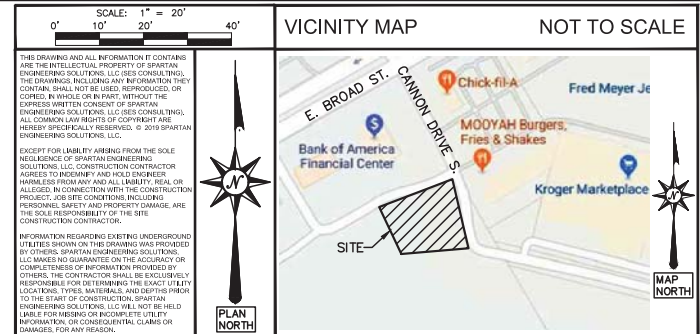


**BENCHMARKS:**  
(PER ALTA/NSPS LAND TITLE SURVEY)  
VERTICAL DATUM WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) TEXAS RTK COOPERATIVE NETWORK NAD83-2011  
SITE BM NO. 1  
+ " CUT WITH SQUARE SET ON CONCRETE CURB NORTH SIDE OF ACCESS ROAD, ALONG THE SOUTHWEST LINE OF LOT 5, BLOCK 1, APPROXIMATELY 54.8' SOUTHWEST OF NORTHWEST CORNER OF SUBJECT TRACT. ELEV.=611.54  
SITE BM NO. 2  
SQUARE CUT FOUND IN THE NORTH SIDE OF SIGNAL POLE BASE AT THE SOUTHWEST INTERSECTION OF E. BROAD ST. AND CANNON DRIVE SOUTH. ELEV.=612.31

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**FLOODPLAIN NOTE:**  
THIS ENTIRE PROPERTY LIES IN ZONE "X", 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE, ACCORDING TO THE MOST RECENT OFFICIAL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 48439C0480K, DATED 9/25/2019.

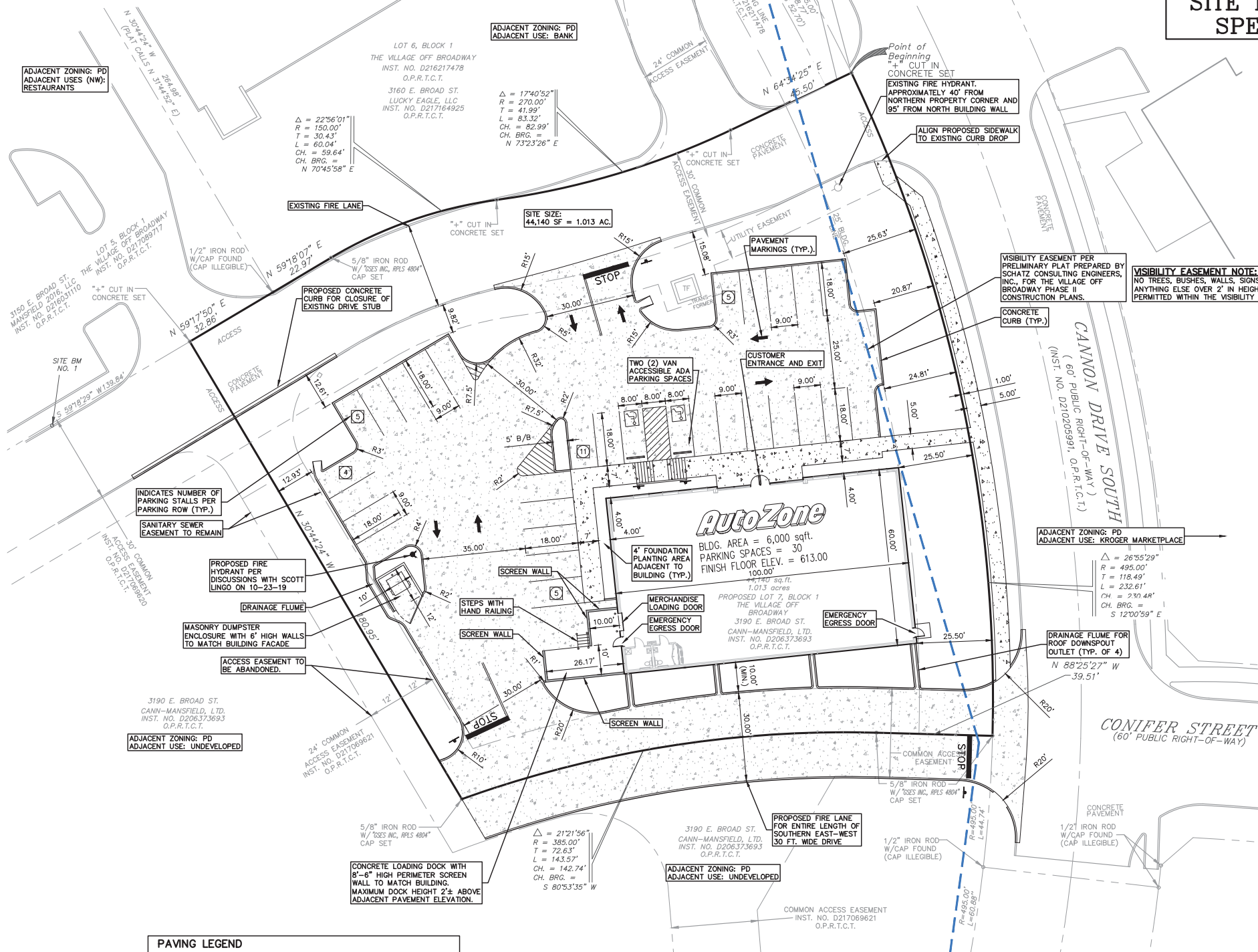
SITE DATA SUMMARY		
LOCATION: 3190 E. BROAD STREET (FINAL ADDRESS T.B.D.)		
JURISDICTION: CITY OF MANSFIELD, TARRANT COUNTY, TEXAS		
ZONING DISTRICT: PD PLANNED DEVELOPMENT		
GENERAL USE DESCRIPTION: AUTO PARTS RETAIL SALES		
CITY USE DEFINITION: AUTO PARTS OR ACCESSORY SALES (INDOOR)		
PER TABLE 6.2 OF "THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARDS", A SPECIFIC USE PERMIT IS REQUIRED FOR THE PROPOSED USE.		
<b>BUILDING INFORMATION:</b>		
GROSS FLOOR AREA = 6,000 SF (EXTERIOR FACE)		
BUILDING HEIGHT = 21'-1 1/2"		
NUMBER OF FLOORS = ONE		
<b>FLOOR AREA RATIO:</b>		
GROSS FLOOR AREA = 6,000 SF (EXTERIOR FACE)		
SITE SIZE: 44,140 SF		
FLOOR AREA RATIO = 6,000 / 44,140 = 13.6%		
ITEM	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK	25 FT	25.5 FT
MINIMUM SIDE SETBACK	0 FT	25± FT MINIMUM
MINIMUM REAR SETBACK	0 FT	69.2 FT
MAXIMUM BUILDING HEIGHT	35	1 STORY, 21 FT
REFERENCE IS MADE TO THE CITY OF MANSFIELD CODE OF ORDINANCES.		

PARKING INFORMATION		
ITEM	REQUIRED	PROVIDED
PARKING REQUIRED: CITY OF MANSFIELD ORDINANCE SECTION 7200B, "MOTOR VEHICLE PARTS & ACCESSORY SALES" (INDOORS) USE CATEGORY	MIN. PARKING COUNT: 1 SPACE PER 200 SF GROSS FLOOR AREA: 6,000/200 = 30 SPACES	30 SPACES
MIN. PARKING DIMENSIONS	9 FT x 18 FT	9 FT x 18 FT
MIN. DRIVE ISLE WIDTH	24 FT	25 FT (MINIMUM)
ADA PARKING SPACES	2 SPACES	2 SPACES
REFERENCE IS MADE TO THE CITY OF MANSFIELD CODE OF ORDINANCES.		



## NOT FOR CONSTRUCTION SITE PLAN DRAWINGS FOR SPECIFIC USE PERMIT

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF WESLEY R. BERLIN, PE #128147 ON 10-3-19. THIS DRAWING SHALL NOT BE USED FOR BIDDING OR CONSTRUCTION PURPOSES.



EXISTING FEATURES LEGEND	
PP	POWER POLE
WM	WATER METER
WV	WATER VALVE
LS	LIGHT STANDARD
CO	FIRE HYDRANT
CB	CLEANOUT
JB	JUNCTION BOX
GM	GAS METER
MS	METAL SIGN
PA	POWER POLE ANCHOR
SS	SANITARY SEWER MANHOLE
OP	OVERHEAD POWER LINE
TR	TELEPHONE RISER
CR	CABLE RISER
EM	ELECTRIC METER
TC	TOP OF CURB
GL	GUTTER
FL	FLOW LINE
BM	BENCHMARK
UR	UNDERGROUND ELECTRIC RISER

SIGN LEGEND	
SIGN TYPE	QNTY.
RESERVED PARKING	2
MIN ACCESSIBLE	2
STOP	3

PROPOSED FEATURES LEGEND	
WATER MAIN	---
WATER SERVICE	---
FIRE HYDRANT	⦿
SANITARY SEWER	---
CLEANOUT (SAN. OR ST.)	⦿
SIGN	T

PAVING LEGEND	
CONCRETE SIDEWALK	---
CONCRETE PAVING	---
• LIGHT DUTY (PARKING SPACES ONLY): 5" THICK 4,000 PSI CONCRETE PAVEMENT WITH NO. 4 BARS AT 18" O.C. EACH WAY, OVER 6" LIME TREATED SUBGRADE	
• HEAVY DUTY (LOADING, DRIVE LANES, SOUTH DRIVE): 6" THICK 4,000 PSI CONCRETE PAVEMENT WITH NO. 4 BARS AT 18" O.C. EACH WAY, OVER 6" LIME TREATED SUBGRADE	

<b>CURRENT OWNER</b> BOB SPENCER CANN-MANSFIELD, LTD. PO BOX 100997 FORT WORTH, TX 76185 817-926-3030
<b>DEVELOPER / FUTURE OWNER</b> CARL HELTON AUTOZONE PARTS, INC. 123 S. FRONT STREET, 3RD FLOOR MEMPHIS, TN 38103 901-495-6736
<b>PROJECT REPRESENTATIVE/CIVIL ENGINEER</b> WESLEY R. BERLIN, PE SPARTAN ENGINEERING SOLUTIONS, LLC 2583 PINE BLUFFS COURT HIGHLAND, MI 48357 810-746-9928

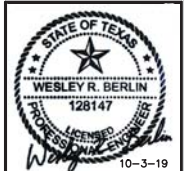
- CITY OF MANSFIELD SITE PLAN GENERAL NOTES:**
- ALL EQUIPMENT SHALL BE DESIGNED AND SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN SECTION 7301.A OF THE ZONING ORDINANCE.
  - THE TRASH ENCLOSURE WILL BE SCREENED IN ACCORDANCE WITH THE REGULATIONS OUTLINED IN 7301.B OF THE ZONING ORDINANCE.
  - THERE WILL BE NO OUTSIDE STORAGE OF MATERIALS OR REPAIR OR STORAGE OF VEHICLES ON THE PROPERTY.
  - ALL SIGNAGE WILL COMPLY WITH THE REGULATIONS FOR C-2 ZONED PROPERTY AS OUTLINED IN SECTION 7100 OF THE ZONING ORDINANCE.

EXHIBIT B: SHEET 1 OF 2  
CITY ZONING CASE ZC#19-017



**SPARTAN  
ENGINEERING  
SOLUTIONS, LLC**  
2583 PINE BLUFFS COURT  
HIGHLAND, MI 48357  
PHONE: 810-746-9928  
WEB: WWW.SPARTAN-ES.COM

T.B.P.E. FIRM REGISTRATION  
# F-19280



PREPARED FOR: **AUTOZONE PARTS, INC.**  
123 S. FRONT STREET, 3RD FLOOR  
MEMPHIS, TN 38103

PROJECT: **AUTOZONE MANSFIELD TX5948**  
1.013 ACRES: LOT 7, BLOCK 1 OF THE VILLAGE OFF BROADWAY / W. HOWARD  
CITY OF MANSFIELD, TARRANT COUNTY, TX 76063

SHEET TITLE: **SITE PLAN**

SCALE: 1" = 20'

72 HOURS NOTICE  
BEFORE YOU DIG CALL



**TEXAS 811**  
TEXAS811.ORG  
800-344-8377 OR 811

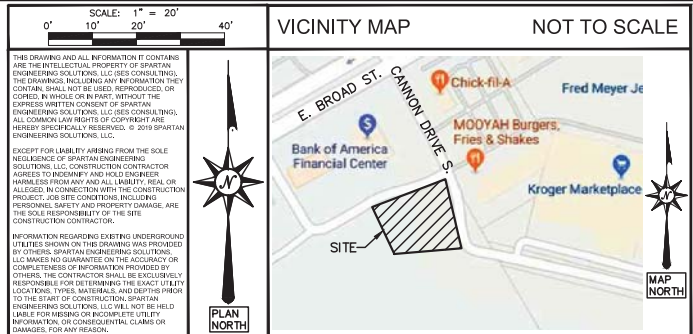
REVISED:  
1:10/30/19 SUP REVIEW 1

P.E./P.M. WRB/WRB  
DRAFTED: WRB  
CHECKED: WRB  
JOB NO.: 2019-018  
ORIGINAL ISSUE DATE  
OCTOBER 3, 2019  
SHEET NO.

**C1.0**

**BENCHMARKS:**  
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VERTICAL DATUM WAS ESTABLISHED BY GLOBAL POSITIONING SYSTEM (GPS) TEXAS RTK COOPERATIVE NETWORK NAD83-2011  
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SITE PLAN DRAWINGS FOR  
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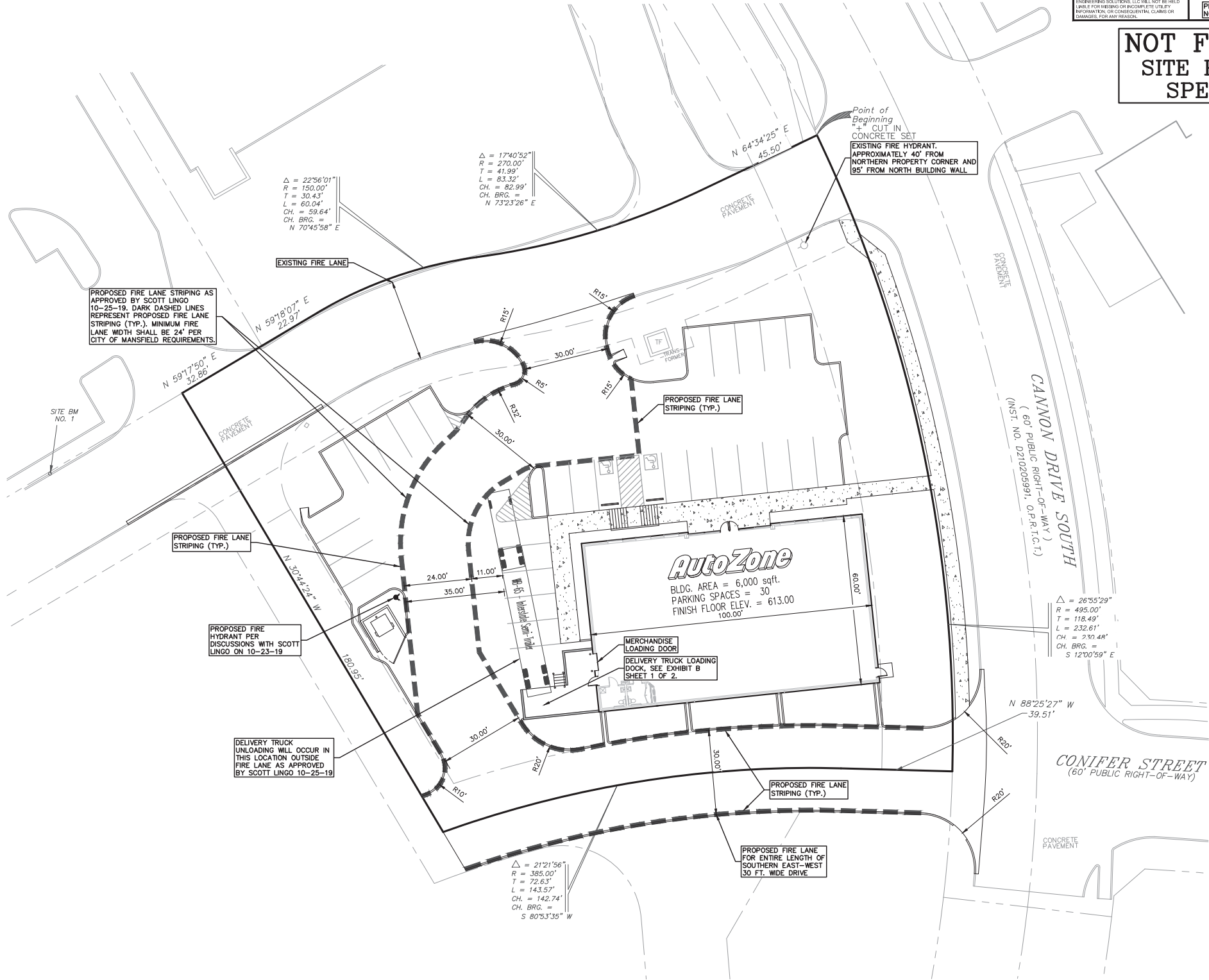


EXHIBIT B: SHEET 2 OF 2  
CITY ZONING CASE ZC#19-017

**SPARTAN ENGINEERING SOLUTIONS, LLC**  
2583 PINE BLUFFS COURT  
HIGHLAND, MI 48357  
PHONE: 810-746-9928  
WEB: WWW.SPARTAN-ES.COM

T.B.P.E. FIRM REGISTRATION # F-19280

STATE OF TEXAS  
WESLEY R. BERLIN  
128147  
Professional Engineer  
10-3-19

PREPARED FOR: **AUTOZONE PARTS, INC.**  
123 S. FRONT STREET, 3RD FLOOR  
MEMPHIS, TN 38103

PROJECT: **AUTOZONE MANSFIELD TX5948**  
1013 ACRES: LOT 7 BLOCK 1 OF THE VILLAGE OFF BROADWAY / W. HOWARD  
CITY OF MANSFIELD, TARRANT COUNTY, TX 76063

SHEET TITLE: **FIRE LANE PLAN**  
C:\PROJ\TX5948-018 AUTOZONE MANSFIELD DESIGN\CONSTRUCTION\0304A-C01.0A-105948-09-018.DWG

SCALE: 1" = 20'

72 HOURS NOTICE BEFORE YOU DIG CALL

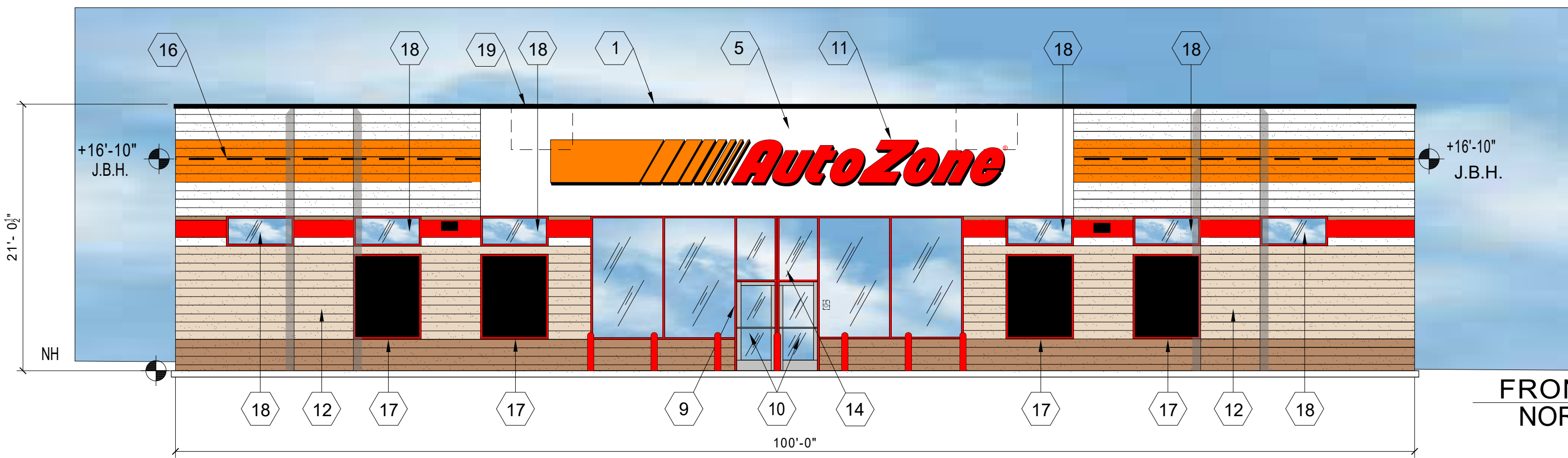
**TEXAS 811**  
TEXAS811.ORG  
800-344-8377 OR 811

REVISED:  
1:10/30/19 SUP REVIEW 1

P.E./P.M. WRB/WRB  
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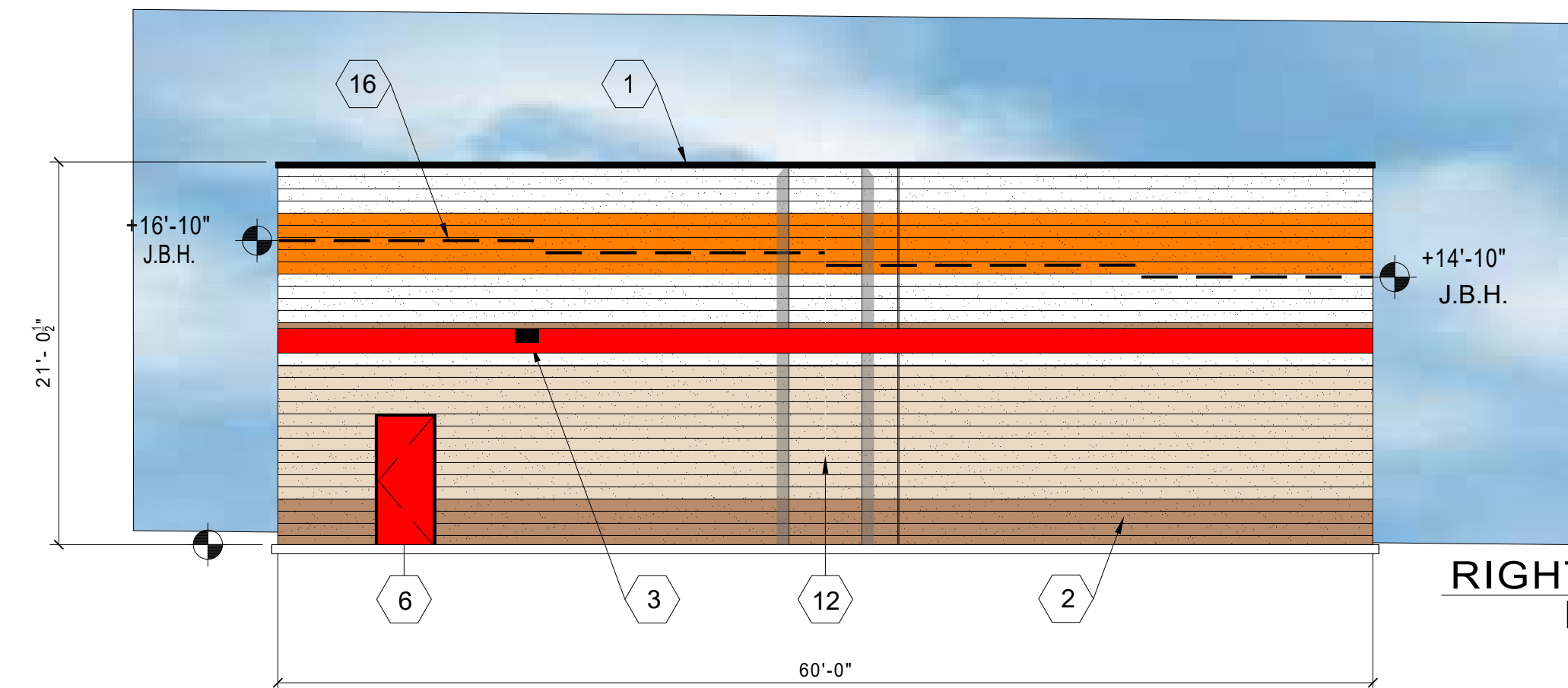
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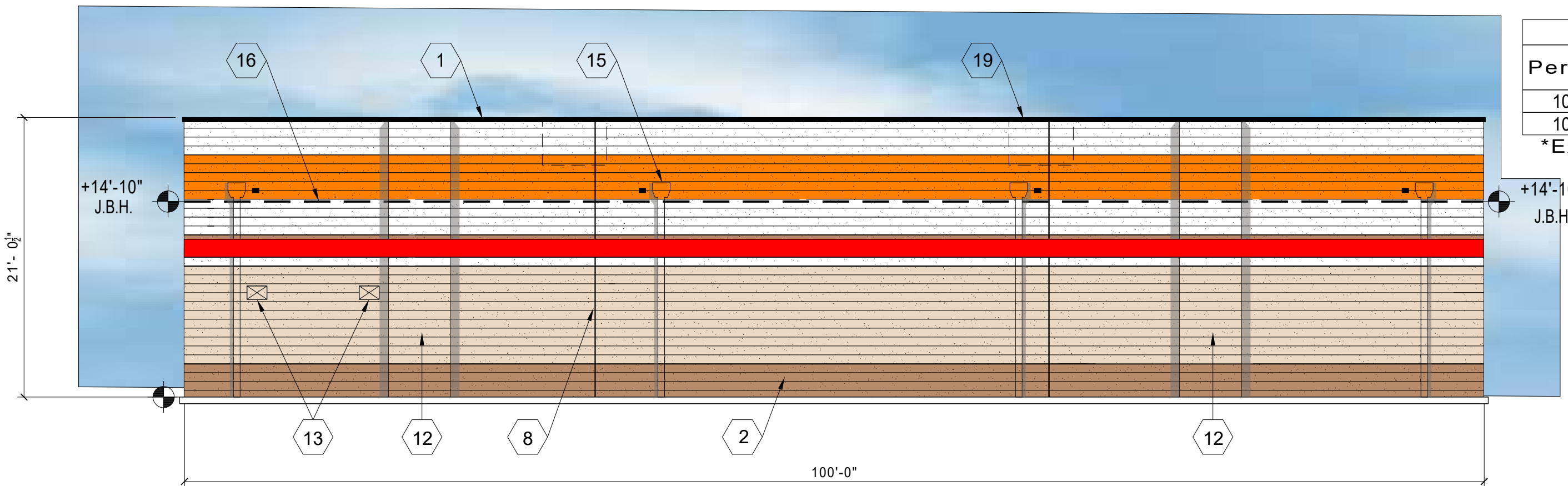
FRONT WALL ELEVATION		
Percent	*Surface Area	Material
100%	1,541 sq ft	
74%	1,145 sq ft	Masonry
26%	396 sq ft	EIFS

\*Excludes Doors and Windows



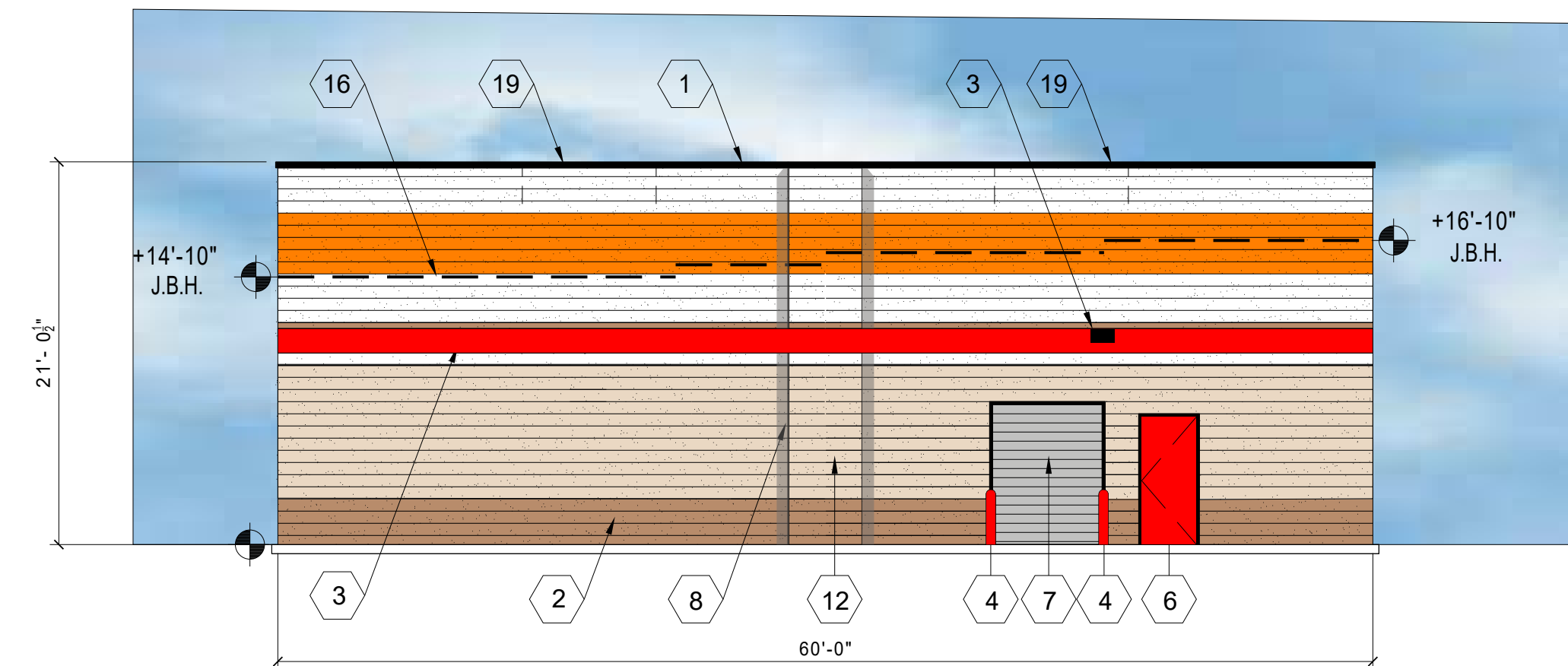
RIGHT SIDE WALL ELEVATION		
Percent	*Surface Area	Material
100%	1,215 sq ft	
100%	1,215 sq ft	Masonry

\*Excludes Doors and Windows



REAR WALL ELEVATION		
Percent	*Surface Area	Material
100%	2,060 sq ft	
100%	2,060 sq ft	Masonry

\*Excludes Doors and Windows

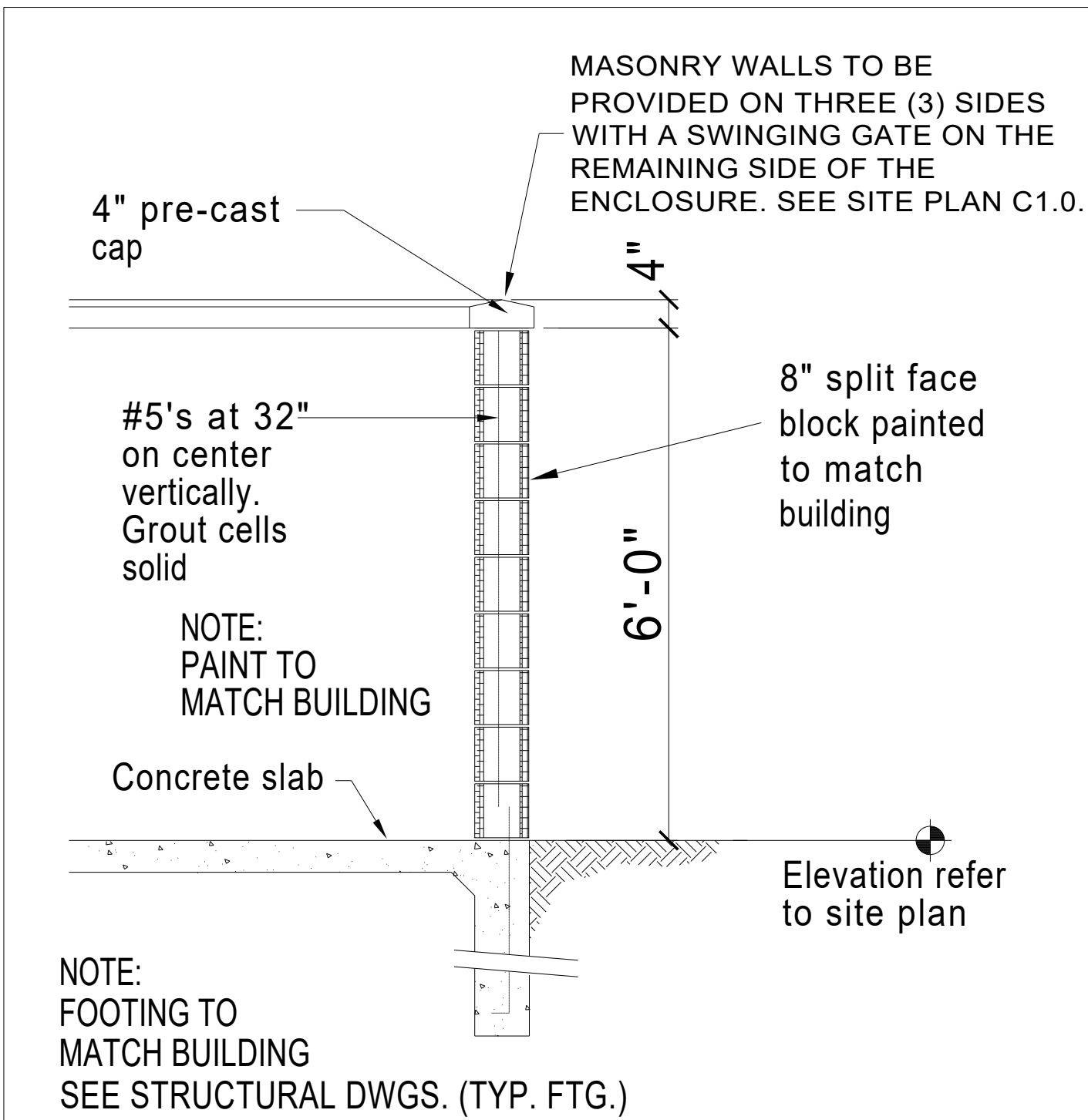


LEFT SIDE WALL ELEVATION		
Percent	*Surface Area	Material
100%	1,165 sq ft	
100%	1,165 sq ft	Masonry

\*Excludes Doors and Windows

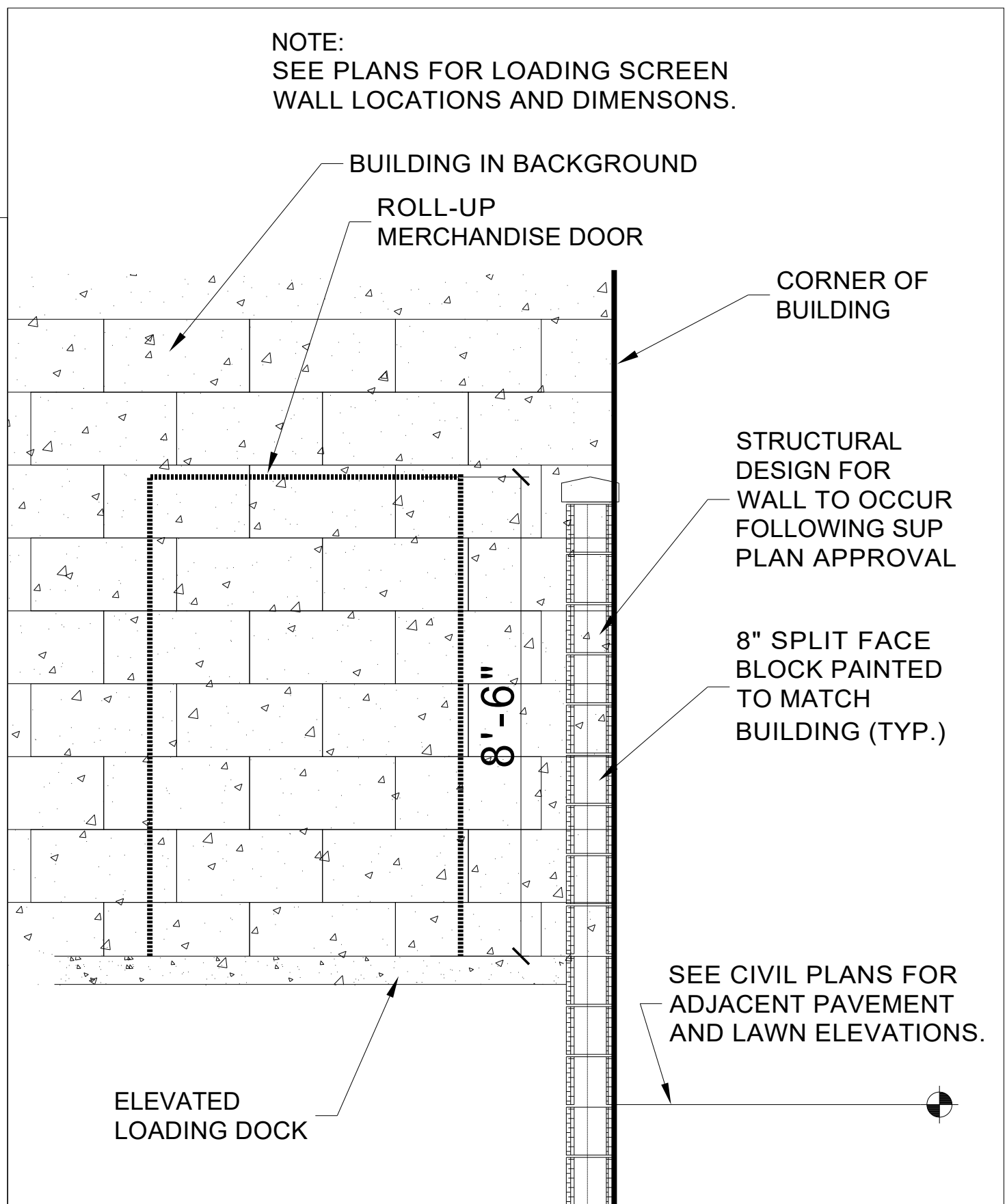
OVERALL ELEVATIONS		
Percent	*Surface Area	Material
100%	5,981 sq ft	
93%	5,585 sq ft	Masonry
7%	396 sq ft	EIFS

\*Excludes Doors and Windows



NO SCALE

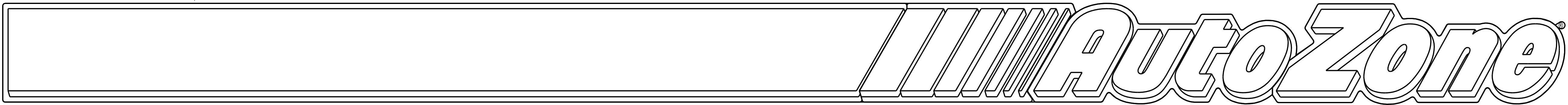
1 DUMPSTER SECTION



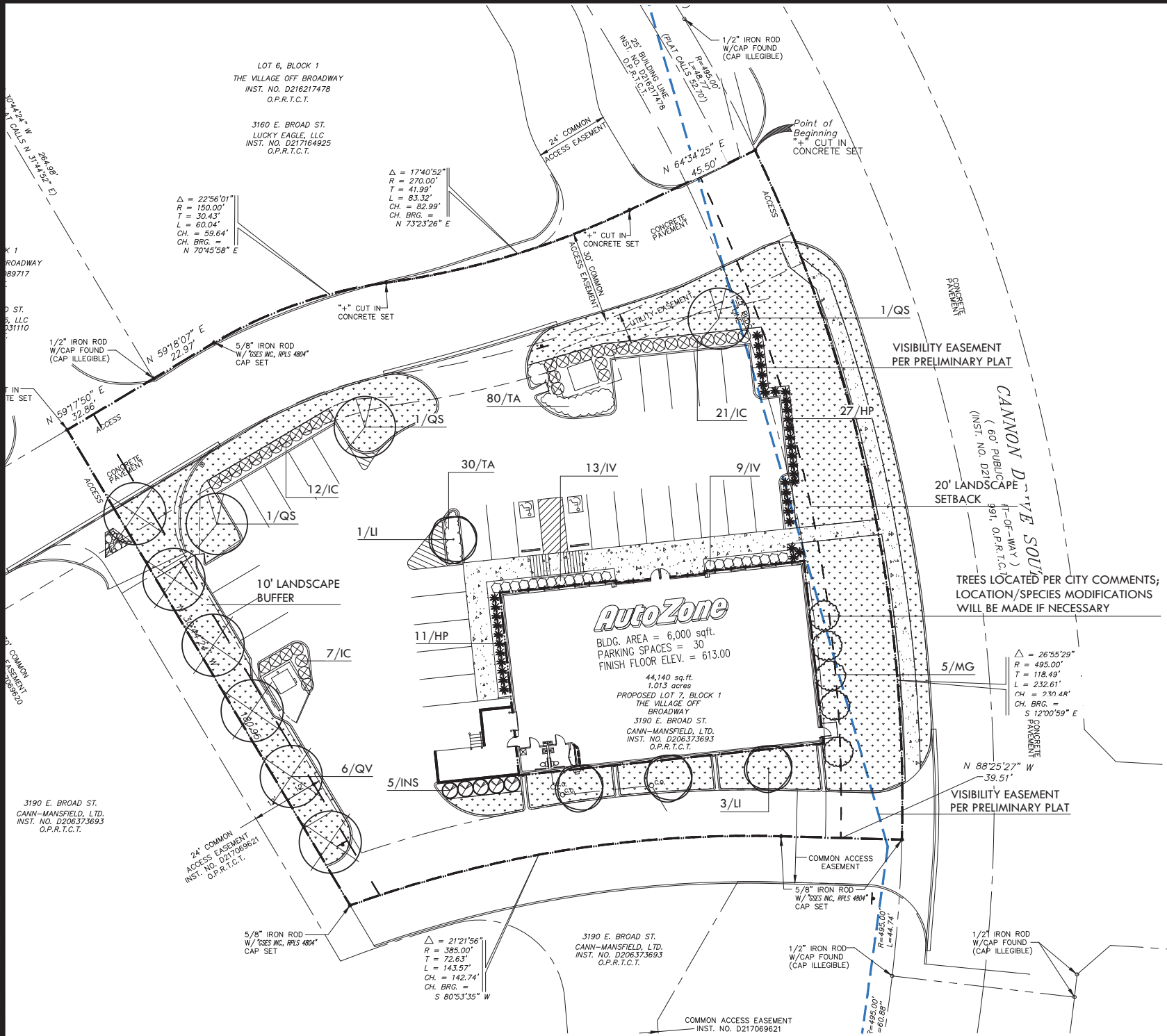
NO SCALE

2 LOADING SCREEN WALL SECTION

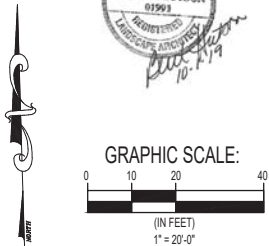
Color Elevation  
AutoZone Store #5948  
Mansfield, TX







Landscape Maintenance: the property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. this shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.



CURRENT OWNER BOB SPENCER CANN-MANSFIELD LTD. PO BOX 100997 FORT WORTH, TX 76185 817-926-3030	DEVELOPER/FUTURE OWNER CARL HELTON AUTOZONE PARTS, INC. 123 FRONT ST., 3RD FLOOR MEMPHIS, TN 38103 901-495-8736
CIVIL ENGINEER: WESLEY R. BERLIN, PE SPARTAN ENGINEERING SOLUTIONS, LLC 2863 PINE BLUFFS COURT HIGHLAND, MI 48357 810-746-9928	LANDSCAPE ARCHITECT/CERTIFIED ARBORIST: BERT HUTSON, RLA TEXAS TUFF LANDSCAPE, LLC PO BOX 172 PROSPER, TEXAS 75078 972-347-9930

EXHIBIT D: CITY ZONING CASE ZC#19-017

## PLANT SCHEDULE

	CODE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
	Trees:				
	INS	5	Nellie R. Stevens holly	Ilex x Nellie R. Stevens	15 gal.
	LI	4	Tuscarora crape myrtle	Lagerstroemia x indica 'Tuscarora Red'	30 gal.
	MG	5	Little Gem magnolia	Magnolia grandiflora 'Little Gem'	30 gal.
	QS	3	Shumard red oak	Quercus shumardii	3.5" cal.
	QV	6	live oak	Quercus virginiana	3.5" cal.
	Shrubs:				
	HP	38	red yucca	Hesperaloe parvifolia	3 gal.
	IC	41	needlepoint holly	Ilex cornuta 'Needlepoint'	5 gal.
	IV	22	dwarf yaupon holly	Ilex vomitoria 'Nana'	3 gal.
	Groundcover:				
	CD	1115 SY	bermudagrass sod	Cynodon dactylon	
	TA	110	Asian jasmine	Trachelospermum asiaticum	1 gal. 18" OC

### SUMMARY CHART - BUFFER YARD/LANDSCAPE SETBACKS

Location	Required/ Provided	Length	Width	Canopy	Ornamental	Shrubs	Screening
				Trees	Trees		Wall
North	Required	194.69'	10'	See Note 1	NA	NA	NA
	Provided	194.69'	10'		NA	NA	NA
East	Required	187.61'	20'	5	NA	NA	NA
	Provided	187.61'	20'	5	NA	NA	NA
South	Required	107.57'	10'	See Note 2	NA	NA	NA
	Provided	107.57'	10'		NA	NA	NA
West	Required	135.95'	10'	6	NA	NA	NA
	Provided	135.95'	10'	6	NA	NA	NA

Notes:  
1. North side is a 30' drive lane  
2. South side is a shared 30' drive lane

### SUMMARY CHART - INTERIOR LANDSCAPE

	Landscape Area in SF	% of Landscape Area	Canopy Trees	Ornamental Trees	Shrubs	Screening Wall
Required	4414	10%	NA	NA	NA	NA
Provided	10304	23%	NA	NA	NA	NA

### SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING

# of Required Parking Spaces	30
# of Provided Parking Spaces	30
# of Tree Islands Provided	1
# of Trees Required	3
# of Trees Provided	3



TEXAS TUFF LANDSCAPE

Design-Project Management-Horticulture Services

972-347-9930

Date: 10/03/19  
Scale: 1" = 20'-0"  
Project No.:  
Drawn by: BAH  
Approved:  
Revised:  
10/30/19: per city comments

AUTO ZONE MANSFIELD, TX

3190 E. Broad St., Lot 7, Block 1

The Village of Broadway

Mansfield, Texas 76063

Sheet:  
Landscape Plan

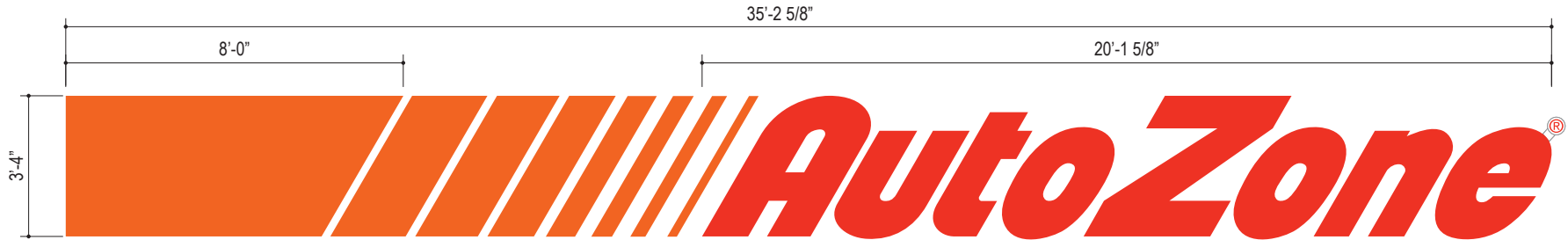
L1.0

40LS

FACE LIT CHANNEL LETTERS w/ STRIPES (Qty 1)

AZ1CL40-422-5LINT  
AZ1CL40-422-5LEXT

SQUARE FOOTAGE: 117



FRONT VIEW  
SCALE: 1/4"=1'-0"



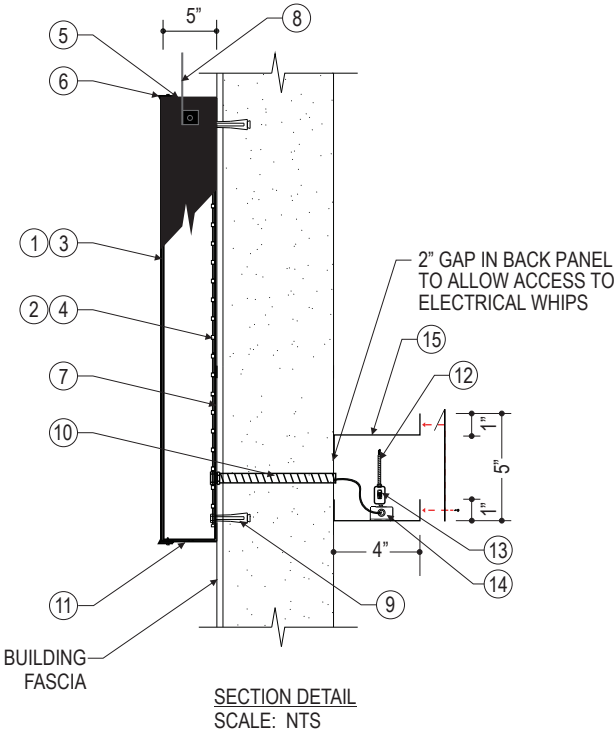
LED LAYOUT  
SCALE: NTS

SPECIFICATIONS

- 3/16" THK PIGMENTED PLEXIGLAS RED 2662 AUTOZONE LETTERS
- AUTOZONE LETTERS INTERNALLY ILLUMINATED w/ GE TETRA MAX RED LED
- 3/16" THK PIGMENTED PLEXIGLAS ORANGE 2119 AUTOZONE STRIPES
- AUTOZONE STRIPES INTERNALLY ILLUMINATED w/ GE TETRA MAX ORANGE LED
- 5" PRE-FINISHED .040 BLACK/WHITE ALUMINUM RETURNS LETTER LOCKED/STAPLED TO BACK AND CAULKED / INSIDE OF LETTERS AND STRIPES TO BE WHITE
- 1" GLOSS BLACK JEWELITE TRIM FASTENED TO LETTERS & STRIPES w/ MINIMUM #8 SHEET METAL SCREWS PAINTED P-8 / SPACING SHALL NOT EXCEED 18" / NO FEWER THAN FOUR (4) SCREWS PER FACE
- PRE-FINISHED .063 BLACK/WHITE ALUMINUM BACKS LETTER LOCKED/STAPLED TO RETURN AND CAULKED / INSIDE OF LETTERS AND STRIPES TO BE WHITE
- WHITE ALUMINUM TAB w/ @ VINYL APPLIED FIRST SURFACE V-3
- AUTOZONE REQUIRED MOUNTING HARDWARE: TOGGLE BOLTS-EIFS WALLS OR MASONRY LAGS-CMU/MASONRY WALLS / JONES SIGN WILL SUPPLY THIS HARDWARE (REFER TO WALL SYSTEMS w/ APPROVED FASTENERS CHART)
- 1/2" FLEXIBLE CONDUIT / GREEN FIELD
- 1/4" DIA WEEP HOLES
- 120V - 20 AMP PRIMARY ELECTRICAL CONNECTIONS / TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS
- UL APPROVED ELECTRICAL SHUT OFF SWITCH
- TETRA POWER SUPPLY MOUNTED TO BOTTOM OF TRANSFORMER BOX
- INTERIOR RACEWAY AS NEEDED:** 4" x 5"H x .063 WHT/WHT ALUMINUM BREAKFORMED INTERIOR TRANSFORMER BOX w/ REMOVABLE FACE / PAINTED P-7

COLORS/FINISHES

<div></div>	P-7	SW 6091 RELIABLE WHITE
<div></div>	P-8	GLOSS BLACK
<div></div>	V-3	3M 3630-143 POPPY RED TRANSLUCENT VINYL



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

MATERIAL LIST			
LED Module	GEMXPO-W1	153 Mod	77 Ft
	GEMXRD-W1	180 Mod	90 Ft
Power Supply	GEPS12-60U-NA		3 Ea
Supply Wire	9409	145 Ft	
Choose one wire connector	192160004	46 Ea	
	191600041	46 Ea	
End Caps	191600041	40 Ea	

MATERIAL BREAKDOWN		
GEMXPO-W1	Modules	12V P/S
S1	8.0	1
S2	9.0	
S3	9.0	
S4	9.0	
S5	16.0	
S6	20.0	
S7	24.0	
S8	58.0	
GEMXRD-W1	Modules	12V P/S
A	31.0	1
U	18.0	
T	15.0	
O	19.0	
Z	35.0	1
O	19.0	
N	19.0	
E	24.0	




NIGHT VIEW  
SCALE: NTS

WALL SYSTEMS	APPROVED FASTENER	
WOOD, CONCRETE BLOCK OR EIFS	3/8" THREADED ROD THRU-BOLT w/ NUT & WASHER	
METAL OR EIFS	3/8" THREADED ROD THRU-BOLT w/ TOGGLE ANCHOR	
CONCRETE, MASONRY AND BRICK - EMBED A MINIMUM OF 3"	3/8" DIA. LAG w/ 3/8" SHIELD & WASHER	
TILT-UP CMU - EMBED A MINIMUM OF 3"	3/8" DIA RED HEAD LARGE DIAMETER TAPCON FASTENER	

\*FOR ALL OTHER WALL CONDITIONS NOT LISTED ON THIS APPROVED FASTENER SCHEDULE, INSTALLER IS TO DETERMINE A SUITABLE METHOD OF ATTACHMENT FOR SIGNAGE AND OBTAIN APPROVAL FROM IMAGE NATIONAL SIGNS.

\*IF INSTALLER IS UNSURE OF A METHOD, IMAGE NATIONAL SIGNS MUST BE CONSULTED. FOR ALL ATTACHMENT METHODS, INSTALLER MUST ADHERE TO GUIDELINES ON USE AND SITE PREPARATION RECOMMENDED BY FASTENER MANUFACTURER.

<div>JONES SIGN</div> <div>Your Vision. Accomplished.</div> <div>WWW.JONESSIGN.COM</div>	<div>JOB #: 000000-R0</div> <div>DATE: 00.00.0000</div> <div>DESIGNER: Jeneé Sotka</div> <div>SALES REP: XXX</div> <div>PROJ MGR: Jamie De Vos</div>	<div>REV.</div> <div>DATE</div> <div>BY</div> <div>DESCRIPTION</div>	<div>CLIENT APPROVAL</div> <div>DATE</div>		<div>EXHIBIT E</div> <div>CITY ZONING CASE</div> <div>ZC#19-017</div>	<div>SHEET NUMBER</div>
		<div>1</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>	<div>LANDLORD APPROVAL</div> <div>DATE</div>		<div>1.0</div>	
		<div>2</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>	<div>QC</div>			
		<div>3</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>4</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>			<div>DESIGN PHASE: CONCEPTUAL</div>	
		<div>5</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>6</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>7</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>8</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>9</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				
		<div>10</div> <div>00.00.00</div> <div>XX</div> <div>XXXX</div>				