



EXISTING FRONT ELEVATION



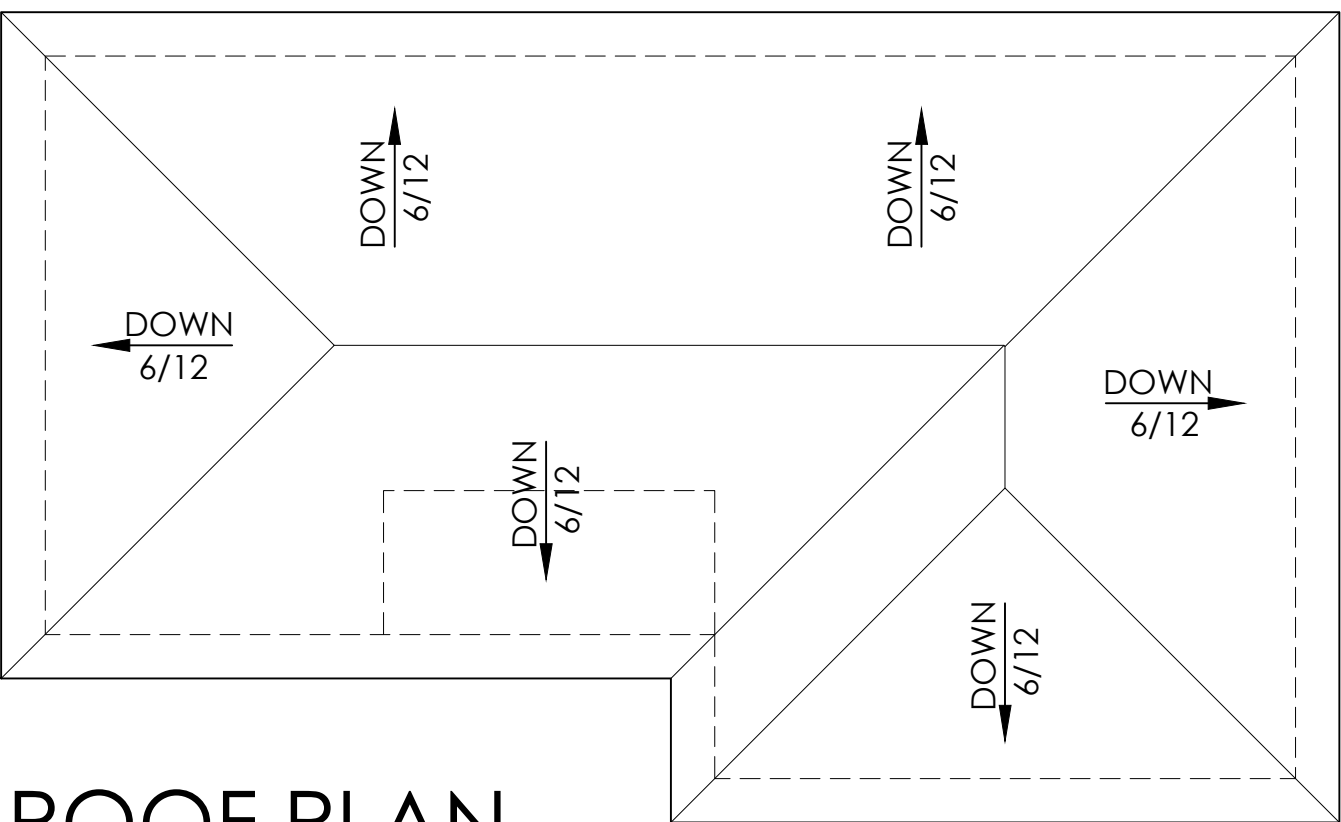
EXISTING REAR ELEVATION



EXISTING RIGHT ELEVATION

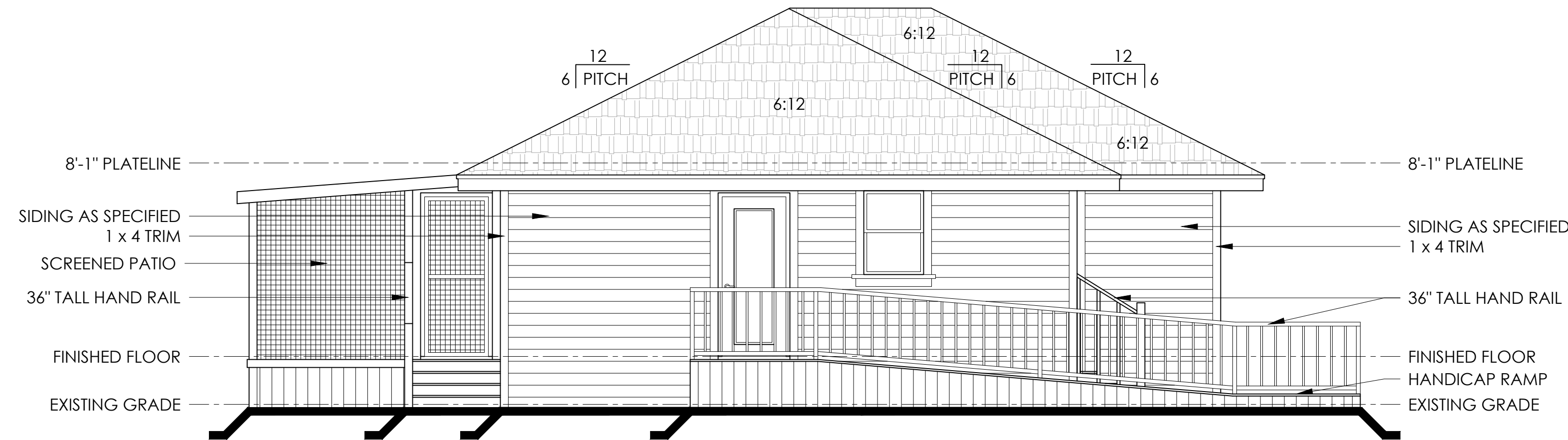


EXISTING LEFT ELEVATION



ROOF PLAN

1/8" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*

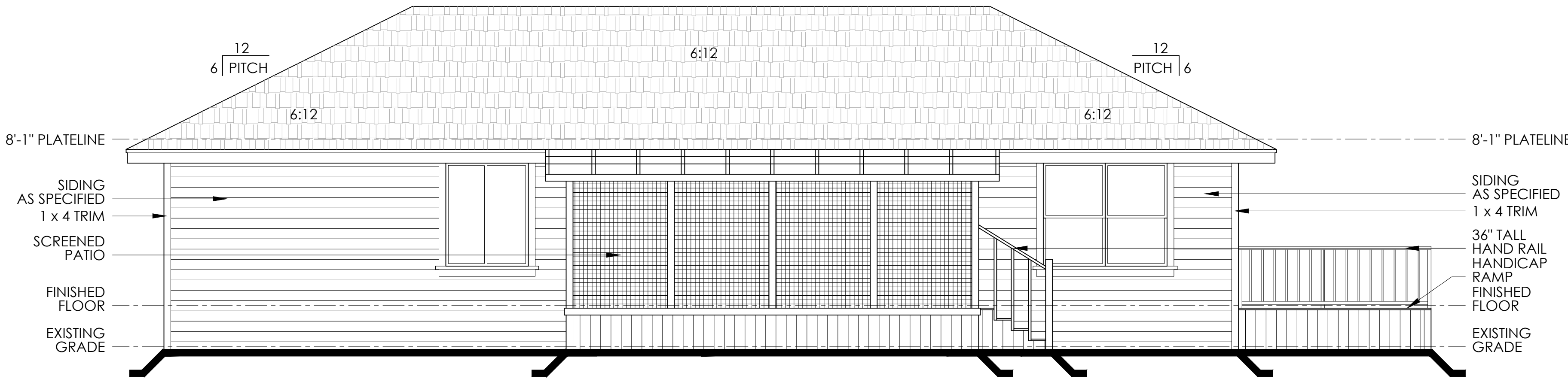
EXHIBIT C



FRONT ELEVATION

1/4" = 1'-0"

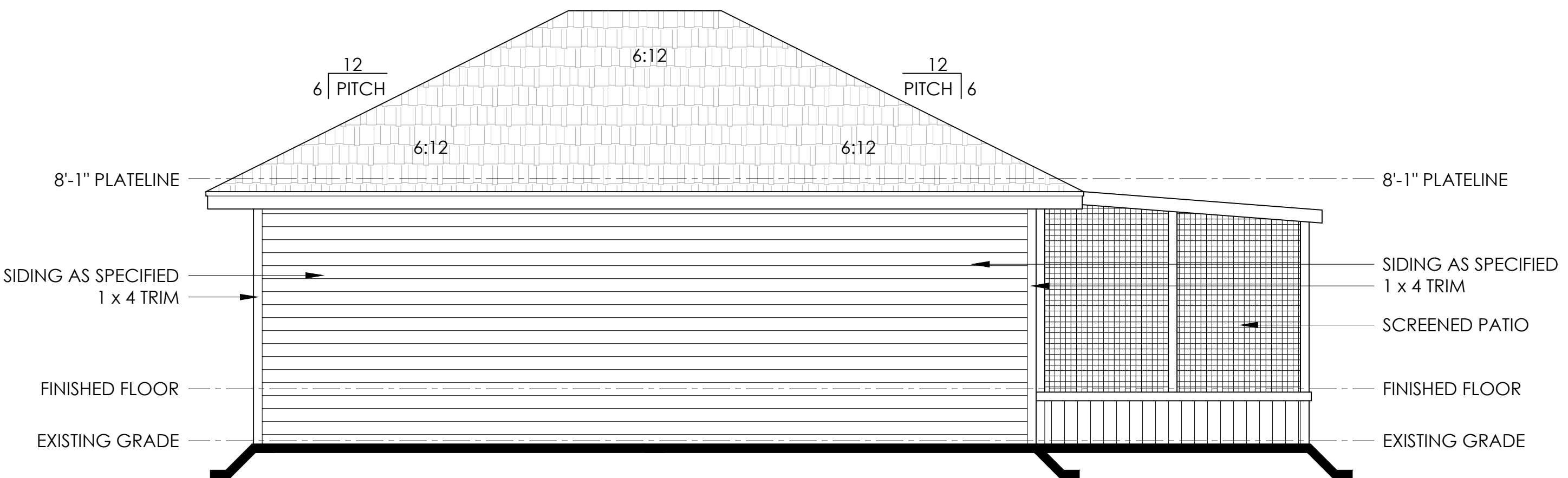
\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*



REAR ELEVATION

1/4" = 1'-0"

\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*



RIGHT ELEVATION

1/4" = 1'-0"

\*\* ROOF MATERIALS ARE TO BE LAMINATED, THREE-DIMENSIONAL APPEARANCE COMPOSITION ARCHITECTURAL SHINGLES \*\*

DEVELOPMENT PLAN

1089 MATLOCK ROAD  
0.608 ACRES out of the William Bratton Survey, Abstract No. 161  
City of Mansfield, Tarrant County, Texas  
1 Lot  
08-14-2019

ZC#19-010

MATERIAL CALCULATIONS			
	FIRST & SECOND FLOOR		
	BRICK	STONE	SIDING
FRONT	0 S.F.	0 S.F.	432 S.F.
LEFT	0 S.F.	0 S.F.	265 S.F.
RIGHT	0 S.F.	0 S.F.	290 S.F.
REAR	0 S.F.	0 S.F.	370 S.F.
TOTAL	0 S.F.	0 S.F.	1,357 S.F.
TOTAL BRICK:		0 S.F.	
TOTAL STONE:		0 S.F.	
TOTAL SIDING:		1,357 S.F.	
PERCENTAGE BRICK:		0 %	
PERCENTAGE STONE:		0 %	
PERCENTAGE SIDING:		100 %	

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REVISIONS

PROJECT ADDRESS:  
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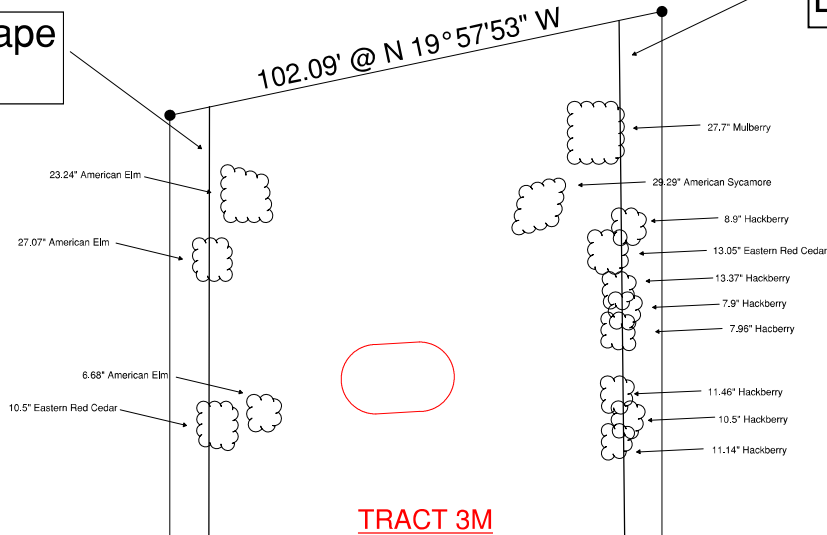
SHEET  
EXH-C





10' Landscape Buffer

9' Landscape Buffer



Type - Qty Symbol

- 3" Live Oak - 2
- 5g Dwarf Burford Holly - 13
- 15g Arizona Cypress - 7
- 3g Texas Sage - 12
- 1g Lantana - 13
- 15g Red Yucca - 2



All Landscape Areas to receive permanent underground irrigation in accordance with Mansfield City Requirements.

MATLOCK ROAD

120' R.O.W.

ZC#19-010

Exhibit 'D'

"Landscaping Maintenance: The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size."