMENT STANDARDS

1. Tree space: See Section 6 for parking lot landscape requirements.
2. Sidewalk: Sidewalks are not required in parking lots. If sidewalks are included, they shall be a minimum of 4' in width.
3. Setback: Not applicable.
4. Porch Space: Not Applicable.

5. Drive Aisle: The drive aisle may be located adjacent to the building if the aisle is serving tuck-under garages.
6. Parking: Parking shall be located in a parking lot, carport, or garage.
7. Parking: Tuck-under: Individual parking garages are permitted within the building envelope.
8. Parking, Tandem: Tandem spaces, located outside the building envelope immediately behind the tuck-under garage provided they are designated to the same unit as the associated garage.
9. Open Space: No open space is required.

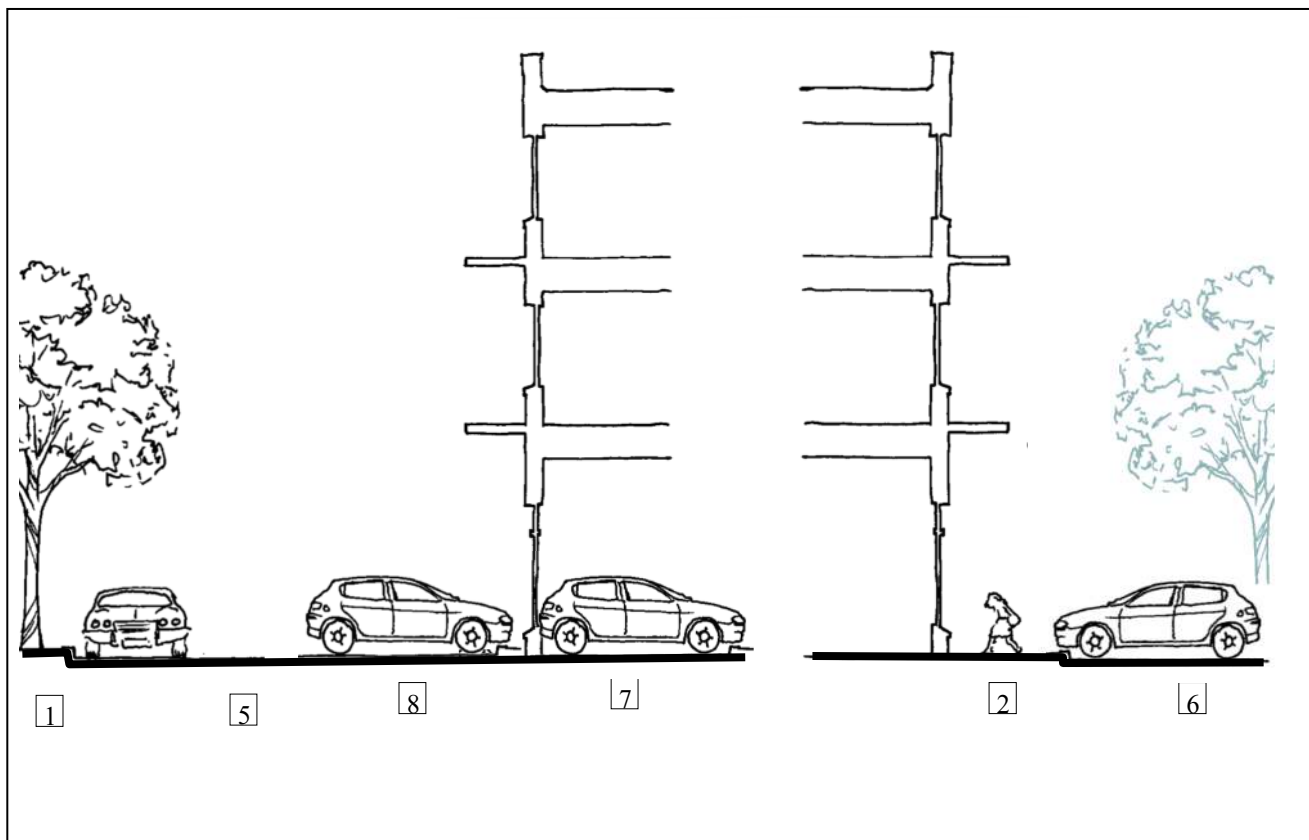


FIGURE 3.4.1 Rear Parking Components

### 3.5 STANDARDS FOR ZONES 1, 3 & 4 Residential Spine Road

#### A. GENERAL

1. See Table 3.2 for Land Use restrictions.
2. See Table 3.3 for Lot restrictions
3. See Section 7 for Architectural restrictions

#### B. STREETScape STANDARDS

1. Street Space: Trees shall be planted in the continuous parkway; in compliance with Table 4.1.
2. Sidewalk: Minimum 5' clear pedestrian width excluding trees wells or other obstructions. The sidewalk may encroach up to 1 foot into the front yard setback of the lot.

3. Setback: Setback shall be measured from the ROW to the building façade, and to the Garage doors.
4. Porch Space: The porch or stoop may project into the setback if the dwelling unit entrance opens onto the sidewalk. Balconies on the upper stories may encroach into the Setback.
5. Finished Floor Elevation: The finished floor elevation at any entry may be above the elevation of the adjacent curb by a maximum of 4 feet. One entry is required to be accessed from the sidewalk for each building fronting the street.
6. Street/Parking: Street shall be Street Type 3.

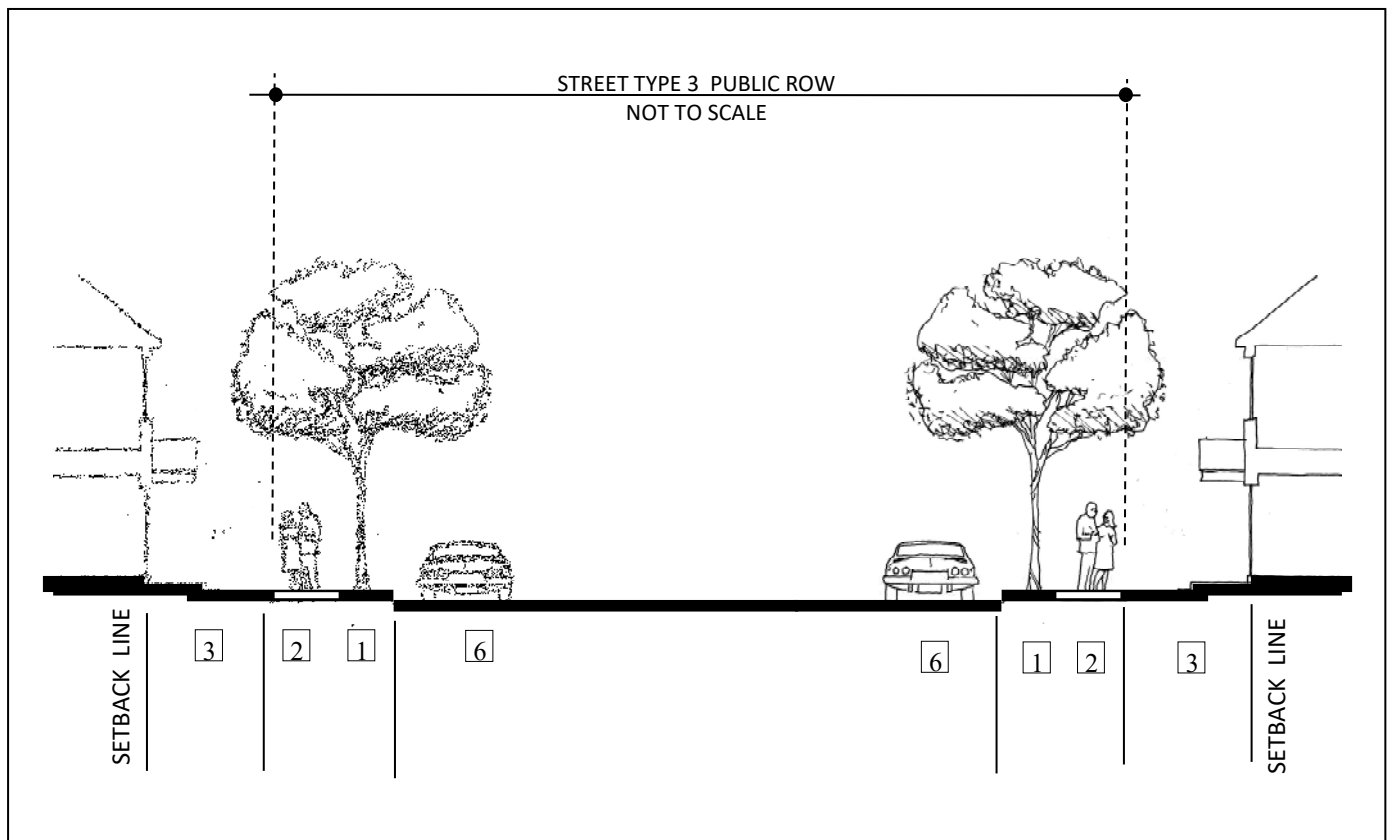


FIGURE 3.5.1 Single Family Streetscape Components

### 3.7 STANDARDS FOR SINGLE FAMILY LOTS

- A. PERMITTED: Lots with “J-Swing” driveway configuration, with garage doors perpendicular to the street, are permitted, provided the garage doors are “carriage style” with wood cladding or simulated wood cladding. A minimum of 30% of lots greater than 50’ in width shall have J-Swing garage entries.
- B. PERMITTED: Lots with direct access garages are permitted. The garage doors facing the street shall be “carriage style” with wood cladding or simulated wood cladding.
- C. PERMITTED: Lots with a combination of direct access and J-Swing configurations are permitted provided the garage doors are “carriage style” with wood cladding or simulated wood cladding.
- D. PERMITTED: Garages with alley access are also required to have “carriage style” garage doors.
- E. PROHIBITED: A wood screening or privacy fence is prohibited within the lot frontage zone.
- F. PROHIBITED: Masonry screening walls exceeding 3’ 6” in height are prohibited within the lot frontage zone.
- G. FRONTAGE ZONE: The Frontage Zone extends from the ROW to the front wall of the home, excluding porches or stoops.
- H. CORNER LOT FENCES: Fences on corner lots facing the side street shall be set back from the sidewalk a minimum of 2’ and landscaped with shrubbery or ornamental grasses. Fences fronting the Spine Road shall be a maximum of 50’ in length.

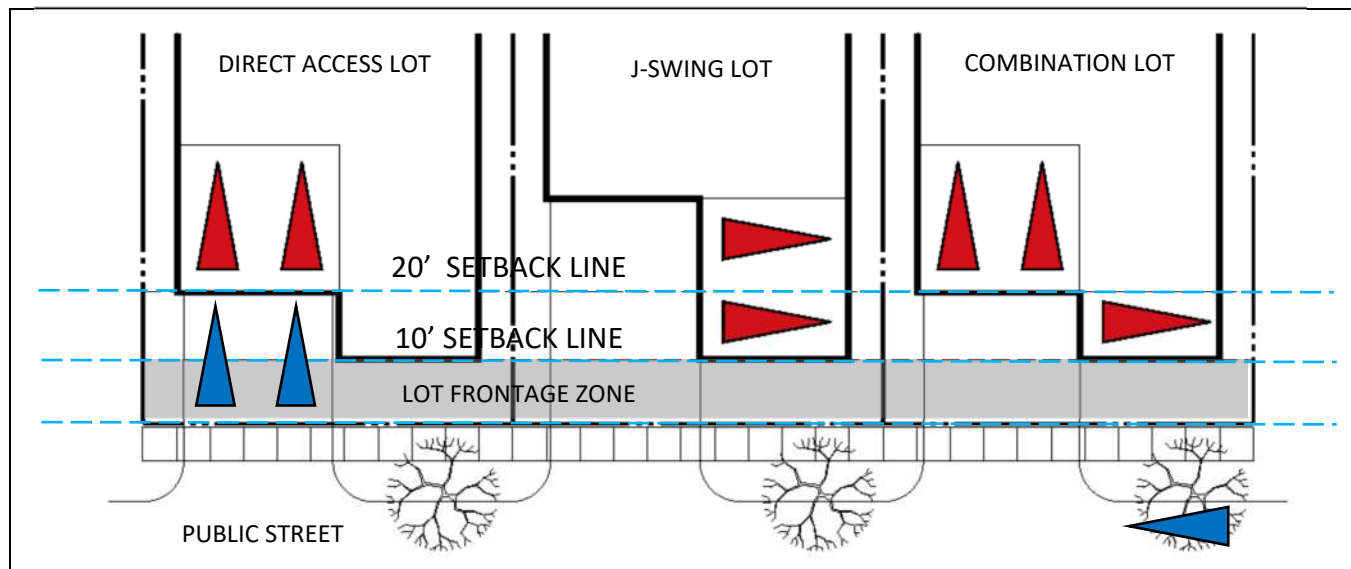
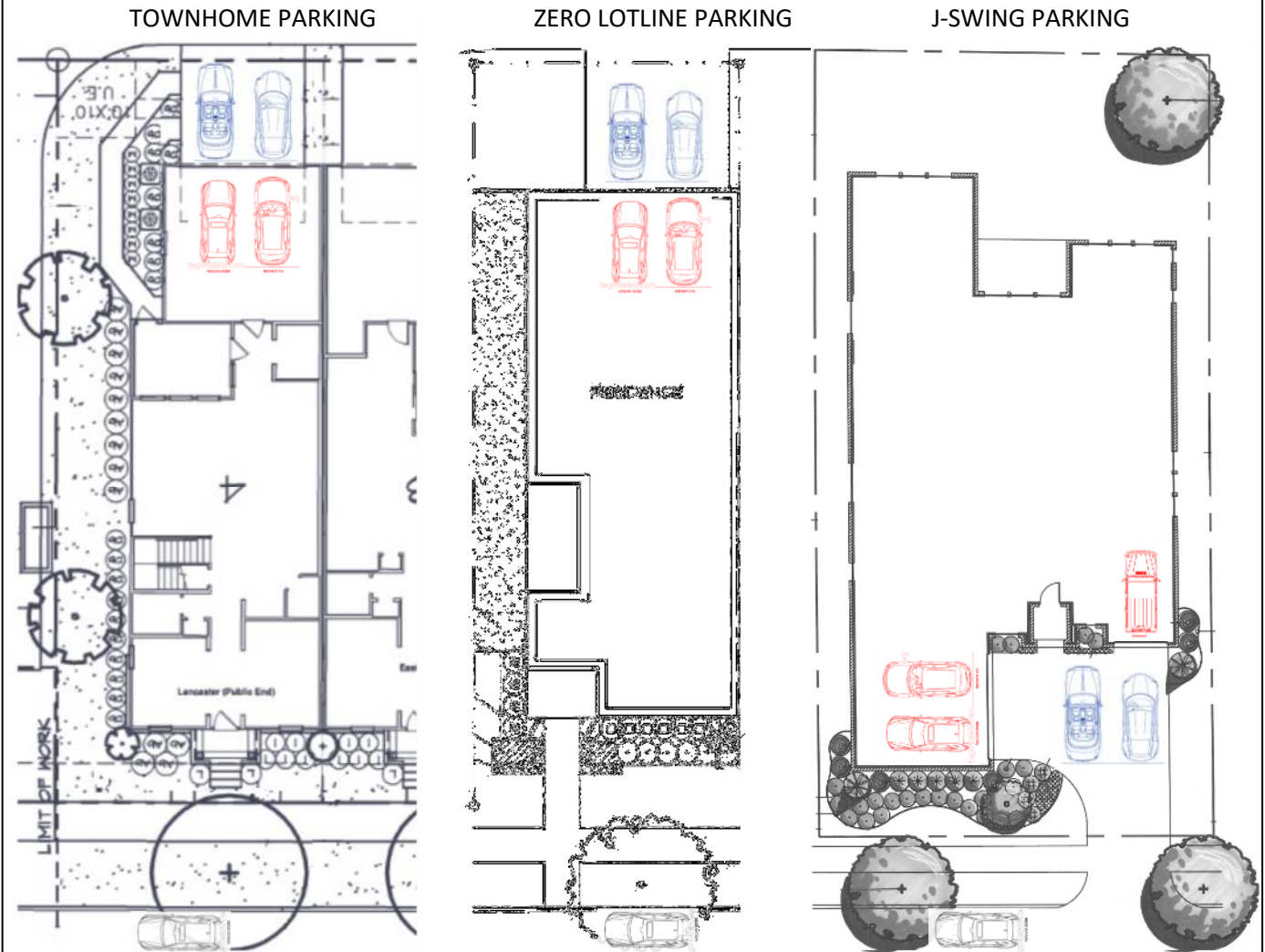


FIGURE 3.7.1 Permitted & Prohibited Lot Configurations




FIGURE 3.7.1 Actual use of on-street parking

FIGURE 3.7.3 Single Family Parking Configurations



SINGLE FAMILY PARKING MINIMUM

 1 SPACE OF ON-STREET PARKING

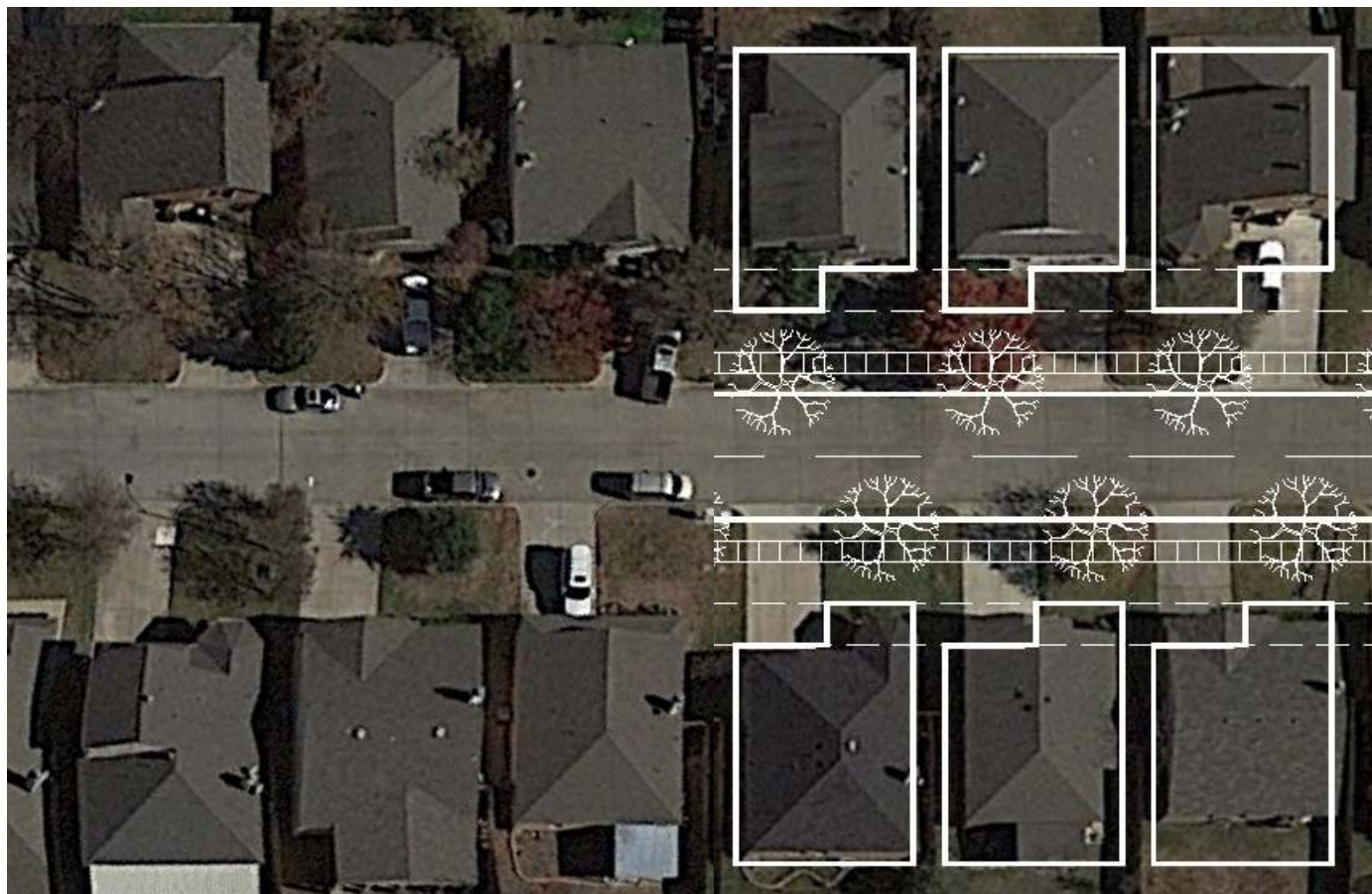
 2 SPACES OF GARAGE PARKING

 2 SPACES OF DRIVEWAY PARKING

TOTAL: 5 SPACES PER LOT







*FIGURE 3.7.4: Hollyberry Drive, Mansfield, TX.  
No sidewalks, 1 tree per front yard.*

*FIGURE 3.7.5: Proposed Watson Branch Streetscape  
5' sidewalks, 1 tree per lot.*

**THE STREET AND THOROUGHFARE STANDARDS**

#### 4.1: General Thoroughfare Standards

- A. General: The following tables and illustrations identify standards for streets, parkways, sidewalks, and street trees.
- B. Illustrative Concept (See Figure 4.1): The illustrative concept of the proposed street network is an example of the possible build-out of the subject property under the proposed zoning. The illustrative concept is not regulatory, and the final build-out may differ from the illustration.
- C. Access to FM 157: A minimum of one, and a maximum of 3 access drives shall be permitted to access FM 157.
- D. Access to Mouser: A minimum of one, and a maximum of 3 access drives shall be permitted to access Mouser Way.
- E. Spine Road: the Spine Road must connect the primary ingress from FM 157 to one of the ingress/egress drives on Mouser.
- F. House Road: The development shall be permitted to access House Road.
- G. Lane Widths: Minimum fire access identified in the following street types must be increased to 26' where fire access to 4 story buildings is required.
- H. Fire Lane Plan: The Fire Lane Plan and building location and distance from fire lane is subject to the Site Plan submittal and review procedure prior to approval.
- I. Fire Apparatus Access: The minimum and maximum building setbacks as established in all zones within this section and as measured from existing utility easements can be altered to allow for aerial apparatus access to comply with Building and Fire Codes.

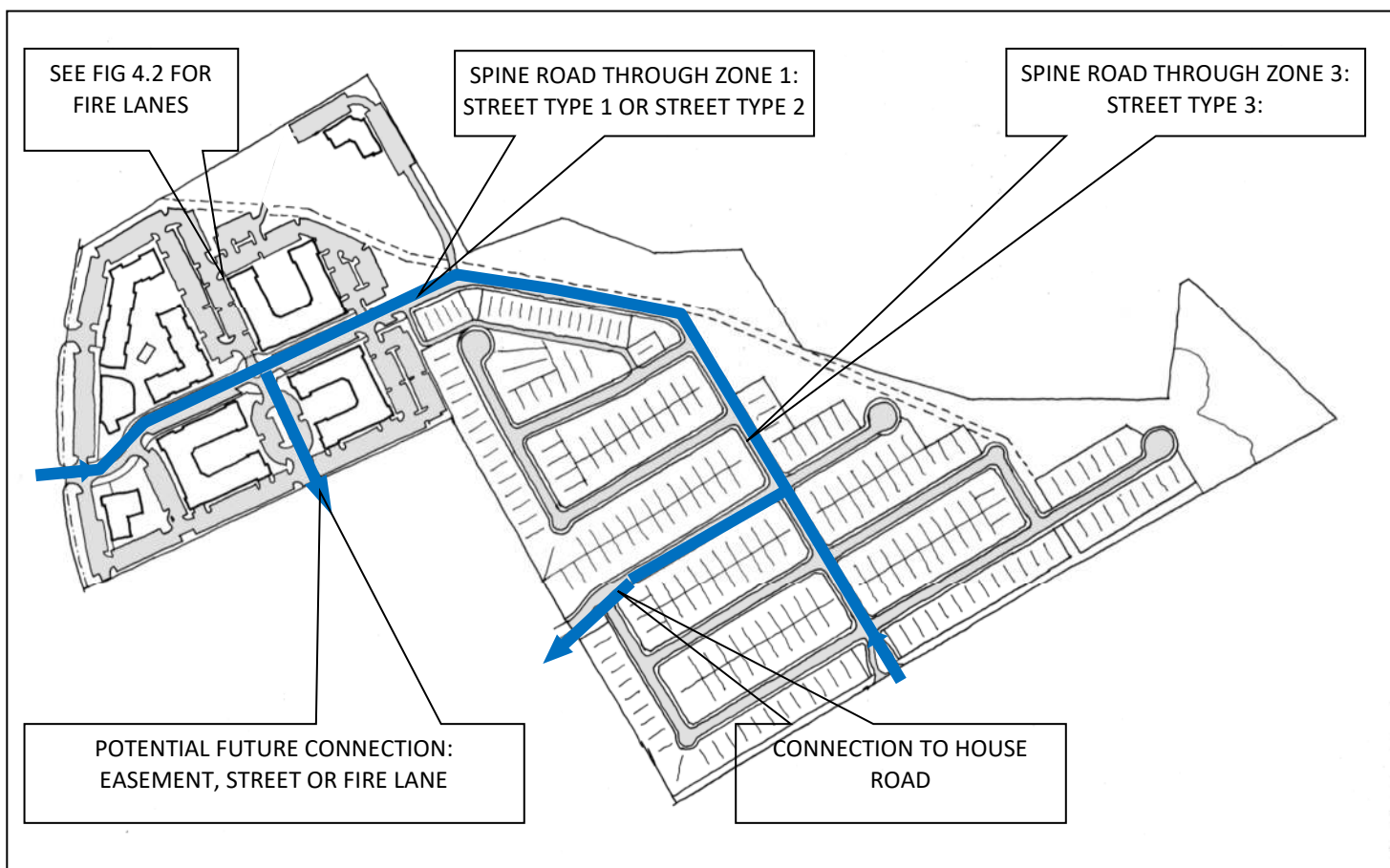


FIGURE 4.1 Illustrative Concept of Proposed Street Network

FIGURE 4.2 Conceptual Fire Lane Plan

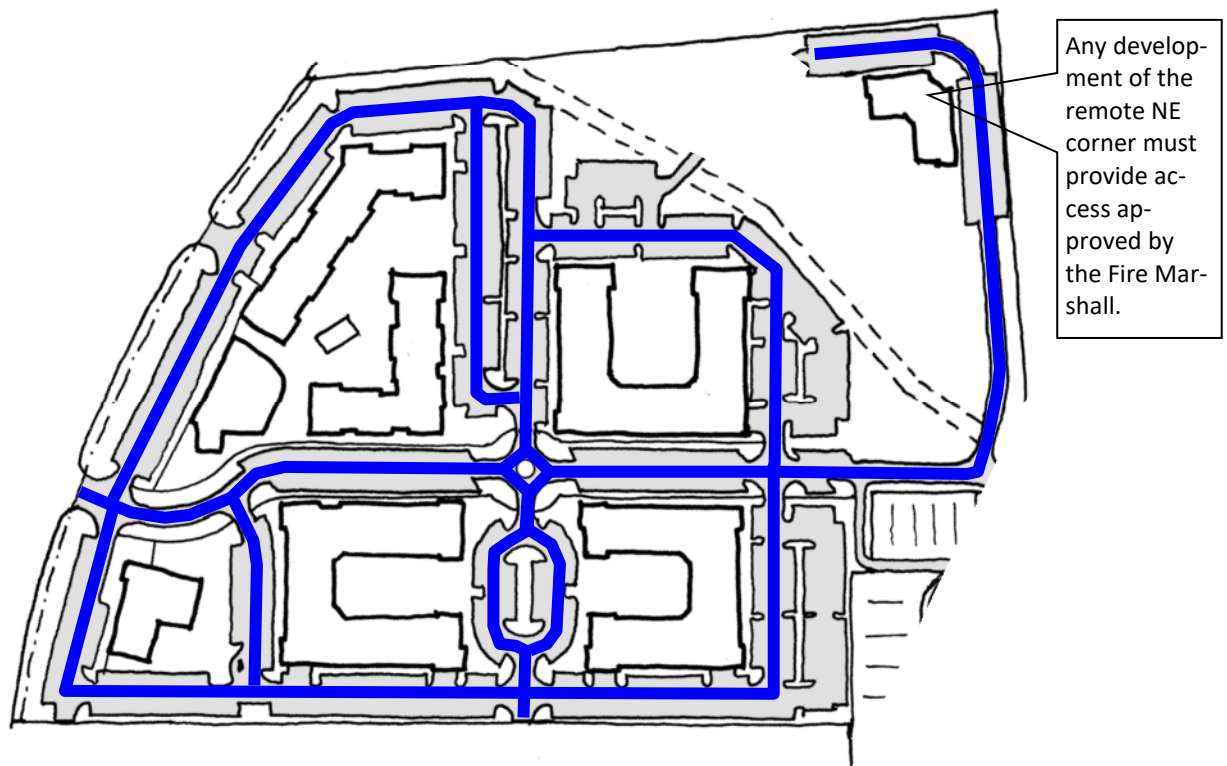


TABLE 4.1 PERMITTED STREET SECTIONS

STREET TYPE	CURB B-B	PARKING	TREES	PARKWAY	SIDEWALK	ROW
STREET TYPE 1	60'	60° OR 90°	35' O.C.	5' MIN	5' MIN	80'
STREET TYPE 2	40'	PARALLEL	35' O.C.	5' MIN	5' MIN	60'
STREET TYPE 3	30'	INTERMITTENT	1/LOT	5' MIN	5' MIN	50'
STREET TYPE 4	NOTE 1	INTERMITTENT	1/LOT	5' MIN	5' MIN	47'
FIRE LANE	24' / 26'	NONE	NONE	NONE	NONE	24' / 26'
RESIDENTIAL ALLEY	NOTE 1	NONE	NONE	NONE	NONE	15'

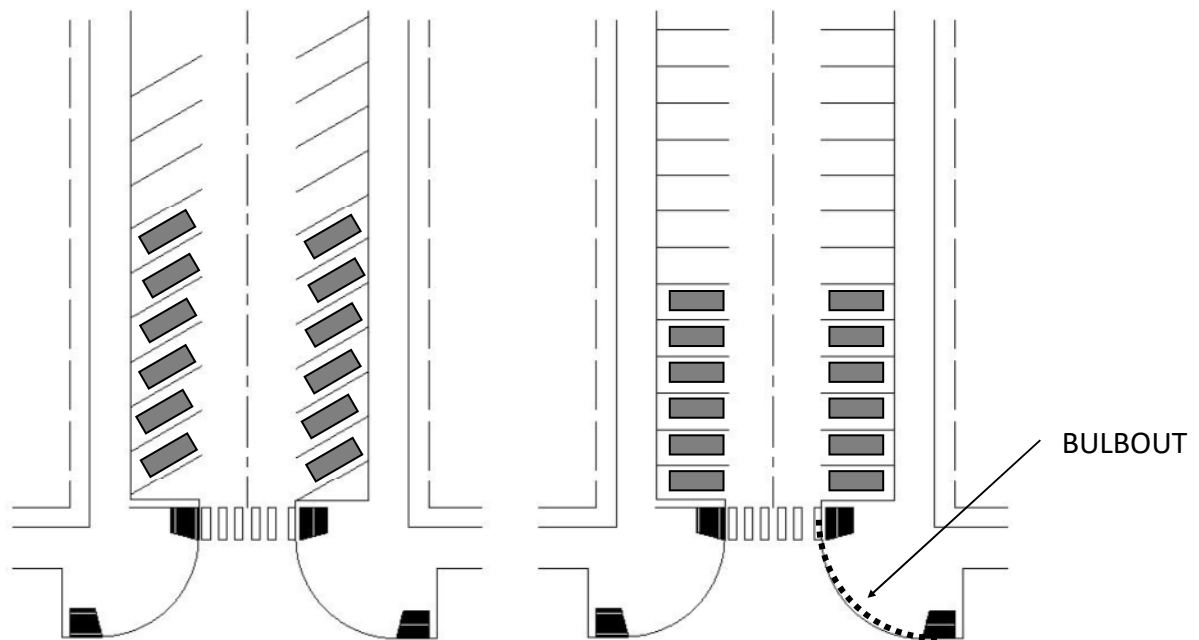
STREET DESCRIPTIONS

STREET TYPE 1	COMMERCIAL OR MULTIFAMILY PUBLIC STREET WITH ANGLED OR HEAD-IN PARKING
STREET TYPE 2	COMMERCIAL OR MULTIFAMILY PUBLIC STREET WITH PARALLEL PARKING
STREET TYPE 3	SINGLE FAMILY RESIDENTIAL SPINE ROAD
STREET TYPE 4	SINGLE FAMILY LOCAL ROAD

NOTE 1: SUBJECT TO STAFF REVIEW AND APPROVAL.



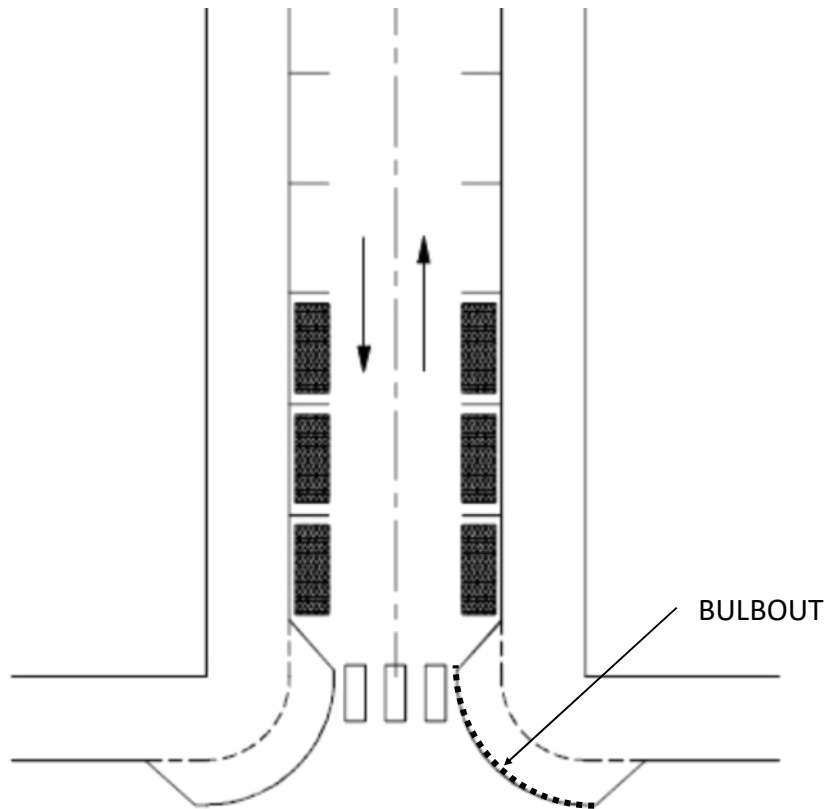
## THOROUGHFARE DESIGN



NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

STREET 1	
DESCRIPTION	COMMERCIAL / MULTIFAMILY STREET
MEDIAN	PERMITTED
MINIMUM CURB TO CURB (B-B)	60' TO 62'
MINIMUM TRAVEL LANE WIDTH	12' (13' IF REQ'D BY FIRE DEPT)
PARKING LANE WIDTH	18'
PARKING ANGLE	60° / 90°
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	YES
CROSSWALK WIDTH	5' Min
PARKWAY/ TREEWELL	Parkway or Tree well

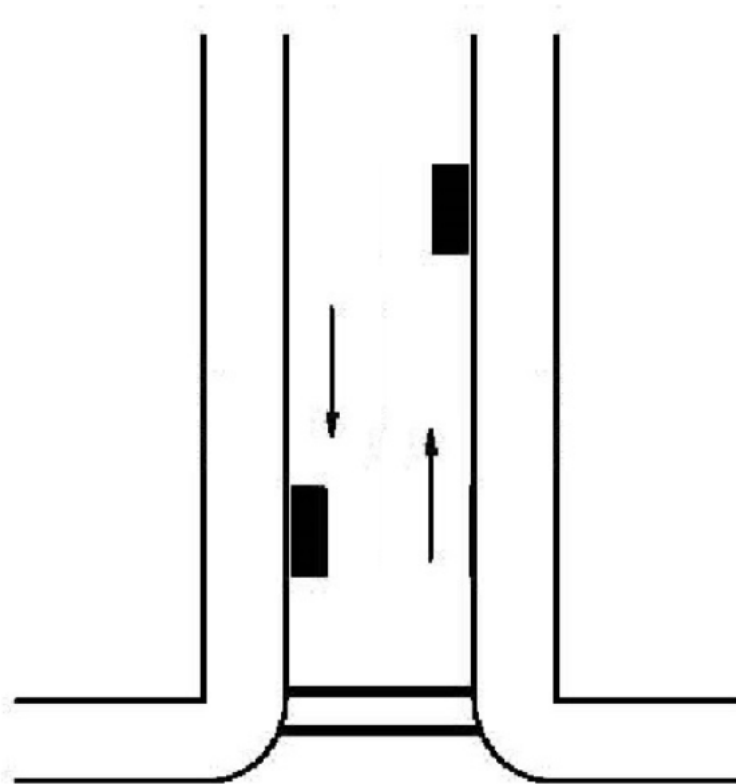
## THOROUGHFARE DESIGN



NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

STREET 2	
DESCRIPTION	MULTIFAMILY STREET
MEDIAN	PERMITTED
MINIMUM CURB TO CURB (B-B)	40'
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	8'
PARKING ANGLE	parallel
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	Optional
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway or Tree well

# THOROUGHFARE DESIGN

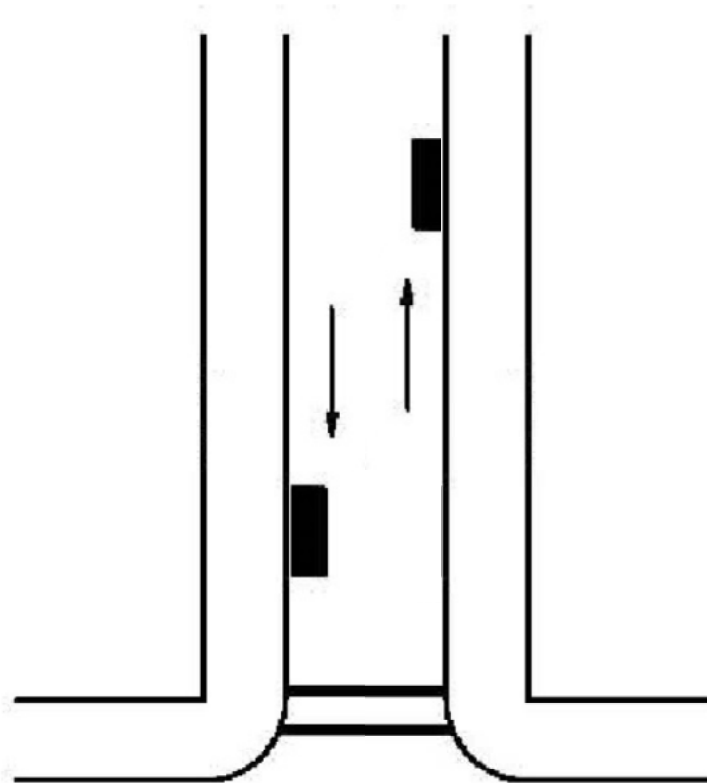


NOTE: Subject to final curb-to-curb dimensions and staff review and approval, a smaller minimum radius may be used at corners and bulbouts.

## STREET 3

DESCRIPTION	RESIDENTIAL SPINE ROAD
MEDIAN	No
MINIMUM CURB TO CURB (B-B)	30'
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	NA
PARKING ANGLE	NA
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	NO
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway

# THOROUGHFARE DESIGN

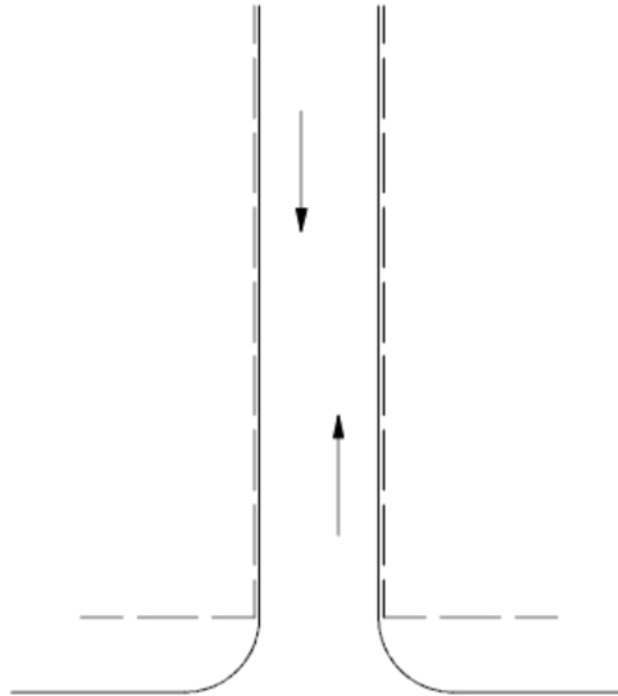


NOTE: The Development may include Residential Streets narrower than the City standard local street width. Narrower residential Street sections are subject to the review of the specific residential product type and layout being proposed and would be subject to Staff review and approval.

## STREET 4

DESCRIPTION	RESIDENTIAL LOCAL ROAD
MEDIAN	No
MINIMUM CURB TO CURB (B-B)	TBD, subject to Staff review
MINIMUM TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	NA
PARKING ANGLE	NA
MINIMUM INTERSECTION RADIUS	28'
BULBOUT REQUIRED	NO
CROSSWALK WIDTH	5'
PARKWAY/ TREEWELL	Parkway

## THOROUGHFARE DESIGN



NOTE 1: The minimum Fire Lane width may be reduced if approved by the Development Review Committee and the Fire Marshall.

NOTE 2: The Fire Lane Plan shall be submitted with the Site Plan submittal.

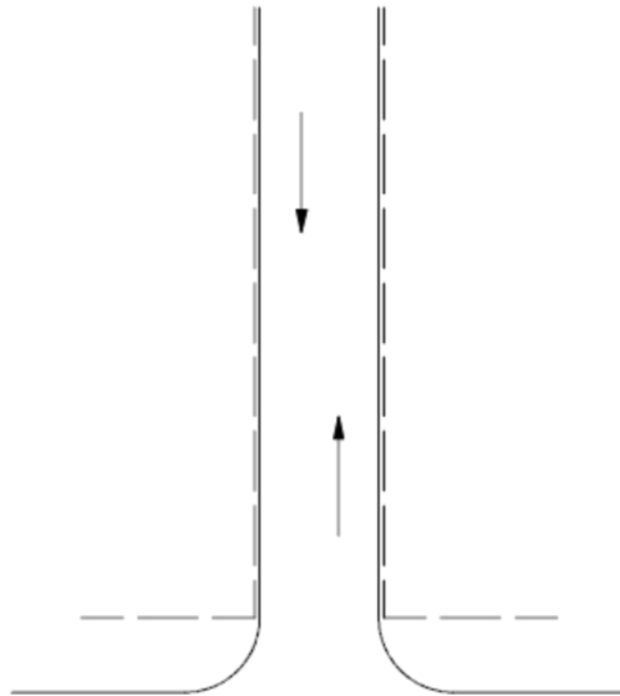
NOTE 3: Carports and canopies shall not be located within 3' of the fire lane.

NOTE 4: Where the fire lane serves buildings 4 stories or higher, the fire lane shall be a minimum of 26' in width.

### FIRE LANE

DESCRIPTION	FIRE LANE
MEDIAN	No
CURB TO CURB	24' minimum paved width
TRAVEL LANE WIDTH	12'
PARKING LANE WIDTH	No parking
PARKING ANGLE	No parking
INTERSECTION RADIUS	28' inside radius
BULBOUT REQUIRED	No
CROSSWALK WIDTH	Not Applicable
PARKWAY/ TREETWELL	Not Applicable

## THOROUGHFARE DESIGN



NOTE: The Development may include Residential Alleys. Alley Standards are subject to the review of the specific residential product type and layout being proposed and would be subject to Staff review and approval. If Residential Alleys are used, they shall be owned and maintained by the HOA.

### RESIDENTIAL ALLEY

DESCRIPTION	RESIDENTIAL ALLEY
MEDIAN	No
CURB TO CURB	15' minimum paved width
TRAVEL LANE WIDTH	15'
PARKING LANE WIDTH	No parking
PARKING ANGLE	No parking
INTERSECTION RADIUS	28' inside radius
BULBOUT REQUIRED	No
CROSSWALK WIDTH	Not Applicable
PARKWAY/ TREETWELL	Not Applicable

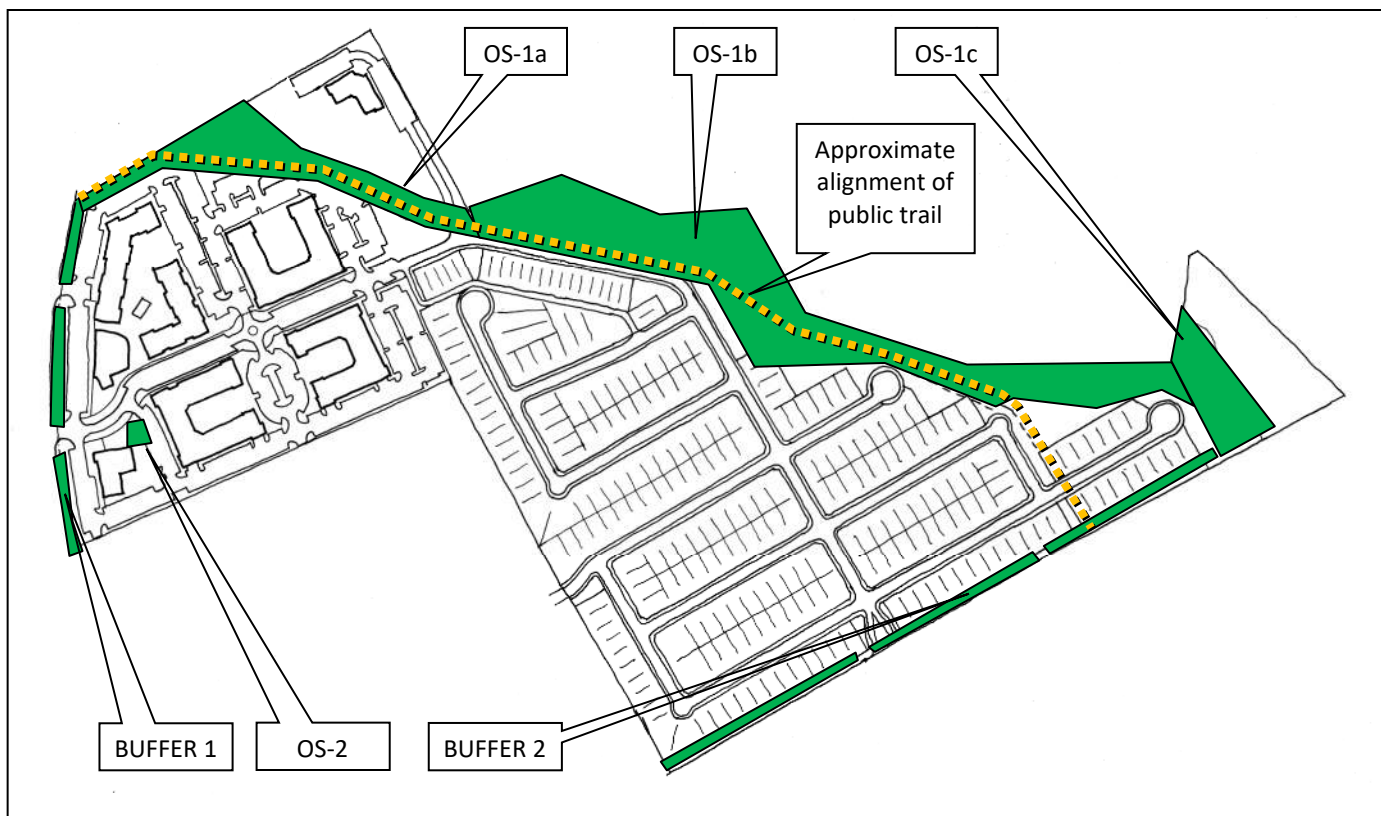
**PARK & OPEN SPACE STANDARDS**

### 5.1: PARK & OPEN SPACE ADMINISTRATION

- A. This Section defines the park and open space requirements. Each zone has requirements for minimum parks and open space and must comply with the following standards.
- B. The parks and open spaces require turf or mulch as the ground cover. Plazas may be paved. Seasonal color and shrubbery are permitted.
- C. Surplus open space in one zone may be applied to deficiencies in other zones.
- D. Due to the nature of the site and the tree preservation, no Tree Survey or Tree Mitigation shall be required in any zone.
- E. OS-2 may be placed in any location within Zone 1 or 2 with access to a public street.
- F. Total open space for all zones shall not be less than 6% of the gross land area.
- G. Buffers 1 & 2 shall require trees to be planted at the rate of 1 tree for each 35' of frontage.
- H. Buffer 2 shall require a privacy wall, not to exceed 8' in height above finished grade, and shall be constructed of brick or stone masonry.
- I. Detention shall not be required on the site. However, water quality measures shall be required. The ponds or swales may be located within the floodplain.

**TABLE 5.1 PARK AND OPEN SPACE REQUIREMENTS**

	OS-1a	OS-1b	OS-1c	OS-2	BUFFER 1	BUFFER 2
MINIMUM AREA	1.0 AC	4.0 AC	1.0 AC	1500 SF	0.3 AC	0.7 AC
MINIMUM WIDTH	25'	25'	25'	35'	20'	20'
TRAIL CONNECTION	R	R	R	P	NA	NA



**FIGURE 5.1 OPEN SPACE PLAN**



## SUBSECTION 5.2: Street Trees

- A. This Section defines requirements for new trees to be planted within the development.
- B. Species: Acceptable trees species shall include the species indicated in Section 7300, Paragraph EE of the Mansfield Zoning Ordinance, and included herein as Appendix A.
- C. Minimum Size: The minimum size trunk diameter of a newly planted required street tree shall be 3.5" (three and one half inches).
- D. Minimum Tree Well Size: The minimum tree well size shall be 5' by 6' without using an approved root protection and barrier system. A smaller tree well or a tree well of different dimensions, may be used upon review and approval of plans, details, and specifications.
- E. Planting Specification: Trees shall be planted in pits 3' to 3'-6" deep, and the root ball shall be located on a pedestal of compacted subgrade so that root ball is 2" above finished grade. Backfill around the root ball with native topsoil, which may be amended as needed. Cover tree pit with 3" of specified mulch and irrigate with bubblers.
- F. Minimum Parkway Width: The minimum width of a continuous parkway shall be 5' without using an approved root protection and barrier system.
- G. Single family lots: No trees are required on the lot.

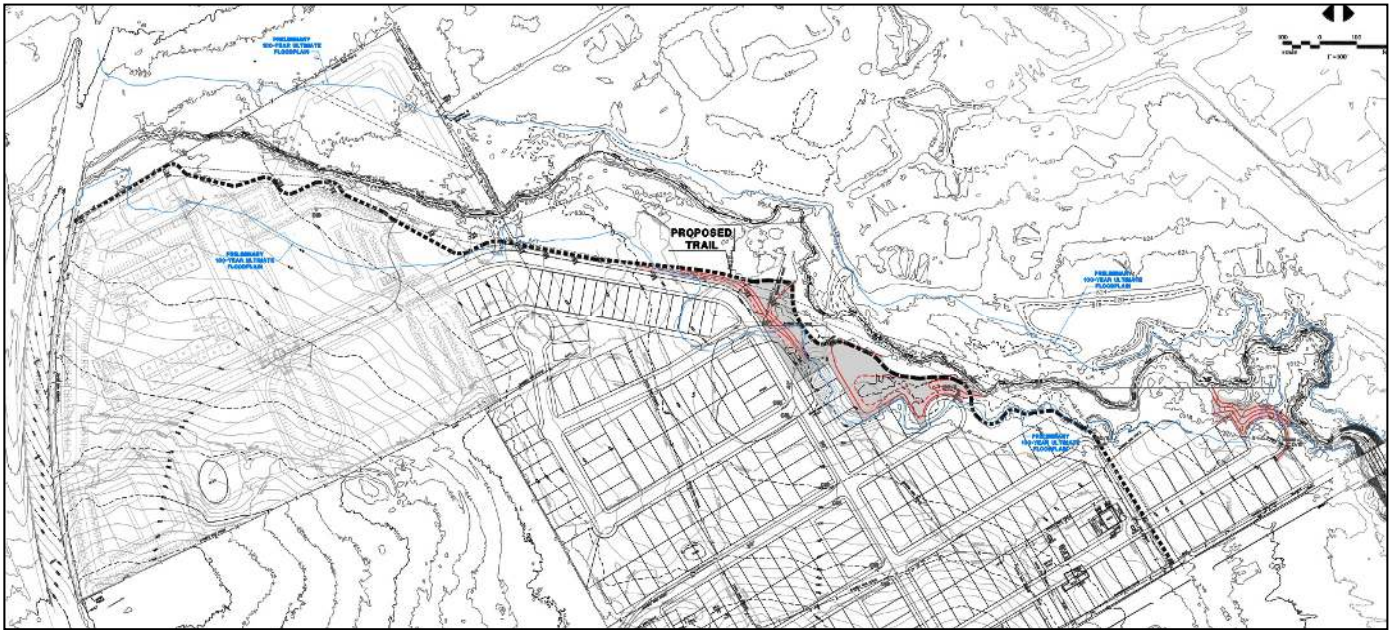
**TABLE 5.2 TREE PLANTING REQUIREMENTS**

ZONE	SPACING / PATTERN	COMMENTS
1, 2, 3, 4	CLUSTERED OR EQUALLY SPACED	Required trees located within the Open Spaces may be located anywhere within the designated open space and are not required to be placed adjacent to the curb. Tree locations shall be subject to compliance with the Visibility Zone requirements.
1	35' O.C.	Tree planting along street frontage shall be 2.5' to 3/0' behind the curb.
3	1 TREE/LOT	Tree planting along street frontage shall be 2.5' to 3/0' behind the curb.
1, 2		See Section 6 for parking lot landscape requirements.

*Figure 5.2 Street Trees in 4'-6" wide continuous parkway*

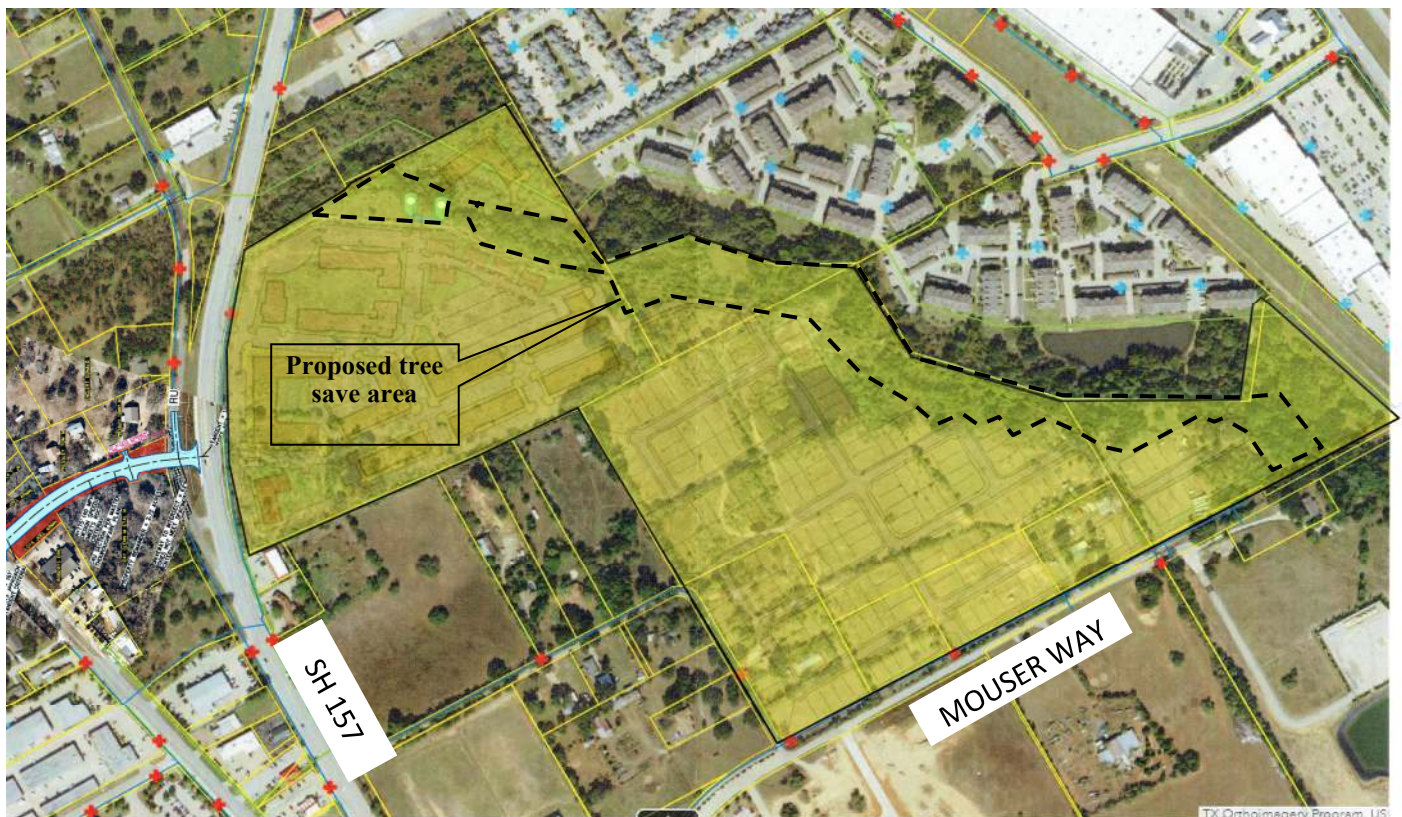






**Figure 5.3 Proposed Trail Alignment**

*Trail shall comply with City of Mansfield trail standards. Amenities within the open space along the proposed trail shall be developed in concert with the recommendations of the Parks Department.*



**Figure 5.4 Tree Save Area**

**PARKING STANDARDS**

#### 6.1: REQUIRED PARKING STANDARDS

The number of required parking spaces shall be determined as follows:

- A. Parking spaces for persons with disabilities will be provided in the number and with such dimensions as are required by the Texas Accessibility Standards.
- B. The parking requirement may be reduced upon a submittal of the parking calculation by the applicant and approval by the City.
- C. Dimensions. The minimum required dimensions of parking spaces and aisles, if any, shall be as indicated in this Section 6.
- D. On-Street Parking: On-street parking may be counted toward required parking. No on-street parking space may be counted toward more than one platted lot.
- E. Covered Parking: Structure is to be masonry or metal and must comply with the regulations governing building materials. Carports of metal construction are permitted. Provide a minimum 3' clearance to fire lanes.
- F. Trees: Trees shall be planted in parking lots such that all parking spaces within a surface parking lot shall be located within 60' of a tree.

TABLE 6.1 MINIMUM REQUIRED PARKING	
OCCUPANCY / USE	MINIMUM REQUIRED PARKING
General Office and Retail "Blended Rate"	1 space per 250 sq ft (4/1000 SF)
General Office only	1 space per 333 sq ft (3/1000 SF)
Eating Place	1 space per 100 sq ft (10/1000 SF)
Multifamily	1.5 spaces per unit
Age-Restricted Housing	1.2 spaces per unit
Single Family	2 spaces off-street

TABLE 6.2 PARKING STANDARDS		
PARKING TYPE	PARKING STANDARD	COMMENT
ON-STREET PARKING:		
Parallel Parking:	8' x 20' min	From Back of Curb
Angled-in Parking	See Figure 6.1	Angle = 60° from Curb
Head-in Parking	9' x 18'	Angle = 90° from Curb
PARKING LOTS		
Parking Space, Typical	9' x 18'	Accessible spaces comply w ADA
Aisle Width	24' min	
Landscape Requirements		1 tree per 12 spaces average
Tandem Spaces	9' x 18'	Only behind associated garage space for same tenant
GARAGES		
"Tuck-under" Garage Spaces	9' x 20' Min	Permitted in Zones 1 and 2
Tuck-under" Garage Doors		Garage Doors Required
Carport Spaces	9' x 18'	Not readily visible from public street



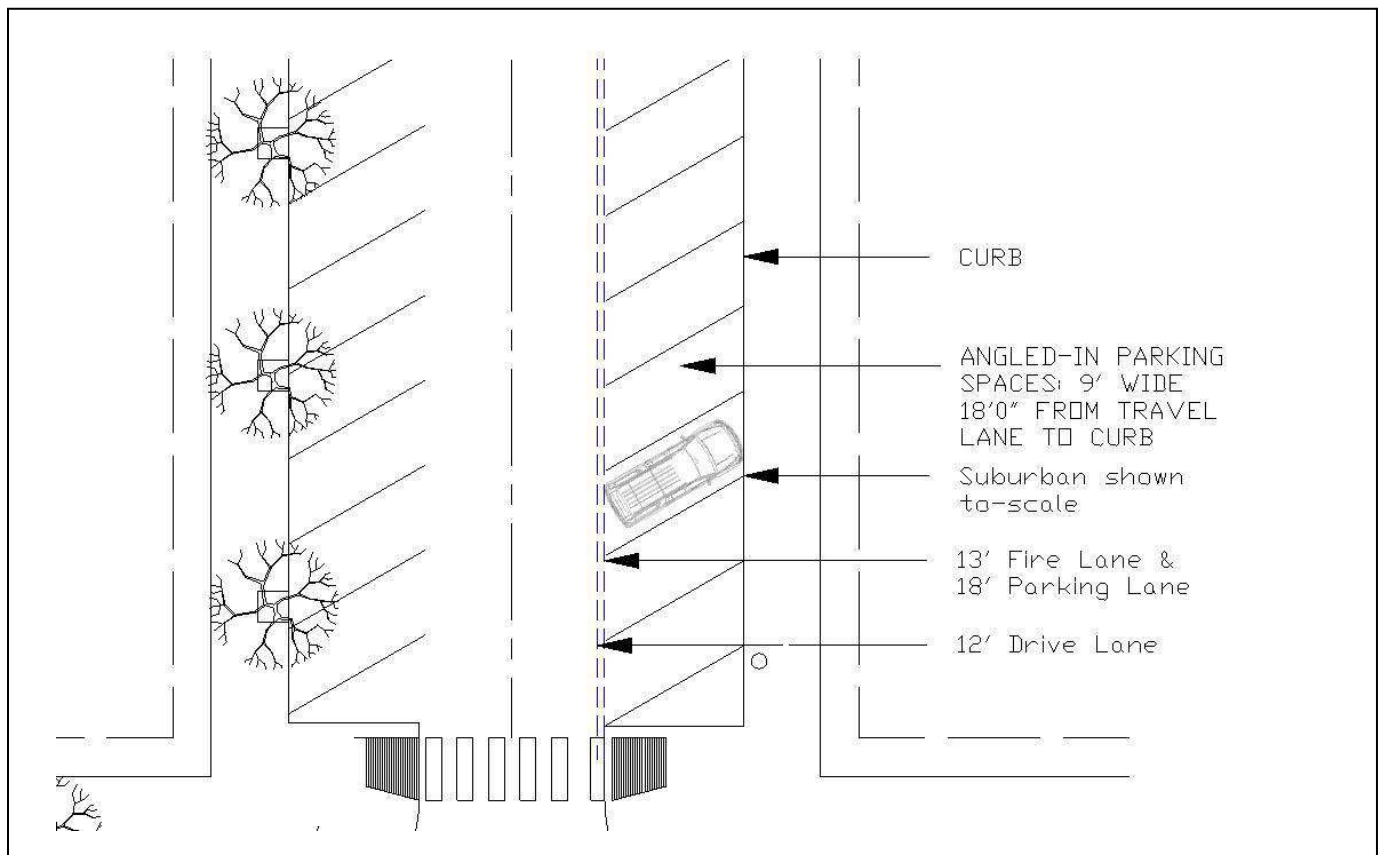


Figure 6.1: Angled-in Parking Dimensions

**ARCHITECTURE STANDARDS**

## SECTION 7: ARCHITECTURAL STANDARDS

### General Standards Applicable to All Zones

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development.
- B. The purpose of the architectural and building regulations is to establish specific development standards along the public Rights-of-way that are appropriate to the surrounding neighborhoods, and to allow greater flexibility where the buildings are not visible from the public ROW's.
- C. Since the Planned Development does not include detailed engineering plans, any architectural elements that are required by engineering due to grading, such as retaining walls or stem walls, shall be permitted.
- D. Where the tables require a specific quantity of a wall material, that area is measured excluding windows, doors and other appurtenances.
- E. If a material is not addressed in the table, or if a new material falls into a prohibited category but should be permitted, the material may be submitted to DRC for an evaluation. If it is deemed appropriate, it may be approved administratively.
- F. Though wood siding is not permitted, wood may be used decoratively, for eave brackets, rafter tails, porch column wraps, and other elements subject to building and fire codes.

### G. Overlay Area

1. The Overlay Area includes the area between the FM 157 ROW and the buildings requiring commercial storefront facades and includes the commercial storefront facades. The frontage along the FM 157 ROW shall not be less than 50% of the FM 157 frontage.
2. No vehicular gates or perimeter fences are permitted within the Overlay area.
3. Leasing offices shall comply with commercial storefront requirements.
4. No carports shall be permitted within the Overlay area.

### H. Zone 1 and Zone 2

1. AC equipment and other mechanical equipment shall not be located between the front building facade and any public street.
2. Leasing offices shall comply with commercial storefront requirements, except that ceiling height may be 9' minimum height.
3. No carports shall be permitted between buildings and public rights-of-way.
4. All multifamily residential units, except ground floor units, shall be served by interior corridors that are finished with carpet, wood, tile or decorative stained concrete.

TABLE 7.1 GROUND FLOOR BUILDING STANDARDS		P= PERMITTED R= REQUIRED
ITEM	OVERLAY AREA	ZONES 1 AND 2
<b>PRIMARY UNIT ENTRANCE</b>		
ACCESS FROM SIDEWALK	R	P
ACCESS FROM INTERIOR CORRIDOR	P	P
MINIMUM GLASS AREA (FIG 7.1)	60%	25%
WINDOW AWNINGS/CANOPIES—MINIMUM	60% MIN OF OPENINGS	20% OF OPENINGS ON SPINE ROAD
<b>MINIMUM CEILING HEIGHT</b>	10'	8'

**OVERLAY AREA: GROUND FLOOR COMMERCIAL STOREFRONT STANDARDS**  
'Commercial Standards' applies only to the appearance, not building code requirements.



SIGN BAND

GLASS AREA MINIMUM:

Height = Window Sill to Ceiling at the store front.

Length = frontage of tenant space

Wall Area = Height x Length

Glass Area = 60% of wall area minimum

Required panels under windows: 6" min / 36" max.

Figure 7.1: OVERLAY AREA: Ground floor commercial storefront standards fronting SH 157

**TABLE 7.2 MATERIAL BUILDING STANDARDS**

P= PERMITTED R= REQUIRED N=NOT PERMITTED NA= NOT APPLICABLE

ITEM	OVERLAY AREA	ZONE 1	ZONE 2	ZONE 3	ZONE 4
<b>FRONT FAÇADE MATERIALS</b>					
MASONRY, minimum	R - 90%	R - 80%	R - 80%	R - 80%	R - 80%
STUCCO, maximum	P - 10%	P - 20%	P - 20%	P - 20%	P - 20%
HARDI-BOARD, maximum (EXCLUDING RECESSED BALCONIES, SEE <b>NOTE 3</b> )	P - 10%	P - 20%	P - 20%	P - 20%	P - 20%
WOOD	N	N	N	N	N
METAL, maximum	P - 10%	P - 10%	P - 10%	P - 10%	P - 10%
EXPOSED CMU	N	N	N	N	N
EXPOSED AGGREGATE	N	N	N	N	N
<b>REAR FAÇADE MATERIALS</b>					
MASONRY, minimum	NA	R-25%	R-25%	<b>NOTE 1, 2, 4</b>	<b>NOTE 1, 2, 4</b>
STUCCO, maximum	NA	P - 75%	P - 75%	<b>NOTE 1, 4</b>	<b>NOTE 1, 4</b>
HARDI-BOARD, maximum	NA	P - 50%	P - 50%	<b>NOTE 1,4</b>	<b>NOTE 1,4</b>
WOOD	NA	N	N	N	N
METAL, maximum	NA	P - 10%	P - 10%	P - 10%	P - 10%
EXPOSED CMU	NA	N	N	N	N
EXPOSED AGGREGATE	NA	N	N	N	N

NOTE 1: Exterior materials shall meet the minimum 80% masonry standard as calculated for all façades in the aggregate.

NOTE 2: Homes adjacent to Mouser Way shall have a minimum of 90% masonry on the façade facing Mouser Way.

NOTE 3: Hardiboard in the recessed balconies shall be a compatible color to the adjacent siding material.

NOTE:4: Staff may approve up to 20% of the homes to exceed the stucco and Hardi-board limits based on architectural style and quality of the design.

\* FAÇADE MATERIAL SHALL TRANSITION A MINIMUM OF 20' AROUND BUILDING CORNER TO INTERNAL AREA OF A BLOCK

\* MASONRY MATERIALS INCLUDE BRICK, STONE, CULTURED STONE, AND CAST STONE, BUT EXCLUDE CMU AND EXPOSED CONCRETE.

*Figure 7.2 Recessed Balconies*

The finish material on the recessed balconies are much less visible since the balconies are shaded. Using brick or stone masonry within recessed alcoves also presents building construction issues for the building envelope.





I. ZONE 1 MINIMUM AMENITIES

1. Dog Park
2. Elevator Access
3. Indoor Trash Chutes
4. Saltwater Pool with Sundeck & Cabanas
5. Two Story Fitness Center
6. Cinema Theater
7. Drive Thru Mail Location
8. Yoga Room
9. Conference Room
10. Social Lounge with Gaming & TV
11. Cyber Lounge
12. Gourmet Coffee and Hot Tea Bar
13. Outdoor Grilling with Lounging Areas

J. ZONE 2 MINIMUM AMENITIES

1. Dog Park
2. Elevators
3. Pool & Pavilion
4. Fitness Center
5. Conditioned Corridors
6. Clubhouse
7. Concierge
8. Lounge / Dining / Kitchen / Catering Kitchen / Private Dining
9. Media Room
10. Game Room
11. Mailroom / Package Lockers
12. Community Garden(s)

K. ZONE 3 SINGLE FAMILY BUILDING STANDARDS

1. Zones Permitted: Zones 2, 3, 4
2. Architecture: Development of new homes should address the following:
  - a. Use single-story roofs and/or porches on front elevations where feasible.
  - b. Use architectural elements, such as simple roof forms, facade articulation, roof breaks, walls with texture materials and ornamental details, and incorporation of landscaping, where possible.
  - c. Facade treatment, relevant to the home's style should be carried throughout the entire house with each facade and any accessory structure.
  - d. Use architectural features such as decora-

tive moldings, windows, dormers, chimneys, balconies and railings, and landscaping elements such as lattices consistent with the architectural style.

- e. Large areas of flat, blank wall and lack of treatment, greater than 9' in height and greater than 30' in length, are prohibited.
- f. Two story entry features are prohibited.
3. Materials—Permitted and Prohibited: Materials for structures shall be in compliance with Table 7.2.
4. Building and accessory structures location on lot:
  - a. Garage doors accessible from the street shall be constructed of decorative wood cladding ("Carriage Door" Style) or stained simulated wood cladding (See Section 3.7.C. page 19.)
  - b. Alley garages may use painted aluminum garage doors.
5. Required Features:
  - a. Minimum predominant Roof Pitch: 8:12, except porches.
  - b. Architectural grade asphalt shingles, or better.
  - c. Wood or stained fiberglass simulated wood grain front door.
  - d. No facade may be repeated within any 5 adjacent lots or across the street from those lots.
  - e. Concealed or screened HVAC units, trash storage, and utility meters.
  - f. If brick is used, brick shall be coursed exactly to the top and bottom of wall openings.
  - g. If brick is used, a soldier course or other masonry header is required above windows & doors on the facade(s) facing the street.
  - h. If shutters are used, shutters shall be one-half the width of, and the same height of the associated opening. All shutters shall be louvered, paneled, or constructed of boards as appropriate to the style of the building. Shutters do not need to be operable.
  - i. Gutters shall be copper, galvanized steel, aluminum or painted if exposed.
  - j. Downspouts shall be located at building cor-

- ners and columns wherever possible.
- k. If chimneys are visible, they shall be sheathed in brick, stone, stucco or cementitious siding.
  - l. If chimneys are located on a street-facing wall, they shall extend to the ground.
  - m. Columns visible from the street shall be not less than 6" x 6" in cross section.
  - n. Front steps of 3 or more risers shall have treads not greater than 12 inches.
  - o. Direct Vent Fireplaces are permitted
  - p. Wood Fences, not to exceed 6' in height, along alleys must be constructed with the support structure on the yard side of the fence. Fences located closer to the alley than the rear wall of the home are prohibited.
6. **Optional Features**—each home must use at least 4 of the following features:
- a. Stoop and portico at front door
  - b. Front porch or front stoop steps and railing
  - c. Front Porch roof
  - d. Decorative or architectural porch railing
  - e. Second story porch
  - f. If brick or stucco is used, a stone base below first floor windows shall be installed.
  - g. Facades using stone to cover 70% or more of the exterior.
  - h. Tile, slate, or simulated tile or simulated slate roof material.
  - i. Decorative eave and soffit.
  - j. Trim at gable rake.
  - k. Decorative roof finials or ornamentation.
  - l. Decorative attic or gable feature greater than 3 square feet in size
  - m. Trim 2 inches or wider at windows and doors of the street facade.
  - n. Arched window head or heads (depending on architectural style) on street facade.
  - o. Dormer with window.
  - p. Window shutters on street facade(s).
  - q. Divided light windows.
  - r. Decorative concrete driveway
  - s. Garage Doors of "Carriage Style" wood cladding (See Section 3.7.C. Page 19)
  - t. Incorporate at least two of the following:
    - i. Two single garage doors
    - ii. Decorative windows
    - iii. Decorative hardware



**SIGNAGE**

SECTION 8: SIGNAGE STANDARDS

General Standards Applicable Zones 1 and 2

- A. General: The following tables and illustrations identify general regulations for all zones within the Watson Branch Planned Development.
- B. The Watson Branch Planned Development shall comply with the Mansfield Sign Regulations as established in Section 7100 of the Mansfield Zoning Ordinance, except as described below.
- C. For the purpose of enforcement of signage regulations, the Watson Branch Planned Development fronting SH 157 may consist of multiple businesses, and may include the following signage types.
- D. Wall Signs: Businesses with SH 157 frontage shall be permitted one Wall Sign not to exceed 30 feet in length or 4 feet in height.
- E. Monument Signs: A Monument Sign not to exceed 50 square feet per side, shall be permitted at each entry from SH 157. A Monument Sign or a sign affixed to an entry wall, shall be permitted at each entry from Mouser Road, and shall not exceed 50 SF per side.
- F. Projection Signs: A projection sign, not to exceed 50 SF per side, shall be permitted on each building fronting SH 157.
- G. Blade Signs: A projection sign, not to exceed 20 SF per side, shall be permitted for each business tenant.

WALL SIGN, PLUS:

PROJECTION SIGN OR

MONUMENT SIGN



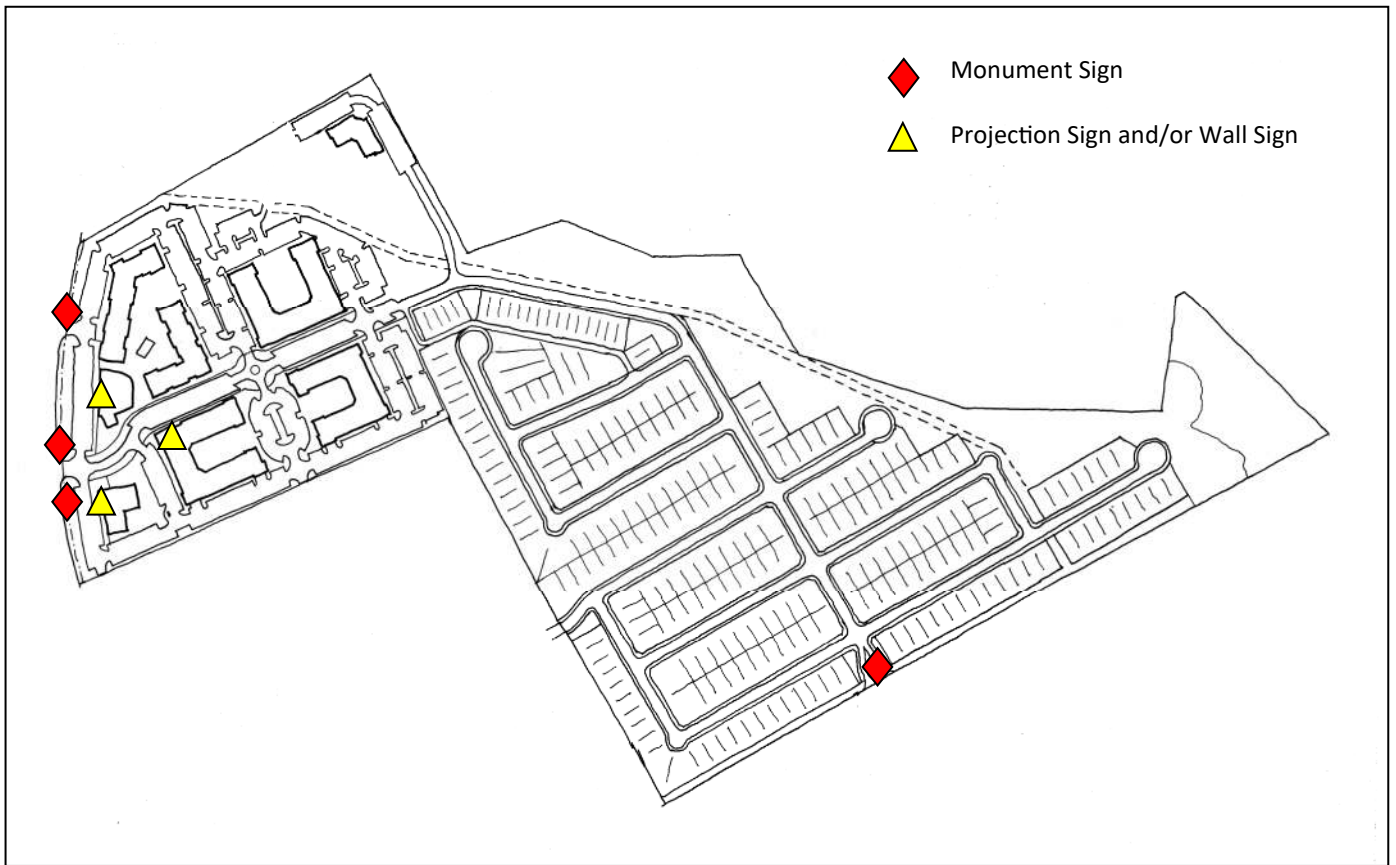
WALL SIGN, PLUS:

PROJECTION SIGN OR

MONUMENT SIGN



FIGURE 8.1 MONUMENT SIGN PLAN



**DEFINITIONS**

**Administrative**

**Regulating plan.** A plan for adoption of zoning that establishes the location of component zones, establishing land uses and development standards.

**Zone.** An area within the Regulating Plan that specifies a specific set of development rules and standards.

**Buildings**

**Building Height** The vertical distance measured from the lowest finished floor to the bottom of the roof eave on sloped roofs or to the roof surface on a flat roof.

**Building Area** The total square feet of floor space within the outside dimensions of a building, including each floor level, but excluding cellars, carports or garages.

**Commercial Standards** Commercial Standards refer to the Ground Floor requirements for buildings as described in Section 7.

**Facade.** Façade is the exterior face of the building fronting or oriented toward a street or roadway, excluding alleyways.

**Finish Floor Elevation** The vertical measurement of any floor relative to Sea Level.

**Floor Area** See *Building Area*

**Ground Floor** The floor of a building which contains the primary entrance and exit nearest to the exterior grade level for pedestrian access.

**Ground Floor Elevation** The vertical measurement of the Ground Floor relative to Sea Level.

**Glass Area** The area of glass and its supporting frame that meets the standards identified in Section 7.

**Primary Entrance.** The primary entrance is the main or principal pedestrian entrance of all buildings (except outbuildings). For buildings fronting a street, the primary entrance is the entrance designed for access by pedestrians from the sidewalk. This is the primary architectural entrance even though day-to-day residential access may be via a secondary entrance associated with a garage, driveway or other vehicular use area.

**Sign Band** The portion of a building façade, above the first floor glass area, devoted to signs indicating the names or marks of the businesses occupying the tenant spaces.

**Lots**

**Building line** See “Setback”

**Lot** An undivided tract or parcel of land under one ownership having frontage on a street and either occupied or to be occupied by a building or building group together with accessory buildings or an open space.

**Lot Area** The net area of the lot, excluding streets and alleys

**Lot line** means the lines bounding a lot.

**Lot line, front,** means any lot line adjacent to a street or public access easement.

**Lot line, rear,** means any lot line opposite a front lot line and not adjacent to a street or public access easement.

**Lot line, side,** means any lot line not designated as a front or rear lot line.

**Lot Width** the distance between the side lot lines measured along the required front yard setback line. In the case of a lot having more than one required front yard, the lot width shall be measured along the building line associated with the street address.

**Lot Depth** The average distance between the front lot line and the rear lot line

**Lot Coverage** the percentage of a lot or tract covered by the foundation or first floor of buildings

**Setback** means a line parallel or approximately parallel to the street line or property line, at a specified distance therefrom, establishing the minimum distance from the street line or property line that a building may be erected.

**Signage Area** Signage area is the smallest rectangle that encompasses all text and logos.

**Street Frontage** The side of a lot facing or abutting a street or public park

**Open Space**

**Buffer, Landscape** areas of land parallel to streets or to adjacent land uses, and abutting a property

line, set aside to provide visual screening through the use of landscaping or fences or both.

**Floodplain** An area, through design or designation, set aside to accept and temporarily store storm water above grade. May also be used as a Park or other Open Space.

**Open Space:** Any outdoor area generally without buildings or parking, except as an accessory use.

**Park:** A park is a type of Open Space that is designed mainly for unstructured recreation. A park consists of areas of turf, trees, paths, trails, and park furnishings

**Plaza.** A plaza is an open space available for civic purposes and commercial activities. A plaza is bounded by buildings and streetscape and consists primarily of pavement with trees being optional. Plazas can be wider sidewalks or extensions of sidewalks for the purpose of providing outdoor seating for restaurants and cafes.

**Preserve.** An open space reserved for land that is intended for conservation. It consists of areas in the flood plain, woodlands, creeks, water bodies, steep grades, and other environmentally sensitive lands.

### **Parking**

**Parking, Carport** a roofed structure open on at least one side and used or designed to be used for the storage of one or more vehicles at or near the same elevation as the adjacent driveway, alley, or parking lot.

**Parking Garage** An enclosed space, or portion of a building to store vehicles at or near the ground floor level.

**Parking Lot** An area within a lot, to store multiple vehicles

**Parking Space** A paved area to store one vehicle

### **Streets& Streetscape**

**Alley** a space or thoroughfare that affords secondary means of access to a lot. Lot lines adjacent to alleys, alley easements, or alley rights-of-way do not constitute frontage.

**Median** The portion of the street, between the travel lanes of opposite direction, devoted to landscaping.

**Parking Lane** The portion of the street devoted to on-street parking.

**Parking, On-street** A lane within the Street devoted to the storage of vehicles.

**Porch Space** An area between the Build-to Line or the Setback line and the Property Line that permits portions of the building, such as porches, to encroach into the setback area.

**Streetscape.** Streetscape includes all improvements in a public right-of-way or private easement between the street curb and the Building Façade. Improvements include sidewalk, street trees, street lights, signage, and furnishings such as benches, trash receptacles, drinking fountains, bike racks, etc.

**Travel Lane** The portion of the street devoted to moving vehicles.

**(Tree) Parkway** The continuous landscaped area located within the Pedestrian Easement, between the sidewalk and the street curb, devoted to trees.

**Tree Space** The portion of the Streetscape adjacent to the street curb, devoted to trees planted in tree wells or in a continuous parkway.

### **Uses**

**Single-family residential, detached dwelling unit.**

A single-family detached residential unit is a freestanding building on an individual lot or tract of land intended for occupancy by one family.

**Single-family residential, attached dwelling unit.**

A single-family attached residential unit is a building on an individual lot intended for occupancy by one family that shares one or more common walls with similar adjacent units, also on individual lots.



**EE. Recommended Plant List:** All plants used to satisfy this ordinance shall be of a species common or adaptable to this area of Texas. The following is a list of recommended plants. Plant material not on this list must be approved by the Landscape Administrator before installation.

**Canopy-type Trees**

American Elm  
Bald Cypress  
Black Hickory  
Black Oak  
Black Walnut  
Blackjack Oak  
Bur Oak  
Cedar Elm  
Chinese Pistache  
Chinquapin Oak  
Dawn Redwood  
Durand Oak  
Eastern Red Cedar  
Big Tooth Maple  
Ginkgo  
Green Ash  
Gum Bumelia  
Lacebark Elm  
Lacey Oak  
Live Oak  
Pecan  
Post Oak  
River Birch  
Rusty Blackhaw  
Sawtooth Oak  
Shumard Red Oak  
Southern Magnolia  
Sweet Gum  
Green Ash  
Texas Ash  
Texas Oak  
Texas Walnut

**Medium/Ornamental Trees**

Afghan Pine  
Austrian Pine  
Bigelow Oak  
Black Cherry  
Carolina Buckthorn  
Cherry Laurel  
Crape Myrtle  
Deciduous Holly  
Desert Willow  
Eve's Necklace  
Flowering Crabapple  
Goldenrain Tree  
Hercules Club  
Japanese Black Pine  
Japanese Maple  
Mexican Buckeye  
Mexican Plum  
Native Hawthorns  
Reverchon and Littlehip)  
Persimmon  
Ponderosa Pine  
Possumhaw Holly  
Prairie Flame-leaf Sumac  
Redbuds  
Rusty Blackhaw Viburnum  
Savannah Holly  
Shantung Maple  
Slash Pine  
Southern Wax Myrtle  
Texas Buckeye  
Vitex  
Yaupon Holly

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## ZONING LOCATION MAP

