

PLANNED DEVELOPMENT REGULATIONS

PERMITTED USE:

TWO (2) SINGLE FAMILY ATTACHED DWELLINGS

AREA AND HEIGHT REGULATIONS:

- MINIMUM LOT AREA - 3,750 S.F.
- MINIMUM FLOOR AREA - 2,000 S.F. PER DWELLING
- MAXIMUM LOT COVERAGE - 60%
- MINIMUM LOT WIDTH - 40'
- MINIMUM LOT DEPTH - 100 FT.
- MINIMUM FRONT SETBACK TO GARAGE - 20 FT. TO GARAGE; 10 FT. TO COVERED PORCH
- MINIMUM REAR SETBACK - 15 FT.
- MINIMUM SIDE SETBACK, INTERIOR - 5 FT., 10 FT.
- MAXIMUM HEIGHT - 35 FT.

OFF-STREET PARKING:

- 2 SPACES IN GARAGE PLUS 2 SPACES ON DRIVEWAY PER DWELLING

LANDSCAPE AND SCREENING:

- TWO NEW OR EXISTING TREES PER LOT WITH A MINIMUM CALIPER SIZE OF 3.5 INCHES. AT LEAST ONE -TREE MUST BE IN THE FRONT YARD OF EACH DWELLING
- AT LEAST 50% OF THE FOUNDATION FACING THE STREETS MUST BE PLANTED WITH SHRUBS AND FLOWER BEDS
- LAWNS AND LANDSCAPING MUST BE IRRIGATED WITH AN IRRIGATION SYSTEM

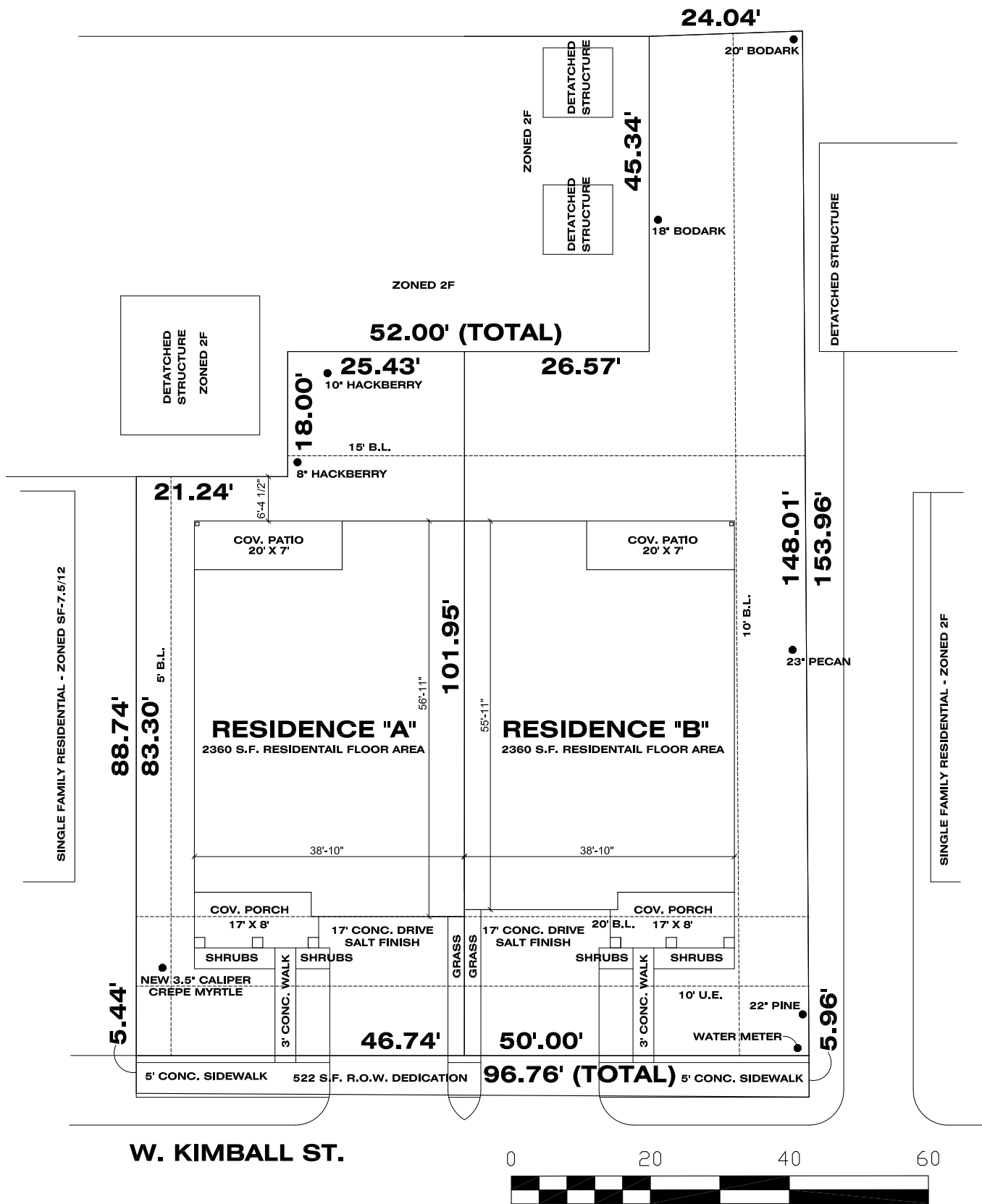
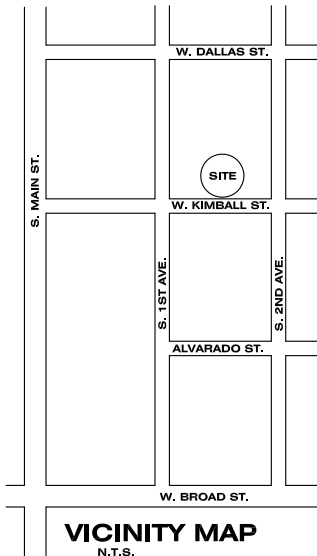
ARCHITECTURAL STANDARDS:

- FRONT BUILDING ELEVATION MUST INCLUDE A PORCH WITH A MINIMUM DIMENSIONS OF 7 FT. DEPTH, 70 S.F. AND 6"x6" COLUMNS
- WINDOWS SEEN FROM THE STREET ARE REQUIRED TO BE WOOD, LOOK LIKE WOOD, OR BE WOOD WITH VINYL OR ALUMINUM CLADDING
- ROOF SHINGLES MUST BE THREE DIMENSIONAL ARCHITECTURAL SHINGLES
- ROOF PITCH TO BE A MIXTURE OF 8:12 AND 4:12 AS SHOWN ON EXHIBIT "C"
- FACADE CLADDING MUST BE AT LEAST 70% WOOD OR CEMENTITIOUS FIBER MATERIALS
- WINDOWS, METAL SHED ROOF AND BRACKETS WILL BE PROVIDED AS GARAGE DOOR DESIGN ELEMENTS
- A GRASSY MEDIAN AND SALT FINISH WILL PROVIDE DRIVEWAY DESIGN ELEMENTS

COMPLIANCE WITH PD REGULATIONS:

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

BASED ZONING DISTRICT: 2F, TWO FAMILY RESIDENTIAL DISTRICT



DEVELOPMENT PLAN

PROJ: 203 W. KIMBALL ST.

DATE: 11-18-19

REVISIONS:

ZONING CASE NO.:

**ZC#19-016**

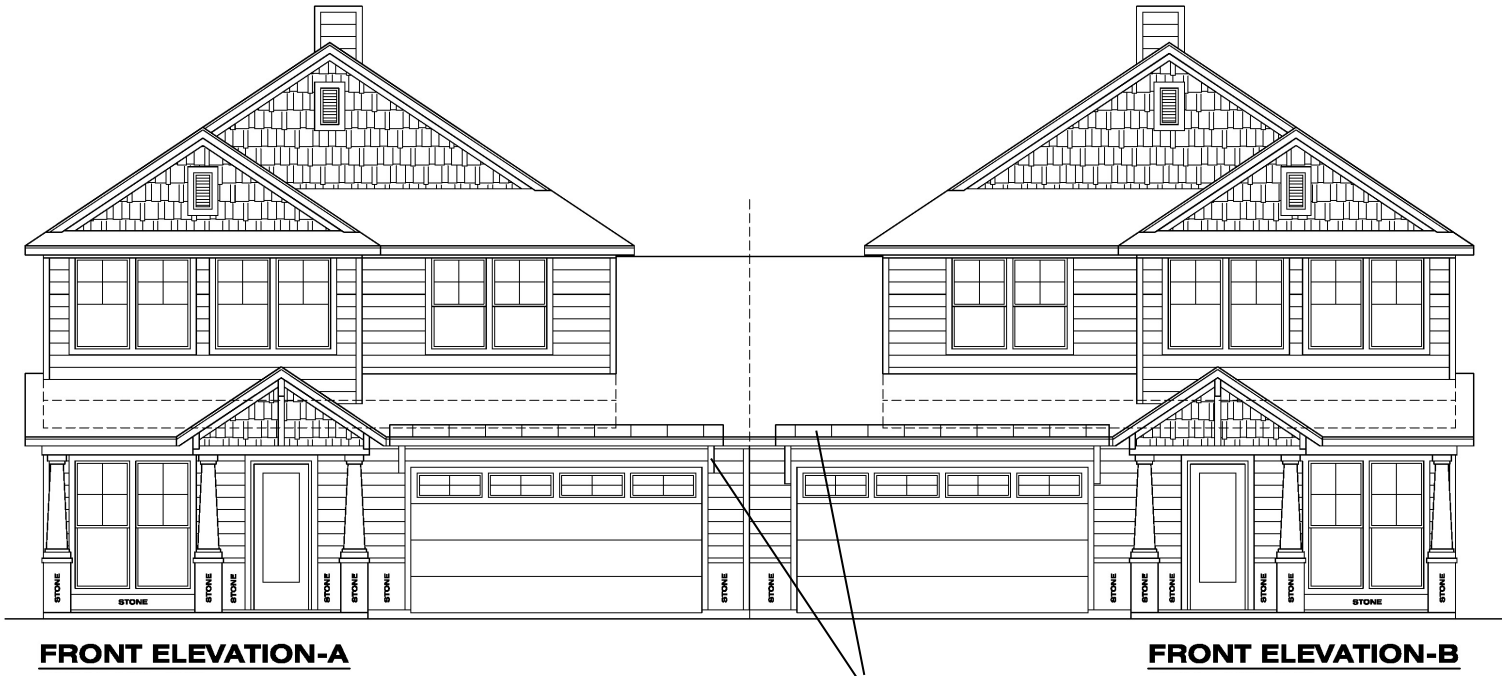
EXHIBIT B  
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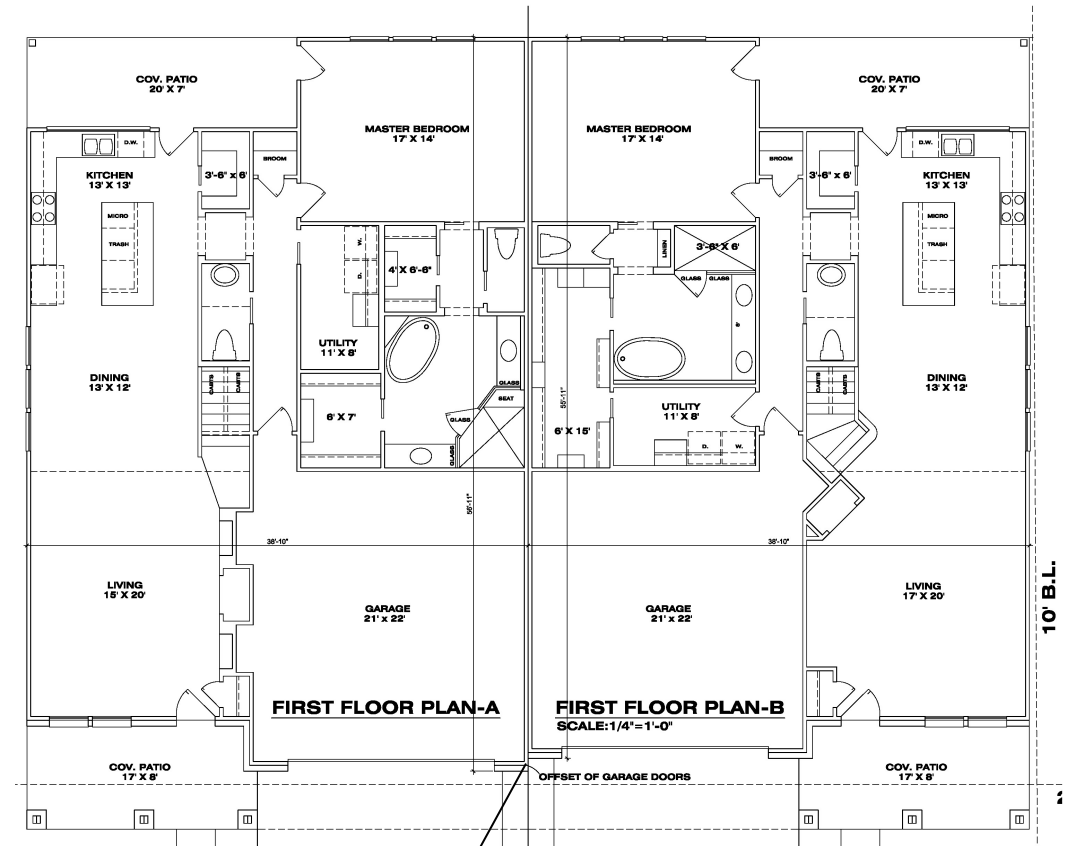
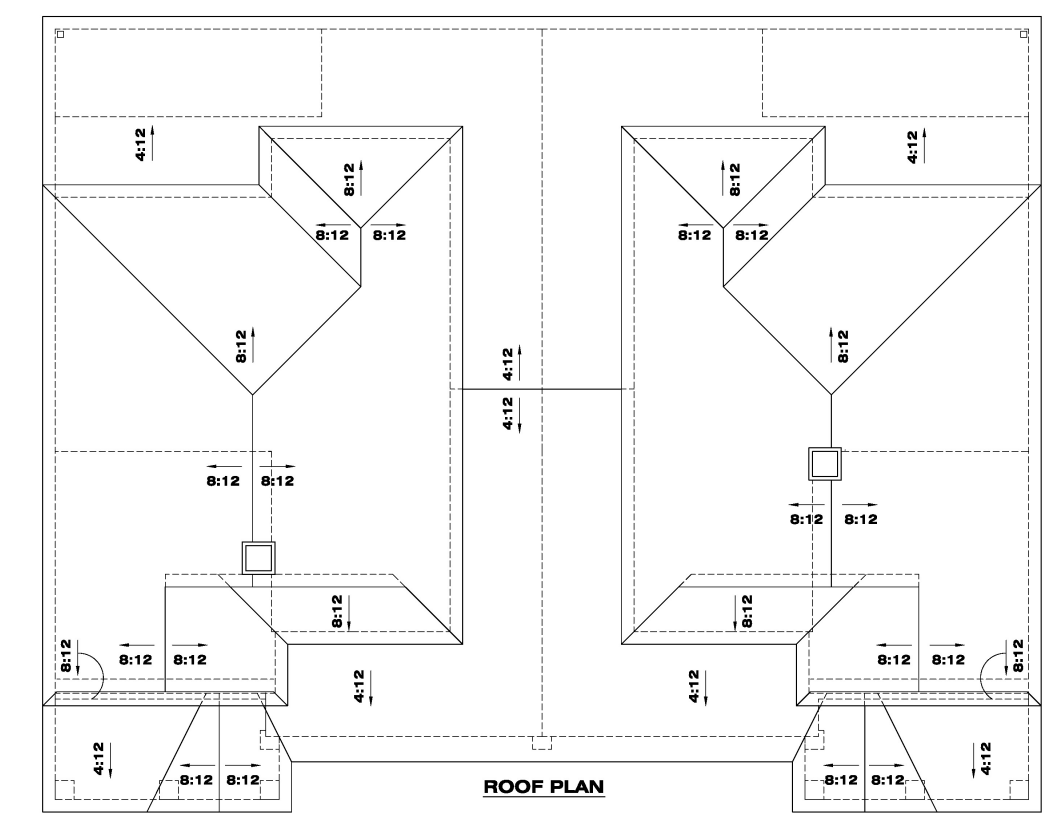
SITE PLAN  
SCALE: 1"=20'

**203 W. KIMBALL ST.**  
**ORIG. TOWN OF MANS.**  
**MANSFIELD, TX.**  
**.25 ACRES**

**OWNER:**  
**ALTAR HOLDINGS, LLC**  
**309 E. BROAD ST.**  
**MANSFIELD, TX 76063**  
**817-473-3333**



Metal shed roof and brackets  
over both garage doors



Offset of  
garage doors



**EXHIBIT C for ZC#19-016**  
**CONCEPTUAL BUILDING ELEVATIONS,**  
**ROOF PLAN AND FLOOR PLAN**