

# EXHIBIT C



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING RIGHT ELEVATION



EXISTING LEFT ELEVATION

MATERIAL CALCULATIONS			
FIRST & SECOND FLOOR			
	BRICK	STONE	SIDING
FRONT	0 S.F.	0 S.F.	432 S.F.
LEFT	0 S.F.	0 S.F.	265 S.F.
RIGHT	0 S.F.	0 S.F.	290 S.F.
REAR	0 S.F.	0 S.F.	370 S.F.
TOTAL	0 S.F.	0 S.F.	1,357 S.F.
TOTAL BRICK:		0 S.F.	
TOTAL STONE:		0 S.F.	
TOTAL SIDING:		1,357 S.F.	
PERCENTAGE BRICK:		0 %	
PERCENTAGE STONE:		0 %	
PERCENTAGE SIDING:		100 %	

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PREPARED BY:  
**TM TRADEMARK**  
architecture group  
300 SILVER CROSSING, SUITE B  
MIDCOURT MANOR, TEXAS 76065  
PHONE: 214-817-8148  
EMAIL: tyler@trademarkarch.com

OWNER:  
**A. ROPE INVESTMENTS, L.L.C.**  
3657 PLANKVIEW ROAD  
MIDCOURT MANOR, TEXAS 76065  
ADAM ROPE  
PHONE: 214-959-3272  
EMAIL: adam.rope@gmail.com

REVISIONS

PROJECT ADDRESS:  
ADAM ROPE - STATE FARM  
1089 MATLOCK ROAD  
MANSFIELD, TEXAS 76063

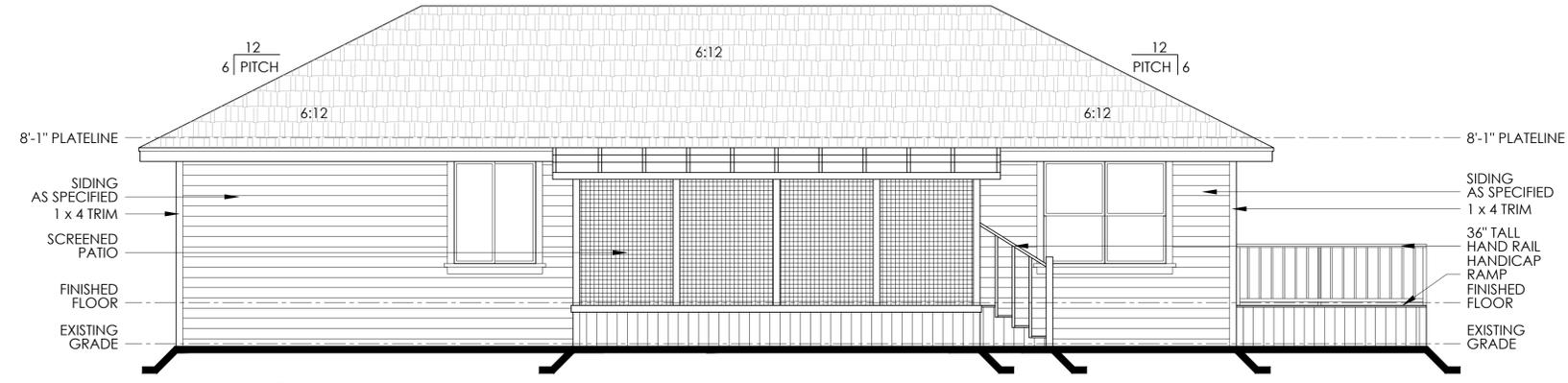
SHEET  
EXH-C



FRONT ELEVATION

1/4" = 1'-0"

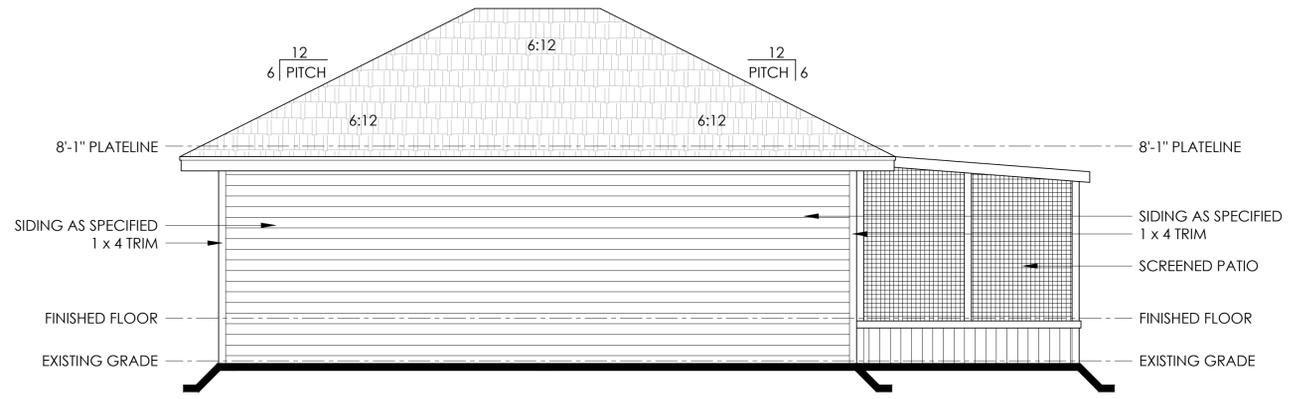
\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*



REAR ELEVATION

1/4" = 1'-0"

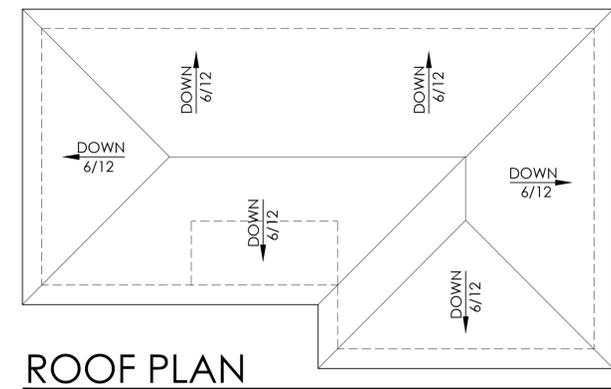
\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*



RIGHT ELEVATION

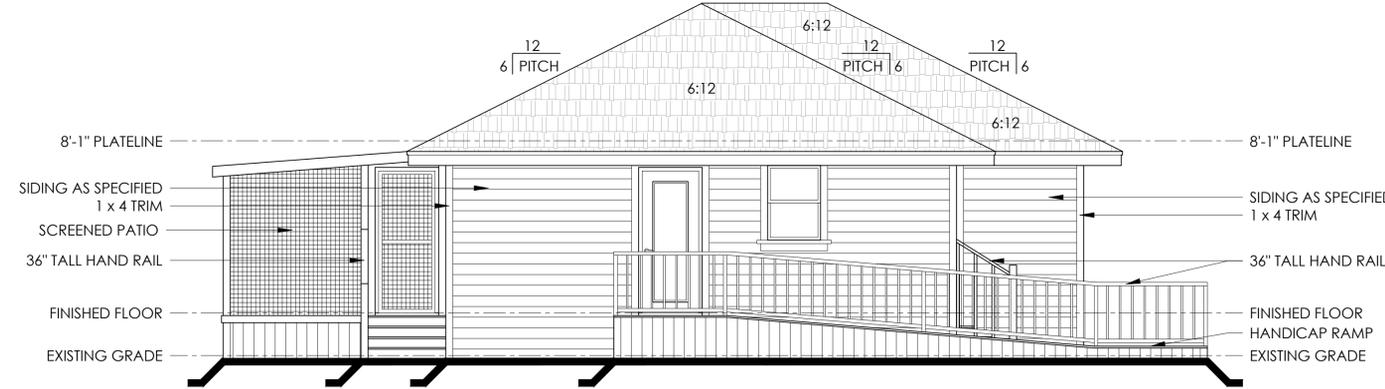
1/4" = 1'-0"

\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*



ROOF PLAN

1/8" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

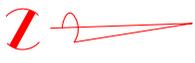
\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*

## DEVELOPMENT PLAN

1089 MATLOCK ROAD  
0.608 ACRES out of the William Bratton Survey, Abstract No. 161  
City of Mansfield, Tarrant County, Texas

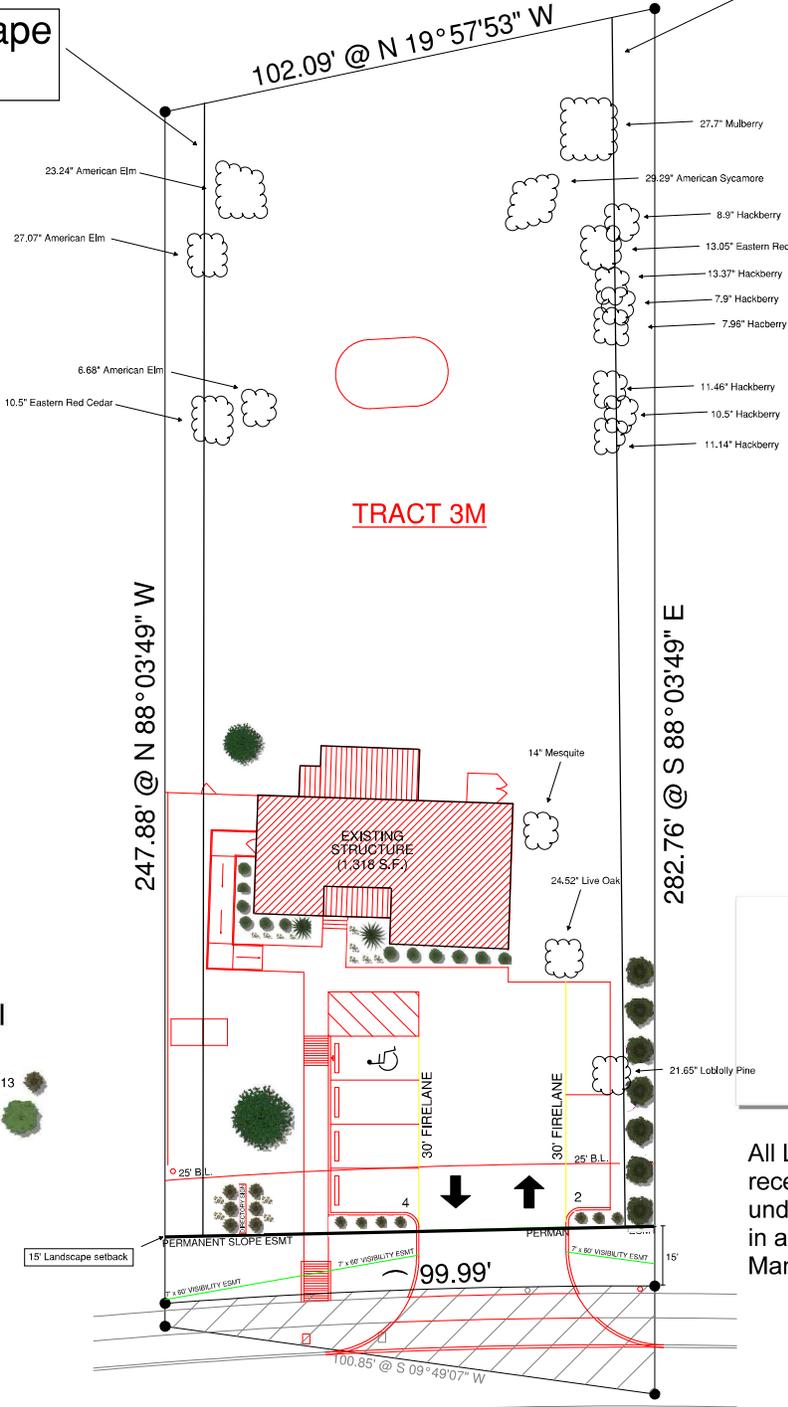
1 Lot  
08-14-2019

ZC#19-010



9' Landscape Buffer

10' Landscape Buffer



Type - Qty Symbol

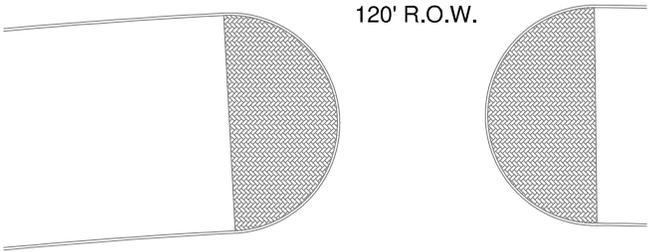
- 3" Live Oak - 2
- 5g Dwarf Burford Holly - 13
- 15g Arizona Cypress - 7
- 3g Texas Sage - 12
- 1g Lantana - 13
- 15g Red Yucca - 2



All Landscape Areas to receive permanent underground irrigation in accordance with Mansfield City Requirements.

**MATLOCK ROAD**

120' R.O.W.



ZC#19-010

**Exhibit 'D'**

"Landscaping Maintenance: The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size."