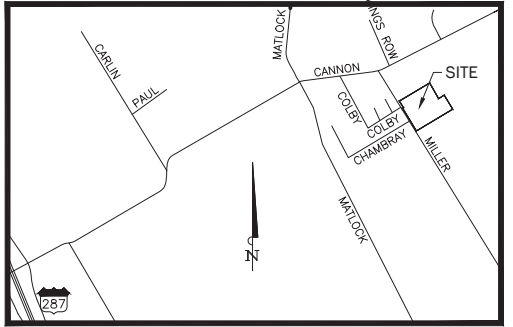


PLANNED DEVELOPMENT REGULATIONS:

- THE BASE ZONING DISTRICT FOR THE PLANNED DEVELOPMENT SHALL BE SF 7.5/18 AND SHALL BE SUBJECT TO SECTION 4600 - COMMUNITY DESIGN STANDARDS AS OUTLINED IN THE CITY OF MANSFIELD ZONING ORDINANCE WITH THE FOLLOWING EXCEPTIONS:
  - J-SWINGS SHALL BE REQUIRED ON A MINIMUM OF 5 OF THE 60' WIDE LOTS.
- STREET LIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS. REFER TO EXHIBIT 'C'.
- STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
- A HOME OWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED TO OVERSEE THE CODES AND COVENANTS OUTLINE WITHIN THIS PLANNED DEVELOPMENT. REFER TO SEPARATE NOTES THIS SHEET.
- THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
- THE MASONRY SCREENING WALL WITH MASONRY COLUMNS, BOARD ON BOARD FENCES, DECORATIVE METAL FENCES, OPEN SPACE LANDSCAPING AND OTHER IMPROVEMENTS INDICATED ON THE PLANS, DECORATIVE STREET LIGHTS AND STREET SIGNS, AND ENHANCED ENTRYWAY FEATURES (INCLUDING BUT NOT LIMITED TO THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALLS AND SIGNAGE, AND THE DECORATIVE LIGHT FIXTURES) SHALL BE INSTALLED BY THE DEVELOPER AND MAINTAINED BY THE HOA.
- ALL INTERNAL REAR AND SIDE YARD WOOD FENCES SHALL BE INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOME OWNER.
- WOOD FENCES SHALL BE PRIVACY FENCES, WITH CAP, ON METAL POLES, AND STAINED WITH NATURAL WOOD FENCING/DECKING STAIN. FENCE ADJACENT TO HIGH SCHOOL AND SENIOR LIVING FACILITY SHALL BE 8' IN HEIGHT, ALL OTHER WOOD FENCING SHALL BE A MINIMUM OF 6' IN HEIGHT.
- THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
- ALL DRIVEWAYS OUT SIDE THE RIGHT OF WAY SHALL HAVE A SALT FINISH WITH THE EXCEPTION REAR ENTRY DRIVEWAYS SERVED BY ALLEYS.
- NO REPEATING ELEVATIONS/MATERIALS EVERY FOUR LOTS MINIMUM.
- EACH HOME SHALL HAVE A FRONT PORCH OF 45 SQUARE FEET MINIMUM.
- ALL FRONT AND SIDE ENTRY GARAGE DOORS SHALL BE WOOD. ADDITIONALLY, BUILDER SHALL INCORPORATE A MINIMUM OF TWO OF THE FOLLOW ARCHITECTURAL FEATURES FOR EACH GARAGE:
  - SCENCE LIGHTING
  - DECORATIVE BANDING OR MOLDING
  - DECORATIVE OVERHANG ABOVE GARAGE DOOR
  - EYEBROW SOLDIER COURSE OVER GARAGE DOOR
  - DECORATIVE DETAILS ABOVE GARAGE DOOR
  - DECORATIVE BRACKETS ON GARAGE DOOR
  - COLUMNS FLANKING GARAGE DOOR
- STREET TREES SHALL BE REQUIRED EVERY 65' IN ADDITION TO THE REQUIRED BUILDER PLANTED TREES ON THE RESIDENTIAL LOTS WITH A MINIMUM OF 1 STREET TREE PER EACH 40' LOT. THERE SHALL BE NO REQUIRED BUILDER PLANTED TREES FOR THE 40' ALLEY SERVED LOTS.
- LOT 2, BLOCK 1, LOT 17, BLOCK 1 AND LOT 13, BLOCK 2 SHALL HAVE A REDUCED MINIMUM LOT DEPTH OF 90' IN LIEU OF 110'.
- AT THE TIME OF FINAL PLAT THE DEVELOPER SHALL HAVE THE OPTION TO SELECT THE ALTERNATE SIDE SETBACKS OF 5' ON EACH SIDE FOR THE 40' WIDE ALLEY SERVED LOTS. WHICHEVER OPTION IS SELECTED SHALL BE APPLIED TO ALL 40' WIDE LOTS.



VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS

SITE DATA SUMMARY:

BASE ZONING:	SF - 7.5/18
MAXIMUM HEIGHT:	35'
MAXIMUM LOT COVERAGE:	65%
GROSS DENSITY:	4.68 UNITS PER ACRE
TOTAL OPEN SPACE AREA:	41817 S.F. (9.99%)
MINIMUM LOT WIDTH FOR CORNER LOTS:	ALL CORNER LOTS SHALL BE AT LEAST 10' WIDER THAN THE MIN. LOT WIDTH.
MINIMUM STREET FRONTAGE:	40' (RESIDENTIAL LOTS)
STREETS:	50' R.O.W.
PAVEMENT:	29' BACK TO BACK
MIN. MASONRY PERCENTAGE:	90%
MINIMUM FRONT SETBACK ON ALL KNUCKLES AND CUL-DE-SACS:	15'

LOT SIZE TYPE:	40' WIDE LOTS	50' WIDE LOTS	60' WIDE LOTS
NUMBER OF LOTS PROVIDED:	24	9	12
MINIMUM FLOOR AREA:	2,000 S.F.	2,400 S.F.	2,400 S.F.
MINIMUM LOT AREA:	4,500 S.F.	5,000 S.F.	6,500 S.F.
MINIMUM LOT WIDTH:	40'	50'	60'
MINIMUM LOT DEPTH:	110'	110' (SEE NOTE 15)	110' (SEE NOTE 15)
MINIMUM FRONT SETBACK:	10'	20'	20'
MINIMUM REAR SETBACK:	20'	10'	10'
MINIMUM INTERIOR SIDE YARD:	3' & 7'=10' (SEE NOTE 16)	5'	5'
MINIMUM EXTERIOR SIDE YARD ADJACENT TO STREET:	10'	15'	15'

OWNER:  
RICHARDSON, MARILYN G  
880 N MILLER RD  
MANSFIELD, TX  
76063-5817

ENGINEER / SURVEYOR:  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
(817) 842-2094  
CONTACT: CODY R. BROOKS, PE  
EMAIL: CODY@BANNISTERENG.COM  
CONTACT MICHAEL DAVIS, RPLS  
(817) 842-2094

APPLICANT/DEVELOPER:  
SKORBURG COMPANY  
8214 WESTCHESTER DRIVE,  
SUITE 710  
DALLAS, TEXAS 75225  
CONTACT: JOHN ARNOLD  
214-535-2090

## EXHIBIT "B" DEVELOPMENT PLAN COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land  
situated in the William Howard Survey,  
Abstract No. 690  
City of Mansfield, Tarrant County, Texas

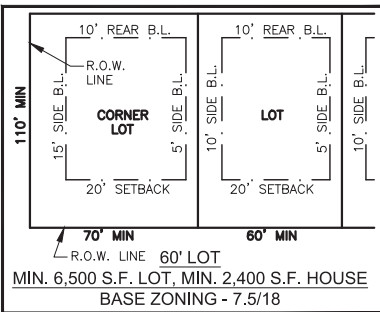
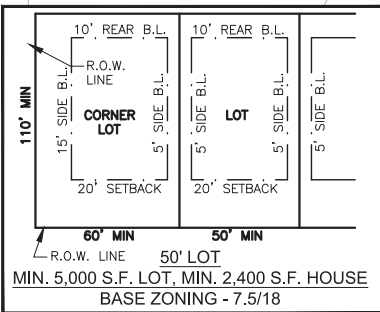
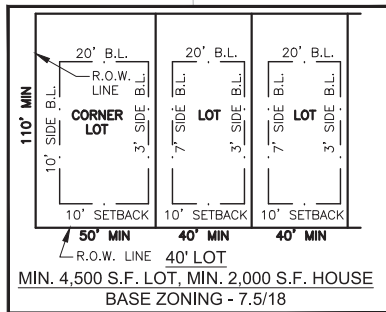
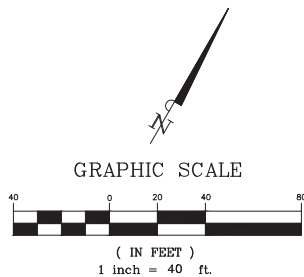
45 Single Family Lots - 6 Open Space Lots  
ZC#19-020

**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)  
CONTACT: CODY R. BROOKS, P.E.

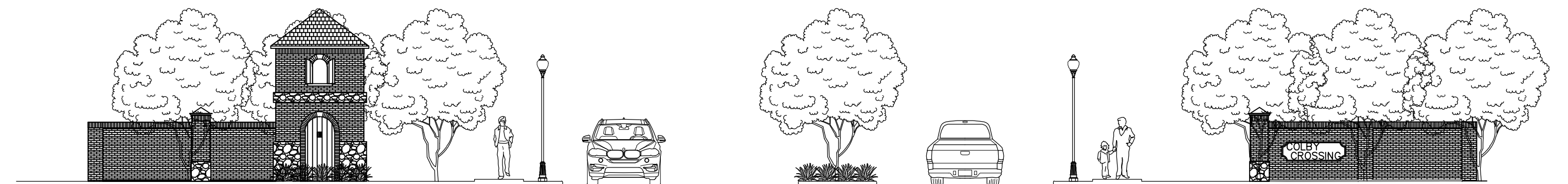
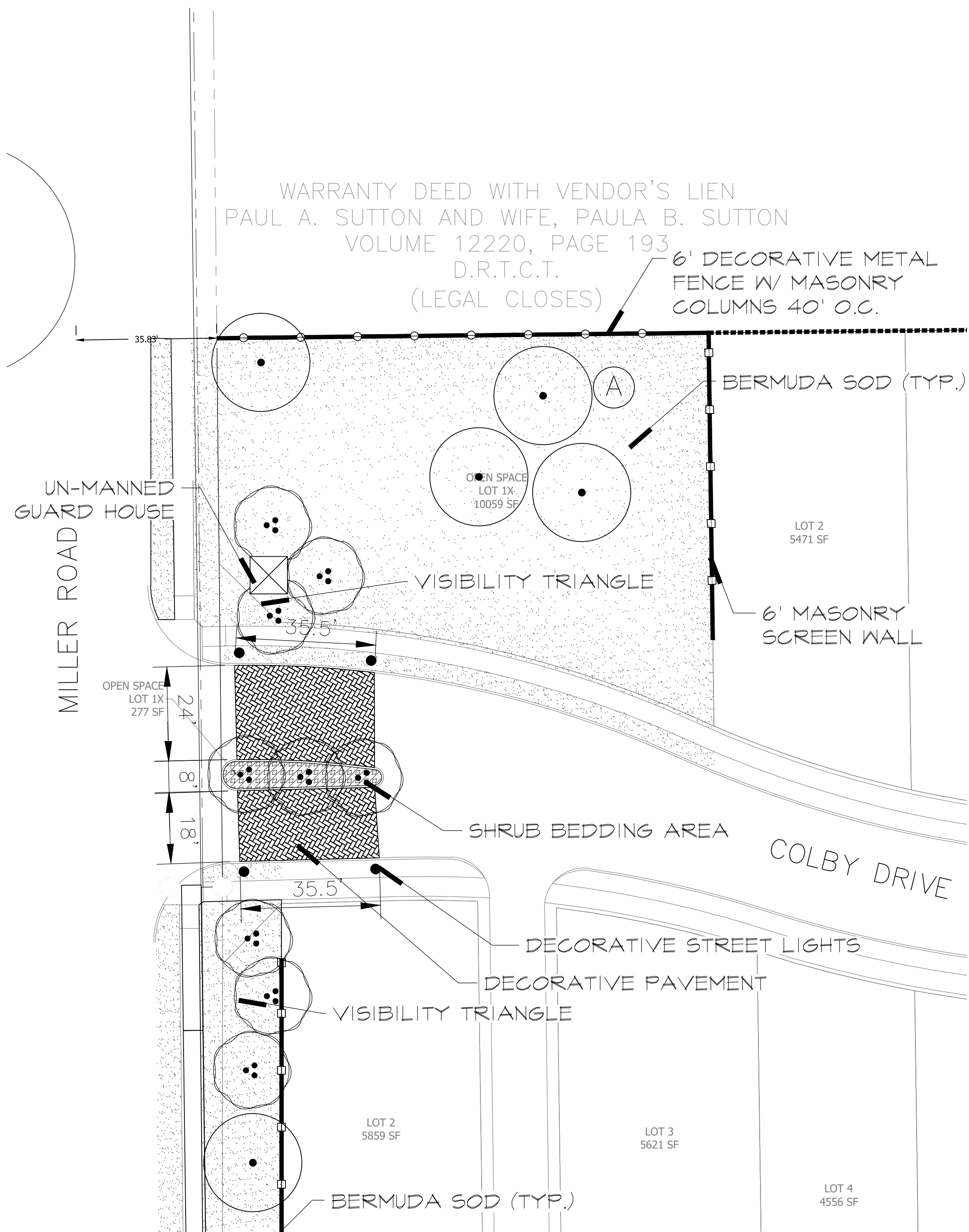
Date Prepared: 11/4/2019  
Date Revised: 2/18/2020

HOME OWNERS ASSOCIATION NOTES:

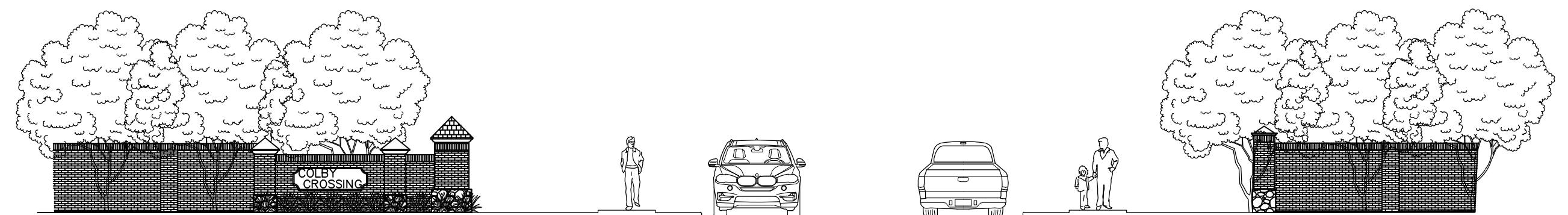
- A MANDATORY HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE MASONRY SCREENING WALL WITH MASONRY COLUMNS; THE WOOD FENCE WITH MASONRY COLUMNS; THE DECORATIVE METAL FENCE; THE WOOD FENCE ALONG THE NORTHERN AND WESTERN PERIMETER OF THE DEVELOPMENT; THE DECORATIVE STREET SIGN AND STREET LIGHT POLES AND MOUNTS; THE OPEN SPACE LOTS AND ALL LANDSCAPING AND IMPROVEMENTS THEREON; AND THE ENHANCED ENTRYWAY FEATURES, INCLUDING BUT NOT LIMITED TO, THE MEDIAN, LANDSCAPING, ANY NON-STANDARD PAVEMENT, THE ENTRANCE MASONRY WALLS AND SIGNAGE, AND THE DECORATIVE LIGHT FIXTURES.
- THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 DAY REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN A DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR INACCURACY OF THE DOCUMENTS.



File: B:\Clients\000 (Storburg Development)\000-15-08 (Miller Road - Mansfield TX)\Civil\Exhibits\Concept Landscape Plan - Alley.dwg || Date Plotted: 2/18/2020 3:31 PM || Plotted By: drew



PRIMARY ENTRANCE (COLBY DRIVE)



SECONDARY ENTRANCE (CHAMBRAY LANE)

NOTES:  
1. STREET LIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS. REFER TO EXHIBIT "C".

## EXHIBIT "C" ENHANCED ENTRYWAY PLAN COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land  
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Abstract No. 690  
City of Mansfield, Tarrant County, Texas

45 Single Family Lots - 6 Open Space Lots  
ZC#19-020

PAGE 1 OF 1

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under the supervision of:  
Drew J. Dubocq  
L.A.#3141  
02/18/2020

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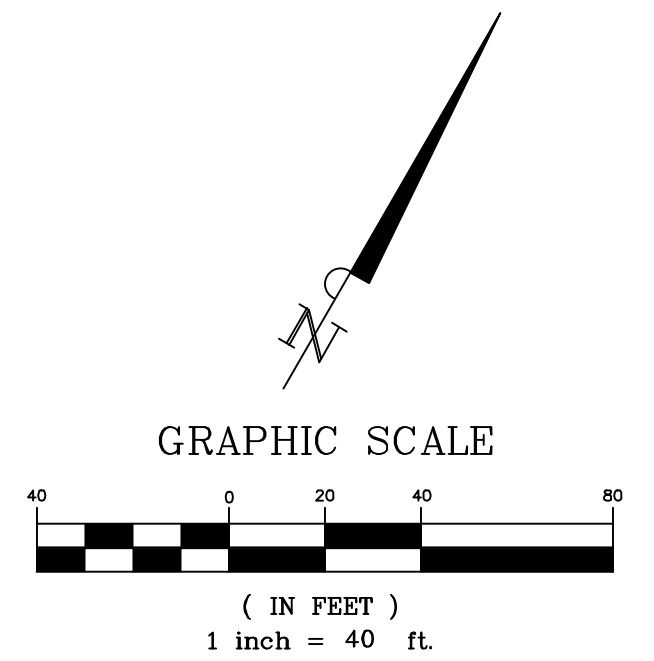
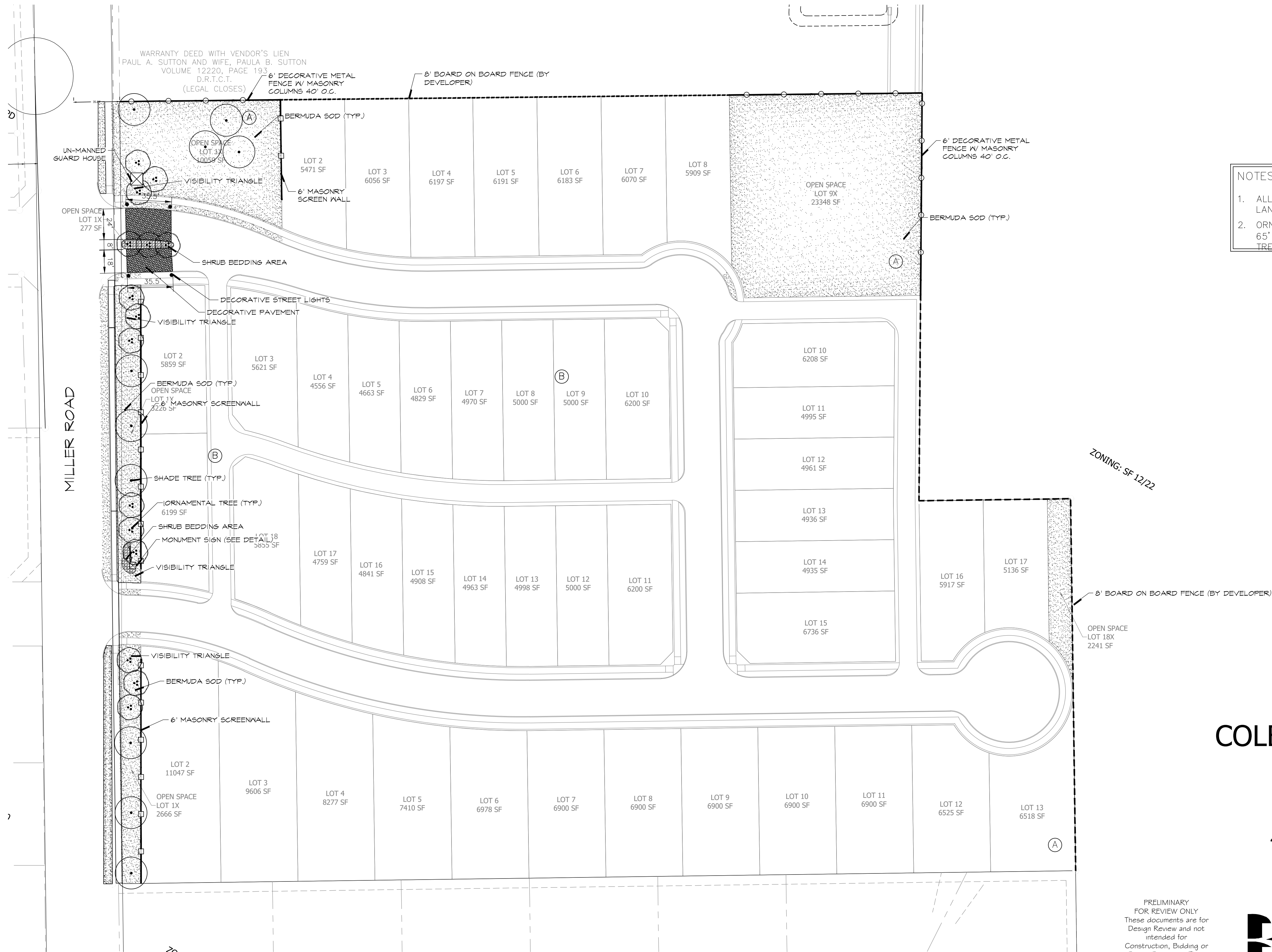
Date Prepared: 11/4/2019

Revised: 02/18/2020

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- NOTES:
1. ALL LOTS WILL COMPLY WITH THE CITY'S STANDARD LANDSCAPE REQUIREMENTS.
  2. ORNAMENTAL STREET TREES SHALL BE PLACED AT 65' O.C. IN ADDITION TO BUILDER REQUIRED LOT TREES.

## EXHIBIT "D" LANDSCAPE PLAN COLBY CROSSING PHASE 2

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ZC#19-020

PAGE 1 OF 3

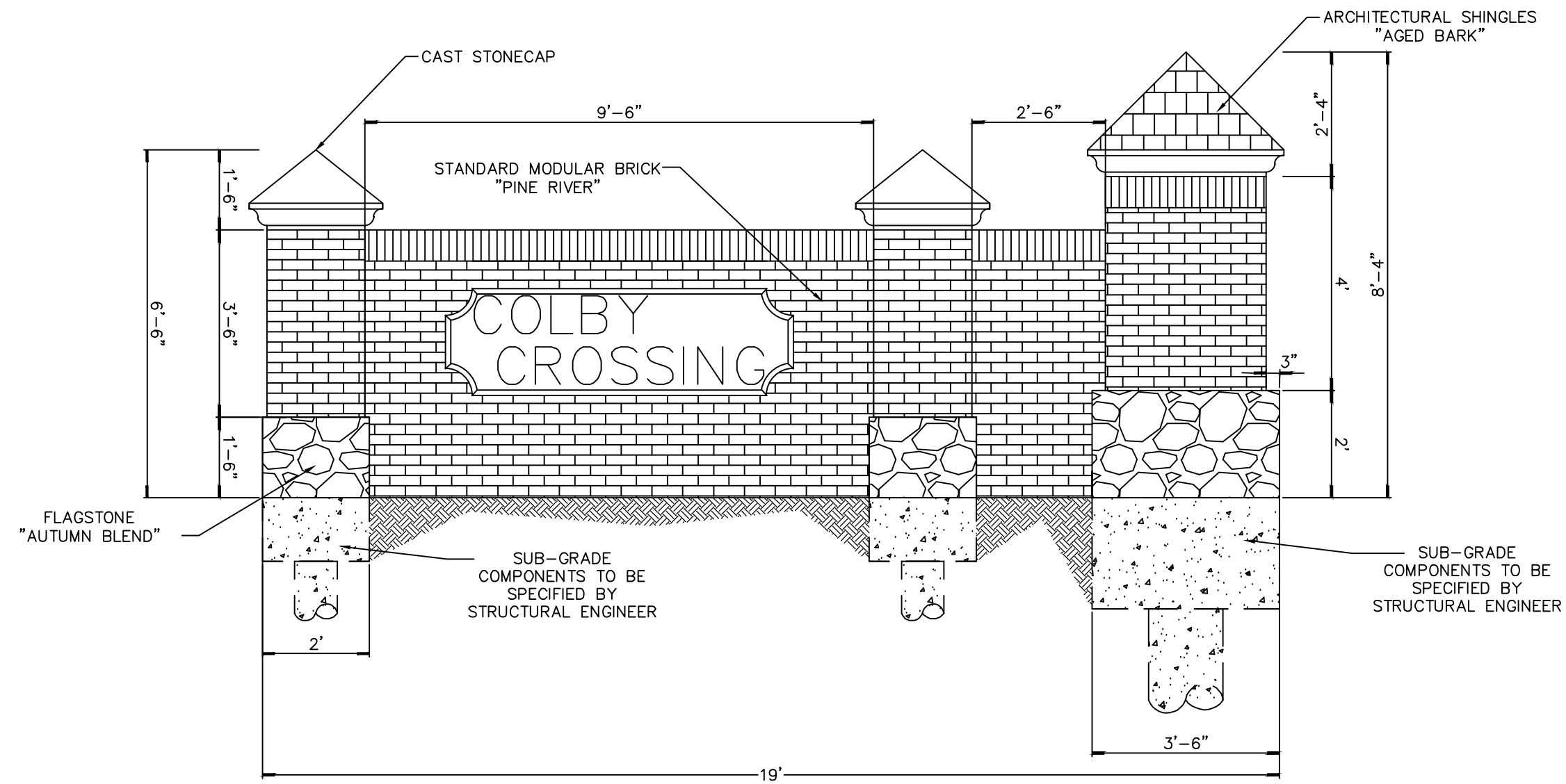
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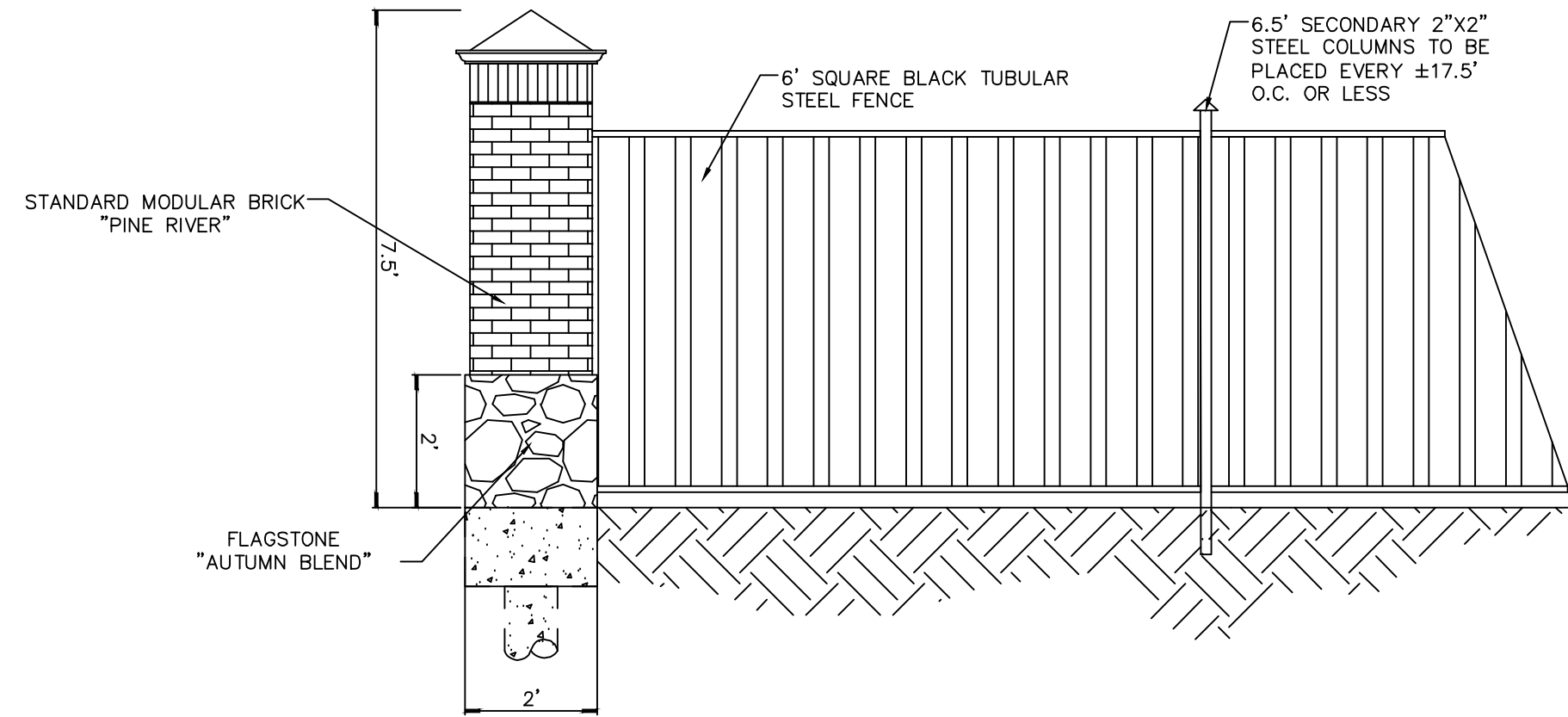
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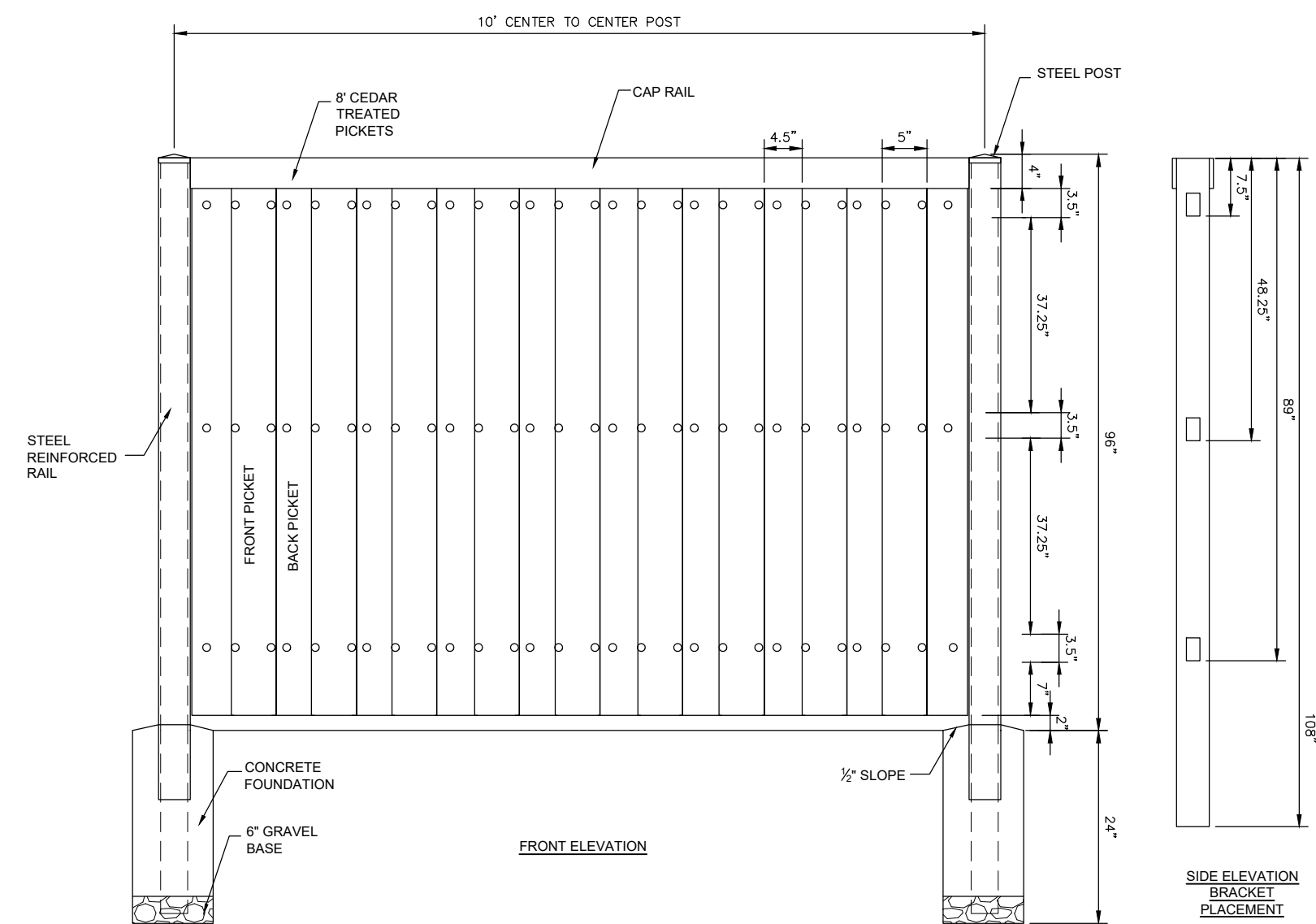
**A** MONUMENT SIGNAGE

NOT TO SCALE



**B** 6' DECORATIVE METAL FENCE W/ MASONRY COLUMNS 40' O.C.

NOT TO SCALE



**C** 8' BOARD ON BOARD WOOD FENCE

NOT TO SCALE

## EXHIBIT "D" LANDSCAPING AND SCREENING DETAILS COLBY CROSSING PHASE 2

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PAGE 2 OF 3

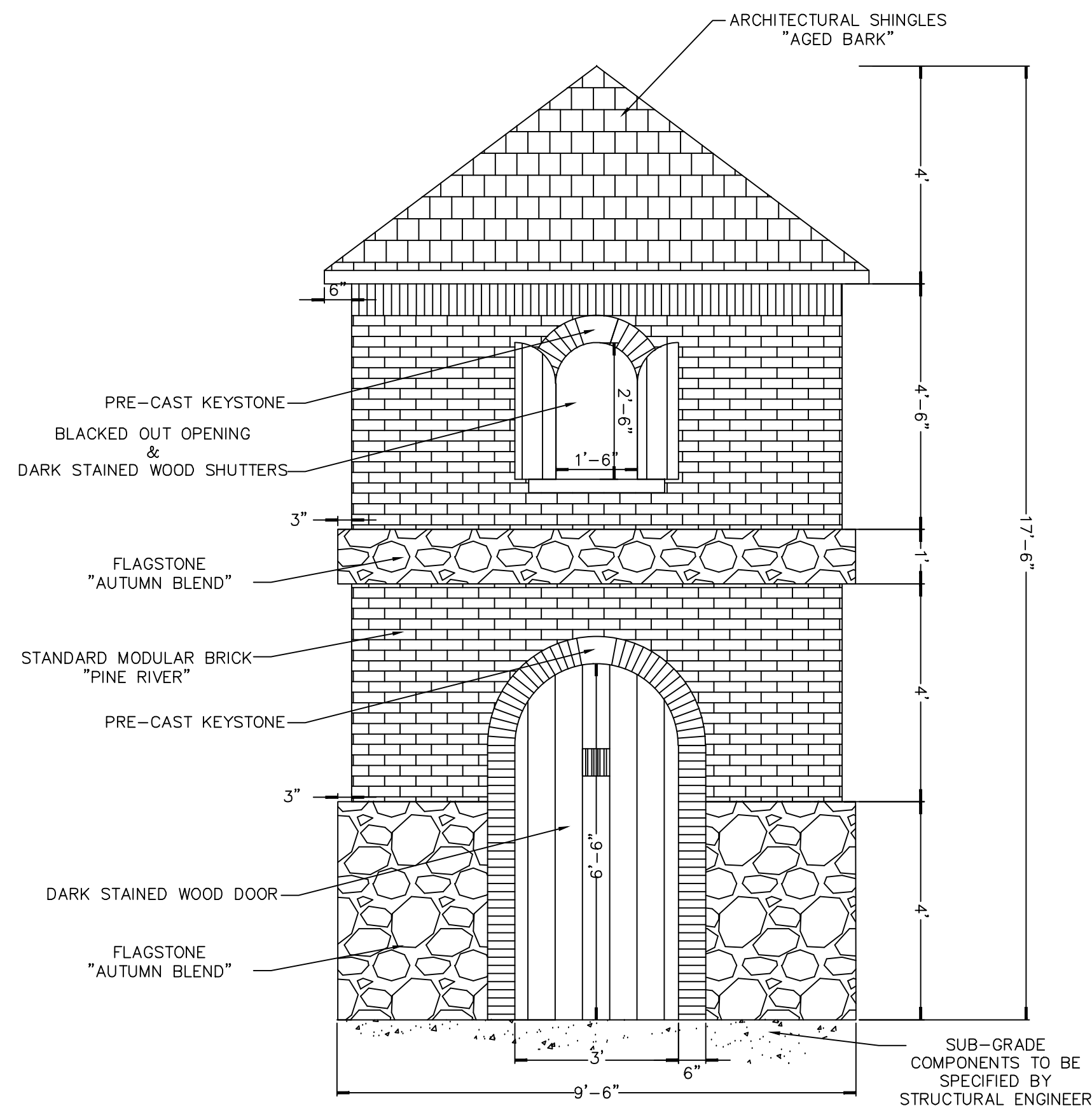
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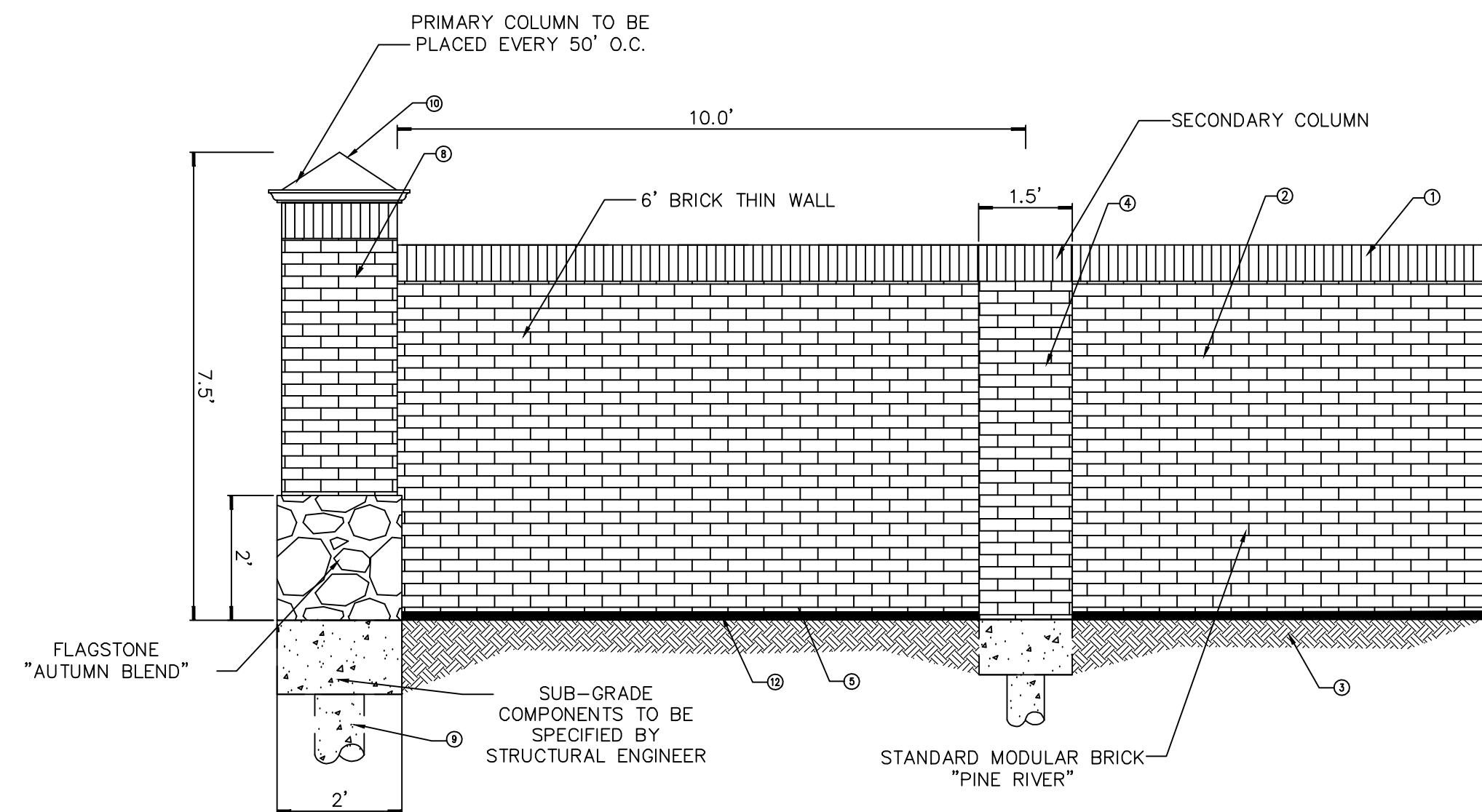
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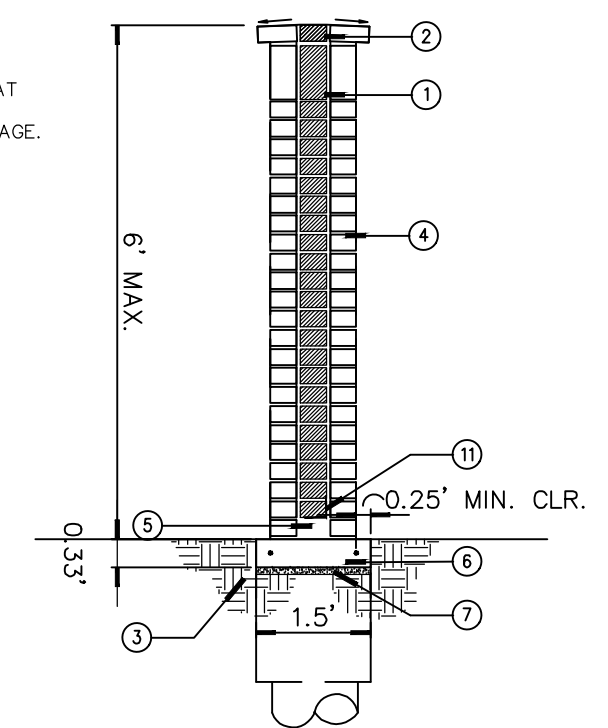


**D** UN-MANNED GUARD HOUSE DETAIL  
NOT TO SCALE



**E** 6' MASONRY WALL W/ MASONRY COLUMNS  
NOT TO SCALE

- ① SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION).
- ② STANDARD RUNNING BOND BRICK FACING W/ STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 3 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
- ③ COMPACTED SUBGRADE TO 95% OF AASHTO T-99 DENSITY.
- ④ STANDARD 16" WIDE BRICK SUPPORT @ 12' OR 10' O.C.
- ⑤ BOTTOM COURSE WITH WEEP OPENINGS
- ⑥ CONCRETE MOW-STRIP W/ (2) #4 BARS CONTINUOUS, 8" O.C. MIN.
- ⑦ 1" SAND SETTING BED.
- ⑧ STANDARD 24"x24" COLUMN @ 60' OR 20' O.C.
- ⑨ 12"- PIER x DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
- ⑩ CAST STONE COLUMN CAP
- ⑪ 3"x3"x1" GALVANIZED ANGLE IRON
- ⑫ 4" OPENING



## EXHIBIT "D" LANDSCAPING AND SCREENING DETAILS COLBY CROSSING PHASE 2

Being approximately 9.612 Acres of land  
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45 Single Family Lots - 6 Open Space Lots  
ZC#19-020

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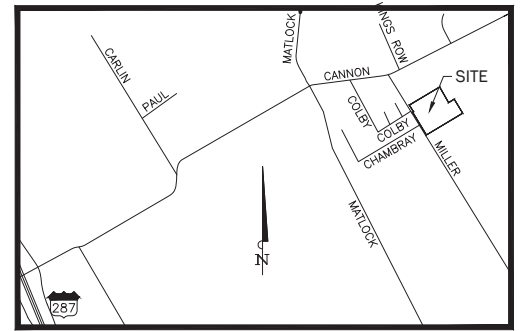
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Date Prepared: 11/4/2019

Revised: 02/18/2020

BE JOB NO. 030-15-08



VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS

### LEGEND

40' MINIMUM FRONTAGE

50' MINIMUM FRONTAGE

60' MINIMUM FRONTAGE

HOA / OPEN SPACE

STREET

RESIDENTIAL LOT SUMMARY

LOT TYPE	No.
40' MINIMUM FRONTAGE	24
50' MINIMUM FRONTAGE	9
60' MINIMUM FRONTAGE	12
TOTAL RES. LOT COUNT	45

EXHIBIT "E"  
LOT WIDTH EXHIBIT  
COLBY CROSSING PHASE 2

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City of Mansfield, Tarrant County, Texas

45 Single Family Lots - 6 Open Space Lots  
ZC#19-020



Date Prepared: 11/27/2019

Date Revised: 2/18/2020

**EXHIBIT “F”**

**COLBY CROSSING ADDITION 2  
(40’ wide alley served lots, and 50’ & 60’ wide front entry lots)**

**PLANNED DEVELOPMENT CONDITIONS ADDENDUM TO  
DEVELOPMENT PLAN**

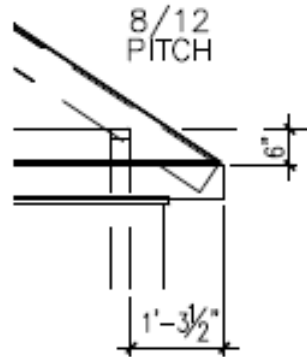
**APPLICANT: SKORBURG COMPANY  
ZC# 19-020**

- A. Garages: Each 50’ & 60’ wide front entry garage shall incorporate at least two (2) of the following architectural features:
- a. Sconce lighting
  - b. Decorative banding or molding
  - c. Decorative overhangs above garage doors
  - d. Eyebrow soldier course over garage doors
  - e. Decorative details above garage
  - f. Decorative brackets on garage doors
  - g. Columns flanking garage door
- B. Garage Orientation: A minimum of five (5) homes on the 60’ wide (or wider) lots shall be required to have a J-Swing garage configuration.
- C. Driveways: Driveways shall be finished as follows:
- a. 40’ wide alley served lots: Brushed concrete or salt finished driveways.
  - b. All other lots: Salt finished driveways shall be required.
- D. Street Trees: Street trees at least 4” caliper in size at the time of planting shall be planted between the sidewalk and back of curb at least every 65’, with a minimum of one (1) street tree for each 40’ wide lot.
- E. Elevation Control: In Colby Crossing (across the street), the ordinance states: In order to encourage variety on a continuous block, the exterior facades for houses will vary within 6 houses. The same combination of brick, stone, masonry-like materials, and paint will not be used within six (6) houses on either side of the house. In Colby 2, in order to encourage variety on a continuous block, the exterior facades for houses will vary within every four (4) homes. The same combination of brick, stone, masonry-like materials and paint will not be used within six (6) houses on either side of the house.

- F. Homeowners Association: Unless the existing Colby Crossing Homeowners Association, Inc. willingly (in its sole discretion with City approval) allows the Subdivision to be added to its existing HOA, a separate Homeowners Association shall be incorporated, and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association.
- G. Minimum House Sizes: The minimum A/C square footage of the homes shall be as follows:
- a. 40' wide alley served lots: No more than five (5) homes can have between 2,000 SF and 2,200 SF. All other homes shall have at least 2,200 A/C SF.
  - b. All other lots: 2,400 A/C SF minimum
- H. Additional Architectural Enhancements:
- a. Front Porches: All homes shall have a front porch of a minimum of fifty (50) square feet except homes on 40' wide alley served lots shall be required to have a front porch of at least forty-five (45) square feet.
  - b. Decorative Overhangs: A minimum of 10% of all front entry homes shall incorporate decorative overhang accents over the garage and/or windows.
  - c. Garage Doors: All homes on 50' and 60' wide front entry lots shall require wood or wood overlay garage doors. All 40' wide alley served homes shall have the option of having either a wood, wood overlay, wood grain steel or an upgraded garage door with decorative hardware and R-9 Polyurethane Insulation (as shown in **Exhibit "F-1"** attached).
  - d. Garage Lighting: All homes on 40' wide alley lots shall require a double flood light for optimal lighting in the alley.
  - e. Masonry Requirements: All homes shall be required to be at least 90% masonry overall.
  - f. Front Entry Doors: All front entry doors shall be 8-feet in height and shall be made of wood or wood with glass combination.



- g. Roof Pitch: A minimum roof pitch of 8:12 (inches of rise per inches of run) from side to side will apply to predominant roof. A variety of roof pitches may be incorporated into the roof design provided that the predominant roof has at least an 8:12 pitch. Porch roofs shall have a minimum of 4:12 pitch. All 8:12 roof pitches (inches of rise per inches of run) will have a minimum overhang of twelve (12) inches. The pitch of the roof determines the overhang size. See diagram below of a typical 8:12 roof pitch.



## **EXHIBIT “F-1”**

### **Garage Door option for 40’ Wide Alley Served Lots**

**Exhibit “F-1”:** Example of upgraded garage door with decorative hardware and R-9 Polyurethane Insulation



### **Thermal Efficiency and Noise Control**

---

- The R-9\* polyurethane insulation is substantially more effective than the same thickness of common polystyrene insulation.
- Bulb-shaped bottom seal remains flexible even in the cold to keep out bad weather.
- The foamed-in-place insulation helps block street noise from entering into living areas that adjoin the garage.

