

LEGEND

	ACCESSIBLE PARKING SPACE (8'x8')
	26' WIDE FIRE LANE
	CARPORT
	FIRE HYDRANT

OWNER

NAME:	REALTY CAPITAL MANAGEMENT, LP
CONTACT:	SPENCER LONG
ADDRESS:	904 LAKE CAROLYN PARKWAY IRVING, TX 75039
TELEPHONE:	972-252-8784
EMAIL:	SPENCER@REALTYCAPITAL.COM

GENERAL NOTES

NO OUTSIDE STORAGE OR OUTSIDE OPERATIONS OF ANY KIND SHALL BE PERMITTED.

NO BOATS, MOTOR HOMES, TRAILERS, RECREATIONAL VEHICLES, TONED TRAILERS, OR SIMILAR EQUIPMENT SHALL BE PARKED OR STORED ON THE PROPERTY. THIS REQUIREMENT SHALL ALSO BE INCORPORATED INTO EACH RENTAL CONTRACT.

ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE LOCATED AND SCREENED IN ACCORDANCE WITH SECTION 1501.A.

ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.

ALL UTILITIES WITH THE EXCEPTION OF ELECTRIC TRANSMISSION LINES SHALL BE PLACED UNDERGROUND.

ALL MULTI-FAMILY RESIDENTIAL UNITS WITH THE EXCEPTION OF GROUND FLOOR UNITS SHALL BE SERVED BY INTERIOR CORRIDORS THAT ARE FINISHED WITH CARPET, 1000" TILE, OR DECORATIVE STAINED CONCRETE.

AN ASSOCIATION AGREEMENT BETWEEN THE THREE OWNER GROUPS WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE ENTRY AREA OFF 151 AND SPINE ROAD.

ALL SIGNAGE WILL COMPLY WITH PD-2144-14 REQUIREMENTS.

SITE DATA

ZONING (FROM ZONING MAP)	PD-2144-14
DENSITY	32.13 UNITS/ACRE
MAXIMUM BUILDING HEIGHT	55 FEET/4 STORIES
TOTAL SITE AREA	10.892 ACRES
BUILDING SUMMARY	
BUILDING NUMBER	100
UNITS PER BUILDING	115 UNITS
STORIES	4 STORIES
AREA	154,543 SF
200	104 UNITS
STORIES	4 STORIES
AREA	151,024 SF
300	126 UNITS
STORIES	4 STORIES
AREA	159,638 SF
TOTALS	350 UNITS
	450,205 SF
REQUIRED PARKING SUMMARY	
PARKING REQUIRED	UNIT TOTAL
15 PER DWELLING UNIT	525 SPACES
PROVIDED PARKING SUMMARY	
GARAGE	65 SPACES
COVERED	114 SPACES
SURFACE	304 SPACES
STREET SPACES	41 SPACES
TOTALS	524 SPACES
ACCESSIBLE PARKING SUMMARY	
PARKING TYPE	REQUIRED
ACCESSIBLE SURFACE PARKING	12 SPACES
ACCESSIBLE GARAGE	4 SPACES
ACCESSIBLE COVERED	10 SPACES
TOTALS	14 SPACES

UNIT MIX

BUILDING NUMBER	100	200	300	TOTAL
1 BEDROOM UNITS	64 UNITS	64 UNITS	64 UNITS	192 UNITS
2 BEDROOM UNITS	41 UNITS	54 UNITS	50 UNITS	145 UNITS
3 BEDROOM UNITS	6 UNITS	10 UNITS	14 UNITS	30 UNITS
TOTALS	111 UNITS	128 UNITS	128 UNITS	367 UNITS
UNIT PERCENTAGES				
1 BEDROOM %	30.4%	50.0%	50.0%	43.4%
2 BEDROOM %	36.2%	41.4%	39.1%	39.6%
3 BEDROOM %	5.3%	8.6%	10.9%	17.0%
TOTALS	100.00%	100.00%	100.00%	100.00%
GROSS FLOOR AREA PER UNIT	MINIMUM REQUIRED			
1 BEDROOM UNITS	400 SF			
2 BEDROOM UNITS	1000 SF			
3 BEDROOM UNITS	1000 SF			
AVERAGE	1000 SF			

RESIDENT & VISITOR ACCESS

ALL VEHICULAR ACCESS GATES ARE FOR USE BY RESIDENTS ONLY, OPENED BY FOB ASSIGNED TO THE RESIDENT. EMERGENCY ACCESS BY KNOX KEY SWITCH PER FIRE PREVENTION OFFICE REQUIREMENTS.

ALL VISITORS MAY PARK IN SPACES OUTSIDE OF GATES, EITHER IN SPACES ON SPINE ROAD OR PARKING LOT WEST OF BUILDING 100. CALL BOXES WILL BE PROVIDED AT PEDESTRIAN ENTRANCES OUTSIDE OF THE GATES FOR VISITORS TO CALL AND BE LET IN BY A RESIDENT.

ZONE I AMENITIES

1. DOG PARK - PROVIDED
2. ELEVATOR ACCESS - PROVIDED
3. INDOOR TRASH CHUTES - NOT PROVIDED (TRASH WILL BE A VALET PICKUP SERVICE BY MANAGEMENT)
4. SALTWATER POOL WITH SUNDECK & CABANAS - NOT PROVIDED (STANDARD CHEMICAL POOL WITH SUNDECK & CABANAS IN LIEU OF SALTWATER)
5. TWO STORY FITNESS CENTER - PROVIDED
6. CINEMA THEATER - NOT PROVIDED (PROPOSED ROOF TERRACE IN LIEU OF CINEMA THEATER)
7. DRIVE THRU MAIL LOCATION - NOT PROVIDED (WALK UP MAIL BOXES WITHIN BUILDINGS 100 & 300)
8. YOGA ROOM - PROVIDED
9. CONFERENCE ROOM - PROVIDED
10. SOCIAL LOUNGE WITH GAMING & TV - PROVIDED
11. CYBER LOUNGE - PROVIDED
12. GOURMET COFFEE AND HOT TEA BAR - PROVIDED
13. OUTDOOR GRILLING WITH LOUNGING AREAS - PROVIDED

HIGHWAY 157

RADIUS = 155.00'  
CHORD BEARING = N 20°30'42" E  
CHORD LENGTH = 48.07'  
ARC LENGTH = 40.93'

LANDSCAPED PEDESTRIAN CONNECTION BETWEEN RETAIL AND MULTIFAMILY SITES

PRESSLEY  
HIWAY ADDITION  
VOL. 160, PG. 98  
P.R.T.C.T.  
ZONING: C-2  
LAND USE: RETAIL

REMAINDER OF HARRY BLISSARD  
VOL. 2790, PG. 9  
D.R.T.C.T.  
ZONING: FR  
LAND USE: N/A

DAVID WESLEY &  
JOSALIN BLACK  
INST. NO. D216272074  
D.R.T.C.T.  
ZONING: FR  
LAND USE: N/A

MARK AND KENDY FOSTER  
VOL. 6987, PG. 135  
D.R.T.C.T.  
ZONING: FR  
LAND USE: N/A

R.G. & DORIS GOODSON  
VOLUME 3449, PG. 121  
D.R.T.C.T.  
ZONING: FR  
LAND USE: N/A

CASE NO. DS#20-004  
SITE PLAN  
AURA AT WATSON BRANCH  
TRACTS 1 & 2  
10.892 ACRES SITUATED IN THE  
S.S. CALLENDER SURVEY  
ABSTRACT NO 359  
CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS  
JULY 15, 2020

DEVELOPER:  
TRINISIC RESIDENTIAL GROUP  
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CONTACT: ADAM BROWN  
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ARCHITECT:  
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CONTACT: DANNY BAKER  
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214.252.9000

CIVIL ENGINEER:  
ML CLARK CONSULTING, LLC  
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CONTACT: MIKE CLARK  
MCLARK@MLCLARKCONSULTING.COM  
214.675.1960



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Project No.  
20005

Drawn By:  
DPB

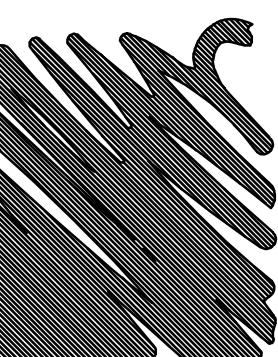
ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

AURA at WATSON BRANCH  
MANSFIELD, TEXAS  
TRINISIC  
RESIDENTIAL GROUP

Womack+Hampton  
ARCHITECTS, L.L.C.



Sheet Number:

SHEET  
1 OF 1  
EXHIBIT B



NORTH ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	5430.1 sq ft	100%
STUCCO 1	53.9 sq ft	1%
STUCCO 2	116.3 sq ft	2%
FIBER CEMENT LAP SIDING 1	0 sq ft	0%
FIBER CEMENT LAP SIDING 2	669.2 sq ft	11%
FIBER CEMENT LAP SIDING 3	240.9 sq ft	5%
BRICK	0 sq ft	0%
STONE VENEER	1,979.1 sq ft	39%
TOTAL MASONRY	4,541.7 sq ft	81%
TOTAL FIBER CEMENT LAP SIDING	910.1 sq ft	16%
FIRST FLOOR NET AREA	2,336.9 sq ft	100%
FIRST FLOOR GLAZING	932.2 sq ft	44%
TOTAL NET AREA	4,884 sq ft	100%
TOTAL GLAZING	3,560 sq ft	56%

WEST ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	50.3 sq ft	1%
STUCCO 1	400.7 sq ft	6%
STUCCO 2	0 sq ft	0%
FIBER CEMENT LAP SIDING 1	510.7 sq ft	8%
FIBER CEMENT LAP SIDING 2	333.6 sq ft	5%
FIBER CEMENT LAP SIDING 3	0 sq ft	0%
BRICK	1,856.9 sq ft	28%
STONE VENEER	3,408.3 sq ft	52%
TOTAL MASONRY	5,265.2 sq ft	80%
TOTAL FIBER CEMENT LAP SIDING	844.3 sq ft	13%
TOTAL NET AREA	10,289 sq ft	100%
TOTAL GLAZING	3,362 sq ft	33%

SOUTH ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	6,118.7 sq ft	100%
STUCCO 1	0 sq ft	0%
STUCCO 2	983.7 sq ft	16%
FIBER CEMENT LAP SIDING 1	861.4 sq ft	14%
FIBER CEMENT LAP SIDING 2	464.8 sq ft	8%
FIBER CEMENT LAP SIDING 3	165.5 sq ft	3%
BRICK	2,167.3 sq ft	35%
STONE VENEER	105.9 sq ft	2%
TOTAL MASONRY	1,475.9 sq ft	25%
TOTAL FIBER CEMENT LAP SIDING	2,747.6 sq ft	45%
TOTAL NET AREA	9,376 sq ft	100%
TOTAL GLAZING	2,060 sq ft	22%

BUILDING 100 OVERALL ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	31,848.4 sq ft	100%
STUCCO 1	104.2 sq ft	0.3%
STUCCO 2	2,076.2 sq ft	6.5%
FIBER CEMENT LAP SIDING 1	3,336.1 sq ft	10.5%
FIBER CEMENT LAP SIDING 2	4,052.9 sq ft	12.7%
FIBER CEMENT LAP SIDING 3	1,705.1 sq ft	5.3%
BRICK	4,714.4 sq ft	14.8%
STONE VENEER	5,343.6 sq ft	16.8%
TOTAL MASONRY	10,566.5 sq ft	33.1%
TOTAL FIBER CEMENT LAP SIDING	15,404.5 sq ft	44.9%
TOTAL NET AREA	10,472.4 sq ft	32.8%
TOTAL GLAZING	50,999 sq ft	100%
TOTAL GLAZING	15,124 sq ft	29.7%

BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE, MATTE BLACK OR SIMILAR
STUCCO 1	SN 6991 BLACK MAGIC OR SIMILAR
STUCCO 2	SN 1031 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODSTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SN 10641 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SN 1513 SANDERLING OR SIMILAR
BRICK	ACME, ALPINE WHITE OR SIMILAR
STONE VENEER	LEIDERS BLEND OR SIMILAR
SHINGLE ROOFING	6AF, WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILING & ANNINGS	SN 6991 BLACK MAGIC OR SIMILAR



03 SOUTH ELEVATION  
BUILDING 100

SCALE: 3/32" = 1'-0"



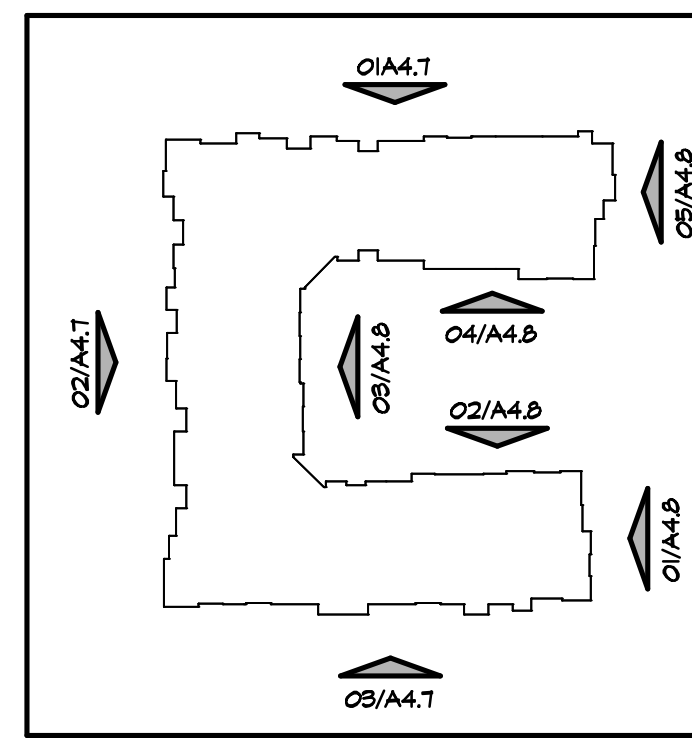
02 WEST ELEVATION  
BUILDING 100

SCALE: 3/32" = 1'-0"



01 NORTH ELEVATION  
BUILDING 100

SCALE: 3/32" = 1'-0"



CASE NO. DS#20-004  
SITE PLAN  
AURA AT WATSON BRANCH  
TRACTS 1 & 2  
10.892 ACRES SITUATED IN THE  
S.S. CALLENDER SURVEY  
ABSTRACT NO 359  
CITY OF MANSFIELD, TEXAS  
JULY 15, 2020

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Project No.  
20005

Drawn By:  
DFB

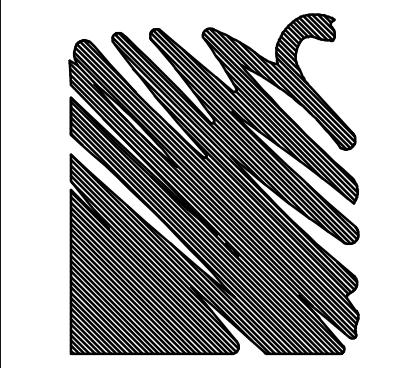
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Revisions:

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MANSFIELD, TEXAS  
TRINISIC  
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NORTH COURT ELEVATION MATERIAL CALCULATIONS	AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	3,218.0 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	621.4 sq ft	19%
FIBER CEMENT LAP SIDING 1	435.3 sq ft	13%
FIBER CEMENT LAP SIDING 2	322.1 sq ft	10%
FIBER CEMENT LAP SIDING 3	795.0 sq ft	25%
BRICK	0 sq ft	0%
STONE VENEER	1,043.7 sq ft	32%
TOTAL MASONRY	1,043.7 sq ft	32%
TOTAL FIBER CEMENT LAP SIDING	1,552.4 sq ft	48%
TOTAL NET AREA	3,742 sq ft	100%
TOTAL GLAZING	1,817 sq ft	51.4%

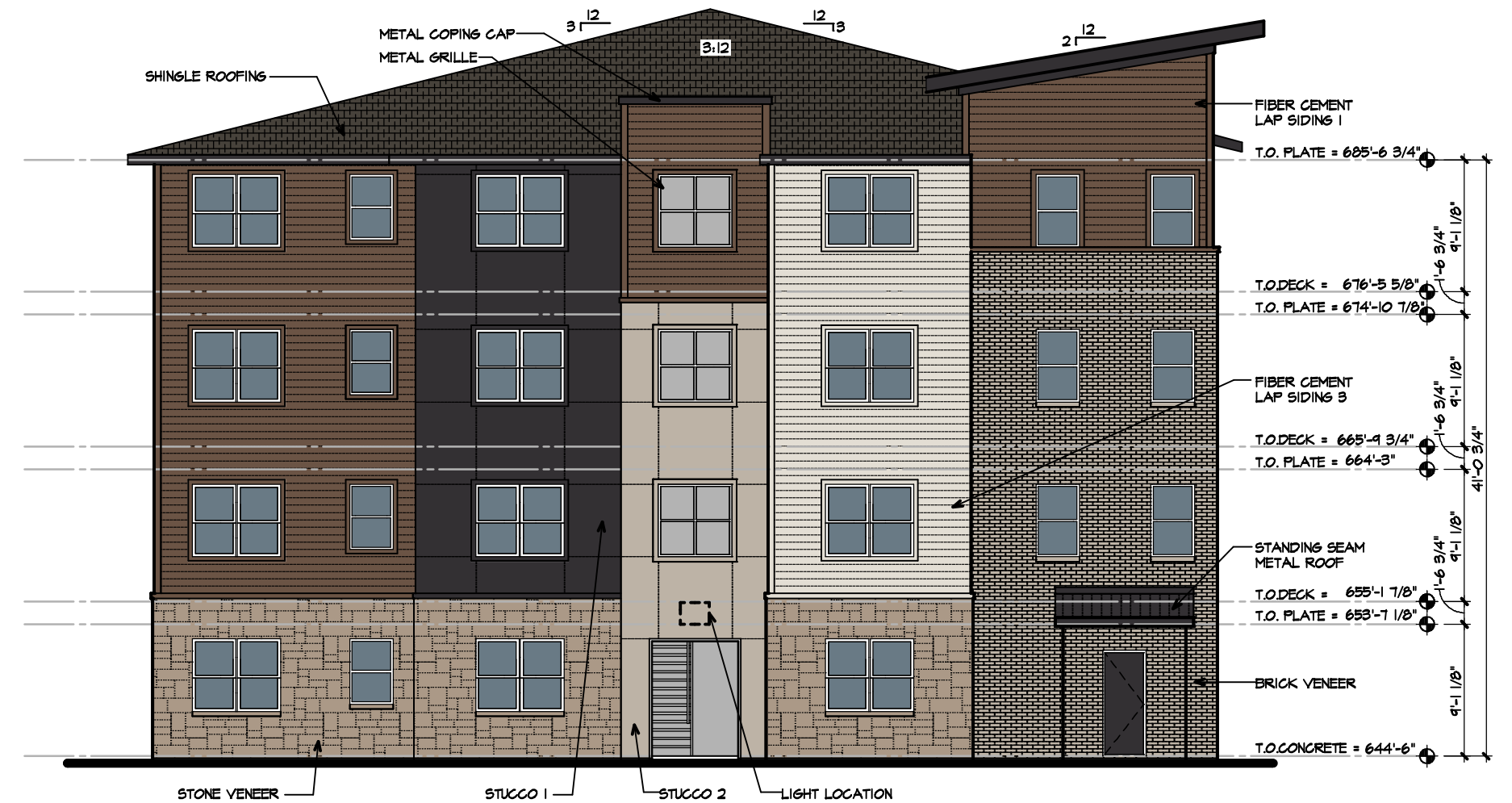
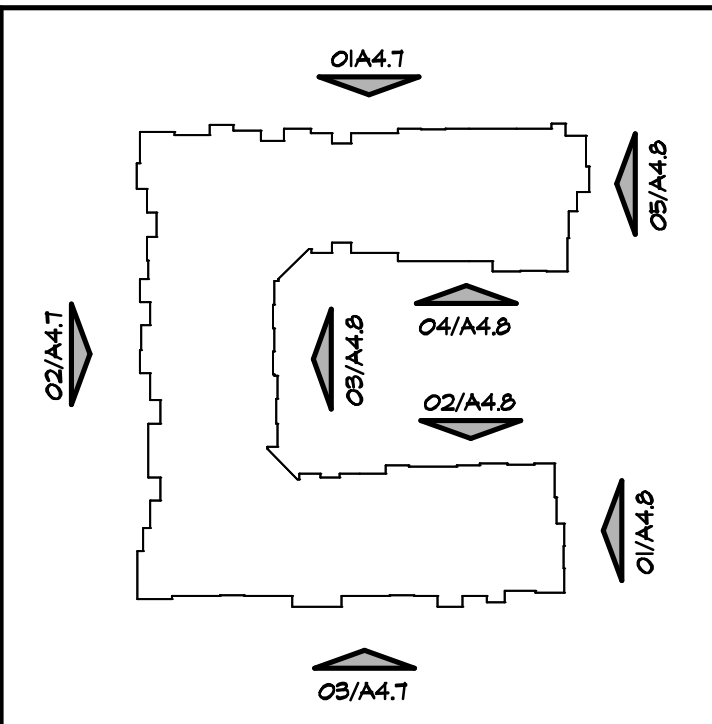
SOUTH COURT ELEVATION MATERIAL CALCULATIONS	AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	3,214.0 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	632.4 sq ft	20%
FIBER CEMENT LAP SIDING 1	561.2 sq ft	17%
FIBER CEMENT LAP SIDING 2	210.0 sq ft	6%
FIBER CEMENT LAP SIDING 3	749.1 sq ft	23%
BRICK	0 sq ft	0%
STONE VENEER	456.3 sq ft	30%
TOTAL MASONRY	456.3 sq ft	30%
TOTAL FIBER CEMENT LAP SIDING	1,630.3 sq ft	50%
TOTAL NET AREA	5,818 sq ft	100%
TOTAL GLAZING	1,702 sq ft	24.3%

The architectural drawing shows a building footprint with several material callouts:
 

- Top: 01A4.7
- Top Right: 05/A4.9
- Right: 01A4.9
- Bottom Right: 01A4.9
- Bottom: 03/A4.7
- Bottom Left: 02/A4.7
- Left: 02/A4.7
- Inner Right: 04/A4.9
- Inner Left: 03/A4.9
- Inner Bottom: 02/A4.9

**BUILDING MATERIALS KEY**

METAL PANEL	BERRIDGE: MATTE BLACK OR SIMILAR
STUCCO 1	SW 6491 BLACK MAGIC OR SIMILAR
STUCCO 2	SW 7031 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SW 7064 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SW 7513 SANDERLING OR SIMILAR
BRICK	ACME: ALPINE WHITE OR SIMILAR
STONE VENEER	LEUDERS BLEND OR SIMILAR
SHINGLE ROOFING	SAF: WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILING + FININGS	SW 6491 BLACK MAGIC OR SIMILAR

[illegible]

Architectural elevation drawing of a three-story building facade. The drawing shows a variety of materials including stone veneer, fiber cement lap siding, and stucco. It features multiple windows, some with shutters, and a central entrance marked "OPEN BEYOND". Roofing is indicated as shingle. Dimensions for various components like T.O. Plate, T.O. Deck, and T.O. Concrete are provided on the right side.

Labels and dimensions on the right side of the drawing include:

- SHINGLE ROOFING
- T.O. PLATE = 6'0" - 6' 3/4"
- FIBER CEMENT LAP SIDING 9
- T.O. DECK = 6'0" - 5' 5/8"
- T.O. PLATE = 6'1" - 10' 7/8"
- T.O. DECK = 6'10" - 3' 3/4"
- T.O. PLATE = 6'4" - 5' 3"
- T.O. DECK = 6'0" - 1' 7/8"
- T.O. PLATE = 6'0" - 1' 1/8"
- T.O. CONCRETE = 6'4" - 6' 3"

Labels and dimensions on the left side of the drawing include:

- CONDENSER UNIT CEDAR SCREEN
- METAL COPING CAP
- FIBER CEMENT LAP SIDING 1
- STONE VENEER
- FIBER CEMENT LAP SIDING 2
- STUCCO 2
- STONE VENEER

## 02 NORTH COURT ELEVATION

**AURA at WATSON BRANCH**  
MANSFIELD, TEXAS  
**TRG TRINSC**  
RESIDENTIAL GROUP

**womack+hampton**  
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Sheet Number:

**PAGE  
2 OF 7  
EXHIBIT C**

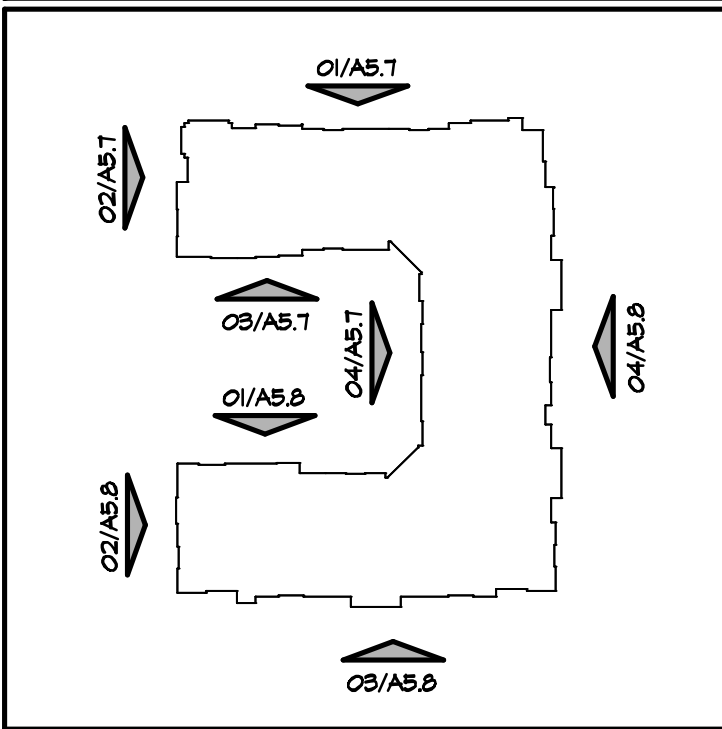
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214 252 9000	214 675 1960



NORTH ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	5,020.0 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	0 sq ft	0%
FIBER CEMENT LAP SIDING 1	620.5 sq ft	12.4%
FIBER CEMENT LAP SIDING 2	323.9 sq ft	6.5%
FIBER CEMENT LAP SIDING 3	0 sq ft	0%
BRICK	1,700.3 sq ft	33.8%
STONE VENEER	2,375.3 sq ft	47.3%
TOTAL MASONRY	4,075.6 sq ft	81.1%
TOTAL FIBER CEMENT LAP SIDING	944.4 sq ft	18.8%
FIRST FLOOR NET AREA	1,711.0 sq ft	100%
FIRST FLOOR GLAZING	549.2 sq ft	35.0%
TOTAL NET AREA	1,840 sq ft	100%
TOTAL GLAZING	2,400 sq ft	31.5%

BUILDING 200 OVERALL ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	30,184.2 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	152.1 sq ft	5.0%
STUCCO 2	4,583.6 sq ft	15.2%
FIBER CEMENT LAP SIDING 1	4,405.7 sq ft	14.6%
FIBER CEMENT LAP SIDING 2	2,035.6 sq ft	6.7%
FIBER CEMENT LAP SIDING 3	6,315.2 sq ft	20.9%
BRICK	4,000.7 sq ft	13.3%
STONE VENEER	1,327.3 sq ft	4.4%
TOTAL MASONRY	11,328.0 sq ft	37.5%
TOTAL FIBER CEMENT LAP SIDING	12,756.5 sq ft	42.3%
TOTAL NET AREA	46,152 sq ft	100%
TOTAL GLAZING	12,040 sq ft	26.1%

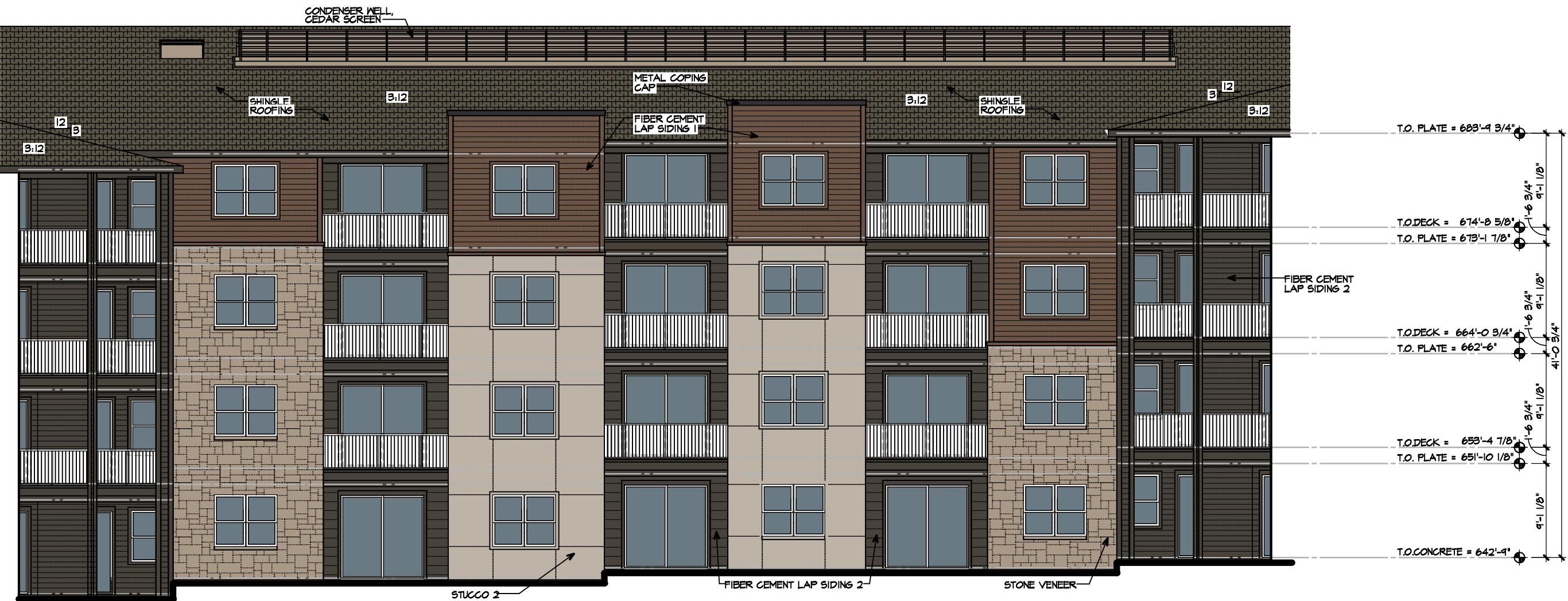


WEST END ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	1,810.0 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	0 sq ft	0%
FIBER CEMENT LAP SIDING 1	183.6 sq ft	10.2%
FIBER CEMENT LAP SIDING 2	123.9 sq ft	6.8%
FIBER CEMENT LAP SIDING 3	516.4 sq ft	28.5%
BRICK	411.3 sq ft	22.7%
STONE VENEER	575.6 sq ft	31.8%
TOTAL MASONRY	986.9 sq ft	54.5%
TOTAL FIBER CEMENT LAP SIDING	823.9 sq ft	45.6%
TOTAL NET AREA	2,961 sq ft	100%
TOTAL GLAZING	667 sq ft	22.5%

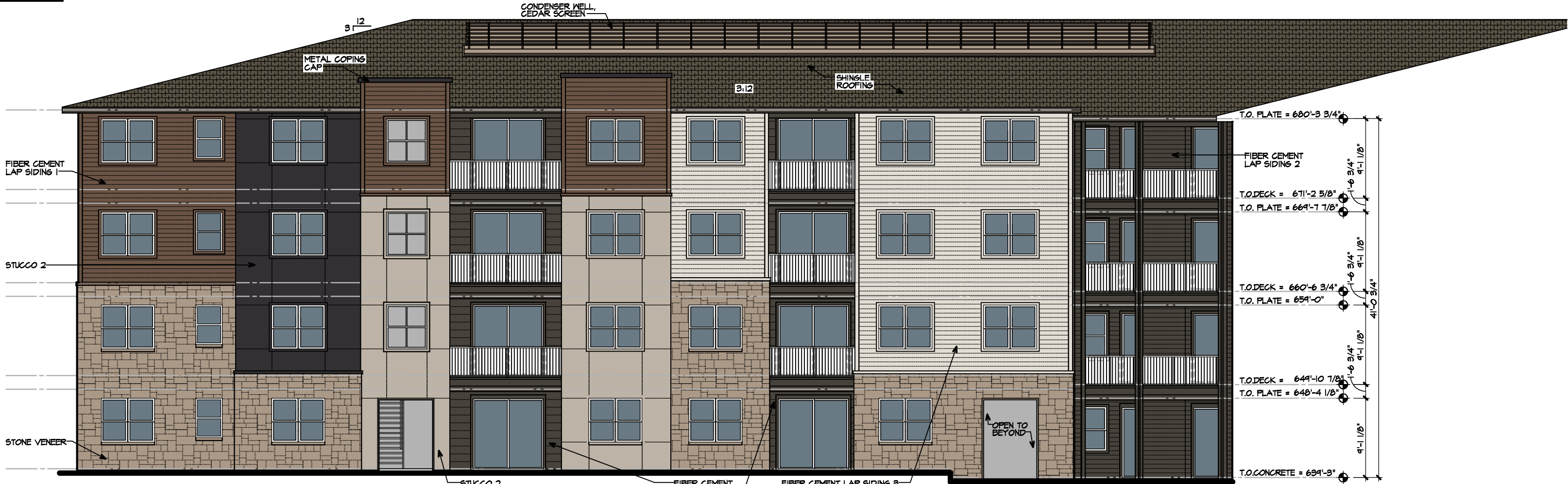
BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE; MATTE BLACK OR SIMILAR
STUCCO 1	SW 6991 BLACK MAGIC OR SIMILAR
STUCCO 2	SW 1037 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODSTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SW 1064 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SW 7513 SANDERLING OR SIMILAR
BRICK	ACME ALPINE WHITE OR SIMILAR
STONE VENEER	LEIDERS BLEND OR SIMILAR
SHINGLE ROOFING	GAF WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILINGS & ANNINGS	SW 6991 BLACK MAGIC OR SIMILAR

NORTH COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	2,975.1 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	710.7 sq ft	23.9%
FIBER CEMENT LAP SIDING 1	525.7 sq ft	17.7%
FIBER CEMENT LAP SIDING 2	435.7 sq ft	14.6%
FIBER CEMENT LAP SIDING 3	504.6 sq ft	17.1%
BRICK	0 sq ft	0%
STONE VENEER	743.4 sq ft	26.7%
TOTAL MASONRY	743.4 sq ft	26.7%
TOTAL FIBER CEMENT LAP SIDING	1,471.0 sq ft	49.4%
TOTAL NET AREA	4,761 sq ft	100%
TOTAL GLAZING	1,440 sq ft	30.2%

WEST COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	2,405.9 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	708.9 sq ft	29.5%
FIBER CEMENT LAP SIDING 1	544.1 sq ft	24.7%
FIBER CEMENT LAP SIDING 2	516.0 sq ft	21.5%
FIBER CEMENT LAP SIDING 3	0 sq ft	0%
BRICK	0 sq ft	0%
STONE VENEER	586.1 sq ft	24.4%
TOTAL MASONRY	586.1 sq ft	24.4%
TOTAL FIBER CEMENT LAP SIDING	1,110.9 sq ft	46.2%
TOTAL NET AREA	4,156 sq ft	100%
TOTAL GLAZING	1,351 sq ft	32.7%



04 WEST COURT ELEVATION  
BUILDING 200  
SCALE: 3/32"=1'-0"



03 NORTH COURT ELEVATION  
BUILDING 200  
SCALE: 3/32"=1'-0"

02 WEST END ELEVATION  
BUILDING 200  
SCALE: 3/32"=1'-0"



01 NORTH ELEVATION  
BUILDING 200  
SCALE: 3/32"=1'-0"

CASE NO. DS#20-004  
SITE PLAN  
AURA AT WATSON BRANCH  
TRACTS 1 & 2  
10.892 ACRES SITUATED IN THE  
S.S. CALLENDER SURVEY  
ABSTRACT NO 359  
CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS  
JULY 15, 2020

DEVELOPER:  
TRINISIC RESIDENTIAL GROUP  
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CONTACT: ADAM BROWN  
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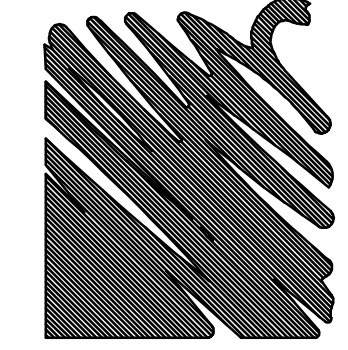
CIVIL ENGINEER:  
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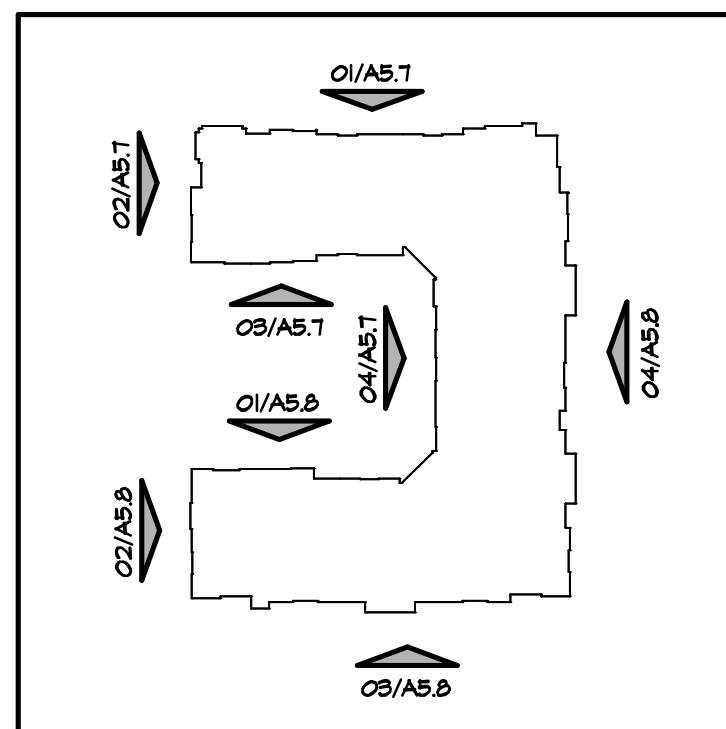
SOUTH COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	3,246.1 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	335.6 sq ft	10.3%
STUCCO 2	521.0 sq ft	16.1%
FIBER CEMENT LAP SIDING 1	516.4 sq ft	15.9%
FIBER CEMENT LAP SIDING 2	346.6 sq ft	10.7%
FIBER CEMENT LAP SIDING 3	713.8 sq ft	22.0%
BRICK	0 sq ft	0%
STONE VENEER	812.2 sq ft	25.0%
TOTAL MASONRY	812.2 sq ft	25.0%
TOTAL FIBER CEMENT LAP SIDING	1,571.3 sq ft	48.6%
TOTAL NET AREA	4,810 sq ft	100%
TOTAL GLAZING	1,389 sq ft	28.4%

WEST END ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	2,178.6 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	336.4 sq ft	15.5%
STUCCO 2	368.8 sq ft	16.8%
FIBER CEMENT LAP SIDING 1	361.3 sq ft	16.6%
FIBER CEMENT LAP SIDING 2	54.3 sq ft	2.5%
FIBER CEMENT LAP SIDING 3	330.5 sq ft	15.2%
BRICK	493.4 sq ft	19.4%
STONE VENEER	243.4 sq ft	11.5%
TOTAL MASONRY	726.8 sq ft	33.4%
TOTAL FIBER CEMENT LAP SIDING	746.1 sq ft	34.2%
TOTAL NET AREA	3,062 sq ft	100%
TOTAL GLAZING	672 sq ft	21.9%

SOUTH ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	5,144.8 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	610.4 sq ft	10.5%
STUCCO 2	894.4 sq ft	14.6%
FIBER CEMENT LAP SIDING 1	648.1 sq ft	12.2%
FIBER CEMENT LAP SIDING 2	83.0 sq ft	1.4%
FIBER CEMENT LAP SIDING 3	1,426.2 sq ft	33.5%
BRICK	505.8 sq ft	10.2%
STONE VENEER	1,000.4 sq ft	17.4%
TOTAL MASONRY	1,506.7 sq ft	27.6%
TOTAL FIBER CEMENT LAP SIDING	2,707.3 sq ft	47.1%
TOTAL NET AREA	8,321 sq ft	100%
TOTAL GLAZING	1,632 sq ft	19.6%

EAST ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	6,807.4 sq ft	100%
METAL PANEL	0 sq ft	0%
STUCCO 1	237.1 sq ft	3.5%
STUCCO 2	1,434.3 sq ft	21.1%
FIBER CEMENT LAP SIDING 1	905.5 sq ft	13.3%
FIBER CEMENT LAP SIDING 2	151.4 sq ft	2.2%
FIBER CEMENT LAP SIDING 3	2,318.7 sq ft	34.1%
BRICK	864.4 sq ft	15.1%
STONE VENEER	840.4 sq ft	13.3%
TOTAL MASONRY	1,760.3 sq ft	25.9%
TOTAL FIBER CEMENT LAP SIDING	3,375.6 sq ft	49.6%
TOTAL NET AREA	10,143 sq ft	100%
TOTAL GLAZING	2,407 sq ft	23.7%

BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE, MATTE BLACK OR SIMILAR
STUCCO 1	SN 6491 BLACK MAGIC OR SIMILAR
STUCCO 2	SN 1031 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODSTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SN 1064 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SN 7513 SANDERLING OR SIMILAR
BRICK	ACME, ALPINE WHITE OR SIMILAR
STONE VENEER	LEIDERS BLEND OR SIMILAR
SHINGLE ROOFING	6AF, WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILINGS & AWNINGS	SN 6491 BLACK MAGIC OR SIMILAR



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Sheet  
Number:

PAGE  
4 OF 7  
EXHIBIT C



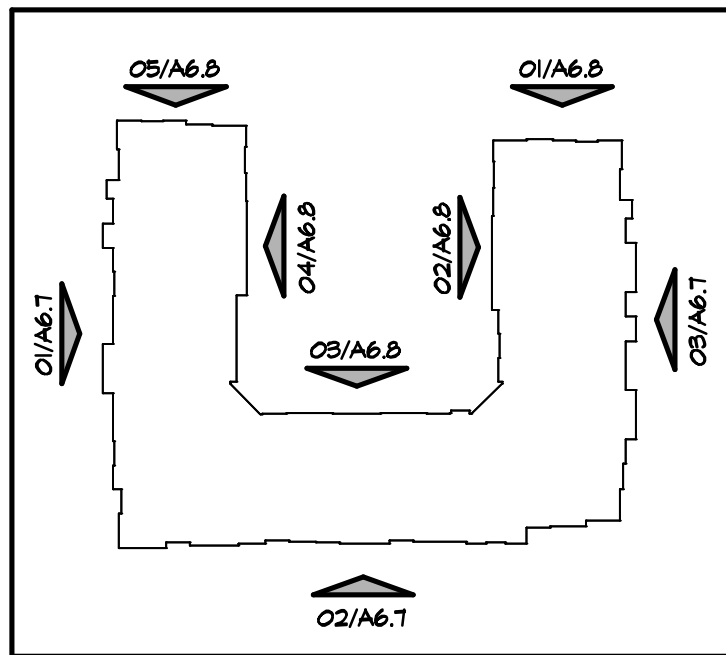
EAST ELEVATION MATERIAL CALCULATIONS		AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)		5,121 sq ft	100%
METAL PANEL		0 sq ft	0%
STUCCO 1		480 sq ft	9.4%
STUCCO 2		1,255 sq ft	24.5%
FIBER CEMENT LAP SIDING 1		655 sq ft	12.8%
FIBER CEMENT LAP SIDING 2		0 sq ft	0%
FIBER CEMENT LAP SIDING 3		1,716 sq ft	33.5%
BRICK		850 sq ft	16.6%
STONE VENEER		705 sq ft	13.8%
TOTAL MASONRY		1,555 sq ft	30.4%
TOTAL FIBER CEMENT LAP SIDING		2,431 sq ft	47.3%
TOTAL NET AREA		8,363 sq ft	100%
TOTAL GLAZING		1,861 sq ft	22.3%

SOUTH ELEVATION MATERIAL CALCULATIONS		AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)		6,703 sq ft	100%
METAL PANEL		0 sq ft	0%
STUCCO 1		360 sq ft	5.4%
STUCCO 2		0 sq ft	0%
FIBER CEMENT LAP SIDING 1		528 sq ft	7.9%
FIBER CEMENT LAP SIDING 2		377 sq ft	5.6%
FIBER CEMENT LAP SIDING 3		0 sq ft	0%
BRICK		1,800 sq ft	26.9%
STONE VENEER		3,638 sq ft	54.3%
TOTAL MASONRY		5,438 sq ft	81.1%
TOTAL FIBER CEMENT LAP SIDING		905 sq ft	13.5%
FIRST FLOOR NET AREA		2,450 sq ft	100%
FIRST FLOOR GLAZING		834 sq ft	34%
TOTAL NET AREA		11,037 sq ft	100%
TOTAL GLAZING		3,238 sq ft	29.3%

WEST ELEVATION MATERIAL CALCULATIONS		AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)		5,867 sq ft	100%
METAL PANEL		0 sq ft	0%
STUCCO 1		510 sq ft	8.7%
STUCCO 2		1,245 sq ft	21.2%
FIBER CEMENT LAP SIDING 1		516 sq ft	8.8%
FIBER CEMENT LAP SIDING 2		120 sq ft	2.0%
FIBER CEMENT LAP SIDING 3		1,901 sq ft	32.4%
BRICK		702 sq ft	12.0%
STONE VENEER		749 sq ft	12.8%
TOTAL MASONRY		1,451 sq ft	24.7%
TOTAL FIBER CEMENT LAP SIDING		2,537 sq ft	43.1%
TOTAL NET AREA		4,997 sq ft	100%
TOTAL GLAZING		2,024 sq ft	40.5%

BUILDING 300 OVERALL ELEVATION MATERIAL CALCULATIONS		AREA	PERCENT
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)		24,960 sq ft	100%
METAL PANEL		0 sq ft	0%
STUCCO 1		2,525 sq ft	10.1%
STUCCO 2		4,675 sq ft	18.7%
FIBER CEMENT LAP SIDING 1		3,651 sq ft	14.6%
FIBER CEMENT LAP SIDING 2		1,552 sq ft	6.2%
FIBER CEMENT LAP SIDING 3		5,497 sq ft	22.0%
BRICK		4,216 sq ft	17.0%
STONE VENEER		7,844 sq ft	31.4%
TOTAL MASONRY		12,060 sq ft	48.3%
TOTAL FIBER CEMENT LAP SIDING		10,700 sq ft	42.9%
TOTAL NET AREA		24,960 sq ft	100%
TOTAL GLAZING		13,686 sq ft	54.8%

BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE: MATTE BLACK OR SIMILAR
STUCCO 1	SN 6491 BLACK MAGIC OR SIMILAR
STUCCO 2	SN 1031 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODSTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SN 1064 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SN 7513 SANDERLINS OR SIMILAR
BRICK	ACME: ALPINE WHITE OR SIMILAR
STONE VENEER	LEIDERS BLEND OR SIMILAR
SHINGLE ROOFING	GAF: WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILINGS & FININGS	SN 6491 BLACK MAGIC OR SIMILAR



03 EAST ELEVATION  
BUILDING 300  
SCALE: 3/32"=1'-0"



02 SOUTH ELEVATION  
BUILDING 300  
SCALE: 3/32"=1'-0"



01 WEST ELEVATION  
BUILDING 300  
SCALE: 3/32"=1'-0"

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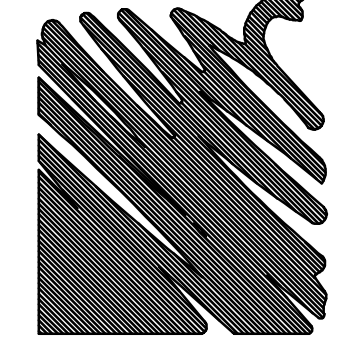
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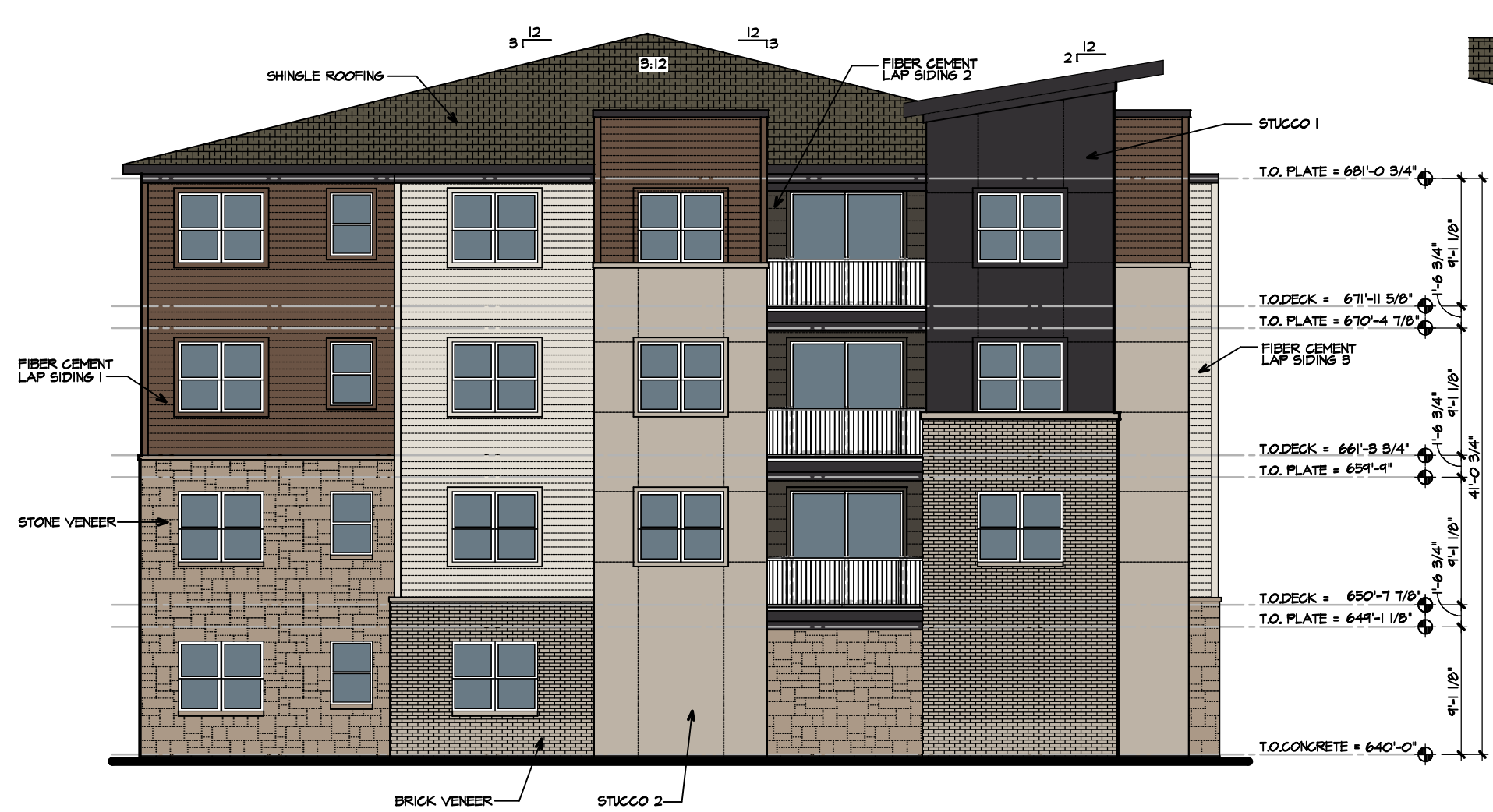


NORTH END ELEVATION MATERIAL CALCULATIONS (01/A6.8)		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	0 sq ft	0%
STUCCO 1	217 sq ft	10.7%
STUCCO 2	343 sq ft	17.0%
FIBER CEMENT LAP SIDING 1	310 sq ft	15.3%
FIBER CEMENT LAP SIDING 2	46 sq ft	2.3%
FIBER CEMENT LAP SIDING 3	245 sq ft	14.6%
BRICK	434 sq ft	21.5%
STONE VENEER	375 sq ft	18.6%
TOTAL MASONRY	804 sq ft	40%
TOTAL FIBER CEMENT LAP SIDING	651 sq ft	32.2%
TOTAL NET AREA	2,855 sq ft	100%
TOTAL GLAZING	672 sq ft	23.5%

EAST COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	871 sq ft	32.3%
FIBER CEMENT LAP SIDING 1	512 sq ft	19.0%
FIBER CEMENT LAP SIDING 2	304 sq ft	11.0%
FIBER CEMENT LAP SIDING 3	394 sq ft	13.9%
BRICK	0 sq ft	0%
STONE VENEER	650 sq ft	24.1%
TOTAL MASONRY	650 sq ft	24.1%
TOTAL FIBER CEMENT LAP SIDING	1,175 sq ft	43.6%
TOTAL NET AREA	8,363 sq ft	100%
TOTAL GLAZING	1,861 sq ft	22.3%

NORTH COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	0 sq ft	0%
STUCCO 1	0 sq ft	0%
STUCCO 2	608 sq ft	26.6%
FIBER CEMENT LAP SIDING 1	264 sq ft	11.6%
FIBER CEMENT LAP SIDING 2	377 sq ft	16.5%
FIBER CEMENT LAP SIDING 3	446 sq ft	19.5%
BRICK	0 sq ft	0%
STONE VENEER	588 sq ft	25.8%
TOTAL MASONRY	588 sq ft	25.8%
TOTAL FIBER CEMENT LAP SIDING	1,087 sq ft	47.6%
TOTAL NET AREA	4,941 sq ft	100%
TOTAL GLAZING	1,676 sq ft	33.9%

WEST COURT ELEVATION MATERIAL CALCULATIONS		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	0 sq ft	0%
STUCCO 1	972 sq ft	32.4%
STUCCO 2	0 sq ft	0%
FIBER CEMENT LAP SIDING 1	556 sq ft	18.5%
FIBER CEMENT LAP SIDING 2	283 sq ft	9.4%
FIBER CEMENT LAP SIDING 3	428 sq ft	14.3%
BRICK	0 sq ft	0%
STONE VENEER	764 sq ft	25.4%
TOTAL MASONRY	764 sq ft	25.4%
TOTAL FIBER CEMENT LAP SIDING	1,267 sq ft	42.2%
TOTAL NET AREA	4,947 sq ft	100%
TOTAL GLAZING	2,024 sq ft	21.5%



05 NORTH END ELEVATION

SCALE: 3/32"=1'-0"



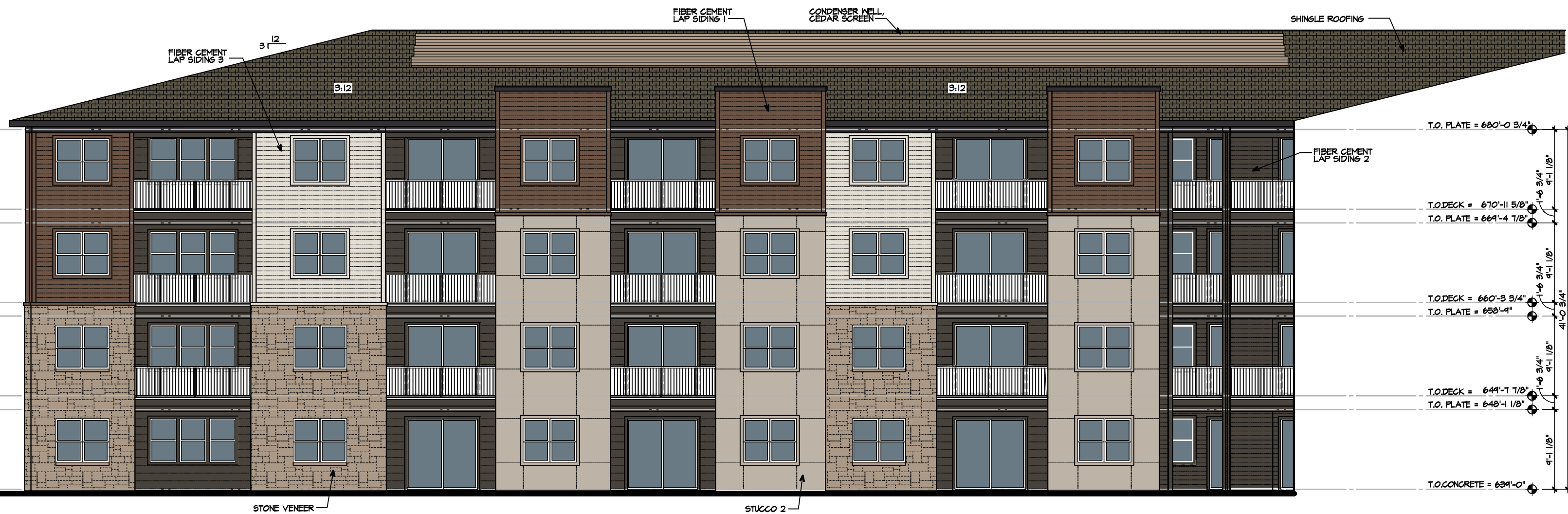
04 WEST COURT ELEVATION

SCALE: 3/32"=1'-0"



03 NORTH COURT ELEVATION

SCALE: 3/32"=1'-0"



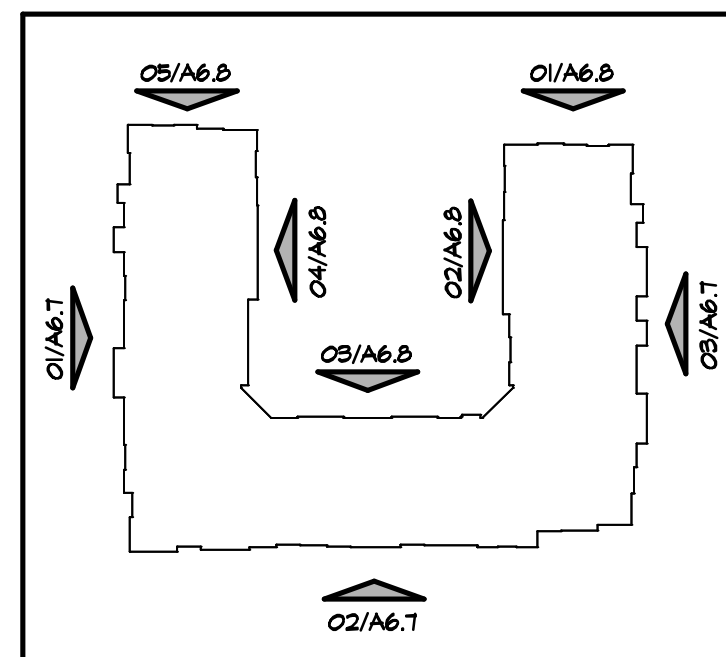
02 EAST COURT ELEVATION

SCALE: 3/32"=1'-0"



01 NORTH END ELEVATION

SCALE: 3/32"=1'-0"



NORTH END ELEVATION MATERIAL CALCULATIONS (05/A6.8)		
NET AREA (EXCLUDING OPENINGS AND RECESSED BALCONIES)	AREA	PERCENT
METAL PANEL	0 sq ft	0%
STUCCO 1	217 sq ft	10.7%
STUCCO 2	358 sq ft	17.5%
FIBER CEMENT LAP SIDING 1	310 sq ft	15.3%
FIBER CEMENT LAP SIDING 2	45 sq ft	2.2%
FIBER CEMENT LAP SIDING 3	242 sq ft	14.4%
BRICK	430 sq ft	21.3%
STONE VENEER	375 sq ft	18.5%
TOTAL MASONRY	805 sq ft	34.8%
TOTAL FIBER CEMENT LAP SIDING	647 sq ft	32.0%
TOTAL NET AREA	2,850 sq ft	100%
TOTAL GLAZING	672 sq ft	23.6%

BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE MATTE BLACK OR SIMILAR
STUCCO 1	SW 6491 BLACK MAGIC OR SIMILAR
STUCCO 2	SW T081 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SW T069 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SW T819 SANDERLINS OR SIMILAR
BRICK	ACME ALPINE WHITE OR SIMILAR
STONE VENEER	LEIDERS BLEND OR SIMILAR
SHINGLE ROOFING	64F WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
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Project No.  
20005

Drawn By:  
DFB

ISSUE FOR PERMIT:

ISSUE FOR CONSTRUCTION:

Revisions:

AURA at WATSON BRANCH  
MANSFIELD, TEXAS  
TRINISIC  
RESIDENTIAL GROUP

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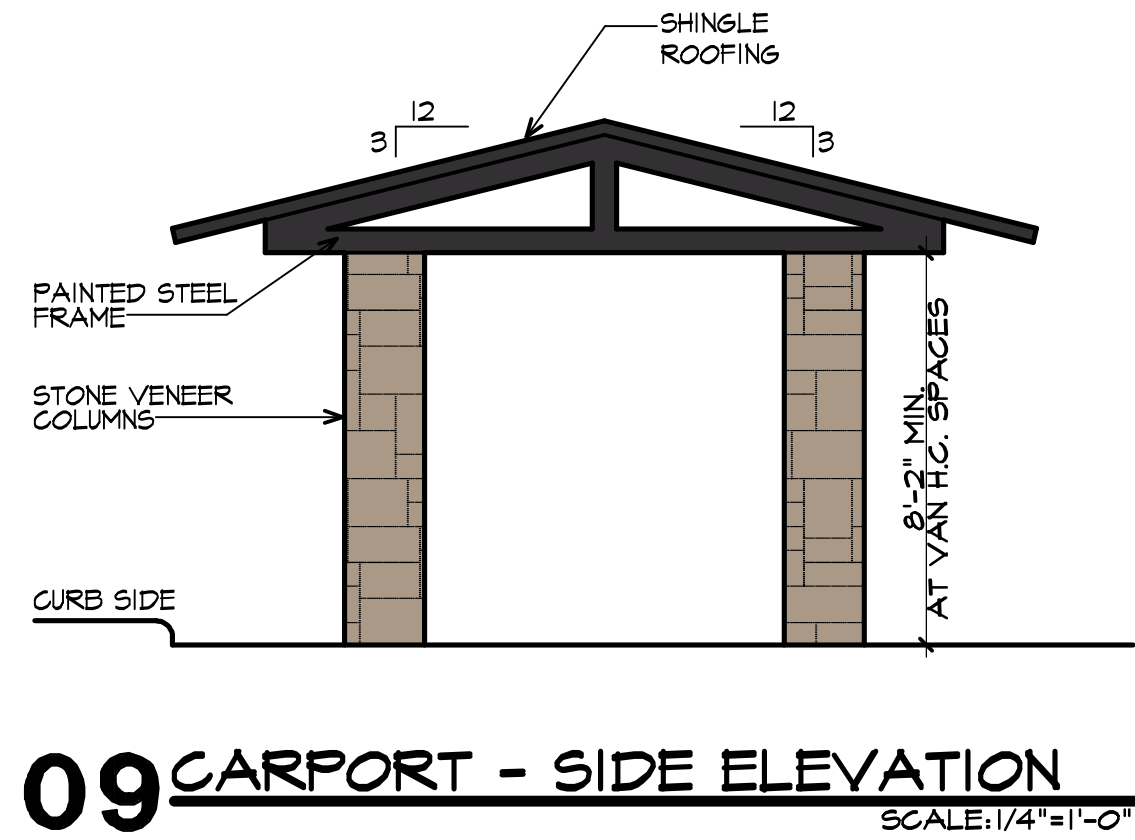
Sheet Number:

PAGE  
6 OF 7  
EXHIBIT C

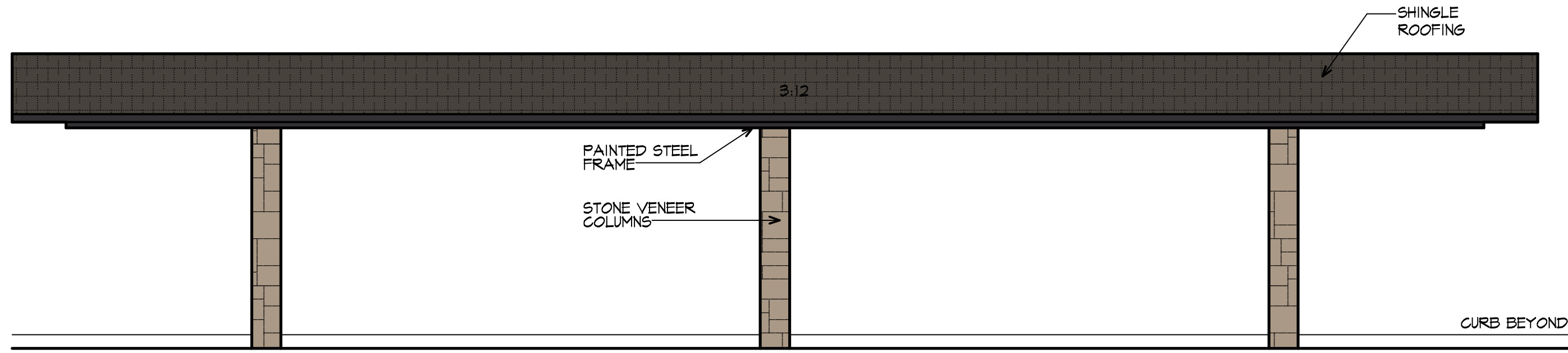


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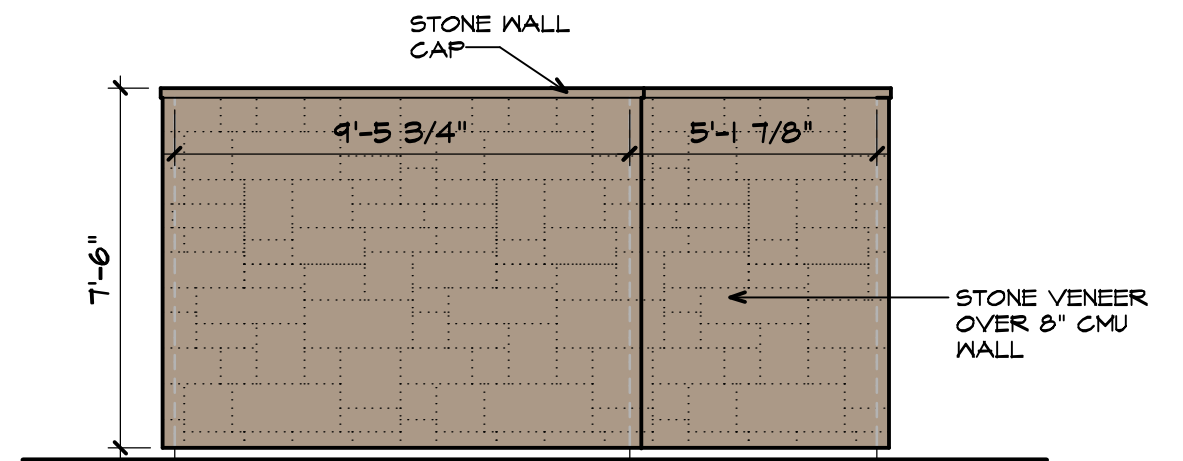
BUILDING MATERIALS KEY	
METAL PANEL	BERRIDGE: MATTE BLACK OR SIMILAR
STUCCO 1	SN 6991 BLACK MAGIC OR SIMILAR
STUCCO 2	SN 1081 BALANCED BEIGE OR SIMILAR
FIBER CEMENT LAP SIDING 1	WOODTONE MOUNTAIN CEDAR OR SIMILAR
FIBER CEMENT LAP SIDING 2	SN 1064 IRON ORE OR SIMILAR
FIBER CEMENT LAP SIDING 3	SN 1513 SANDERLING OR SIMILAR
BRICK	ACME: ALPINE WHITE OR SIMILAR
STONE VENEER	LEUDERS BLEND OR SIMILAR
SHINGLE ROOFING	6AF: WEATHERED WOOD OR SIMILAR
WOOD SCREEN / FENCE	CLEAR STAINED CEDAR OR SIMILAR
WOOD PLANK SOFFIT	CLEAR STAINED CEDAR OR SIMILAR
STOREFRONT WINDOWS	DARK BRONZE
METAL RAILING & FININGS	SN 6991 BLACK MAGIC OR SIMILAR



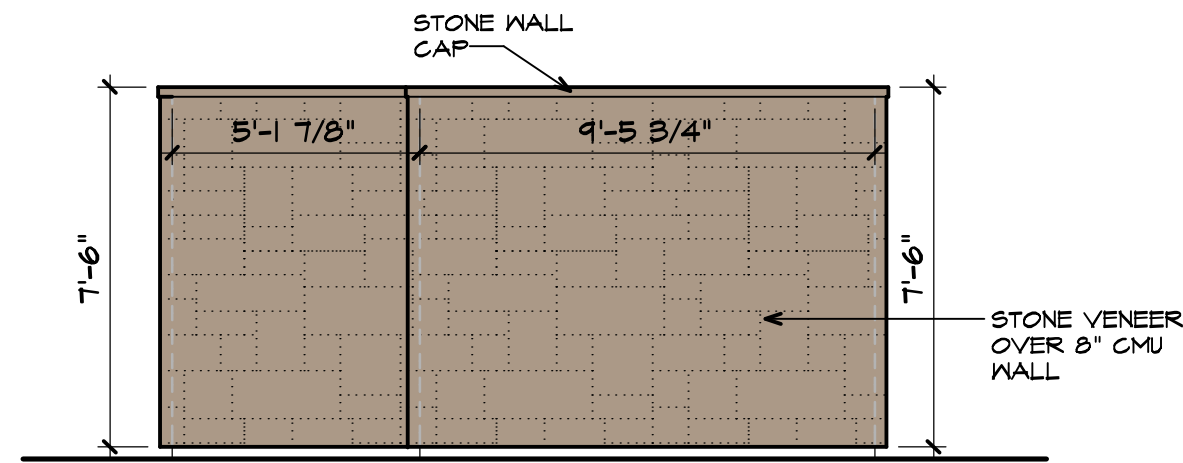
10 CARPORT - FRONT ELEVATION  
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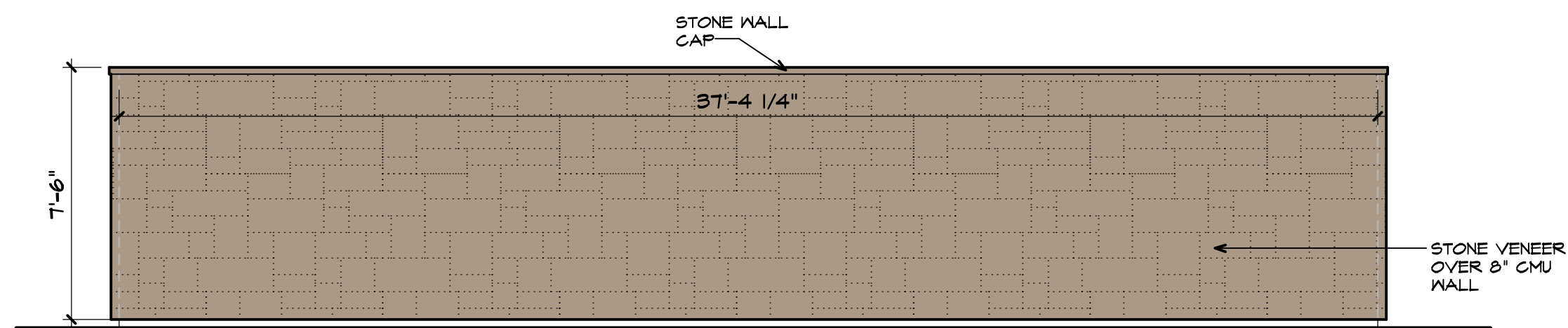
08 TRASH ENCLOSURE - LEFT ELEVATION  
SCALE: 1/4"=1'-0"



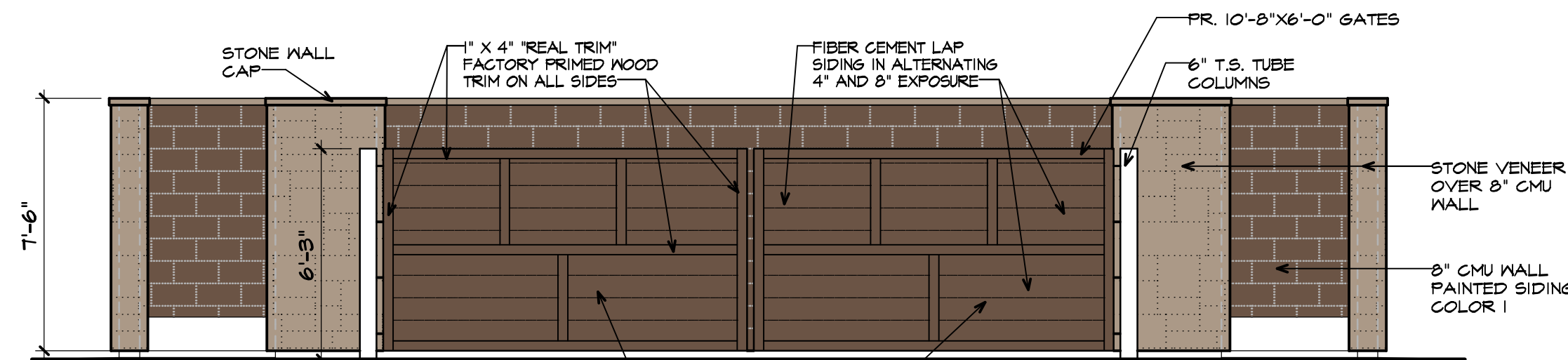
07 TRASH ENCLOSURE - RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



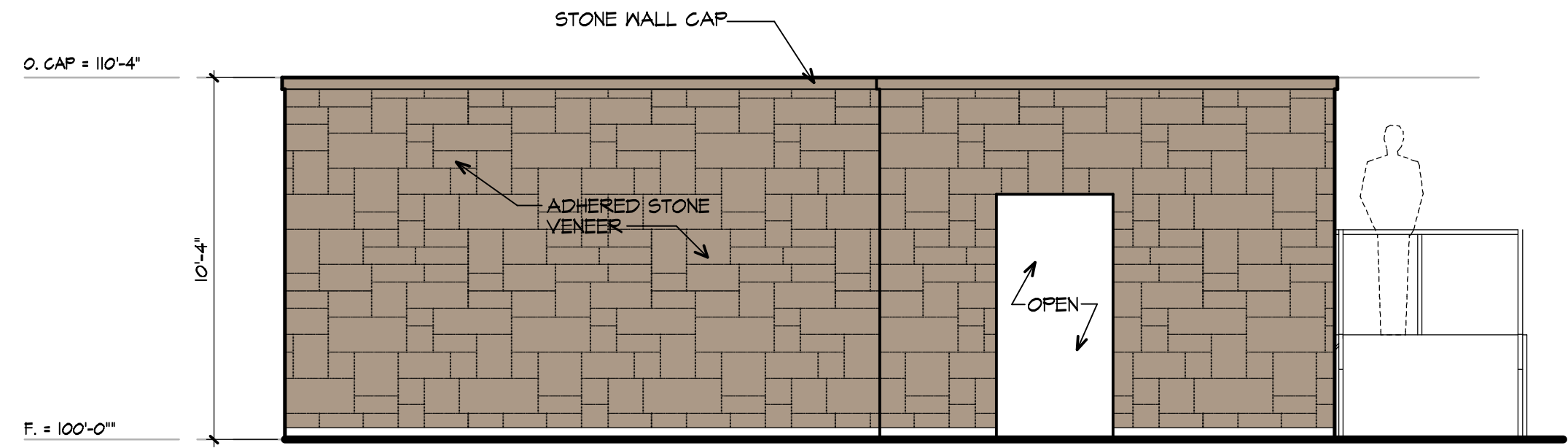
06 TRASH ENCLOSURE - REAR ELEVATION  
SCALE: 1/4"=1'-0"



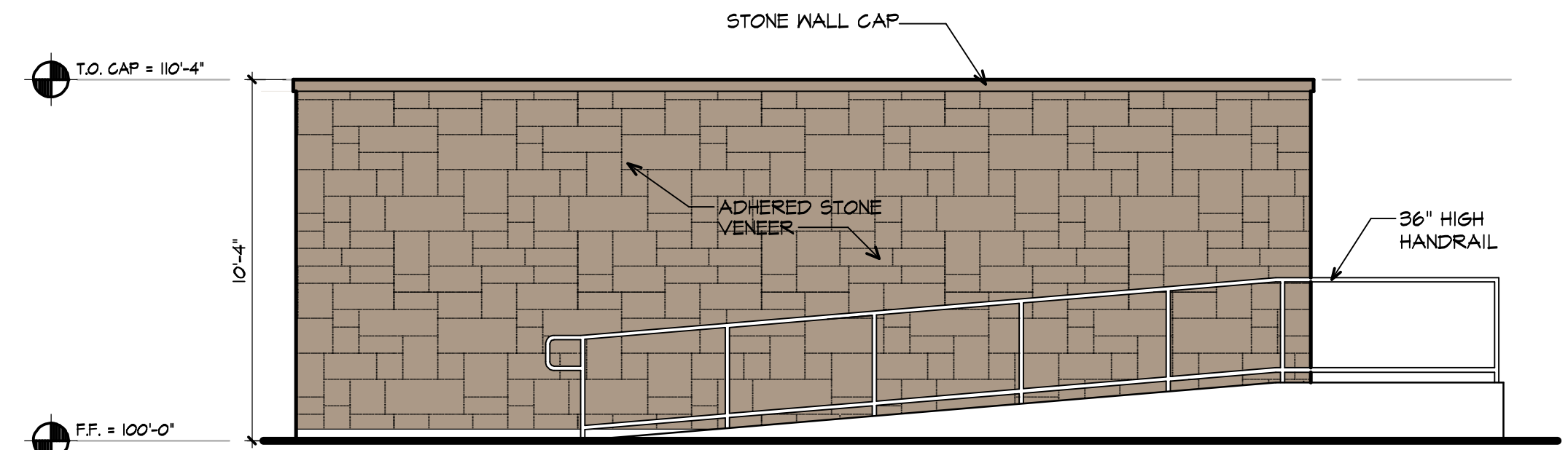
05 TRASH ENCLOSURE - FRONT ELEVATION  
SCALE: 1/4"=1'-0"



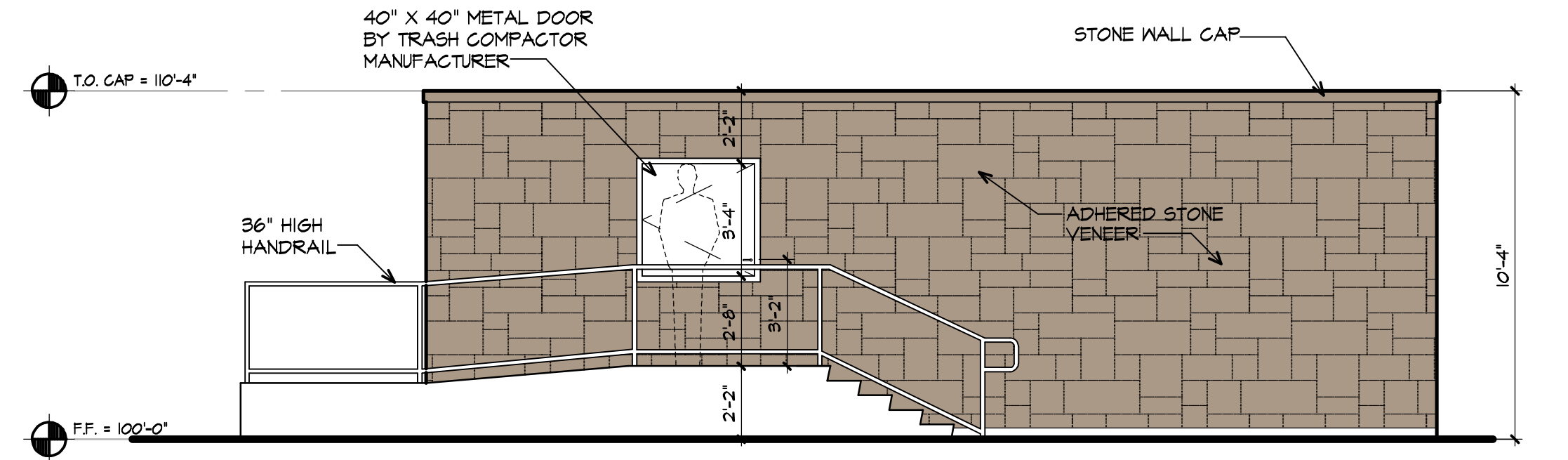
04 TRASH COMPACTOR - RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



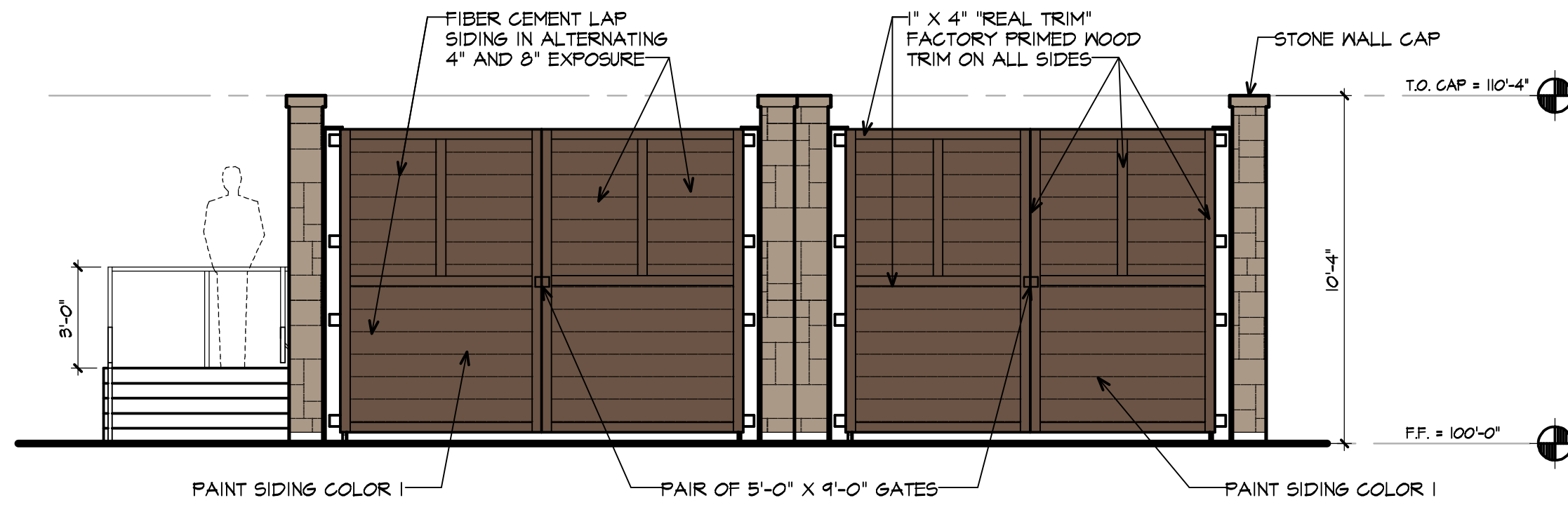
03 TRASH COMPACTOR - REAR ELEVATION  
SCALE: 1/4"=1'-0"



02 TRASH COMPACTOR - LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



01 TRASH COMPACTOR - FRONT ELEVATION  
SCALE: 1/4"=1'-0"



CASE NO. DS#20-004  
SITE PLAN  
AURA AT WATSON BRANCH  
TRACTS 1 & 2  
11.117 ACRES SITUATED IN THE  
S.S. CALLENDER SURVEY  
ABSTRACT NO 359  
CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS  
JUNE 29, 2020

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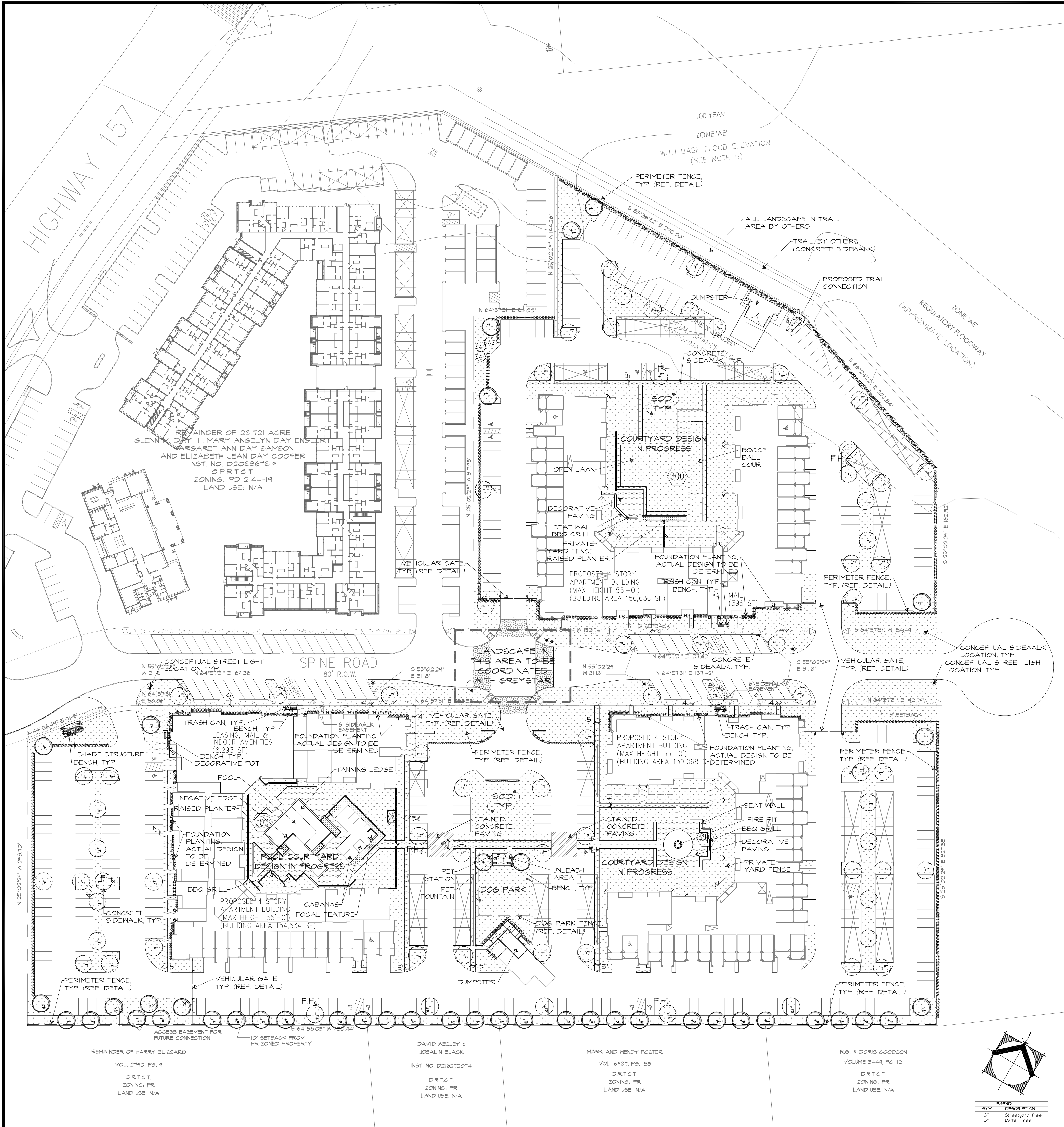
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Sheet Number:

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7 OF 7  
EXHIBIT C





LANDSCAPE REQUIREMENTS

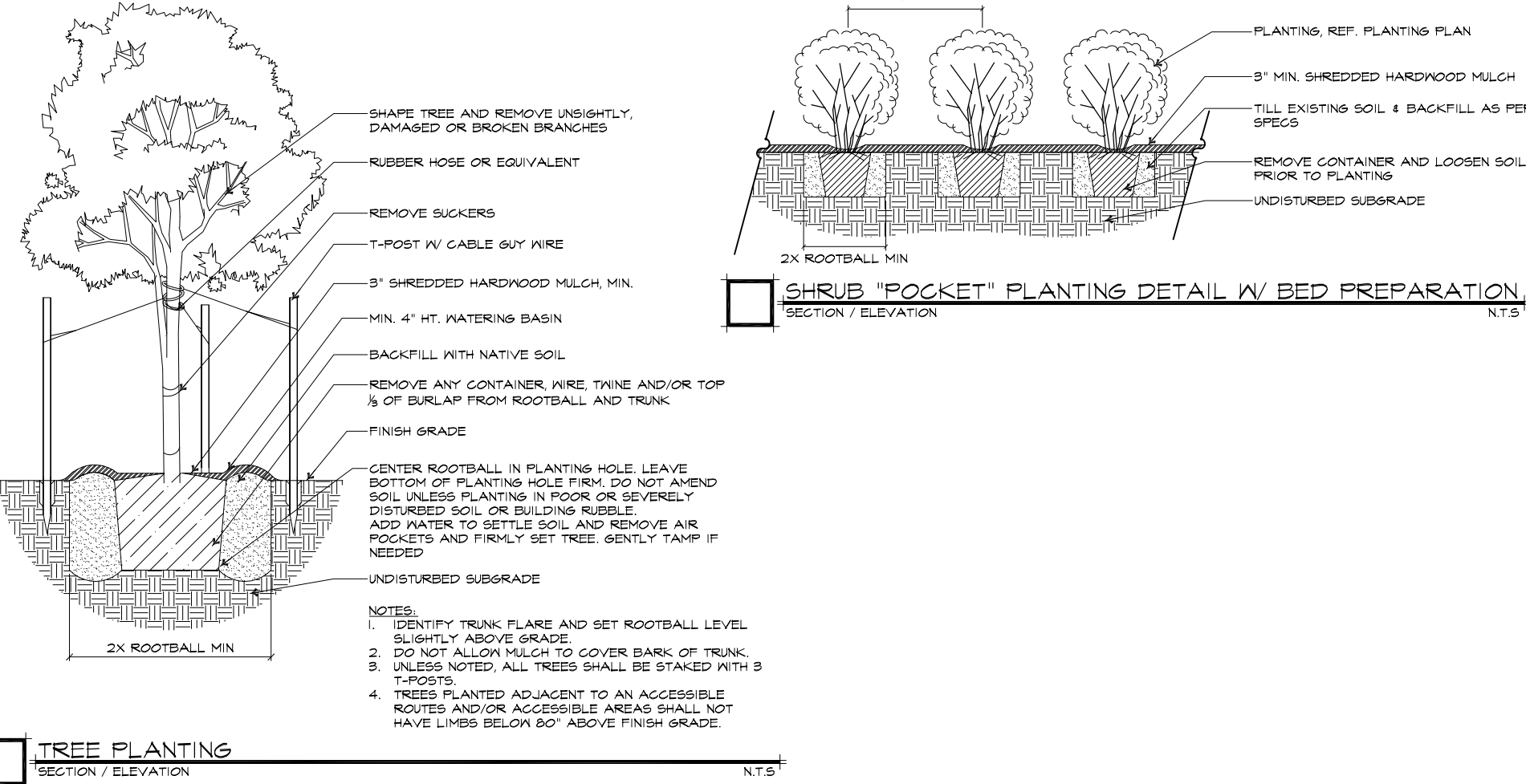
ZONING: C-2

LANDSCAPE CALCULATIONS

7300 O. Buffer Yard	Required	Provided
BY20: Minimum twenty (20) foot wide buffer yard with one tree planted for every twenty-five (25) linear feet or portion of said landscape buffer strip.	38	38
7300 Q. Parking Lot Perimeter Landscaping	Required	Provided
In C-2 Zoning Districts all parking lot, vehicular use, and maneuvering areas that are not screened by on-site buildings shall be screened from view of public streets.	Yes	Yes
7300 R. Parking Lot Internal Landscaping	Required	Provided
Any parking lot that contains ten (10) or more parking spaces shall provide internal landscaping.		
1. A ratio of one canopy tree fore every twelve (12) parking spaces shall be provided throughout any surface parking lot.	29	86
2. Trees shall be placed at intervals no greater than forty (40) feet apart or fraction thereof, in continuous landscaped median strip between rows of parking spaces.	Yes	Yes
3. Every required landscape island must include one (1) canopy tree.	Yes	Yes
7300 U. Foundation Area and Ground Equipment Landscaping	Required	Provided
In C-2 Zoning District a min. four (4) foot wide landscape area is required adjacent to or within ten (10) feet of all building facades with customer entrances and building facades facing a public street.	Yes	Yes
7300 Y. Other Landscape Areas	Required	Provided
For all development in C-2 Zoning District a minimum of ten (10%) percent of each lot shall be devoted to living landscaping which shall include grass, ground cover, plants, flower beds, shrubs and trees.	57,123 S.F.	> 57,123 S.F.
PD - Section 7.1 I. Zone 1 Min. Amenities	Required	Provided
Dog Park, Pool, Outdoor Grilling Areas, Lounging Areas	Yes	Yes

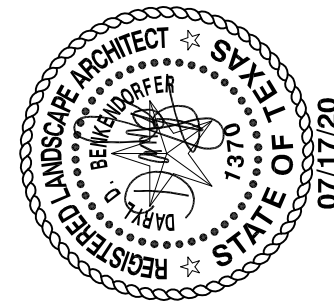
PLANT SCHEDULE

CANOPY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	GAL	SIZE
+	24	Shumard Red Oak	Quercus shumardii	B & B or Container	3.5in.	7' H./4' Sprd.
+	48	Live Oak	Quercus virginiana	B & B or Container	3.5in.	7' H./4' Sprd.
+	50	Cedar Elm	Ulmus crassifolia	B & B or Container	3.5in.	7' H./4' Sprd.
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	GAL	SIZE
+	3	Chaste Tree	Vibex agnus-castus	#50	1.5"	6' H./ 4' Sprd.
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT		SIZE
+	487	Dwarf Burford Holly	Ilex cornuta Burfordi Nana	#5		18" H./ 12" Sprd.
+	124	Dwarf Yaupon	Ilex vomitoria Nana	#5		12" H./ 18" Sprd.
+	75	Daruma Dwarf Loropetalum	Loropetalum chinense Daruma	#5		24" H./ 24" Sprd.
+	324	Dwarf Southern Wax Myrtle	Myrica pauciflora	#5		24" H./18" Sprd.
+	12	Bright N Tight Carolina Laurel	Prunus caroliniana Bright N Tight TM	#15		42" H./ 24" Sprd.
+	28	White Indian Hawthorn	Raphiolepis indica Glara	#5		20" H./ 20" Sprd.
CACTUS/SUCCULENTS	QTY	COMMON NAME	BOTANICAL NAME	CONT		SIZE
+	1	Century Plant	Agave americana	24" Box		3' H./4' Sprd.
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	CONT		SIZE
+	3	Maiden grass	Miscanthus sinensis 'Gracillimus'	#5		24" H./ 24" Sprd.
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME			
+	1,041	Asian Jasmine	Trachelospermum asiaticum			
GRASS/SEED/SOD	QTY	COMMON NAME	BOTANICAL NAME			
+	12,865 sf	Bermuda Grass	Cynodon dactylon			



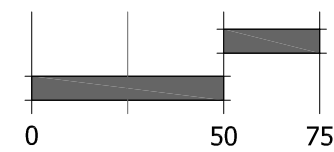
REVISIONS

DATE



AURA AT WATSON BRANCH  
MANSFIELD, TEXAS  
CITY SUBMITTAL LANDSCAPE PLAN

SCALE:



DATE:

05/15/20



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L0.01

PROJECT # 10-15



