

SITE PLAN NOTES

1. ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.

2. ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.

3. IF A TRASH ENCLOSURE IS REQUIRED, IT SHALL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.B OF THE ZONING ORDINANCE.

4. THERE WILL BE NO OUTSIDE STORAGE ON THE PROPERTY.

5. LOADING ZONE SHALL BE MARKED IN STRIPING AND SHALL BE INDEPENDENT OF THE FIRE LANE.

6. TRASH IS CURRENTLY CURB SIDE SERVICE.

BUILDING ENTRANCES

1

PUBLIC ENTRANCE/EMERGENCY EXIT

2

MAINTENANCE

3

EMPLOYEE/EMERGENCY EXIT

MATERIAL LEGEND

CONCRETE

GRASS

SHRUB BED

PARKING PER USE

BUILDING	USE	PARKING SPACES REQ'D.
INTERIOR SPACE 4,948 SF	MEDICAL 1 SPACE PER 150 SF	33
TOTAL		33

OWNER:

MANSFIELD, TX MOB, LP C/O HEALTHCAP
4849 GREENVILLE AVE, SUITE 1480,
DALLAS, TX 75026
(Office) 214.953.1722

PROJECT LOCATION

PARKING TABULATION

SPACE TYPE	CNT
EXISTING - 9' x 17'	11
NEW - 9' x 17'	2
NEW - ACCESSIBLE - 9' x 18'	2
NEW - ACCESSIBLE - 11' x 18' VAN	1
NEW - STANDARD - 9' x 18'	17
TOTAL	33

ACCESSIBLE PARKING

NUMBER OF PARKING SPACES	TOTAL SPACES PROVIDED	ACCESSIBLE SPACES	PROVIDED	REQUIRED
	33		3	2

PER TABLE 208.2 (TAS 2013)

TABLE 208.2: PARKING SPACES

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2% OF TOTAL
1001 AND OVER	20, PLUS 1 FOR EACH 100, OR FRACTION THEREOF, OVER 1000

208.2 MINIMUM NUMBER. PARKING SPACES COMPLYING WITH 502 SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 208.2 EXCEPT AS REQUIRED BY 208.2.1, 208.2.2, AND 208.2.3. WHERE MORE THAN ONE PARKING FACILITY IS PROVIDED ON A SITE, THE NUMBER OF ACCESSIBLE SPACES PROVIDED ON THE SITE SHALL BE CALCULATED ACCORDING TO THE NUMBER OF SPACES REQUIRED FOR EACH PARKING FACILITY.

208.2.1 HOSPITAL OUTPATIENT FACILITIES. TEN PERCENT OF PATIENT AND VISITOR PARKING SPACES PROVIDED TO SERVE HOSPITAL OUTPATIENT FACILITIES SHALL COMPLY WITH 502.

208.2.2 REHABILITATION FACILITIES AND OUTPATIENT PHYSICAL THERAPY FACILITIES. TWENTY PERCENT OF PATIENT AND VISITOR PARKING SPACES PROVIDED TO SERVE REHABILITATION FACILITIES SPECIALIZING IN TREATING CONDITIONS THAT AFFECT MOBILITY AND OUTPATIENT PHYSICAL THERAPY FACILITIES SHALL COMPLY WITH 502.

208.2.3 RESIDENTIAL FACILITIES. PARKING SPACES PROVIDED TO SERVE RESIDENTIAL FACILITIES SHALL COMPLY WITH 208.2.3.

208.2.3.1 PARKING FOR RESIDENTS. WHERE AT LEAST ONE PARKING SPACE IS PROVIDED FOR EACH RESIDENTIAL DWELLING UNIT, AT LEAST ONE PARKING SPACE COMPLYING WITH 502 SHALL BE PROVIDED FOR EACH RESIDENTIAL DWELLING UNIT REQUIRED TO PROVIDE MOBILITY FEATURES COMPLYING WITH 809.2 THROUGH 809.4.

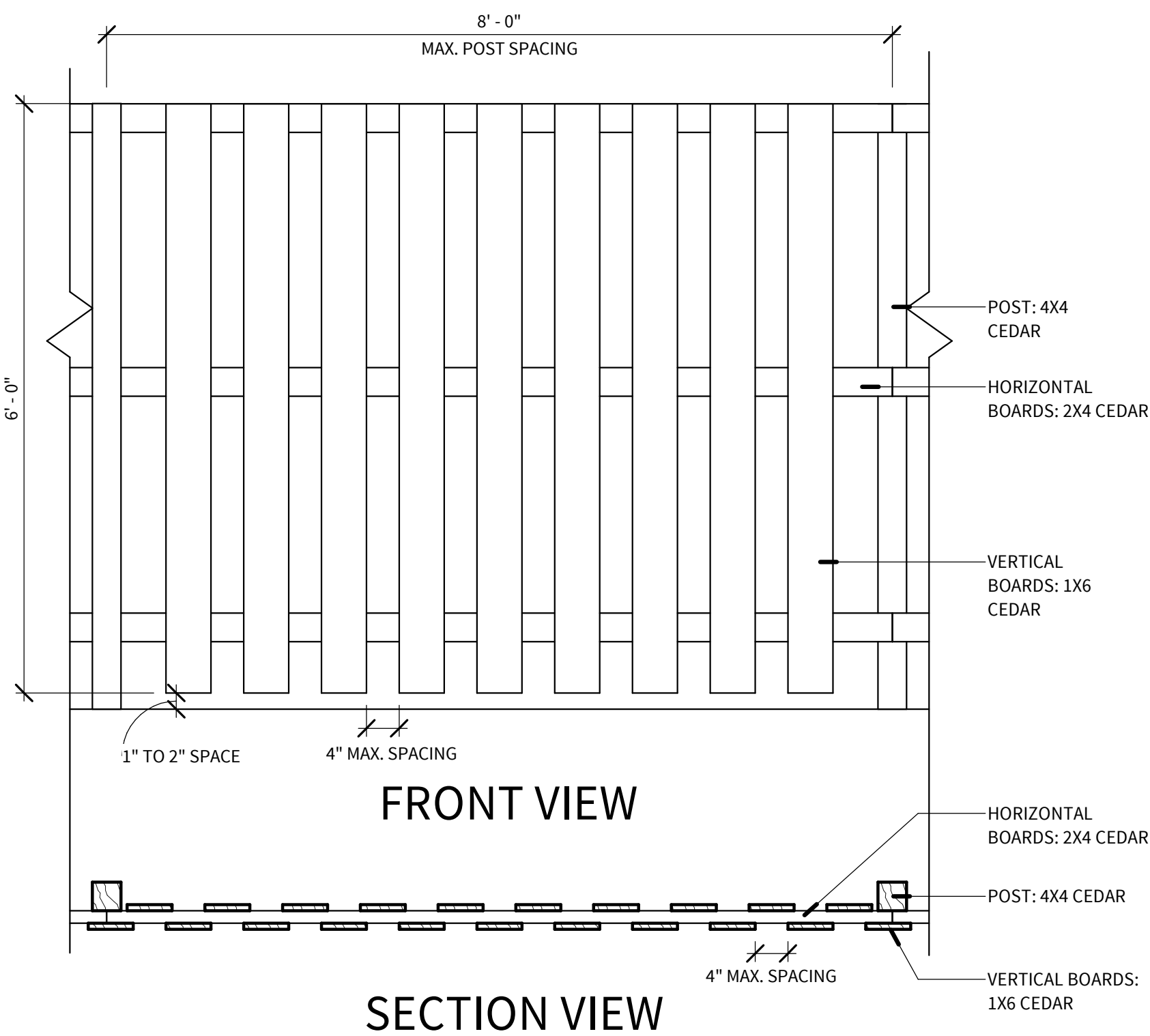
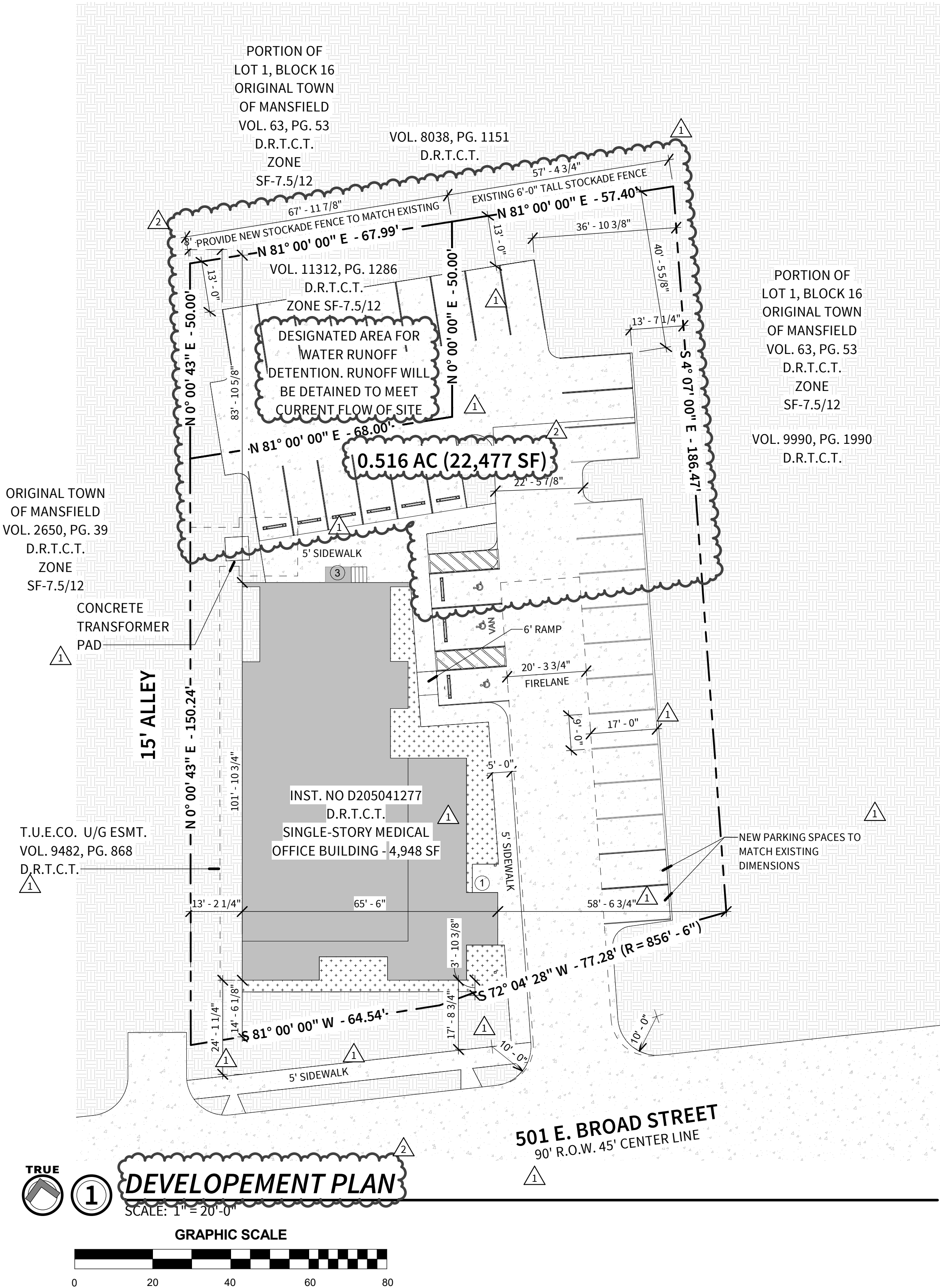
208.2.3.2 ADDITIONAL PARKING SPACES FOR RESIDENTS. WHERE THE TOTAL NUMBER OF PARKING SPACES PROVIDED FOR EACH RESIDENTIAL DWELLING UNIT EXCEEDS ONE PARKING SPACE PER RESIDENTIAL DWELLING UNIT, 2 PERCENT, BUT NO FEWER THAN ONE SPACE, OF ALL THE PARKING SPACES NOT COVERED BY 208.2.3.1 SHALL COMPLY WITH 502.

208.2.3.3 PARKING FOR GUESTS, EMPLOYEES, AND OTHER NON-RESIDENTS. WHERE PARKING SPACES ARE PROVIDED FOR PERSONS OTHER THAN RESIDENTS, PARKING SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 208.2.

208.2.4 VAN PARKING SPACES. FOR EVERY SIX OR FRACTION OF SIX PARKING SPACES REQUIRED BY 208.2 TO COMPLY WITH 502, AT LEAST ONE SHALL BE A VAN PARKING SPACE COMPLYING WITH 502.

THE DEVELOPMENT PLAN WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS ESTABLISHED BY THE SITE PLAN RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICATION THEREOF, SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

SITE PLAN
CITY, COUNTY, STATE
CITY OF MANSFIELD, TARRANT
COUNTY, TEXAS
ACREAGE AND NUMBER OF LOTS
0.516 ACRES (22,477 SF)
LOT 1 BLOCK 16



2 STOCKADE FENCE ELEVATION
SCALE: 3/4" = 1'-0"

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Mansfield, TX
Springdale, AR

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ARCHITECT:
JUSTIN S. GILMORE
LEVEL 5 DESIGN GROUP

PROJECT INFORMATION:

HEALTHCAP

MANSFIELD MEDICAL CLINIC

501 E. BROAD STREET
MANSFIELD, TEXAS 76063

PROJECT NUMBER: 18-26

ISSUE DATE: MM/DD/YYYY

REVISIONS:
ADDENDUM A 09.06.2019
ADDENDUM B 09.23.2019

SHEET NAME:

EXHIBIT B

ZC#19-015

SHEET NUMBER:

01

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ELEVATION LEGEND	
	STONE
	MTL ROOF MATERIAL
	BRICK

MATERIAL CALCULATIONS	
NORTH FACADE: GLASS = 4% METAL = 0% MASONRY = 96%	SOUTH FACADE: GLASS = 3% METAL = 8% MASONRY = 89%
EAST FACADE: GLASS = 10% METAL = 14% MASONRY = 76%	WEST FACADE: GLASS = 27% METAL = 11% MASONRY = 62%
TOTAL BUILDING MATERIAL CALCULATION: GLASS = 10% METAL = 9% MASONRY = 81%	

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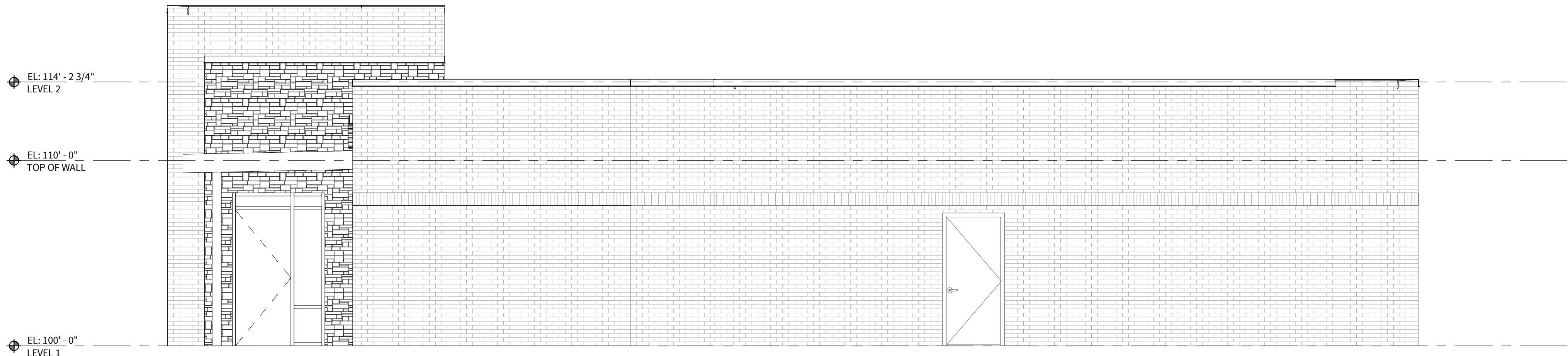
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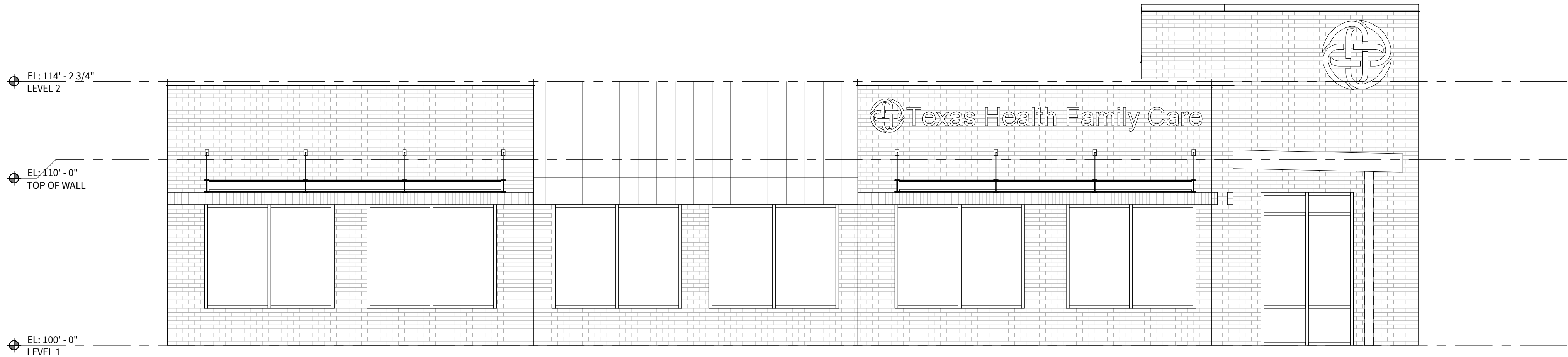
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1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION LEGEND	
	STONE
	MTL ROOF MATERIAL
	BRICK

MATERIAL CALCULATIONS	
NORTH FACADE: GLASS = 4% METAL = 0% MASONRY = 96%	SOUTH FACADE: GLASS = 3% METAL = 8% MASONRY = 89%
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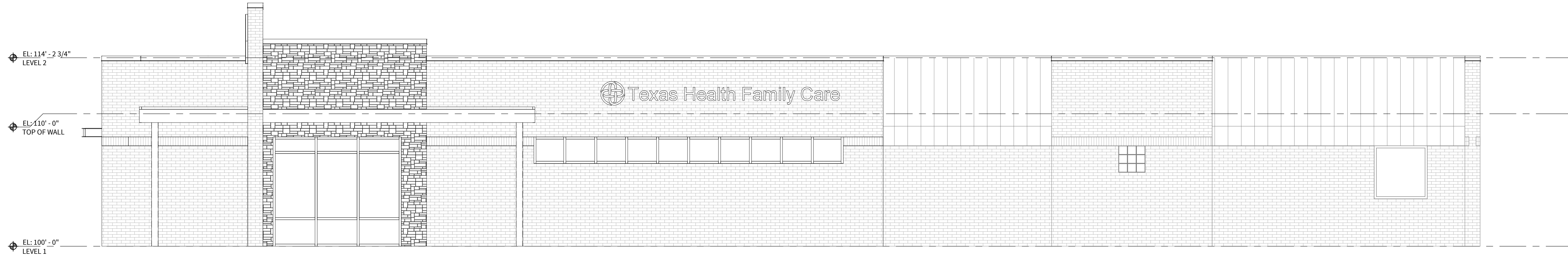
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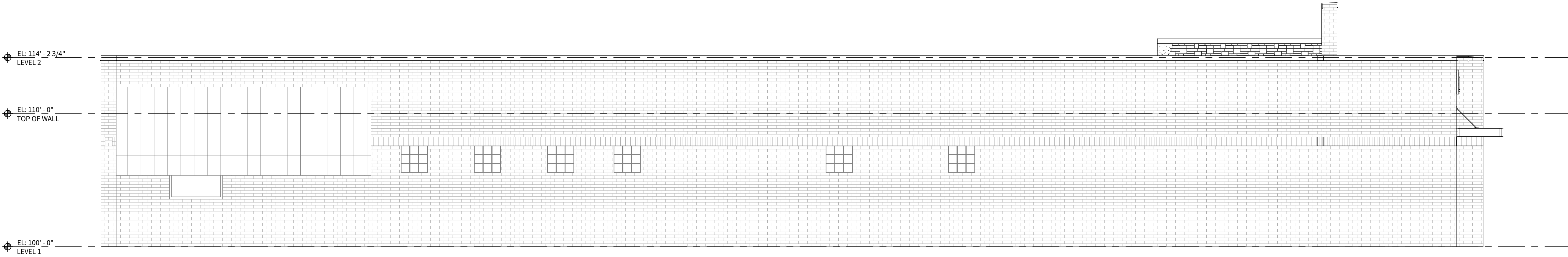
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1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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SUMMARY CHART - BUFFERYARD / SETBACKS							
LOCATION OF BUFFERYARD / SETBACK	REQUIRED / PROVIDED	LENGTH	BUFFERYARD / SETBACK WIDTH / TYPE	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	SCREENING WALL HEIGHT
SOUTH (E. BROAD ST)	REQUIRED	142'-0"	20'-0" BUFFERYARD	4	0	X	NONE
	PROVIDED		VARIES	1	0	392 SF	NONE
NORTH	REQUIRED	126'-0"	20'-0" BUFFERYARD	6	0	X	8'-0"
	PROVIDED		13'-0" BUFFERYARD	1	0	X	6'-0"
EAST	REQUIRED	187'-0"	20'-0" BUFFERYARD	8	0	X	8'-0"
	PROVIDED		13'- 7 1/4" BUFFERYARD	2	0	590 SF	NONE
WEST	REQUIRED	200'-0"	20'-0" BUFFERYARD	8	0	X	8'-0"
	PROVIDED		13'- 2 1/4" BUFFERYARD	3	0	X	NONE

LANDSCAPE SCHEDULE					
MARK	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	REMARKS
1	QUERCUS GRISEA	GRAY OAK	8"	30'-50'	EXISTING TO REMAIN
2	QUERCUS VIRGINIANA	LIVE OAK	21"	25'-50'	EXISTING TO REMAIN
3	QUERCUS VIRGINIANA	LIVE OAK	24"	25'-50'	EXISTING TO REMAIN
4	TAXODIUM MUCRONATUM	MONTEZUMA BALDCYPRESS	14"	40'-70'	EXISTING TO REMAIN
5	TAXODIUM MUCRONATUM	MONTEZUMA BALDCYPRESS	18"	40'-70'	EXISTING TO REMAIN
6	QUERCUS BUCKLEYI	TEXAS OAK	34"	20'-35'	EXISTING TO REMAIN
7	ULMUS CRASSIFOLIA	CEDAR ELM	10"	30'-75'	REMOVE
8	ULMUS CRASSIFOLIA	CEDAR ELM	11"	30'-75'	REMOVE
9	TAXODIUM MUCRONATUM	MONTEZUMA BALDCYPRESS	12"	40'-70'	REMOVE
10	TAXODIUM MUCRONATUM	MONTEZUMA BALDCYPRESS	12"	40'-70'	REMOVE
11	FAGUS GRANDIFOLIA	AMERICAN BEECH	19"	30'-100'	EXISTING TO REMAIN
12	ILEX VOMITORIA	YAU PON	5"	10'-25'	REMOVE
13	ILEX VOMITORIA	YAU PON	5"	10'-25'	REMOVE

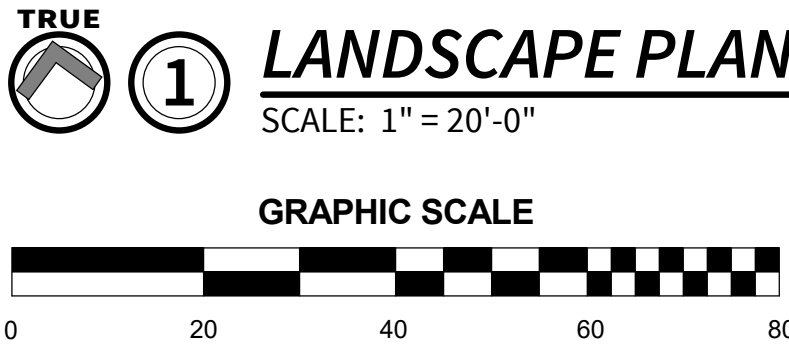
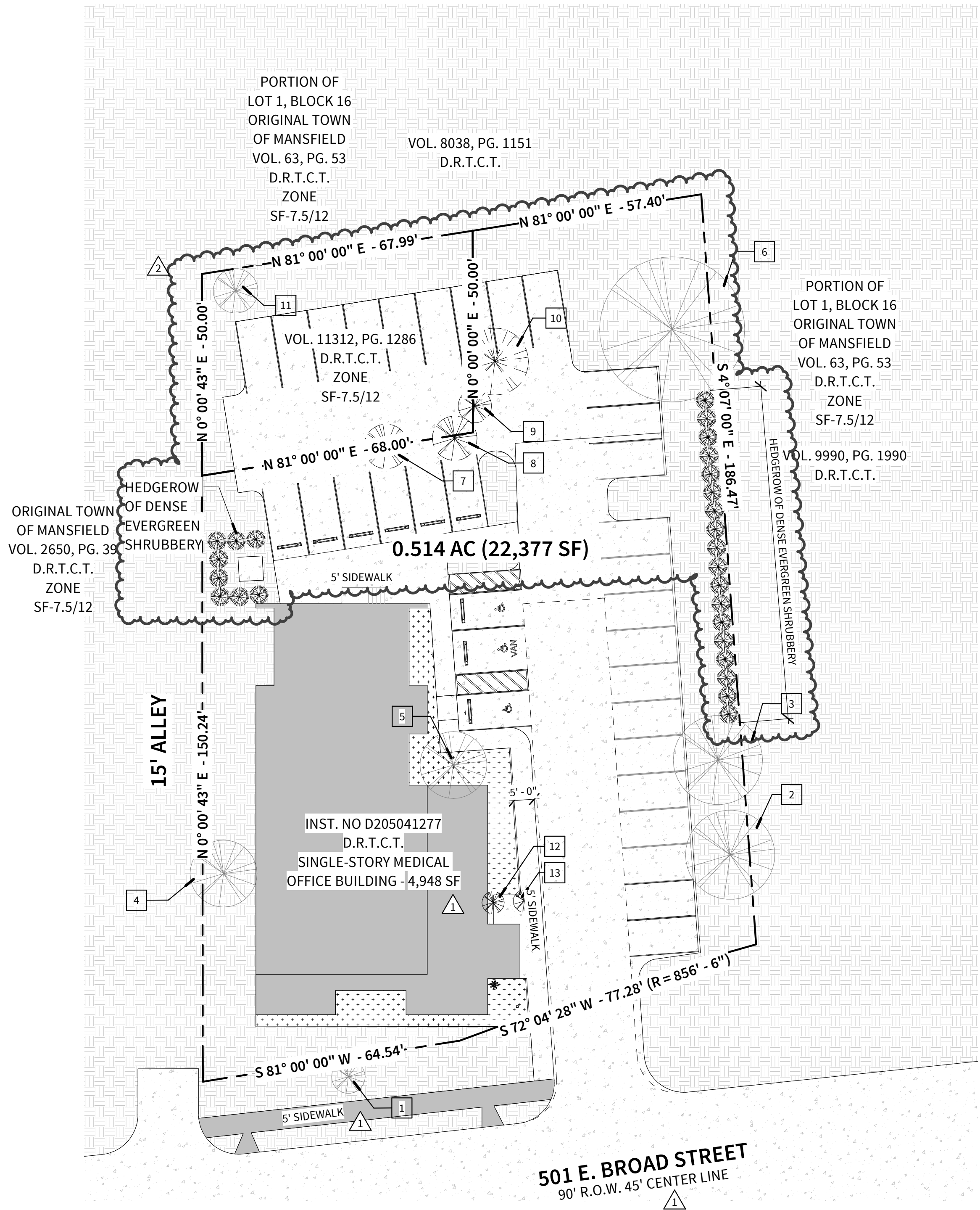
SUMMARY CHART INTERIOR PARKING LOT LANDSCAPING	
# OF REQUIRED SURFACE PARKING SPACES	33
# OF PROVIDED PARKING SPACES	33
# OF TREE ISLANDS PROVIDED	2

EXISTING TREE CREDIT SUMMARY			
DIAMETER (DBH) OF EXISTING TREE	CREDIT EACH	COUNT	TOTAL CREDITS
6" - 8"	2 TREES	1	2 TREES
9" - 15"	3 TREES	1	3 TREES
16" - 30"	4 TREES	4	16 TREES
31" - 46"	5 TREES	1	5 TREES
47" OR MORE	8 TREES	0	0 TREES
TOTAL CREDITS AGAINST TREE REQUIREMENT			26 TREES

MATERIAL LEGEND	
	CONCRETE
	GRASS
	SHRUB BED

LANDSCAPE REQUIREMENTS	
STREET LANDSCAPE SETBACK: E. BROAD STREET REQUIRED: 1 CANOPY TREE PER 40 L.F. 142 L.F. / 40 L.F. = 4 CANOPY TREES PROVIDED: 1 CANOPY TREE	
PARKING LOT PERIMETER LANDSCAPING REQUIRED: MIN. 3' HT. PARKING SCREEN W/ NATIVE/ADAPTED, LOW WATER USE EVERGREEN SHRUB OR ORNAMENTAL GRASS PROVIDED: 3' HT. PARKING SCREEN ALONG STREET	
PARKING LOT INTERIOR LANDSCAPING REQUIRED: 1 CANOPY TREE PER 10 PARKING SPACES 32 SPACES / 10 = 4 CANOPY TREES PROVIDED: 4 CANOPY TREES	
SIDE BUFFERYARD LANDSCAPING NORTH PROPERTY LINE REQUIRED: 1 CANOPY TREE PER 25 L.F. 126 L.F. / 25 L.F. = 6 CANOPY TREES PROVIDED: 1 CANOPY TREE EAST PROPERTY LINE REQUIRED: 1 CANOPY TREE PER 25 L.F. 187 L.F. / 25 L.F. = 8 CANOPY TREES PROVIDED: 2 CANOPY TREES WEST PROPERTY LINE REQUIRED: 1 CANOPY TREE PER 25 L.F. 200 L.F. / 25 L.F. = 8 CANOPY TREES PROVIDED: 3 CANOPY TREES	

LANDSCAPE NOTES	
1. ALL PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AN LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLAT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.	
2. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.	
3. A PROSPECTIVE BARRIER BEGINNING AT THE OUTSIDE OF THE DRIPLINE OF THE TREE TO PROTECT THE ROOT ZONE SHALL BE ERRECTED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.	



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