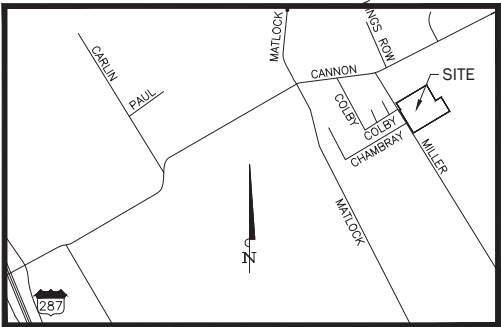
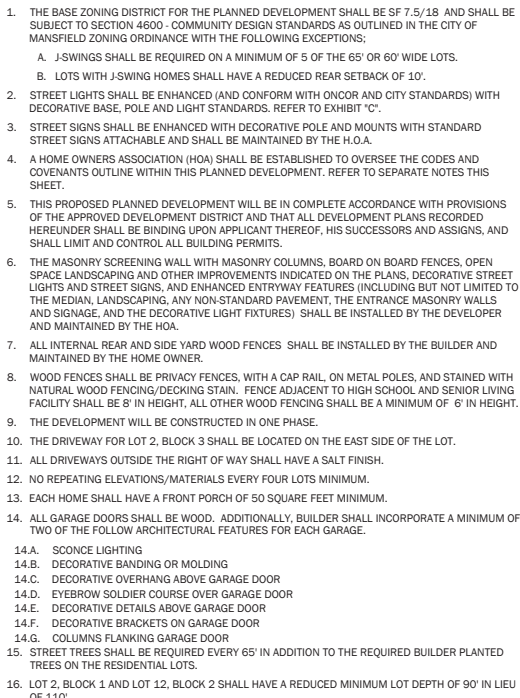
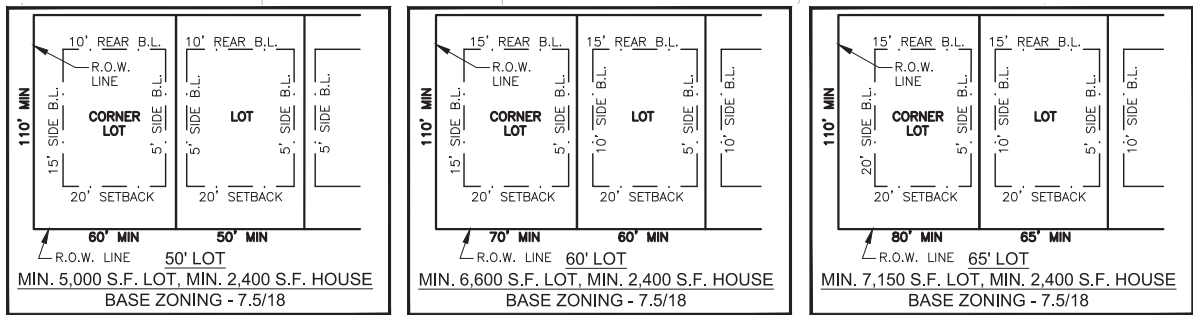


1. A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALL WITH MASONRY COLUMNS; THE WOOD FENCE WITH MASONRY COLUMNS; THE DECORATIVE METAL FENCE; THE WOOD FENCE ALONG THE NORTHERN AND WESTERN PERIMETER OF THE DEVELOPMENT; THE DECORATIVE STREET SIGN AND STREET LIGHT POLES AND MOUNTS; THE OPEN SPACE LOTS AND ALL LANDSCAPING AND IMPROVEMENTS THEREON; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALLS AND SIGNAGE, AND THE DECORATIVE LIGHT FIXTURES.
2. THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN A DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.



VICINITY MAP
NOT TO SCALE
MANSFIELD, TEXAS

SITE DATA SUMMARY:	
BASE ZONING:	SF - 7.5/18
MAXIMUM HEIGHT:	35'
MAXIMUM LOT COVERAGE	65%
GROSS DENSITY	4.16 UNITS PER ACRE
TOTAL OPEN SPACE AREA	43700 S.F. (10.44%)
MINIMUM LOT WIDTH FOR CORNER LOTS	ALL CORNER LOTS SHALL BE AT LEAST 10' WIDER THAN THE MIN. LOT WIDTH.
MINIMUM STREET FRONTAGE	50' (RESIDENTIAL LOTS)
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
MIN. MASONRY PERCENTAGE:	90%
MINIMUM FRONT SETBACK ON ALL KNUCKLES AND CUL-DE-SACS	15'

LOT SIZE TYPE:	50' WIDE LOTS	60' WIDE LOTS	65' WIDE LOTS
NUMBER OF LOTS PROVIDED:	19	6	15
MINIMUM FLOOR AREA:	2,400 S.F.	2,400 S.F.	2,400 S.F.
MINIMUM LOT AREA:	5,000 S.F.	6,600 S.F.	7,150 S.F.
MINIMUM LOT WIDTH:	50'	60'	65'
MINIMUM LOT DEPTH:	110' (SEE NOTE 16)	110'	110' (SEE NOTE 16)
MINIMUM FRONT SETBACK:	20'	20'	20'
MINIMUM REAR SETBACK:	10'	10'	15' (SEE NOTE 1.B.)
MINIMUM INTERIOR SIDE YARD:	5'	5'	5' & 10'=15'
MINIMUM EXTERIOR SIDE YARD ADJACENT TO STREET	15'	15'	20'

APPLICANT/DEVELOPER:
SKORBURG COMPANY
8214 WESTCHESTER DRIVE,
SUITE 710
DALLAS, TEXAS 75225
CONTACT: JOHN ARNOLD
214-535-2090

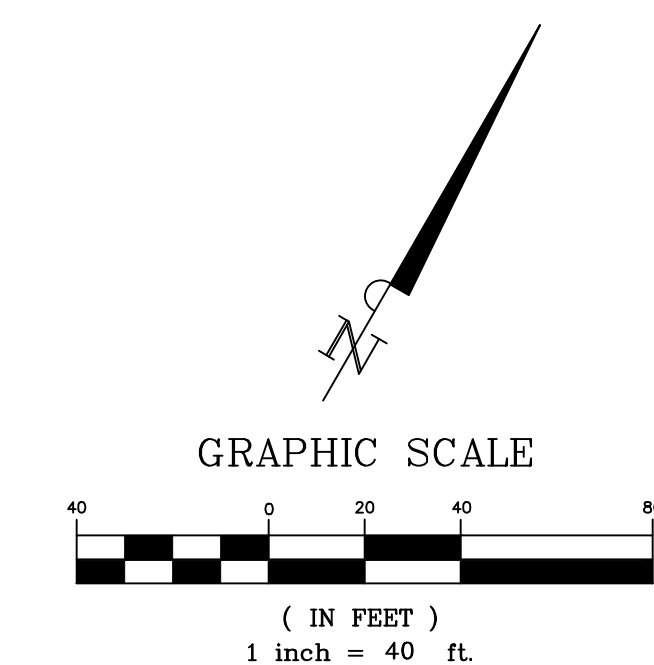
EXHIBIT "B"
DEVELOPMENT PLAN
COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land
situated in the William Howard Survey,
Abstract No. 690

40 Single Family Lots - 6 Open Space Lots
ZC#19-020



Date Prepared: 11/4/2019
Date Revised: 02/18/2020



- EXHIBIT "D"
LANDSCAPE PLAN
COLBY CROSSING PHASE 2

40 Single Family Lots - 6 Open Space Lots
ZC#19-020

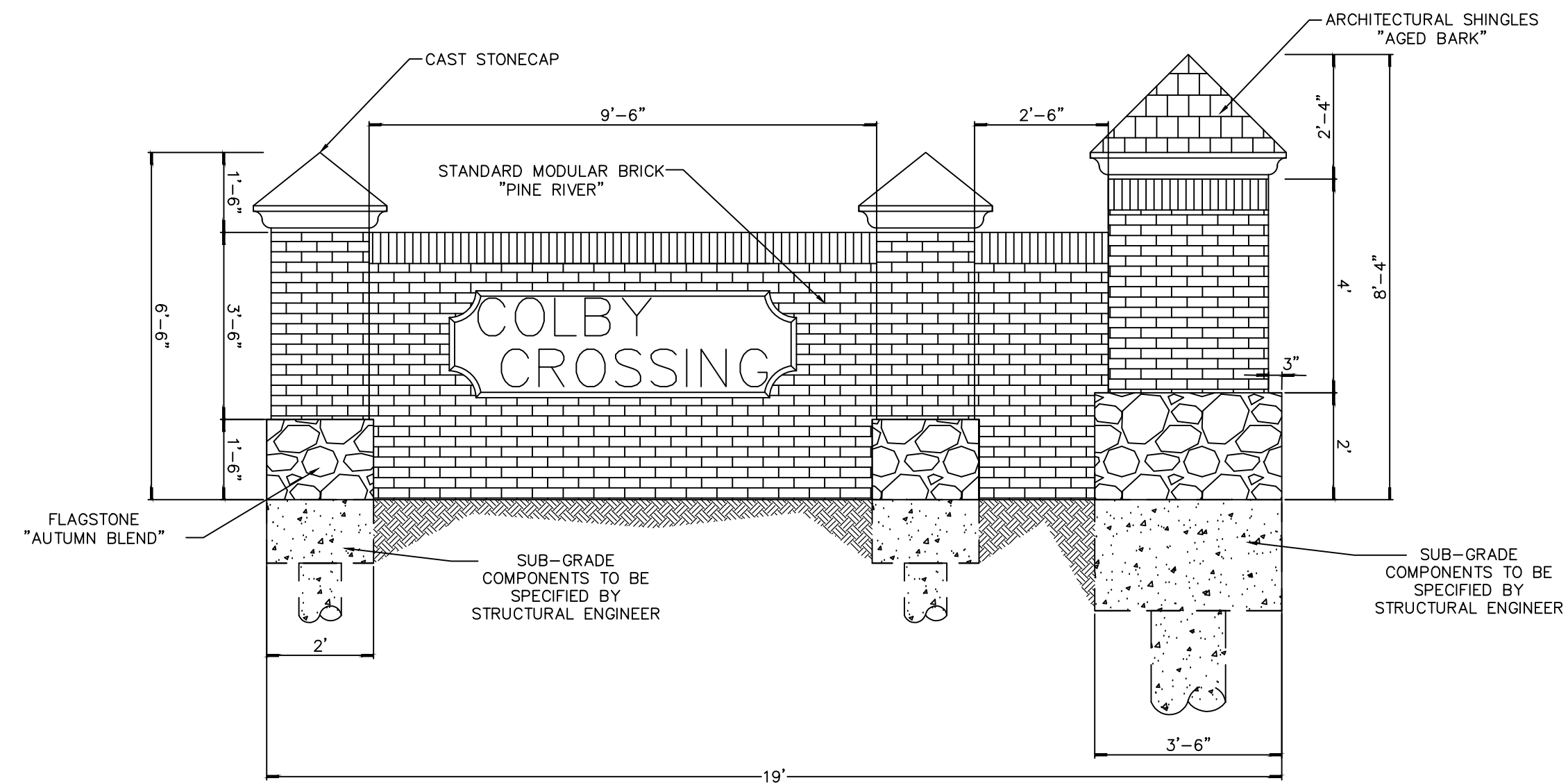
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Drew J. Dubocq
L.A.#3141
02/13/2020

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)
CONTACT: CODY R. BROOKS, P.E. cbrooks@bannistereng.com | 817.842.2094

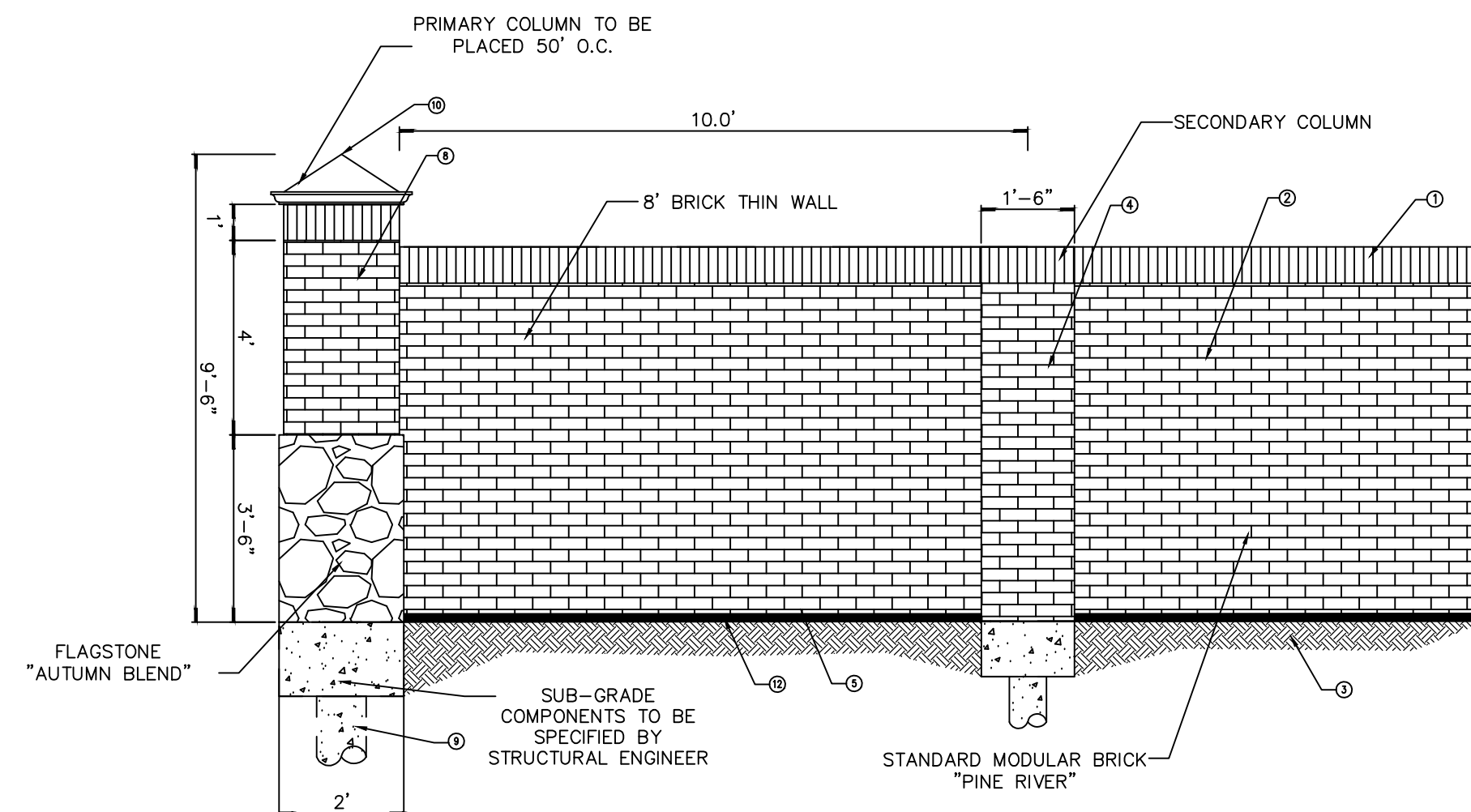
Date Prepared: 11/4/2019
Revised: 02/13/2020

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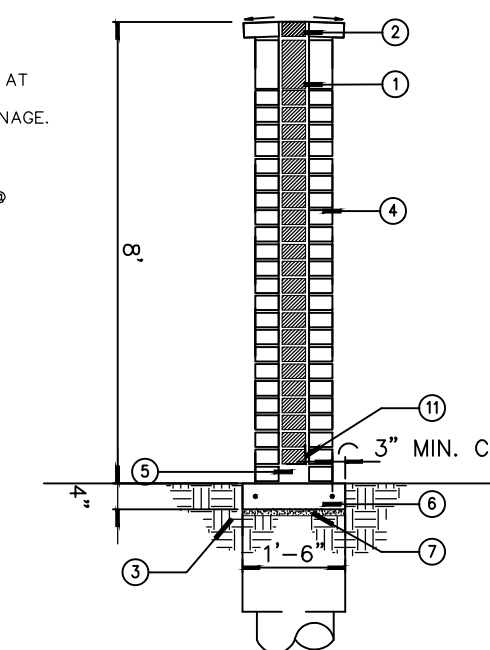
A MONUMENT SIGNAGE

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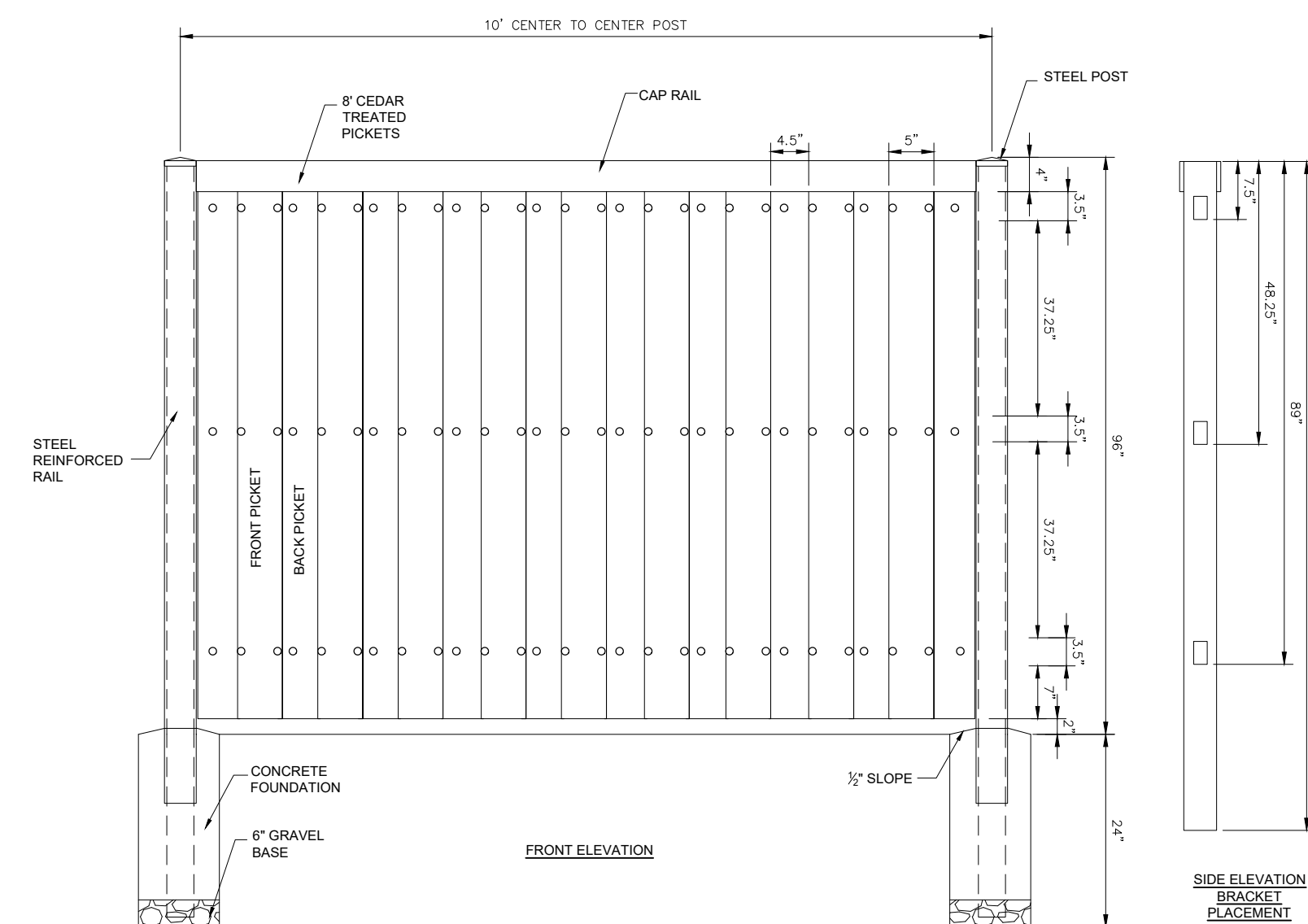


B 8' MASONRY WALL WITH MASONRY COLUMNS

- 1 SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- 2 STANDARD RUNNING BOND BRICK FACING W/STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER, REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE, PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- 3 COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- 4 STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- 5 BOTTOM COURSE WITH WEEP OPENINGS
- 6 CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" O.C. MIN.
- 7 1" SAND SETTING BED.
- 8 STANDARD 24"x24" COLUMN
- 9 12"~ PIER x DEPTH TO 8" MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- 10 CAST STONE COLUMN CAP
- 11 3"x3"x1" GALVANIZED ANGLE IRON
- 12 4" OPENING



NOT TO SCALE



C 8' BOARD ON BOARD WOOD FENCE

NOT TO SCALE

EXHIBIT "D" LANDSCAPING AND SCREENING DETAILS COLBY CROSSING PHASE 2

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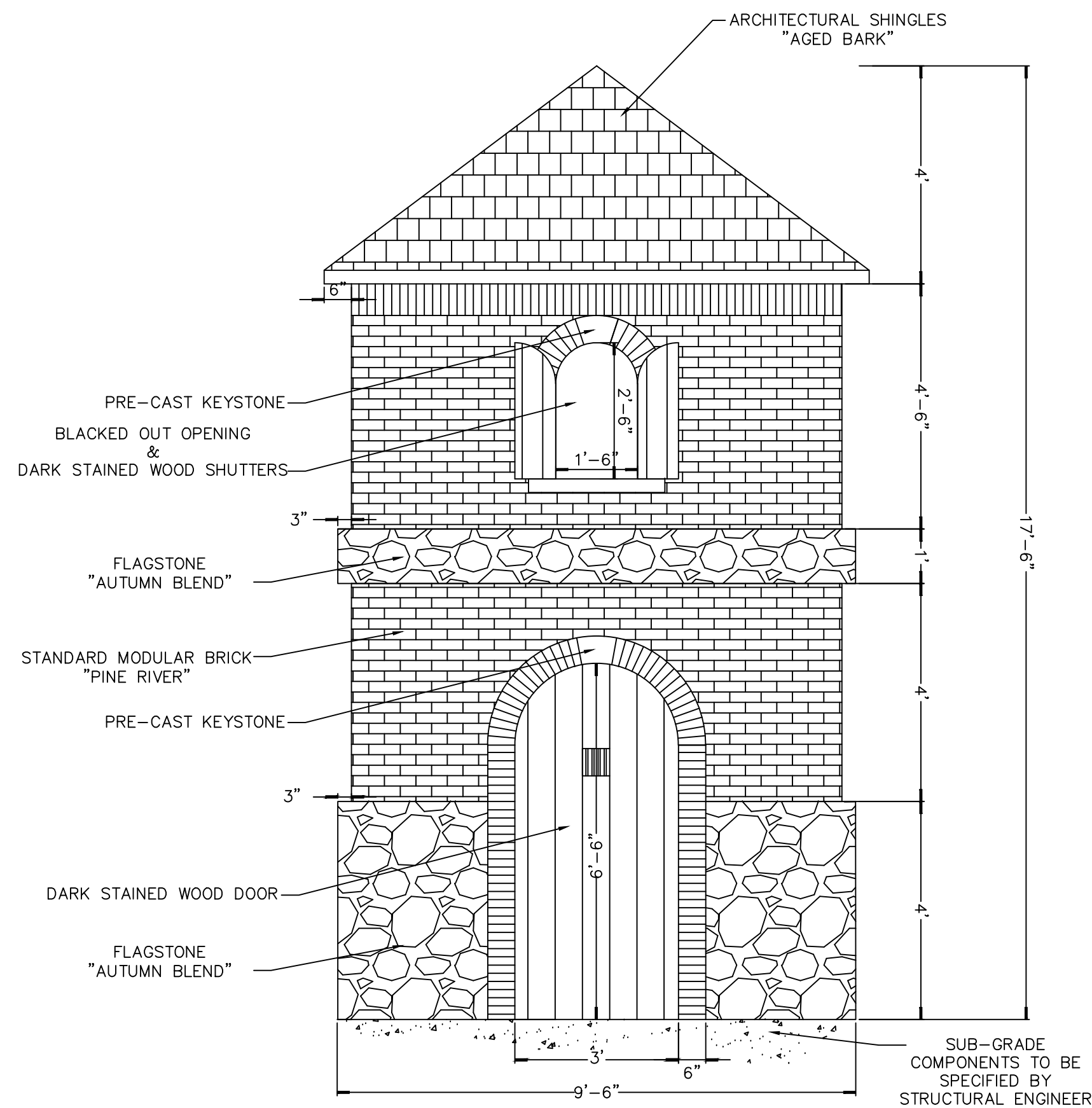
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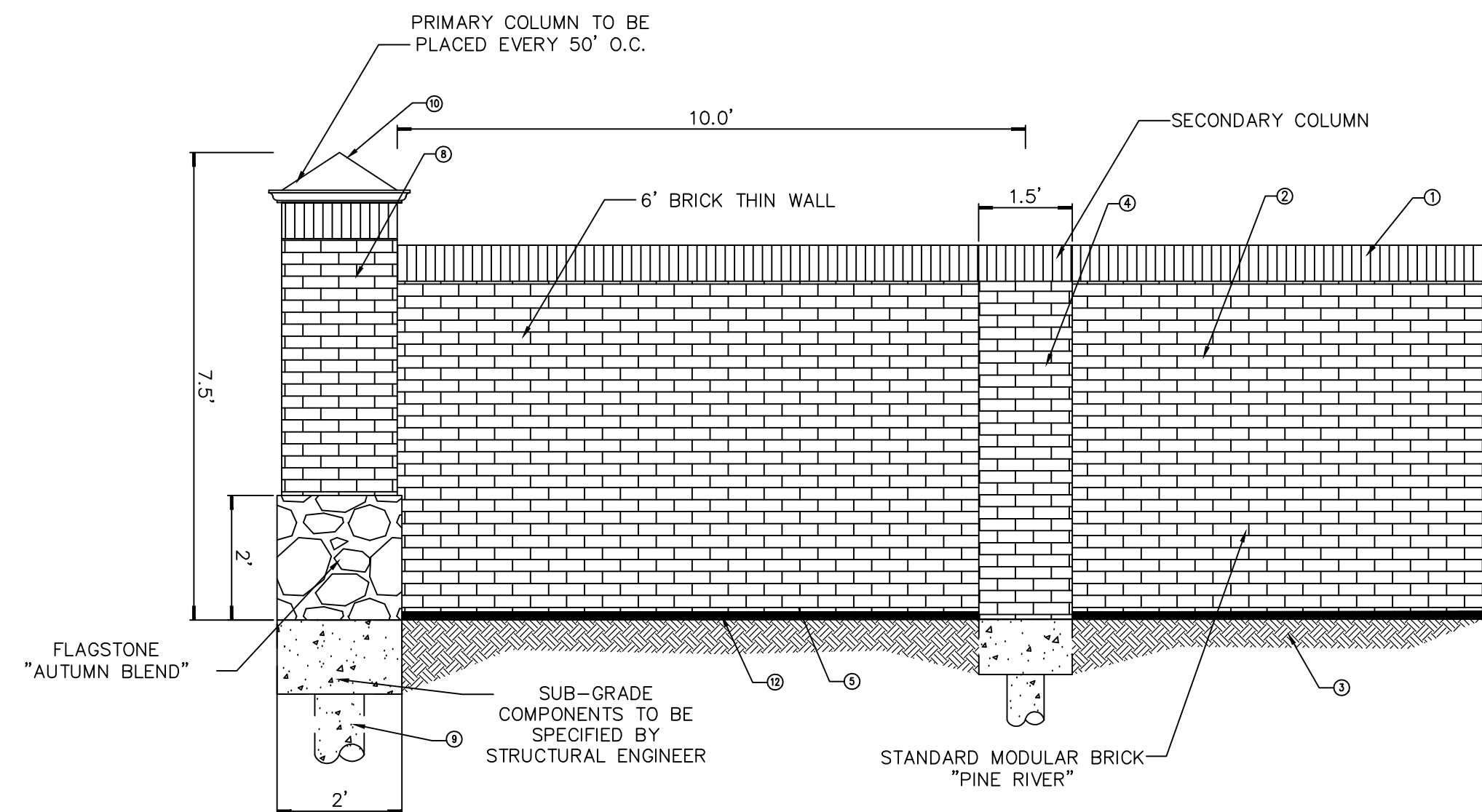
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File: B:\Clients\090 (Storburg Development)\090-15-08 (Miller Road - Mansfield TX)\Civil\Exhibits\Concept Landscape Plan.dwg || Date Plotted: 2/13/2020 11:26 AM || Plotted By: draw



D UN-MANNED GUARD HOUSE DETAIL
NOT TO SCALE



E 6' MASONRY WALL W/ MASONRY COLUMNS
NOT TO SCALE

- ① SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- ② STANDARD RUNNING BOND BRICK FACING W/ STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 3 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF AASHTO 1-99 DENSITY.
- ④ STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS
- ⑥ CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" o.c. MIN.
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- ⑧ STANDARD 24"x24" COLUMN @ 60' OR 20' O.C.
- ⑨ 12"- PIER x DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- ⑩ CAST STONE COLUMN CAP
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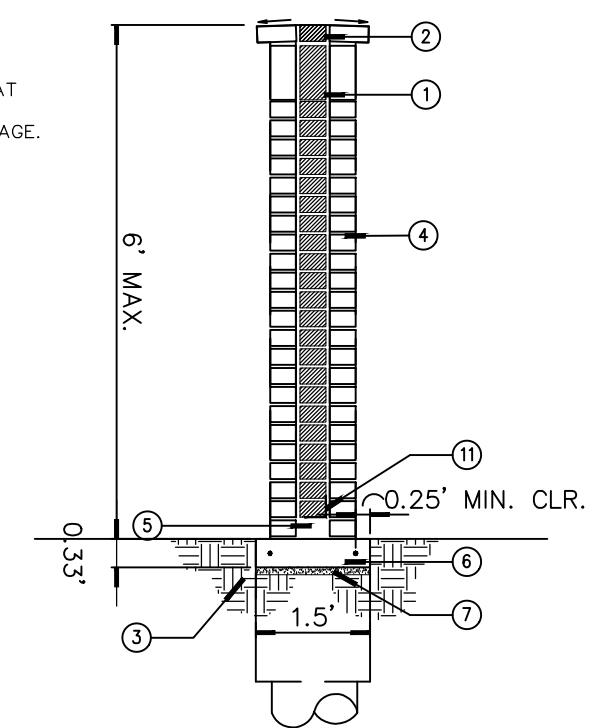


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Being approximately 9.612 Acres of land
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Date Prepared: 11/4/2019
Revised: 02/13/2020

BE JOB NO. 090-15-08

EXHIBIT “F”

**COLBY CROSSING ADDITION 2
(50’, 60’ and 65’ wide front entry lots)**

**PLANNED DEVELOPMENT CONDITIONS ADDENDUM TO
DEVELOPMENT PLAN**

**APPLICANT: SKORBURG COMPANY
ZC# 19-020**

- A. Garages: Each garage shall incorporate at least two (2) of the following architectural features:
- a. Sconce lighting
 - b. Decorative banding or molding
 - c. Decorative overhangs above garage doors
 - d. Eyebrow soldier course over garage doors
 - e. Decorative details above garage
 - f. Decorative brackets on garage doors
 - g. Columns flanking garage door
- B. Garage Orientation: A minimum of five (5) homes on the 60’ wide (or wider) lots shall be required to have a J-Swing garage configuration.
- C. Driveways: All driveways shall have a salt finish.
- D. Street Trees: Street trees at least 4” caliper in size at the time of planting shall be planted between the sidewalk and back of curb at least every 65’.
- E. Elevation Control: In Colby Crossing (across the street), the ordinance states: In order to encourage variety on a continuous block, the exterior facades for houses will vary within 6 houses. The same combination of brick, stone, masonry-like materials, and paint will not be used within six (6) houses on either side of the house. In Colby 2, in order to encourage variety on a continuous block, the exterior facades for houses will vary within every four (4) homes. The same combination of brick, stone, masonry-like materials and paint will not be used within six (6) houses on either side of the house.

- F. Homeowners Association: Unless the existing Colby Crossing Homeowners Association, Inc. willingly (in its sole discretion with City approval) allows the Subdivision to be added to its existing HOA, a separate Homeowners Association shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association.
- G. Minimum House Sizes: The minimum A/C square footage of the homes shall be 2,400 A/C SF.
- H. Additional Architectural Enhancements:
- a. Front Porches: All homes shall have a front porch of a minimum of fifty (50) square feet.
 - b. Decorative Overhangs: A minimum of 10% of all front entry homes shall incorporate decorative overhang accents over the garage and/or windows.
 - c. Garage Doors: All homes shall be required to have wood or wood overlay garage doors.
 - d. Masonry Requirements: All homes shall be required to be at least 90% masonry overall.
 - e. Front Entry Doors: All front entry doors shall be 8-feet in height and be made of wood or wood with glass combination.
 - f. Roof Pitch: A minimum roof pitch of 8:12 (inches of rise per inches of run) from side to side will apply to predominant roof. A variety of roof pitches may be incorporated into the roof design provided that the predominant roof has at least an 8:12 pitch. Porch roofs shall have a minimum of 4:12 pitch. All 8:12 roof pitches (inches of rise per inches of run) will have a minimum overhang of twelve (12) inches. The pitch of the roof determines the overhang size. See diagram below of a typical 8:12 roof pitch.

