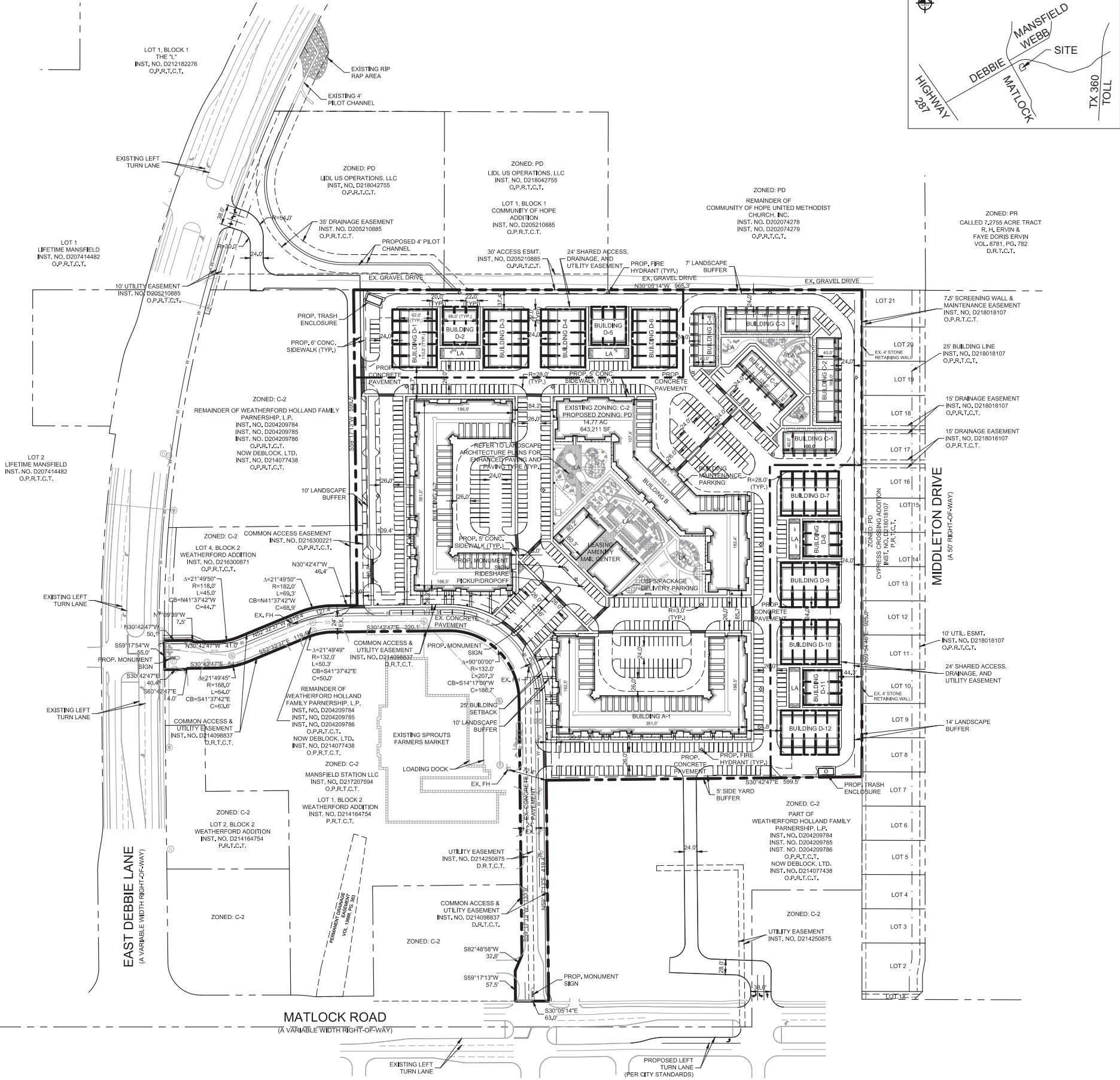


| SITE DATA SUMMARY TABLE | |
|-----------------------------|------------------------|
| TOTAL LOT AREA | 19,527 AC (850,584 SF) |
| TOTAL UNITS | 476 UNITS |
| TOTAL DENSITY | 24.38 UNITS/AC |
| MULTIFAMILY SITE AREA | 14,766 AC (643,210 SF) |
| MULTIFAMILY UNITS | 424 UNITS |
| MULTIFAMILY DENSITY | 28.72 UNITS/AC |
| TOWNHOME SITE AREA | 4,761 AC (207,373 SF) |
| TOWNHOME UNITS | 52 UNITS |
| TOWNHOME DENSITY | 10.92 UNITS/AC |
| TOTAL BUILDING LOT COVERAGE | 6,018 AC (262,140 SF) |
| LOT COVERAGE (%) | 31% |
| MAXIMUM HEIGHT | 52'-8" |

| PARKING DATA SUMMARY TABLE | |
|---|---------------------|
| PARKING REQ. | |
| 213 1-BEDROOM UNITS @ 1/UNIT | 213 |
| 211 2-BEDROOM UNITS @ 2/UNIT | 422 |
| TOWNHOME @ 2/UNIT | 104 |
| TOTAL PARKING REQ. | 739 |
| PARKING PROV. | |
| SURFACE | 536 |
| GARAGE WITH TANDEM | 148 |
| CARRIAGE GARAGE | 64 |
| TOWNHOME GARAGE | 104 |
| TOTAL PARKING PROV. | 852 |
| TOTAL SPACES PER BEDROOM (739 BEDROOMS) | 1.15 SPACES/BEDROOM |

| BUILDING DATA SUMMARY TABLE | |
|--------------------------------------|------------|
| MULTIFAMILY | |
| EFFICIENCY BEDROOM AVERAGE UNIT SIZE | 694 SF |
| 1 - BEDROOM AVERAGE UNIT SIZE | 786 SF |
| 2 - BEDROOM AVERAGE UNIT SIZE | 1207 SF |
| TOTAL AVERAGE UNIT SIZE | 965 SF |
| TYPE A | |
| BUILDING AREA (EACH) | 123,353 SF |
| NUMBER OF STORIES (EACH) | 4 |
| NUMBER OF UNITS (EACH) | 129 |
| TOTAL NUMBER OF UNITS | 258 |
| TOTAL BUILDING AREA | 246,706 SF |
| EFFICIENCY MINIMUM UNIT SIZE | 685 SF |
| 1-BEDROOM MINIMUM UNIT SIZE | 750 SF |
| 2-BEDROOM MINIMUM UNIT SIZE | 1,105 SF |
| TYPE B | |
| BUILDING AREA | 127,300 SF |
| NUMBER OF STORIES (EACH) | 4 |
| NUMBER OF UNITS (EACH) | 134 |
| TOTAL NUMBER OF UNITS | 134 |
| EFFICIENCY MINIMUM UNIT SIZE | 685 SF |
| 1-BEDROOM MINIMUM UNIT SIZE | 750 SF |
| 2-BEDROOM MINIMUM UNIT SIZE | 1,084 SF |
| TYPE C | |
| BUILDING AREA (EACH) | 1,445 GSF |
| MINIMUM UNIT SIZE | 1,095 SF |
| NUMBER OF STORIES (EACH) | 2 |
| NUMBER OF UNITS (EACH) | 1 |
| TOTAL NUMBER OF UNITS | 32 |
| TOTAL BUILDING AREA | 35,040 SF |
| TOWNHOMES | |
| TYPE D | |
| BUILDING AREA | 2,625 GSF |
| MINIMUM UNIT SIZE | 1,750 SF |
| NUMBER OF STORIES (EACH) | 2 |
| NUMBER OF UNITS (EACH) | 1 |
| TOTAL NUMBER OF UNITS | 52 |
| TOTAL BUILDING AREA | 91,000 SF |



| LEGEND | |
|---|-----|
| PROPERTY LINE | --- |
| FIRE LANE | --- |
| EX. SANITARY SEWER MANHOLE | ⊙ |
| EX. STORM MANHOLE | ⊕ |
| EX. CURB INLET | ⊞ |
| EX. WATER VALVE | ⊞ |
| EX. FIRE HYDRANT | ⊞ |
| PROP. FIRE HYDRANT | ⊞ |
| AMENITY AREA (REFER TO LANDSCAPE PLANS) | LA |

| NOTES | |
|-------|--|
| 1. | THE PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS. |
| 2. | DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. |
| 3. | INNER FIRE LANE RADI ARE 20' UNLESS OTHERWISE NOTED. |
| 4. | CURB RADI ARE 3' UNLESS OTHERWISE NOTED. |
| 5. | PARKING STALL DIMENSIONS ARE 9' WIDE BY 18' DEEP UNLESS OTHERWISE NOTED. |
| 6. | NO TREES, SIGNS, OR IMPROVEMENTS OVER 2' IN HEIGHT IS ALLOWED WITHIN VISIBILITY TRIANGLES. |
| 7. | SUFFICIENT LIGHTING SHALL BE INSTALLED BY THE DEVELOPER AT ALL DRIVEWAY ENTRANCES FROM PUBLIC STREETS, DRIVEWAY INTERSECTIONS, PARKING LOTS, AND THROUGHOUT THE MULTIFAMILY RESIDENTIAL DEVELOPMENT PER THE ILLUMINATION ENGINEERING SOCIETY'S STANDARDS ON ILLUMINANCE LEVELS FOR SAFETY. |
| 8. | ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH SECTION 7301.A OF THE ZONING ORDINANCE. |
| 9. | NO OUTSIDE STORAGE OR OUTSIDE OPERATIONS OF ANY KIND SHALL BE PERMITTED. |
| 10. | ALL UTILITIES EXCEPT ELECTRICAL TRANSMISSION LINES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE CITY OF MANSFIELD CODE OF ORDINANCES. |
| 11. | ALL TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH SECTION 7301.B OF THE ZONING ORDINANCE. PROPOSED DEVELOPMENT WILL BE SERVED BY SHARED TRASH LOCATIONS SHOWN. TOWNHOME DEVELOPMENT SHALL INCLUDE ROLL-OUT TRASH SERVICE. |
| 12. | ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT. |
| 13. | NO BOATS, MOTOR HOMES, TRAILERS, RECREATIONAL VEHICLES, TOWED TRAILERS, OR SIMILAR VEHICULAR EQUIPMENT SHALL BE PARKED OR STORED ON THE PROPERTY OF ANY MULTIFAMILY RESIDENTIAL DEVELOPMENT. IN CASE OF AN APARTMENT OR OTHER RENTAL HOUSING DEVELOPMENT, THIS REQUIREMENT SHALL BE INCORPORATED INTO THE RENTAL CONTRACT. |
| 14. | PROPOSED DEVELOPMENT WILL NOT BE GATED. |
| 15. | TYPE D BUILDINGS WILL BE FOR-SALE TOWNHOMES ON INDIVIDUAL LOTS. TYPICAL TOWNHOME LOT SIZES ARE 22'X72' AND 22'X84'. |
| 16. | GRADING AND INSTALLATION OF PRIMARY INFRASTRUCTURES FOR THE APARTMENTS AND TOWNHOMES WILL OCCUR IN ONE PHASE. |
| 17. | PROPOSED BUILDING SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH CITY OF MANSFIELD MF-1 ZONING DISTRICT REQUIREMENTS. |

| OWNERS' ASSOCIATION NOTES | |
|---------------------------|---|
| 1. | A MANDATORY OWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SCREENING FENCES, DRIVEWAYS, PARKING LOTS, COMMON AREAS, AMENITY CENTER, LANDSCAPING, SIDEWALKS, HARDSCAPING, AND SIGNAGE. |
| 2. | THE OWNERS' ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS. |

DEVELOPMENT PLAN
JEFFERSON - DEBBIE LANE
19.527 ACRES
JAMES GRIMSLEY SURVEY, ABSTRACT NO. 578
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
SUBMITTED: AUGUST 5, 2020
DEVELOPER: JPI
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SUITE 1800
IRVING, TEXAS 75039
PHONE: 972-373-3931
CONTACT: MILLER SYLVAN
EMAIL: MILLER.SYLVAN@JPI.COM

ENGINEER/SURVEYOR:

KIMLEY-HORN AND ASSOCIATES, INC.
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SUITE 275
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EMAIL: JOE.FRACCARO@KIMLEY-HORN.COM

DEVELOPMENT PLAN

EXH

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Irving, TX 75039
Miller Sylvan
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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 08.05.2020 |

KEYPLAN

"Not for regulatory approval, permitting, or construction"

08.05.2020

Kimley-Horn Project Number:
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DEVELOPMENT PLAN

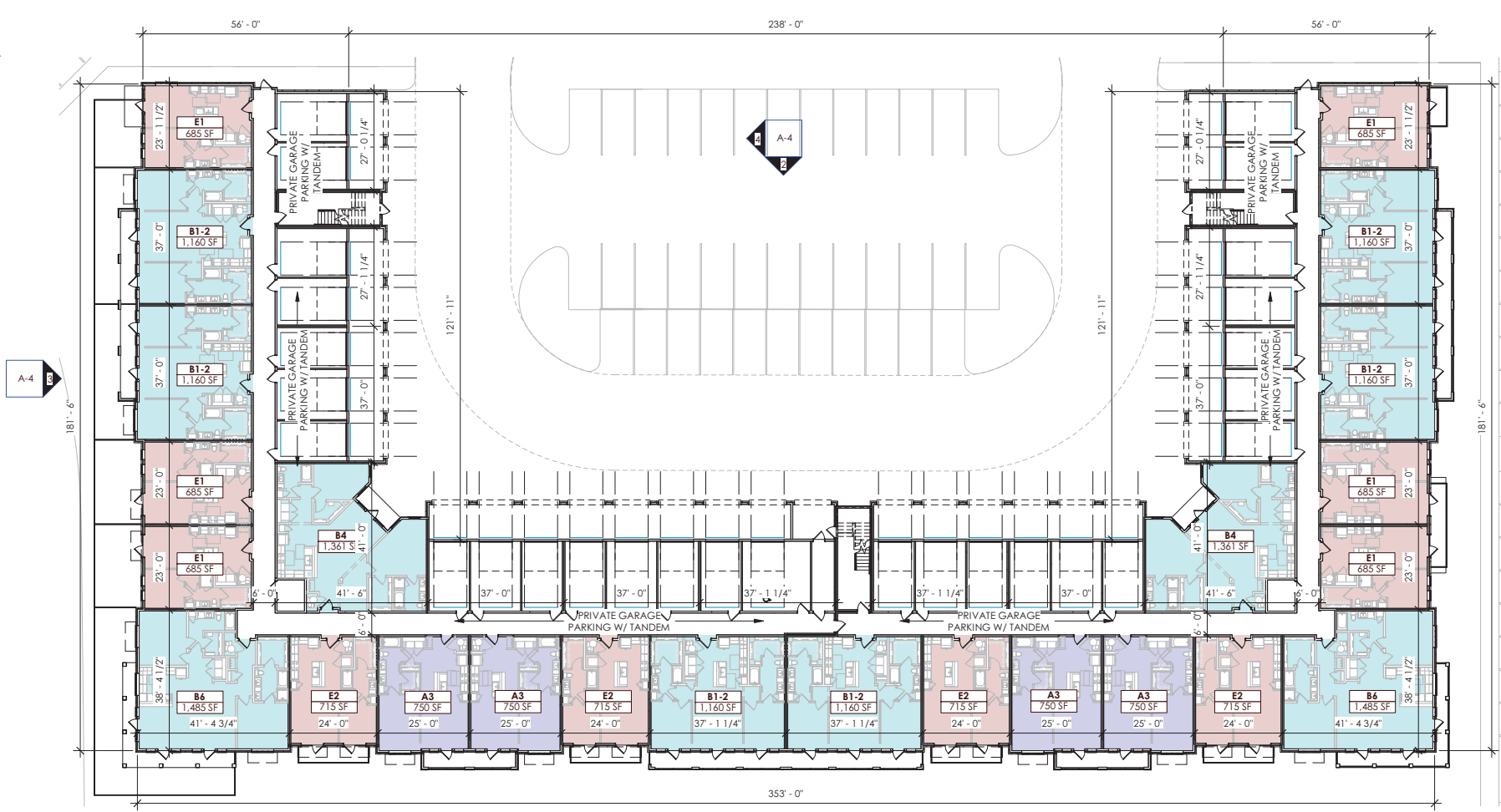
EXH

Zoning Case Number:
ZC#20-008

Exhibit: B



2 FLOOR PLAN - LEVELS 2-4 - BLDG A
SCALE: 1" = 20'-0"



1 FLOOR PLAN - LEVEL 1 - BLDG A
SCALE: 1" = 20'-0"

| PARKING REQUIRED | | | | | UNIT SCHEDULE | | | |
|------------------------------|--------|----|-----|-------|--------------------------------------|-----------|----------|------------|
| 213 1BR UNITS @ 1/UNIT = 213 | | | | | UNIT | AREA/UNIT | QUANTITY | TOTAL AREA |
| 211 2BR UNITS @ 2/UNIT = 422 | | | | | BLDG A (2 BUILDINGS) | | | |
| TOWNHOUSE @ 2/UNIT = 104 | | | | | E1 | 685 SF | 48 | 32,880 SF |
| TOTAL PARKING REQ'D = 739 | | | | | E2 | 715 SF | 32 | 22,880 SF |
| PARKING | | | | | A3 | 750 SF | 32 | 24,000 SF |
| SURFACE | GARAGE | CH | TH | TOTAL | A6 | 805 SF | 24 | 19,320 SF |
| 544 | 148 | 64 | 104 | 860 | B1-1 | 1,105 SF | 42 | 46,410 SF |
| | | | | | B1-2 | 1,160 SF | 48 | 55,680 SF |
| | | | | | B4 | 1,361 SF | 16 | 21,776 SF |
| | | | | | B6 | 1,485 SF | 16 | 23,760 SF |
| | | | | | | | 258 | 246,706 SF |
| | | | | | BLDG B (1 BUILDING) | | | |
| | | | | | E1 | 685 SF | 24 | 16,440 SF |
| | | | | | A3 | 750 SF | 18 | 13,500 SF |
| | | | | | A6 | 805 SF | 27 | 21,735 SF |
| | | | | | A9 | 895 SF | 8 | 7,160 SF |
| | | | | | B1-1 | 1,105 SF | 11 | 12,155 SF |
| | | | | | B1-2 | 1,160 SF | 24 | 27,840 SF |
| | | | | | B4 | 1,361 SF | 8 | 10,888 SF |
| | | | | | B5 | 1,084 SF | 8 | 8,672 SF |
| | | | | | B6 | 1,485 SF | 6 | 8,910 SF |
| | | | | | | | 134 | 127,300 SF |
| | | | | | BLDG C (5 BUILDINGS) CARRIAGE HOUSES | | | |
| | | | | | TH-C | 1,095 SF | 32 | 35,040 SF |
| | | | | | | | 32 | 35,040 SF |
| | | | | | BLDG D (12 BUILDINGS) TOWNHOMES | | | |
| | | | | | TH-D | 1,750 SF | 52 | 91,000 SF |
| | | | | | | | 52 | 91,000 SF |
| | | | | | TOTAL | | 476 | 500,046 SF |
| | | | | | PROJECT AVERAGE UNIT SIZE = 965 SF | | | |

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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 07.16.2020 |

KEYPLAN

"Not for regulatory approval, permitting, or construction"

07.16.2020
WDG Architecture Project No: DA19040
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BLDG A - FLOOR PLANS

A-1
Zoning Case Number: ZC#20-008
Exhibit: C
Page 1 of 16

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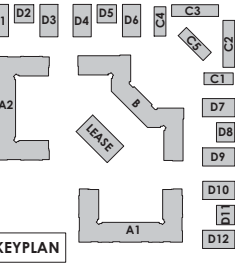
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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 07.16.2020 |



"Not for regulatory approval, permitting, or construction"

07.16.2020

WDG Architecture Project No:
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BLDG B - FLOOR PLANS

A-2

Zoning Case Number:
ZC #20-008

Exhibit: C
Page 2 of 16

PARKING REQUIRED

213 1BR UNITS @ 1/UNIT = 213
211 2BR UNITS @ 2/UNIT = 422
TOWNHOUSE @ 2/UNIT = 104
TOTAL PARKING REQ'D = 739

PARKING

| SURFACE | GARAGE W/TANDEM | CH GARAGE | TH GARAGE | TOTAL |
|---------|-----------------|-----------|-----------|-------|
| 544 | 148 | 64 | 104 | 860 |

UNIT SCHEDULE

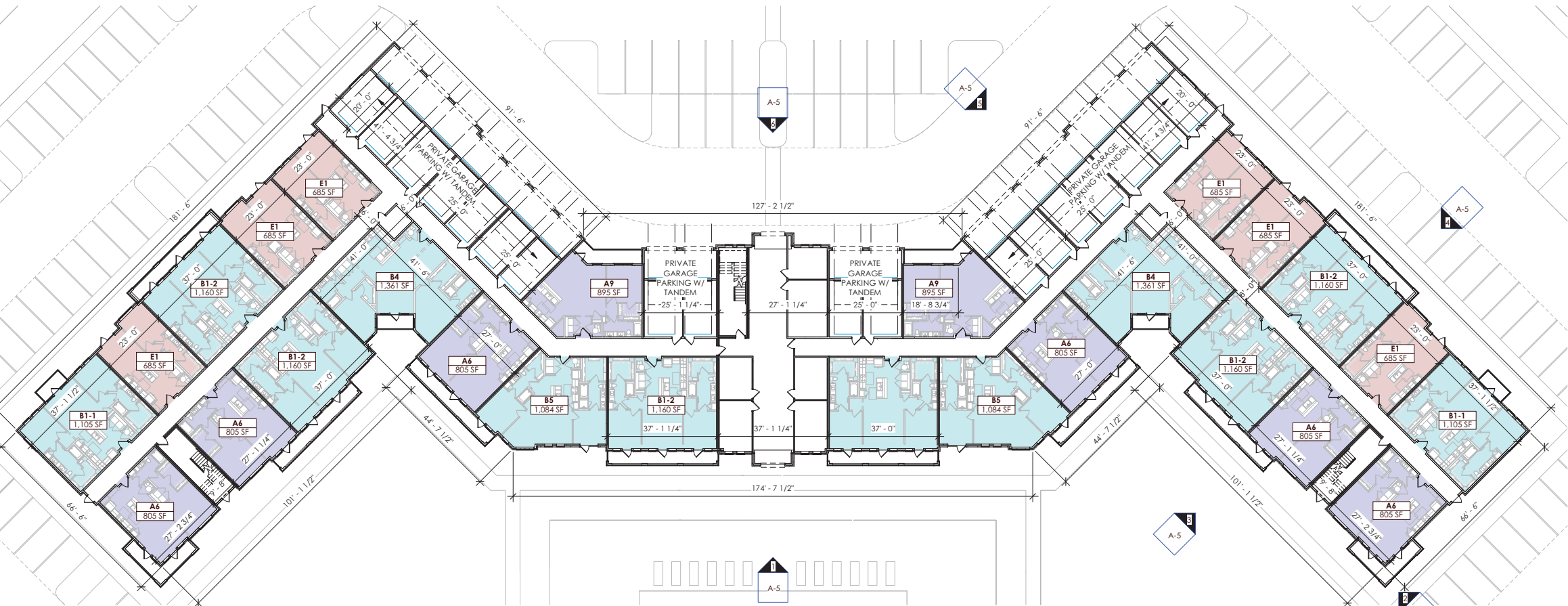
| UNIT | AREA/UNIT | QUANTITY | TOTAL AREA |
|----------------------|-----------|----------|------------|
| BLDG A (2 BUILDINGS) | | | |
| E1 | 685 SF | 48 | 32,880 SF |
| E2 | 715 SF | 32 | 22,880 SF |
| A3 | 750 SF | 32 | 24,000 SF |
| A6 | 805 SF | 24 | 19,320 SF |
| B1-1 | 1,105 SF | 42 | 46,410 SF |
| B1-2 | 1,160 SF | 48 | 55,680 SF |
| B4 | 1,361 SF | 16 | 21,776 SF |
| B6 | 1,485 SF | 16 | 23,760 SF |
| | | 258 | 246,706 SF |

| | | | |
|---------------------|----------|-----|------------|
| BLDG B (1 BUILDING) | | | |
| E1 | 685 SF | 24 | 16,440 SF |
| A3 | 750 SF | 18 | 13,500 SF |
| A6 | 805 SF | 27 | 21,735 SF |
| A9 | 895 SF | 8 | 7,160 SF |
| B1-1 | 1,105 SF | 11 | 12,155 SF |
| B1-2 | 1,160 SF | 24 | 27,840 SF |
| B4 | 1,361 SF | 8 | 10,888 SF |
| B5 | 1,084 SF | 8 | 8,672 SF |
| B6 | 1,485 SF | 6 | 8,910 SF |
| | | 134 | 127,300 SF |

| | | | |
|--------------------------------------|----------|----|-----------|
| BLDG C (5 BUILDINGS) CARRIAGE HOUSES | | | |
| TH-C | 1,095 SF | 32 | 35,040 SF |
| | | 32 | 35,040 SF |

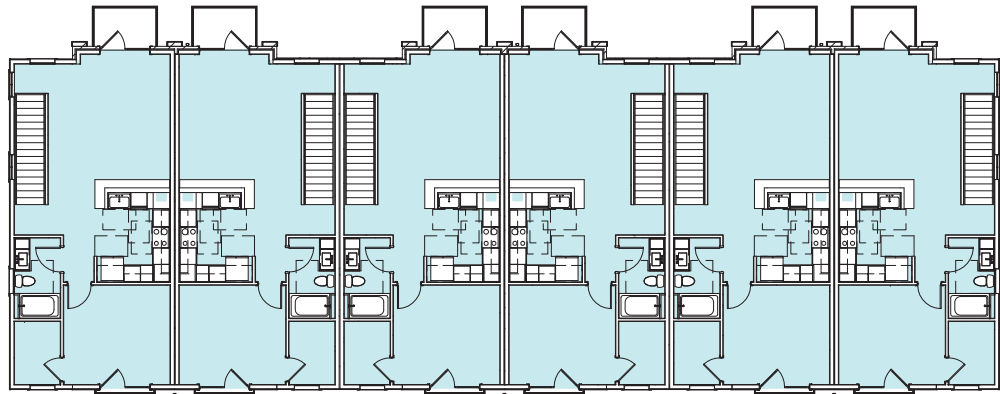
| | | | |
|------------------------------------|----------|-----|------------|
| BLDG D (12 BUILDINGS) TOWNHOMES | | | |
| TH-D | 1,750 SF | 52 | 91,000 SF |
| | | 52 | 91,000 SF |
| TOTAL | | 476 | 500,046 SF |
| PROJECT AVERAGE UNIT SIZE = 965 SF | | | |

2 FLOOR PLAN - LEVELS 2-4 - BLDG B
SCALE: 1" = 20'-0"

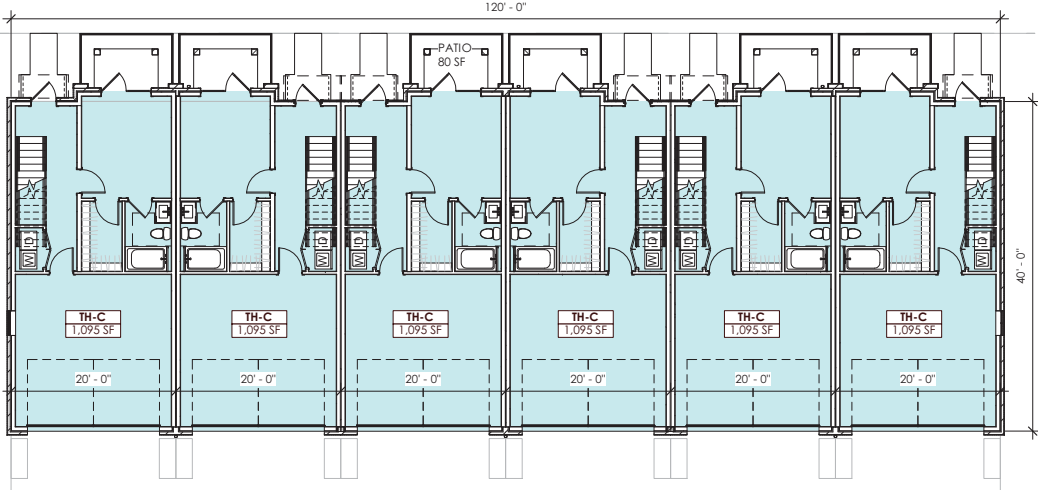


1 FLOOR PLAN - LEVEL 1 - BLDG B
SCALE: 1" = 20'-0"

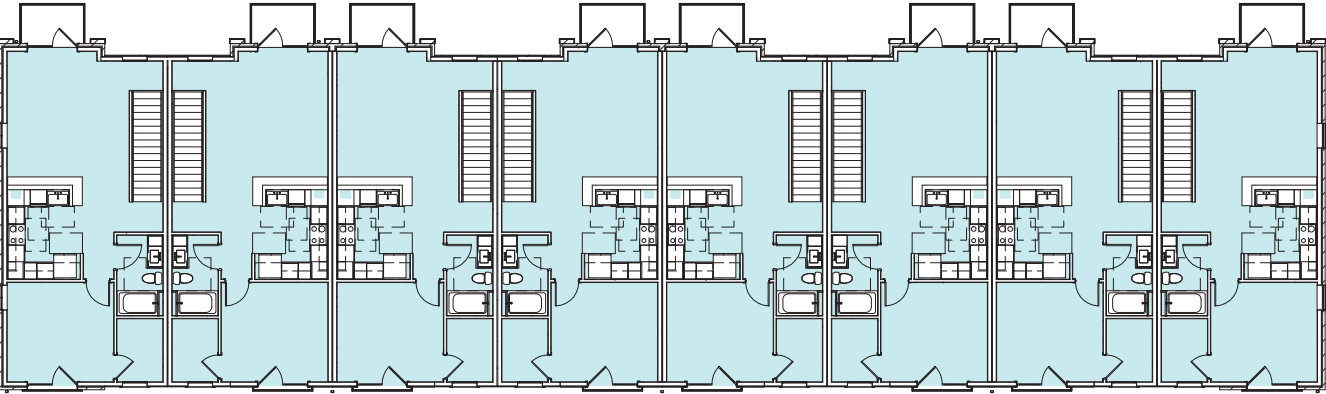




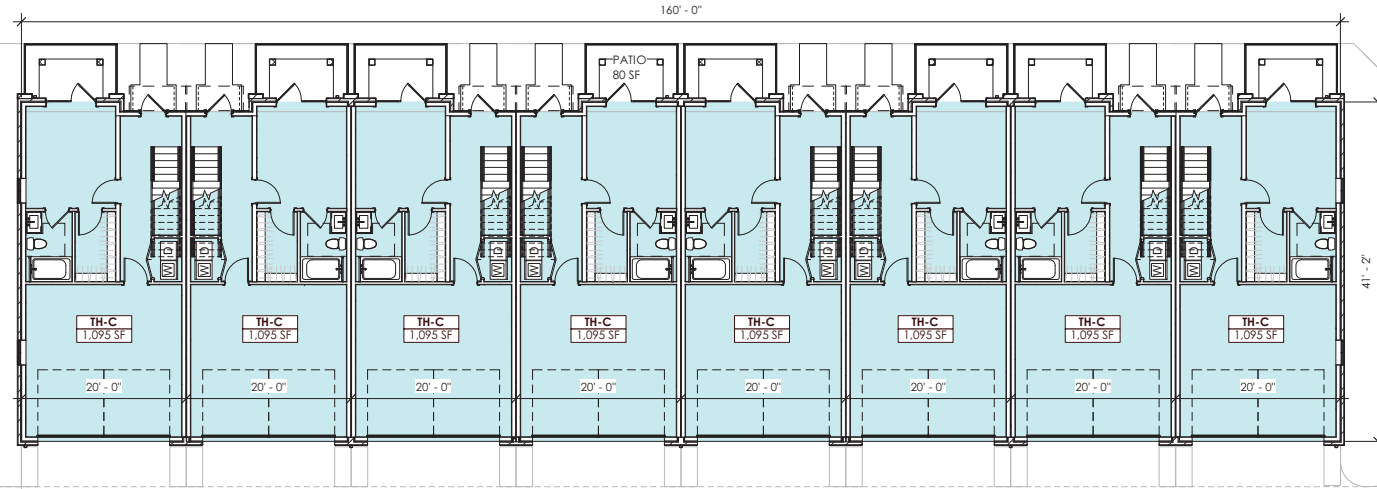
6 FLOOR PLAN - LEVEL 2 - BLDG C-5
SCALE: 3/32" = 1'-0"



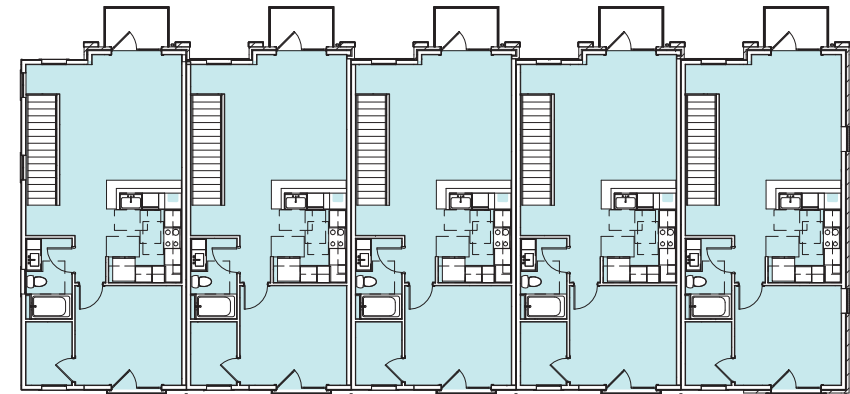
5 FLOOR PLAN - LEVEL 1 - BLDG C-5
SCALE: 3/32" = 1'-0"



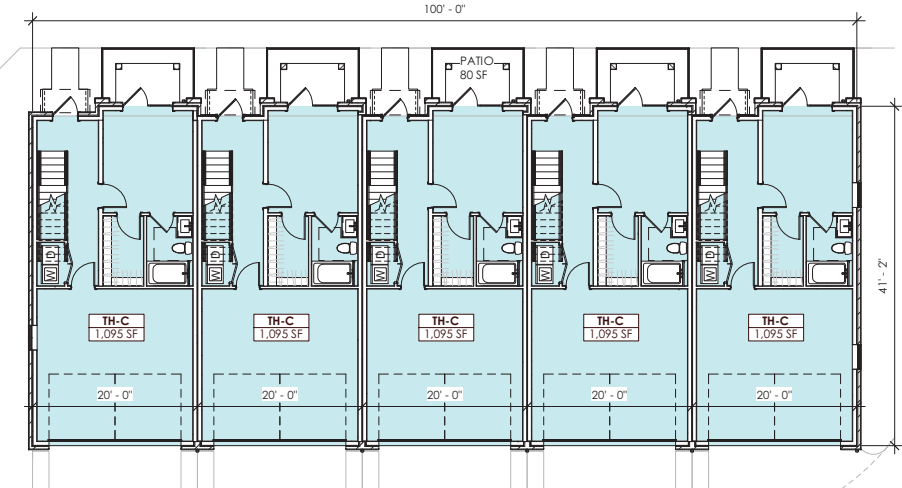
4 FLOOR PLAN - LEVEL 2 - BLDG C-2/C-3
SCALE: 3/32" = 1'-0"



3 FLOOR PLAN - LEVEL 1 - BLDG C-2/C-3
SCALE: 3/32" = 1'-0"



2 FLOOR PLAN - LEVEL 2 - BLDG C-1/C-4
SCALE: 3/32" = 1'-0"



1 FLOOR PLAN - LEVEL 1 - BLDG C-1/C-4
SCALE: 3/32" = 1'-0"

PARKING REQUIRED

213 1BR UNITS @ 1/UNIT = 213
211 2BR UNITS @ 2/UNIT = 422
TOWNHOUSE @ 2/UNIT = 104

TOTAL PARKING REQ'D = 739

PARKING

| SURFACE | GARAGE W/TANDEM | CH GARAGE | TH GARAGE | TOTAL |
|---------|-----------------|-----------|-----------|-------|
| 544 | 148 | 64 | 104 | 860 |

UNIT SCHEDULE

| UNIT | AREA/UNIT | QUANTITY | TOTAL AREA |
|----------------------|-----------|----------|------------|
| BLDG A (2 BUILDINGS) | | | |
| E1 | 685 SF | 48 | 32,880 SF |
| E2 | 715 SF | 32 | 22,880 SF |
| A3 | 750 SF | 32 | 24,000 SF |
| A6 | 805 SF | 24 | 19,320 SF |
| B1-1 | 1,105 SF | 42 | 46,410 SF |
| B1-2 | 1,160 SF | 48 | 55,680 SF |
| B4 | 1,361 SF | 16 | 21,776 SF |
| B6 | 1,485 SF | 16 | 23,760 SF |
| | | 258 | 246,706 SF |

| | | | |
|---------------------|----------|-----|------------|
| BLDG B (1 BUILDING) | | | |
| E1 | 685 SF | 24 | 16,440 SF |
| A3 | 750 SF | 18 | 13,500 SF |
| A6 | 805 SF | 27 | 21,735 SF |
| A9 | 895 SF | 8 | 7,160 SF |
| B1-1 | 1,105 SF | 11 | 12,155 SF |
| B1-2 | 1,160 SF | 24 | 27,840 SF |
| B4 | 1,361 SF | 8 | 10,888 SF |
| B5 | 1,084 SF | 8 | 8,672 SF |
| B6 | 1,485 SF | 6 | 8,910 SF |
| | | 134 | 127,300 SF |

| | | | |
|--------------------------------------|----------|----|-----------|
| BLDG C (5 BUILDINGS) CARRIAGE HOUSES | | | |
| TH-C | 1,095 SF | 32 | 35,040 SF |
| | | 32 | 35,040 SF |

| | | | |
|------------------------------------|----------|-----|------------|
| BLDG D (12 BUILDINGS) TOWNHOMES | | | |
| TH-D | 1,750 SF | 52 | 91,000 SF |
| | | 52 | 91,000 SF |
| TOTAL | | 476 | 500,046 SF |
| PROJECT AVERAGE UNIT SIZE = 965 SF | | | |

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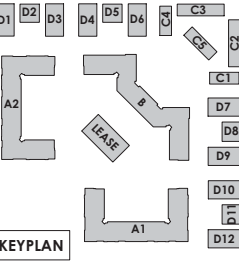
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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 07.16.2020 |



"Not for regulatory approval, permitting, or construction"

07.16.2020

WDG Architecture Project No:
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BLDG C - FLOOR PLANS

A-3

Zoning Case Number:
ZC #20-008

Exhibit: C
Page 3 of 16



1 BUILDING A - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 52% STONE = 13%
STUCCO = 25% FIBER CEMENT = 10%
GLASS = 30%

MATERIAL PERCENTAGES (BLDG A):

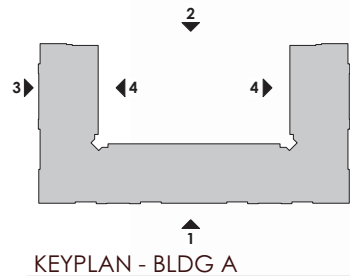
| | |
|--------------|-------|
| BRICK | = 45% |
| STONE | = 9% |
| FIBER CEMENT | = 20% |
| STUCCO | = 27% |

*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 24%

EXTERIOR MATERIAL LEGEND

| KEY | DESCRIPTION |
|--------|----------------------------------|
| CS-01 | CAST STONE TRIM - TEXAS CREAM |
| FC-01 | FIBER CEMENT SIDING - LIGHT GRAY |
| FC-02 | FIBER CEMENT SIDING - BROWN |
| MAS-01 | BRICK MASONRY - LIGHT GRAY |
| MAS-02 | BRICK MASONRY - RED |
| MAS-03 | LIMESTONE VENEER - SALADO CREAM |
| RF-01 | ASPHALT SHINGLE ROOFING |
| RF-02 | STANDING SEAM ROOFING |
| STU-01 | STUCCO - LIGHT CREAM |



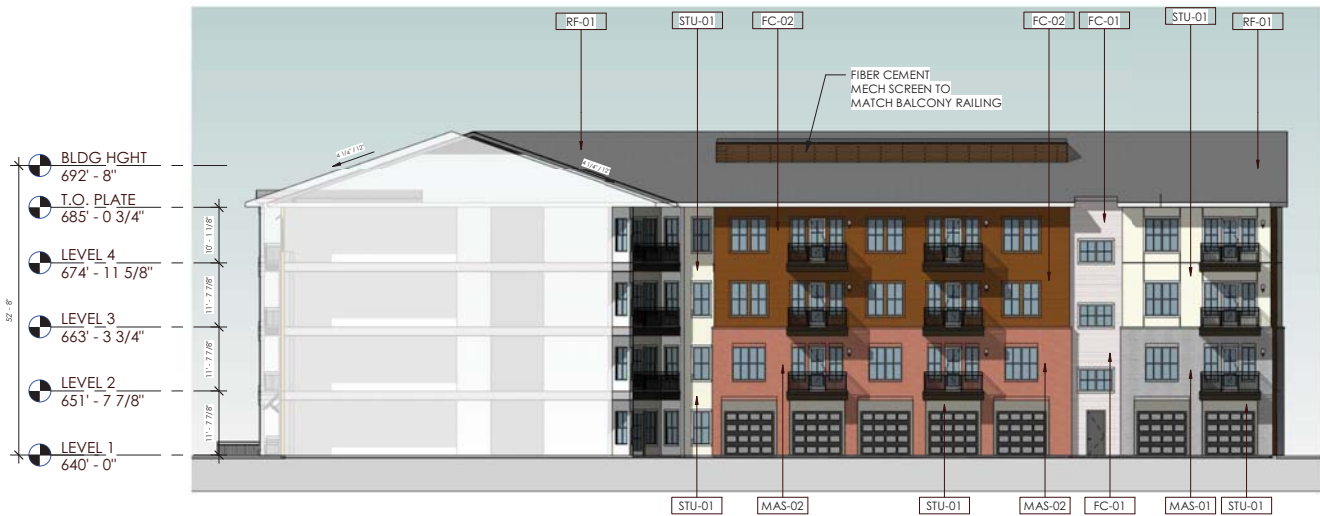
2 BUILDING A - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 44% STONE = 0%
STUCCO = 28% FIBER CEMENT = 28%
GLASS = 19%



3 BUILDING A - WEST ELEVATION (EAST O.H.)
SCALE: 1/16" = 1'-0"

BRICK = 43% STONE = 15%
STUCCO = 32% FIBER CEMENT = 10%
GLASS = 28%



4 BUILDING A - EAST COURT ELEVATION (WEST COURT O.H.)
SCALE: 1/16" = 1'-0"

BRICK = 37% STONE = 0%
STUCCO = 21% FIBER CEMENT = 42%
GLASS = 20%

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BLDG A - ELEVATIONS

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1 BUILDING B - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 47% STONE = 12%
STUCCO = 18% FIBER CEMENT = 23%
GLASS = 30%



2 BUILDING B - SE WING ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 41% STONE = 14%
STUCCO = 18% FIBER CEMENT = 27%
GLASS = 19%



3 BUILDING B - SW WING ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 48% STONE = 16%
STUCCO = 14% FIBER CEMENT = 22%
GLASS = 25%



4 BUILDING B - NE WING ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 48% STONE = 8%
STUCCO = 31% FIBER CEMENT = 13%
GLASS = 25%



5 BUILDING B - NW WING ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 35% STONE = 0%
STUCCO = 39% FIBER CEMENT = 25%
GLASS = 20%



6 BUILDING B - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

BRICK = 34% STONE = 0%
STUCCO = 37% FIBER CEMENT = 19%
GLASS = 22%

MATERIAL PERCENTAGES (BLDG B):

BRICK = 44%
STONE = 10%
FIBER CEMENT = 20%
STUCCO = 26%

*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 25%

EXTERIOR MATERIAL LEGEND

| KEY | DESCRIPTION |
|--------|----------------------------------|
| CS-01 | CAST STONE TRIM - TEXAS CREAM |
| FC-01 | FIBER CEMENT SIDING - LIGHT GRAY |
| FC-02 | FIBER CEMENT SIDING - BROWN |
| MAS-01 | BRICK MASONRY - LIGHT GRAY |
| MAS-02 | BRICK MASONRY - RED |
| MAS-03 | LIMESTONE VENEER - SALADO CREAM |
| RF-01 | ASPHALT SHINGLE ROOFING |
| RF-02 | STANDING SEAM ROOFING |
| STU-01 | STUCCO - LIGHT CREAM |

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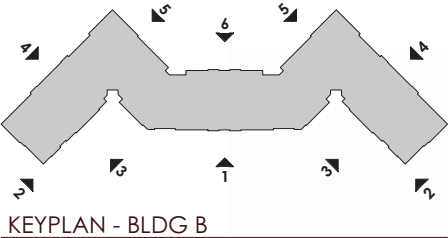
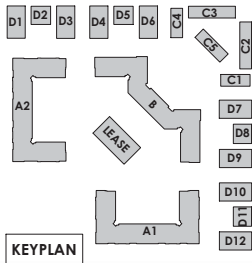
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BLDG B -
ELEVATIONS

A-5

Zoning Case Number:
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1 BUILDING C1/C4 - FRONT ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 59% STONE = 22%
FIBER CEMENT = 19%
GLASS = 19%

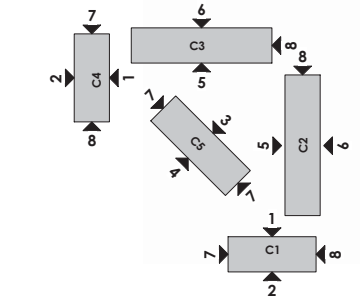
C1/C4 TOTAL
BRICK = 70.5%
FIBER CEMENT = 22%
GLASS = 13%



2 BUILDING C1/C4 - REAR ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 77% STONE = 0%
FIBER CEMENT = 23%
GLASS = 11%

| EXTERIOR MATERIAL LEGEND | |
|--------------------------|----------------------------------|
| KEY | DESCRIPTION |
| CS-01 | CAST STONE TRIM - TEXAS CREAM |
| FC-01 | FIBER CEMENT SIDING - LIGHT GRAY |
| FC-02 | FIBER CEMENT SIDING - BROWN |
| MAS-01 | BRICK MASONRY - LIGHT GRAY |
| MAS-02 | BRICK MASONRY - RED |
| MAS-03 | LIMESTONE VENEER - SALADO CREAM |
| RF-01 | ASPHALT SHINGLE ROOFING |
| RF-02 | STANDING SEAM ROOFING |
| STU-01 | STUCCO - LIGHT CREAM |



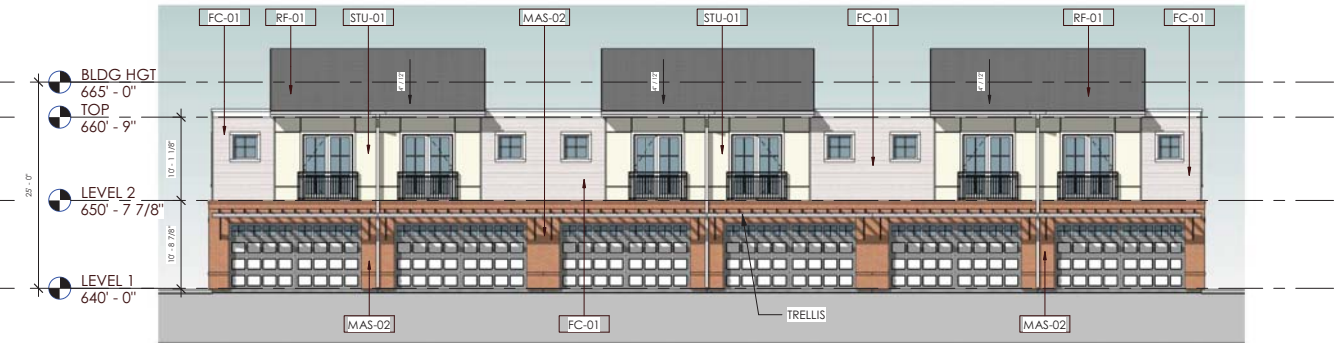
KEYPLAN - BLDG C



3 BUILDING C5 - FRONT ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 59% STONE = 22%
FIBER CEMENT = 19%
GLASS = 19%

C5 TOTAL
BRICK = 62%
FIBER CEMENT = 30%
GLASS = 13%



4 BUILDING C5 - REAR ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 77% STONE = 0%
FIBER CEMENT = 23%
GLASS = 11%



5 BUILDING C - SIDE ELEVATION - B
SCALE: 3/32" = 1'-0"

BRICK = 51% STONE = 0%
FIBER CEMENT = 49%
GLASS = 7%



6 BUILDING C2/C3 - FRONT ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 59% STONE = 22%
FIBER CEMENT = 19%
GLASS = 19%

C2/C3 TOTAL
BRICK = 76.5% STONE = 8.5%
FIBER CEMENT = 15%
GLASS = 14%



7 BUILDING C - SIDE ELEVATION - A
SCALE: 3/32" = 1'-0"

BRICK = 100% STONE = 0%
FIBER CEMENT = 0%
GLASS = 8%



8 BUILDING C2/C3 - REAR ELEVATION
SCALE: 3/32" = 1'-0"

BRICK = 77% STONE = 0%
FIBER CEMENT = 23%
GLASS = 11%

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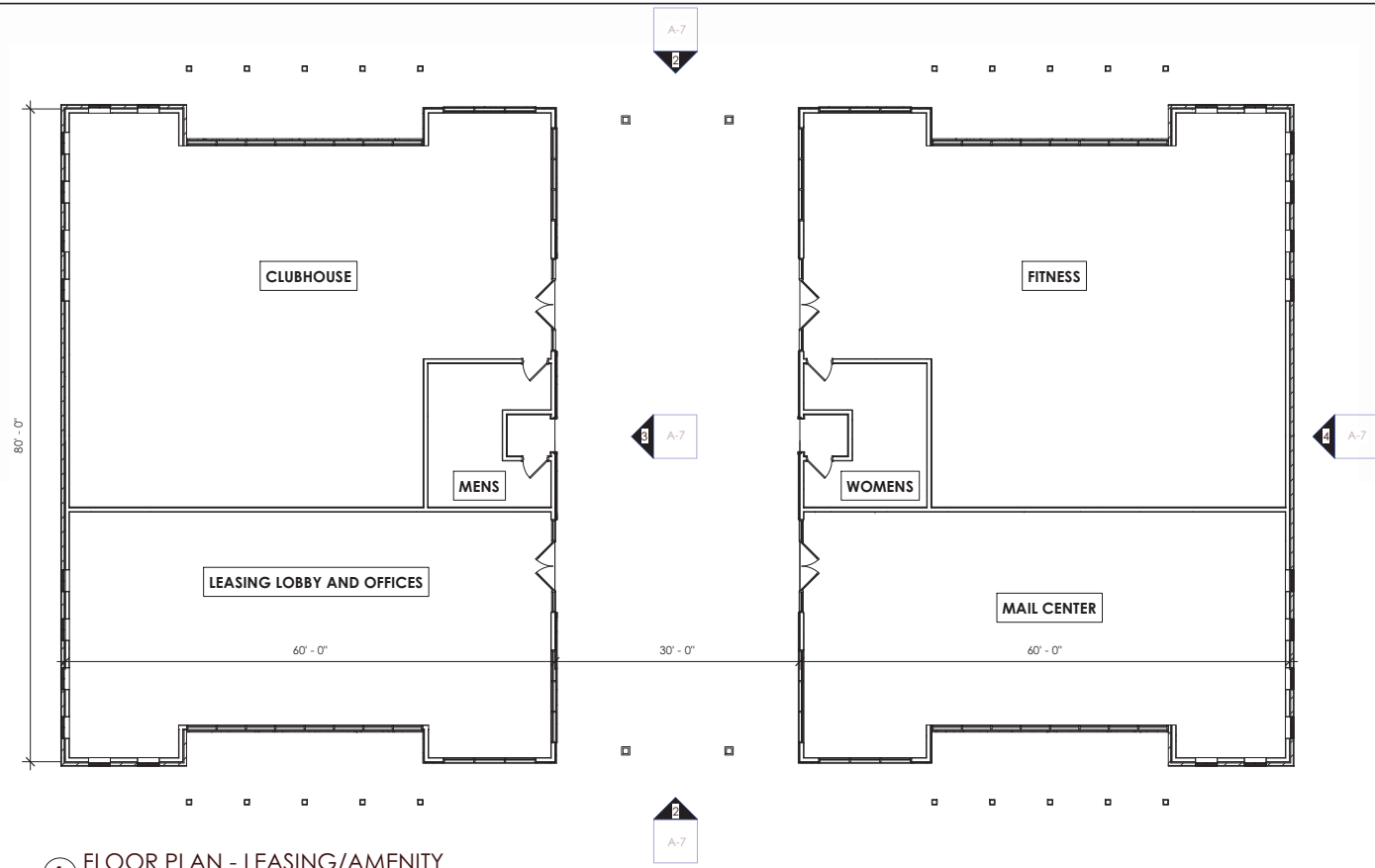
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ELEVATIONS

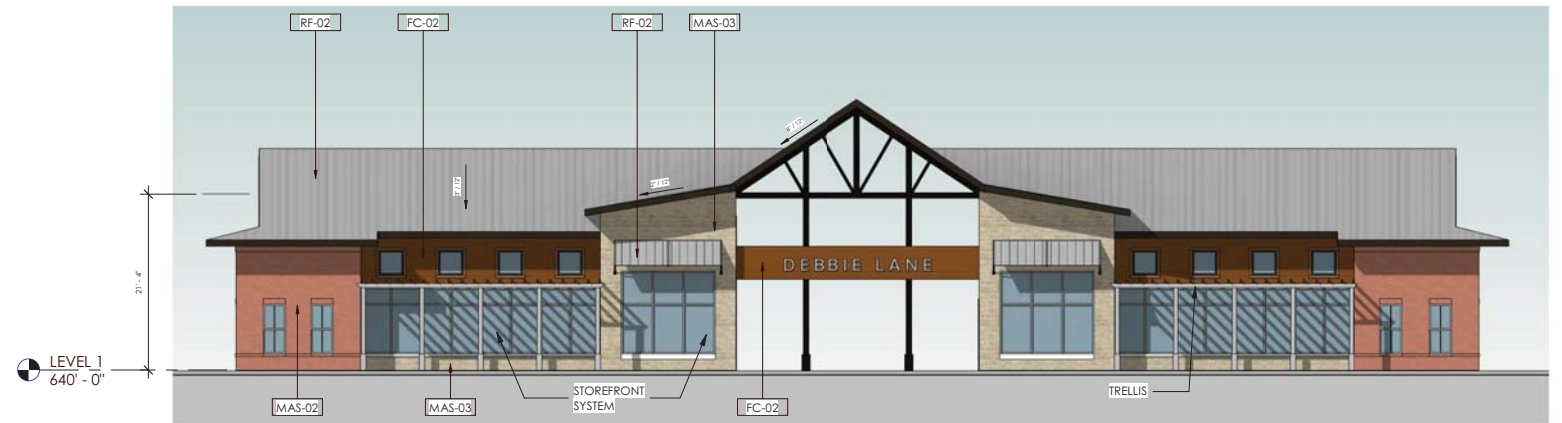
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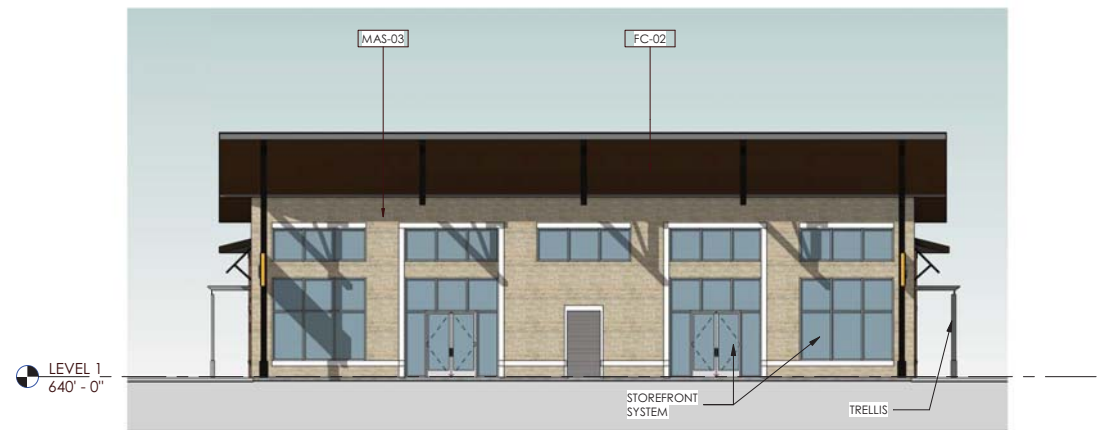
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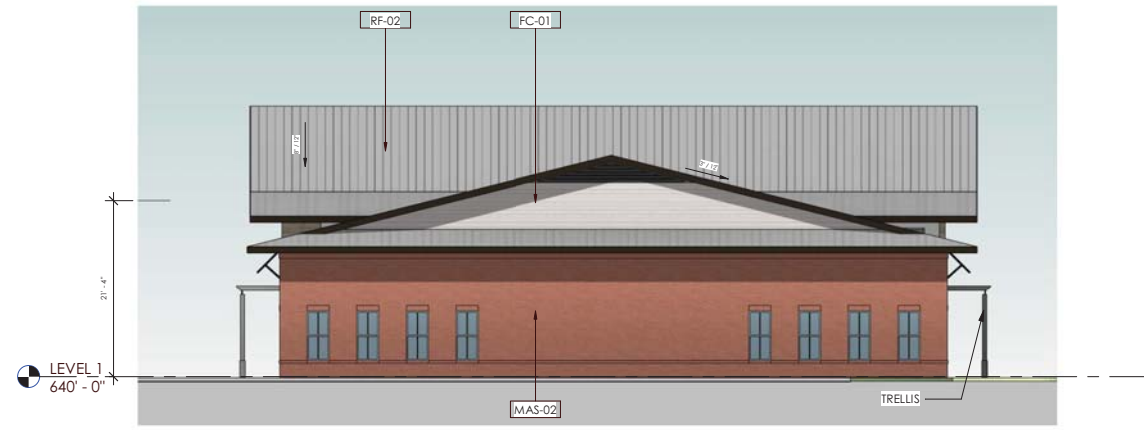
1 FLOOR PLAN - LEASING/AMENITY
SCALE: 3/32" = 1'-0"



2 LEASING/AMENITY BUILDING - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3 LEASING/AMENITY BUILDING - BREEZEWAY ELEVATION
SCALE: 3/32" = 1'-0"



4 LEASING/AMENITY BUILDING - WEST ELEVATION
SCALE: 3/32" = 1'-0"

| MATERIAL PERCENTAGES (LEASING/AMENITY): | |
|--|----------------------------------|
| BRICK | = 53% |
| STONE | = 39% |
| FIBER CEMENT | = 8% |
| STUCCO | = 0% |
| *EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS. | |
| GLASS PERCENTAGE = 38% | |
| EXTERIOR MATERIAL LEGEND | |
| KEY | DESCRIPTION |
| CS-01 | CAST STONE TRIM - TEXAS CREAM |
| FC-01 | FIBER CEMENT SIDING - LIGHT GRAY |
| FC-02 | FIBER CEMENT SIDING - BROWN |
| MAS-01 | BRICK MASONRY - LIGHT GRAY |
| MAS-02 | BRICK MASONRY - RED |
| MAS-03 | LIMESTONE VENEER - SALADO CREAM |
| RF-01 | ASPHALT SHINGLE ROOFING |
| RF-02 | STANDING SEAM ROOFING |
| STU-01 | STUCCO - LIGHT CREAM |

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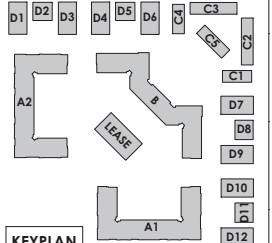
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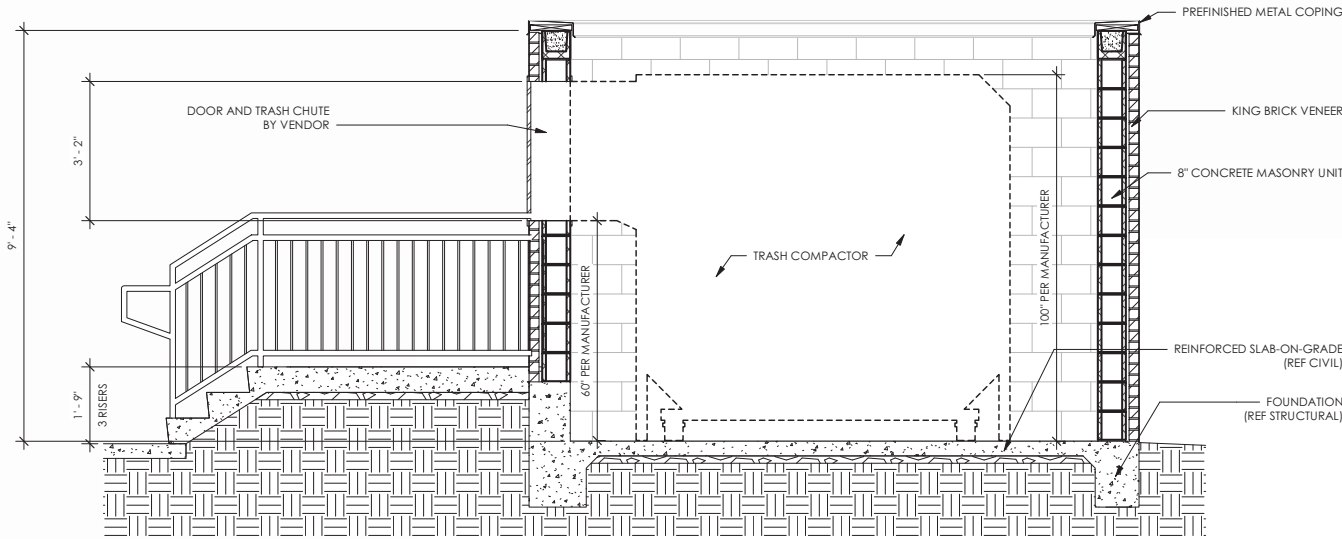
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LEASING/AMENITY BUILDING

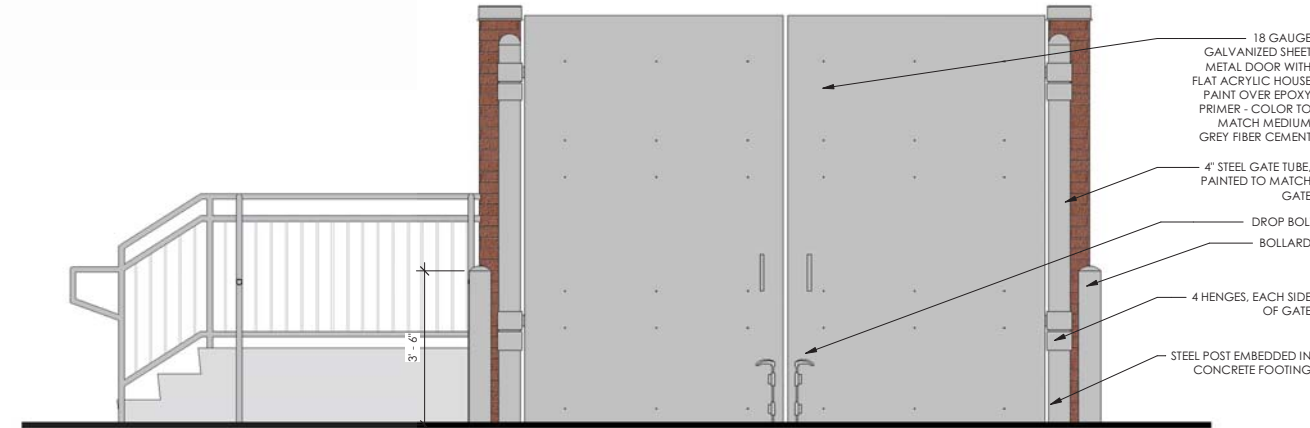
A-7

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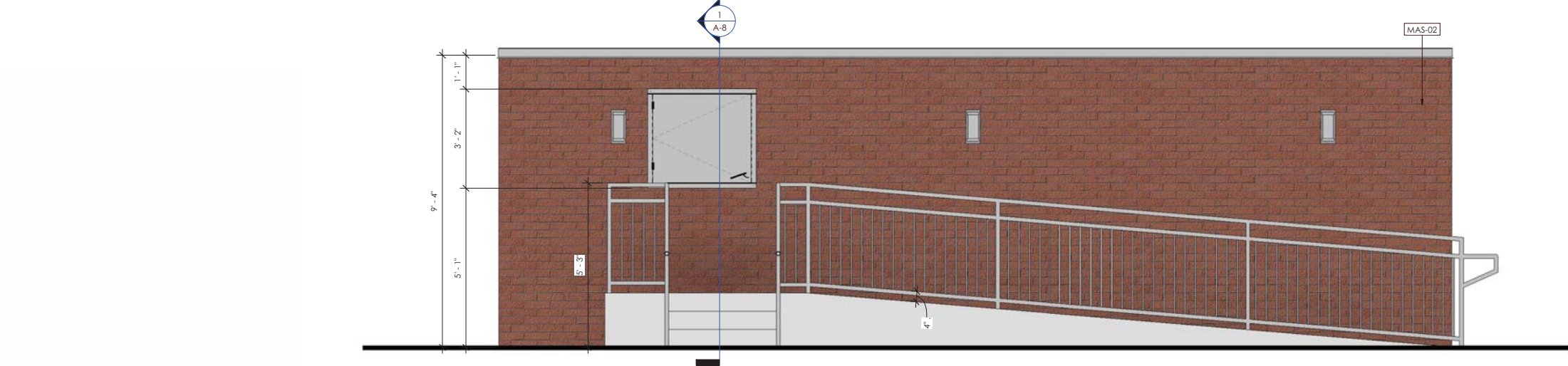
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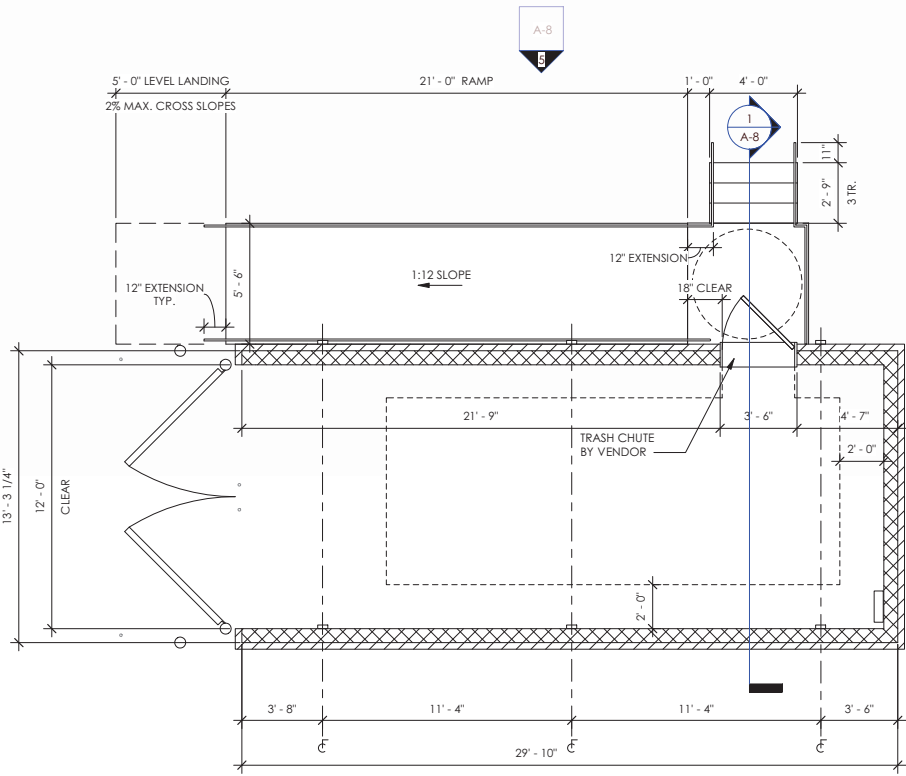
1 SECTION - TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



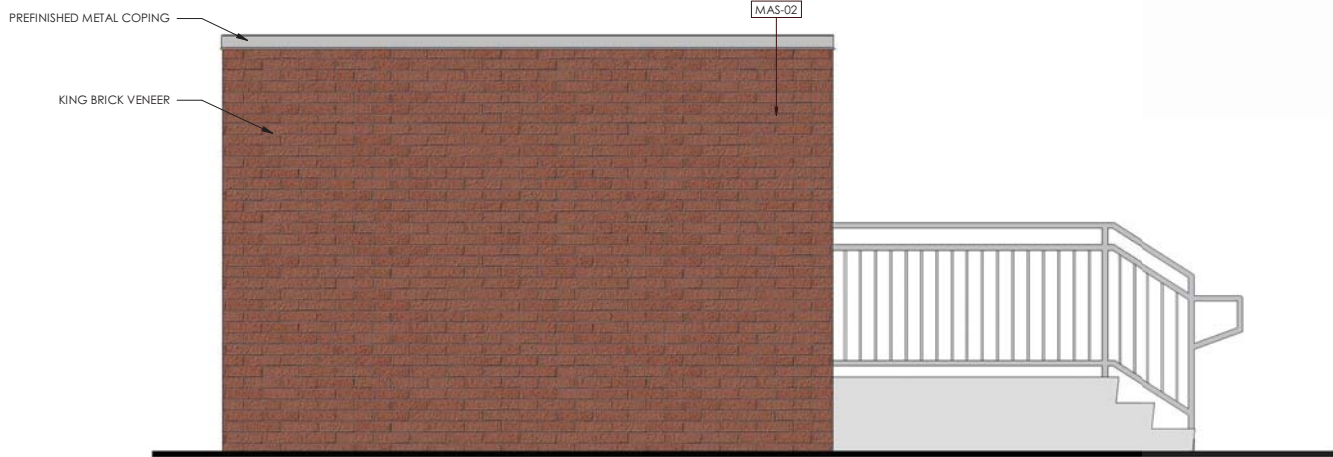
3 ELEVATION - TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



5 ELEVATION - TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"



2 PLAN - TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



4 ELEVATION - TRASH ENCLOSURE
SCALE: 1/2" = 1'-0"

MATERIAL PERCENTAGES (TRASH ENCLOSURE):

BRICK = 100%
STONE = 0%
FIBER CEMENT = 0%
STUCCO = 0%

*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 0%

EXTERIOR MATERIAL LEGEND

| KEY | DESCRIPTION |
|--------|----------------------------------|
| CS-01 | CAST STONE TRIM - TEXAS CREAM |
| FC-01 | FIBER CEMENT SIDING - LIGHT GRAY |
| FC-02 | FIBER CEMENT SIDING - BROWN |
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| STU-01 | STUCCO - LIGHT CREAM |

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TRASH ENCLOSURE

A-8

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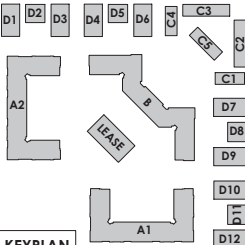
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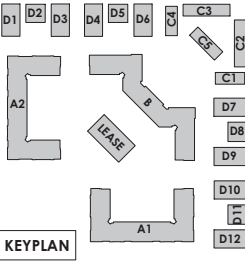
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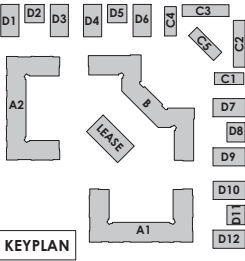
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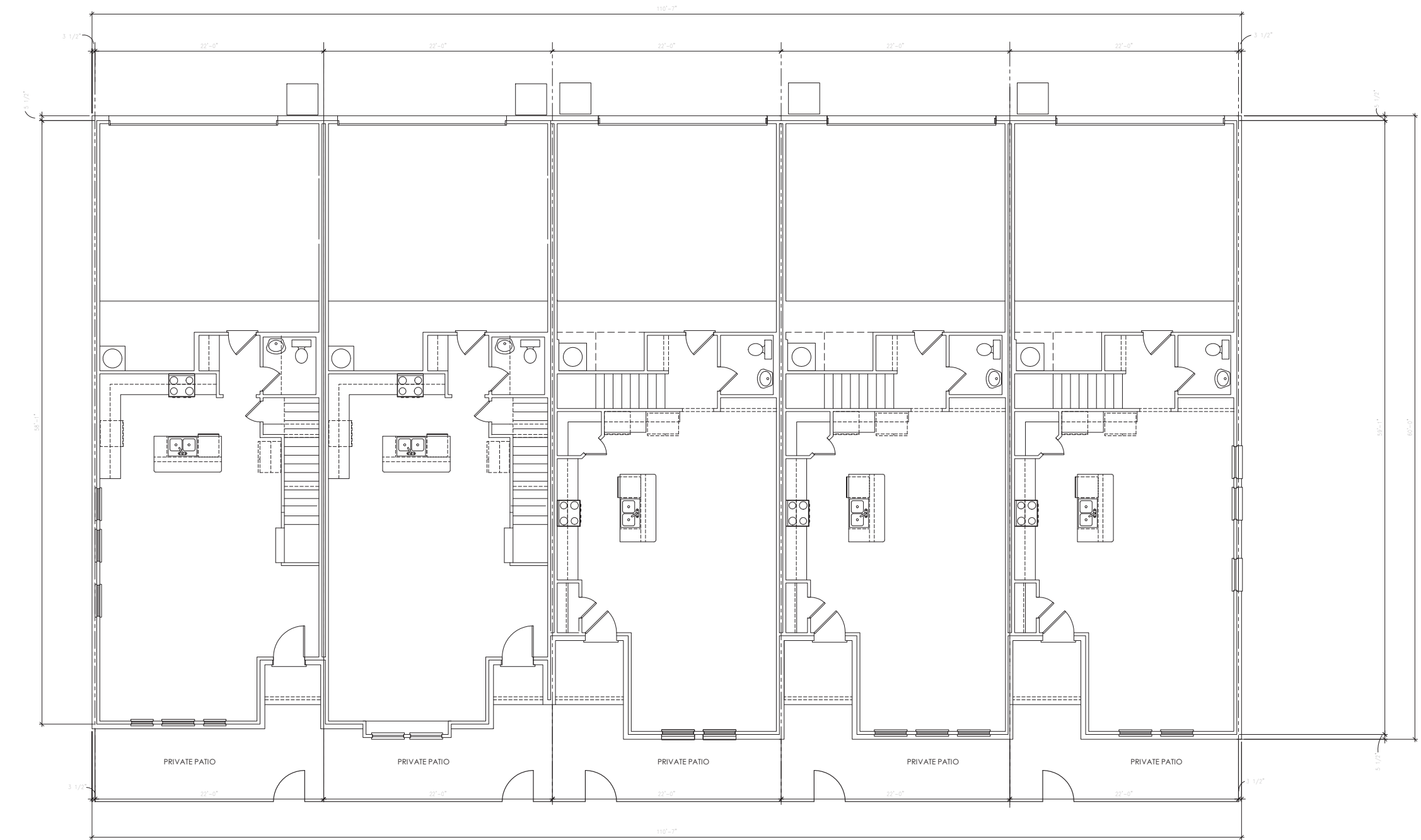
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RENDERING

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1 FLOOR PLAN - LEVEL 1 - BLDG D
SCALE: 3/16" = 1'-0"

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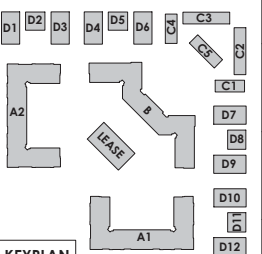
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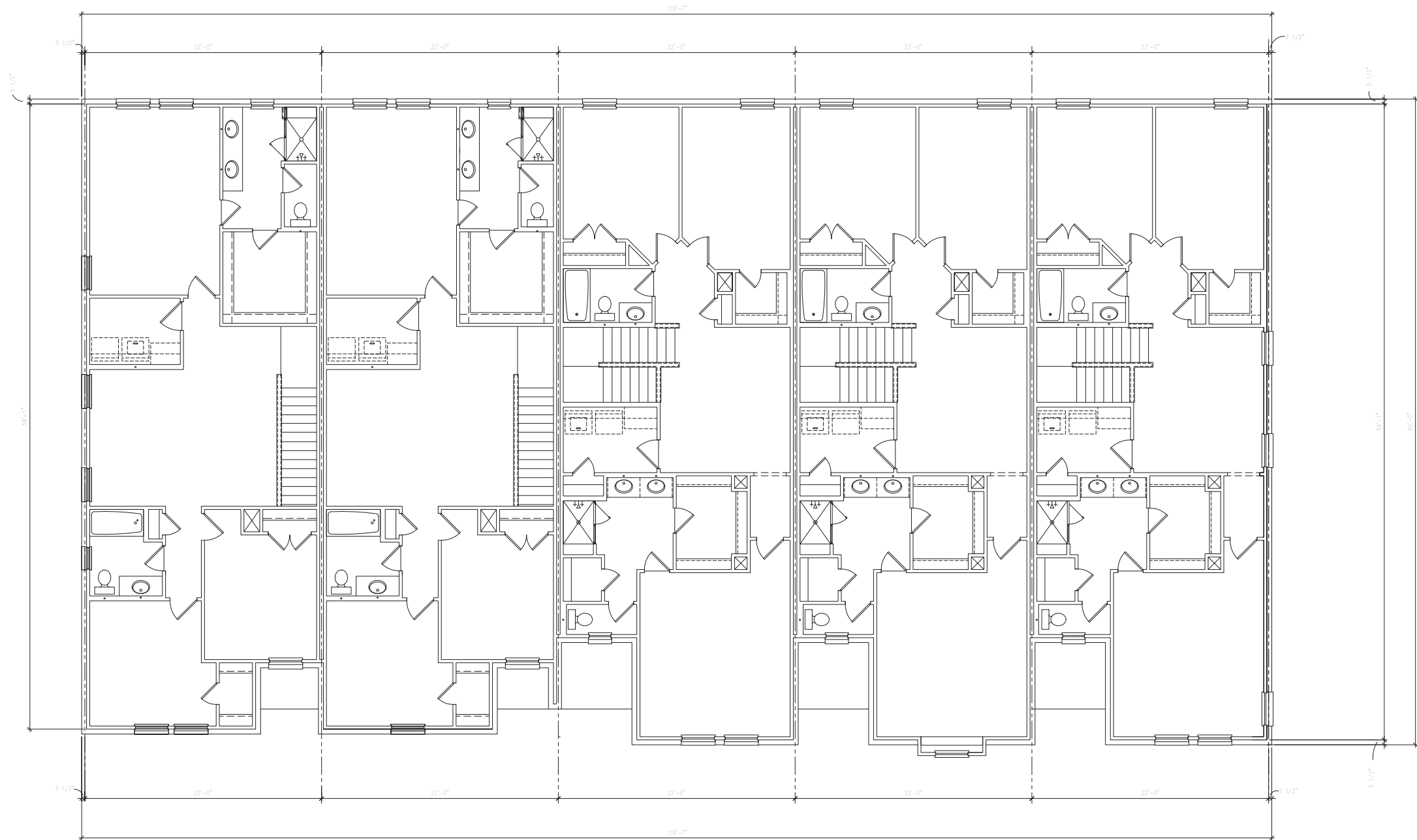
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BLDG D - FLOOR PLANS

A1-1

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1 FLOOR PLAN - LEVEL 2 - BLDG D
SCALE: 3/16" = 1'-0"

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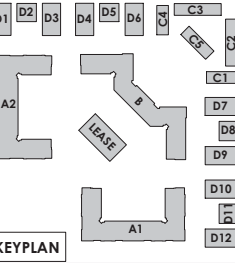
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BLDG D - FLOOR PLANS

A1-2

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| EXTERIOR MATERIAL LEGEND | |
|--------------------------|-----------------|
| BR-1 | BRICK - COLOR 1 |
| BR-2 | BRICK - COLOR 2 |
| ST-1 | STONE - COLOR 1 |
| RF-1 | SHINGLE ROOFING |

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1 BUILDING D - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



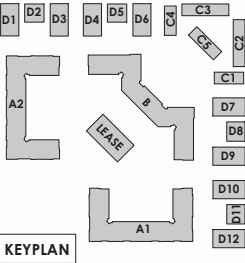
2 BUILDING D - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 07.16.2020 |



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07.16.2020

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BLDG D -
ELEVATIONS

A2-1

Zoning Case Number:
ZC #20-008

Exhibit: C
Page 14 of 16

| EXTERIOR MATERIAL LEGEND | |
|--------------------------|-----------------|
| BR-1 | BRICK - COLOR 1 |
| BR-2 | BRICK - COLOR 2 |
| ST-1 | STONE - COLOR 1 |
| RF-1 | SHINGLE ROOFING |

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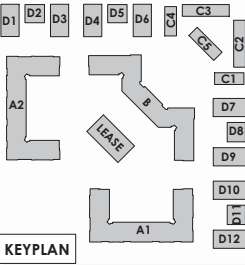
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BLDG D -
ELEVATIONS

A2-2

Zoning Case Number:
ZC #20-008

Exhibit: C
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1 BUILDING D - SIDE ELEVATION - A



2 BUILDING D - SIDE ELEVATION - B
SCALE: 3/16" = 1'-0"



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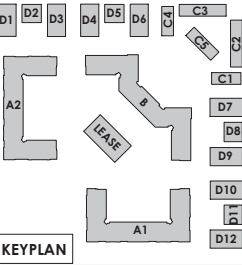
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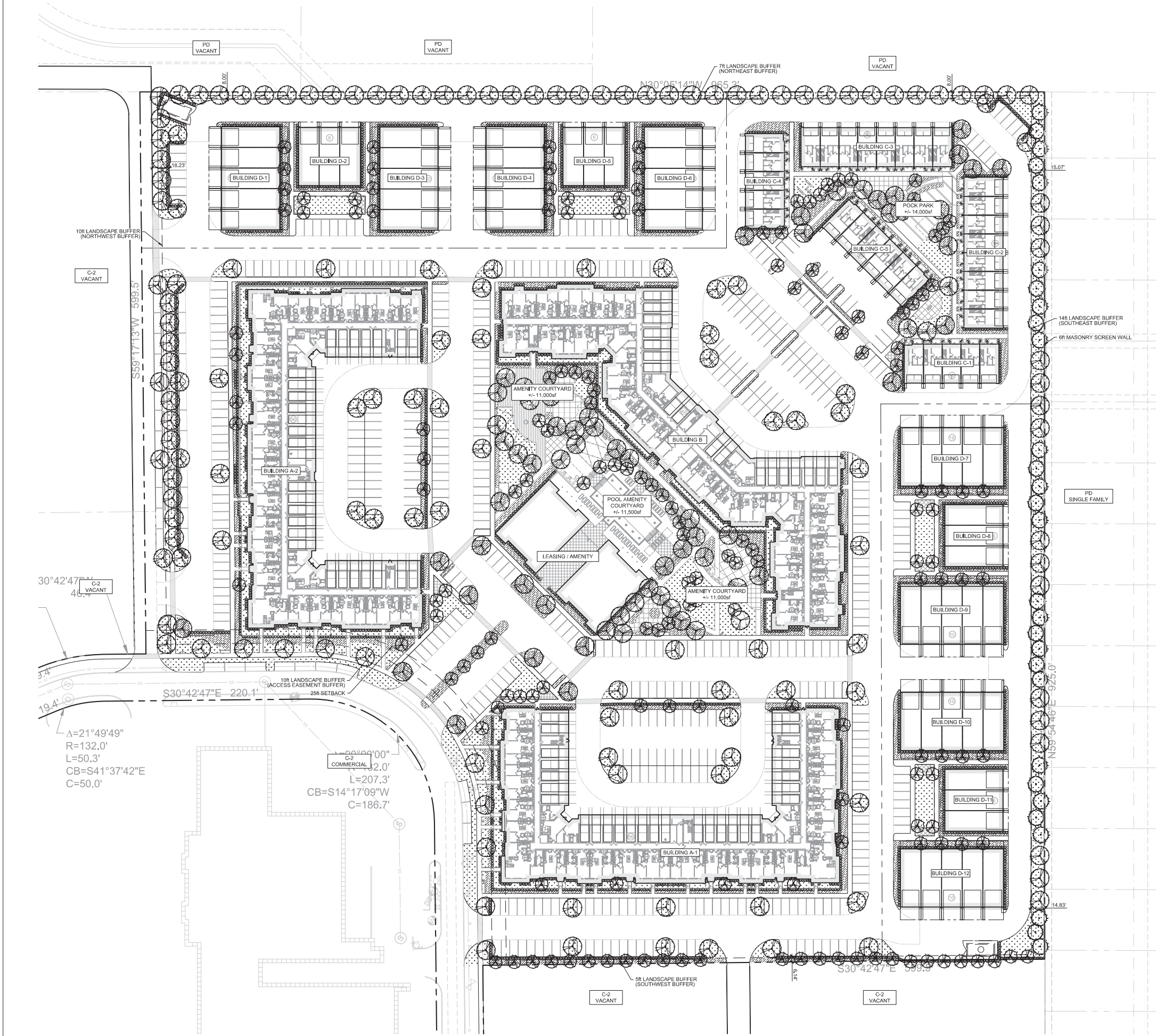
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BLDG D -
PERSPECTIVE

A3-1

Zoning Case Number:
ZC #20-008

Exhibit: C
Page 16 of 16



CONCEPT PLANT SCHEDULE

| MAY INCLUDE BUT NOT LIMITED TO | |
|--------------------------------|---|
| | STREET / SITE TREE Acer grandidentatum / Bigtooth Maple Ginkgo biloba / Maidenhair Tree Quercus muhlenbergii / Chinquapin Oak Quercus virginiana 'Cathedral' / Cathedral Live Oak Taxodium distichum / Bald Cypress Ulmus crassifolia / Cedar Elm Ulmus parvifolia 'Emer II' TM / Alleé Elm 216 |
| | SMALL TREE Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Magnolia x 'Jane' / Jane Magnolia Prunus caroliniana / Carolina Laurel Cherry Vitis agnus-castus / Chaste Tree 167 |
| | EVERGREEN TREE Ilex x attenuata 'Savannah' / Savannah Holly Magnolia grandiflora 'Bracken's Southern Beauty' / Bracken's Southern Magnolia Pinus eldarica / Afghan Pine Pinus thunbergii / Japanese Black Pine Taxodium distichum / Bald Cypress 29 |
| | SCREENING SHRUBS Abelia x grandiflora / Glossy Abelia Elaeagnus x ebbingsii / Ebbings Silverberry Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Photinia x fraseri / Red Tip Photinia 398 |
| | BUILDING FOUNDATION SHRUBS Abelia x 'Rose Creek' / Rose Creek Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegatum' / Variegated Chinese Privet Loropetalum chinense 'Purple Diamond' / Fringe Flower 2,885 |
| | PLANTING AREA - 51,291 sf |
| | TURF Cynodon dactylon 'Tif 419' / Tif 419 Bermuda Grass 77,930 sf |

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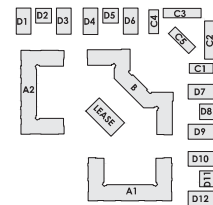
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Registration Number: 2946
08.06.2020

WDG Architecture Project No:
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LANDSCAPE PLAN

RZL1-01

Zoning Case Number:
ZC#20-008

Exhibit: D
Page 1 of 6



1"=50'
0 25' 50' 100'








| SUMMARY CHART - SITE DATA | |
|--|---|
| CURRENT ZONING CLASSIFICATION: | C-2 |
| PROPOSED ZONING CLASSIFICATION: | PD * MF-2 ZONING APPLIED FOR LANDSCAPE REQUIREMENTS |
| TOTAL SITE AREA: | 17,802 ACRES / 775,452 SF MULTI-FAMILY: 13.087 ACRES / 570,078 SF TOWNHOMES: 4.715 ACRES / 205,374 SF |
| PROPOSED USE: | MULTI-FAMILY APARTMENT FOR SALE TOWNHOMES |
| # UNITS (REFER TO CIVIL) | 424 UNITS (MF) 52 UNITS (TOWNHOMES) |
| # PARKING SPACES REQUIRED (REFER TO CIVIL) | 635 SPACES (MF) 104 SPACES (TOWNHOMES) |

| LANDSCAPE REQUIREMENTS | |
|--|----------|
| SECTION 7300 - LANDSCAPING AND SCREENING REQUIREMENTS | |
| P. STREET LANDSCAPE SETBACK: (2) WHEN ANY APARTMENT OR MULTIPLE FAMILY DWELLING OTHER THAN TOWNHOUSE IS CONSTRUCTED ON A LOT IN A MF-1 OR MF-2 DISTRICT, A FIFTY (50) FOOT WIDE LANDSCAPE SETBACK SHALL BE PROVIDED ALONG THE ENTIRE BOUNDARY OF THE LOT THAT ABUTS A PUBLIC STREET, THE SETBACK SHALL NOT INCLUDE ANY PAVED AREA, EXCEPT FOR PEDESTRIAN WALKWAYS OR PATHS OR VEHICULAR DRIVES THAT MAY INTERSECT THE LANDSCAPE SETBACK AND WHICH SHALL BE THE MINIMUM WIDTH NECESSARY TO PROVIDE PEDESTRIAN OR VEHICULAR ACCESS. OTHER BUILDING SETBACKS MAY ALSO APPLY; REFER TO TABLE 4500B. | N/A |
| Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OP, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENING BY ONSITE BUILDINGS SHALL BE SCREENING FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS: | |
| (a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS. | |
| (b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING. 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS | SHRUBS |
| (c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK. | |
| (d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA. | |
| R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW. | |
| (1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT. | PROVIDED |
| (2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING: | PROVIDED |
| (a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF. | |
| (b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18' OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND. | |
| (3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES. | PROVIDED |
| (4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE. | PROVIDED |
| S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE, ROWS WITH HEAD-TO HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES. | PROVIDED |
| AA. RESIDENTIAL FOUNDATION PLANTINGS: | |
| 2. IN THE MF-1 AND MF-2 ZONING DISTRICTS, A SINGLE ROW OF SHRUBS IS REQUIRED ALONG THE ENTIRE FAÇADE OF EACH MULTI-FAMILY RESIDENTIAL OR ACCESSORY BUILDING, EXCLUDING ACCESS DRIVEWAYS OR PEDESTRIAN WAYS. | PROVIDED |
| 3. IN MF-1 AND MF-2 ZONING DISTRICTS, EVERGREEN SHRUBS SHALL BE PLANTED AROUND HVAC UNITS, METERS, TRANSFORMERS, AND OTHER UTILITY UNITS; TRASH CONTAINERS, REFUSE OR RECYCLING STORAGE FACILITIES; POOL EQUIPMENT, OR SERVICE AREAS, AS WELL AS AROUND AND ADJACENT TO THE SCREENING WALLS REQUIRED BY SECTION 7301. OPENINGS OR ACCESS TO THE EQUIPMENT SHALL NOT BE OBSTRUCTED. THE HEIGHT OF THE SHRUBS REQUIRED HEREIN SHALL NOT BE LESS THAN THE HEIGHT OF THE METERS BEING SCREENED. | PROVIDED |

| SUMMARY CHART - BUFFER YARDS/ SETBACKS | | | | | | | |
|--|---|----------|-----------------------------------|--------------|-----------------|------------------|--|
| LOCATION OF BUFFERYARD OR SETBACK | REQUIRED/ PROVIDED | LENGTH | BUFFER YARD OR SETBACK WIDTH TYPE | CANOPY TREES | EVERGREEN TREES | ORNAMENTAL TREES | SCREENING WALL/ DEVICE HEIGHT AND MATERIAL |
| NORTHEAST BUFFER | REQUIRED (1 TREE / 25 LF) | 953 LF | 7' BUFFER YARD | 39 | N/A | N/A | N/A |
| | PROVIDED | | 7' BUFFER YARD | 39 | N/A | N/A | N/A |
| SOUTHEAST BUFFER | REQUIRED (1 CANOPY TREE / 50 LF) (1 EVERGREEN TREE / 50 LF) | 925 LF | 14' BUFFER YARD | 19 | 19 | N/A | 6FT SCREEN WALL |
| | PROVIDED | | 14' BUFFER YARD | 19 | 19 | N/A | 6FT SCREEN WALL |
| SOUTHWEST BUFFER | REQUIRED (1 TREE / 25 LF) | 599.5 LF | 5' BUFFER YARD | N/A | N/A | 24 | N/A |
| | PROVIDED | | 5' BUFFER YARD | N/A | N/A | 24 | N/A |
| NORTHWEST BUFFER | REQUIRED (1 TREE / 25 LF) | 599.3 LF | 10' BUFFER YARD | 24 | N/A | N/A | N/A |
| | PROVIDED | | 10' BUFFER YARD | 24 | N/A | N/A | N/A |
| SHARED ACCESS EASEMENT | REQUIRED (1 TREE / 50 LF) | 601.5 LF | 10' BUFFER YARD | 12 | N/A | N/A | N/A |
| | PROVIDED | | 10' BUFFER YARD | 12 | N/A | N/A | N/A |
| NOTE ANY CREDITS USED IN CALCULATIONS: N/A | | | | | | | |
| OTHER COMMENTS: N/A | | | | | | | |

| SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING | |
|--|-----|
| # OF REQUIRED PARKING SPACES | 739 |
| # OF PROVIDED PARKING SPACES | 852 |
| # OF TREES PROVIDED (1 TREE/ 10 SPACES) | 86 |
| NOTE ANY CREDITS USED IN CALCULATIONS: N/A | |
| OTHER COMMENTS: N/A | |

CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

| | | |
|---|---|-----------|
|  | STREET/SITE TREE Acer grandidentatum / Bigtooth Maple Ginkgo biloba / Maidenhair Tree Quercus muhlenbergii / Chinquapin Oak Quercus virginiana 'Cathedral' / Cathedral Live Oak Taxodium distichum / Bald Cypress Ulmus crassifolia / Cedar Elm Ulmus parvifolia 'Emer II' TM / Allee Elm | 216 |
|  | SMALL TREE Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Magnolia x 'Jane' / Jane Magnolia Prunus caroliniana / Carolina Laurel Cherry Vibex agnus-castus / Chastet Tree | 167 |
|  | EVERGREEN TREE Ilex x attenuata 'Savannah' / Savannah Holly Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Southern Magnolia Pinus edulis / Afghan Pine Pinus thunbergii / Japanese Black Pine Taxodium distichum / Bald Cypress | 29 |
|  | SCREENING SHRUBS Abelia x grandiflora / Glossy Abelia Elaeagnus x ebbingei / Ebbing Silverberry Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Photinia x fraseri / Red Tip Photinia | 398 |
|  | BUILDING FOUNDATION SHRUBS Abelia x 'Rose Creek' / Rose Creek Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegatum' / Variegated Chinese Privet Loropetalum chinense 'Purple Diamond' / Fringe Flower | 2,885 |
|  | PLANTING AREA - | 51,291 sf |
|  | TURF Cynodon dactylon 'Tif 419' / Tif 419 Bermuda Grass | 77,930 sf |

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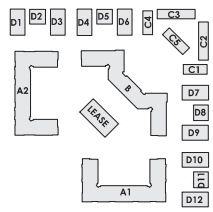
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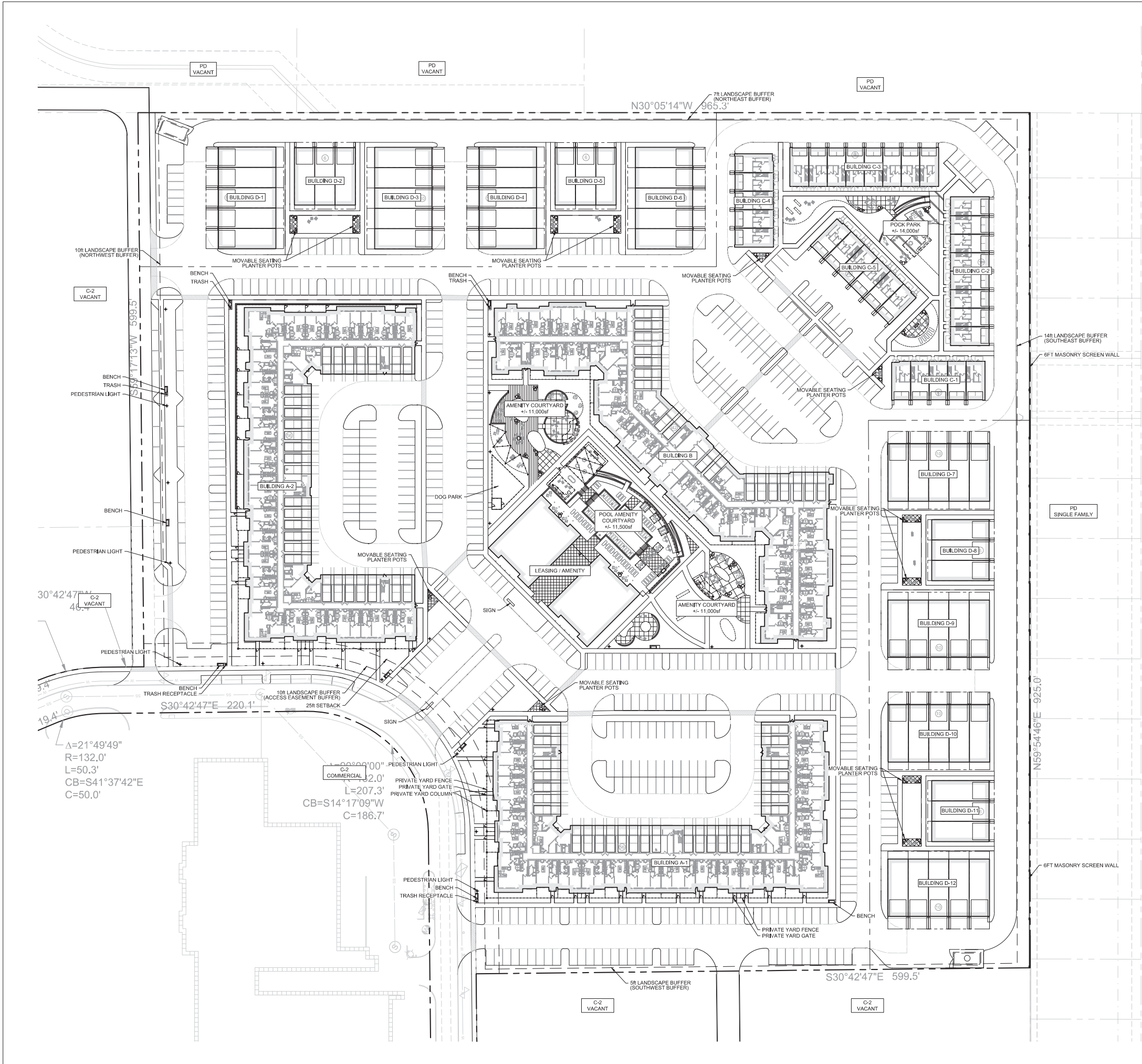
LANDSCAPE REQUIREMENTS
AND CALCULATION

RZL1-02

Zoning Case Number:
ZC#20-008

Exhibit: D
Page 2 of 6





AMENITY AREAS:

DESIGN ELEMENTS WITHIN EACH AMENITY AREA

POOL AMENITY COURTYARD

- LEASING/CLUB/FITNESS BUILDING AS EXTENSION OF THE POOL COURTYARD
- RESORT STYLE POOL
 - SUNSHELF
 - UNDERWATER BENCHES
 - BUBBLERS
- POOL CABANAS
- GRILL AREAS
- SHADE ELEMENTS
- DINING BISTRO STYLE TABLE AND CHAIRS
- OUTDOOR FIRE PIT / FIREPLACE
- PEDESTRIAN SCALE LIGHTING, PATIO STRING LIGHTS AND LANDSCAPE LIGHTING
- SUN DECK AREAS WITH LOUNGE CHAIRS AND OUTDOOR FURNITURE
- COMFORTABLE LOUNGE STYLE SEATING AREAS
- LANDSCAPING
 - SHADE TREES
 - ORNAMENTAL TREES
 - LUSH LANDSCAPE AREAS
 - PLANTER POTS

AMENITY COURTYARDS

- GRILL AREAS
- COMFORTABLE LOUNGE SEATING
- SOCIAL GATHERING AREAS WITH BENCH SEATING
- SMALL SHADE ELEMENTS
- OPEN SPACE AREAS FOR INFORMAL EVENTS AND PLAY
- PEDESTRIAN SCALE LIGHTING, PATIO STRING LIGHTS AND LANDSCAPE LIGHTING
- OUTDOOR FIRE PIT OR FIREPLACE
- INFORMAL GATHERING AREAS
- LANDSCAPING
 - SHADE TREES
 - ORNAMENTAL TREES
 - LUSH LANDSCAPE AREAS
 - PLANTER POTS

POCKET PARK

- SEATING AREAS
- SMALL GRILL AREA
- SMALL SHADE ELEMENT
- LANDSCAPE LIGHTING
- LANDSCAPING
 - SHADE TREES
 - ORNAMENTAL TREES
 - LUSH LANDSCAPE AREAS
 - PLANTER POTS

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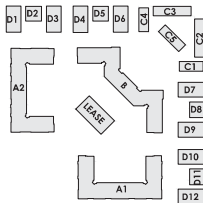
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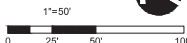
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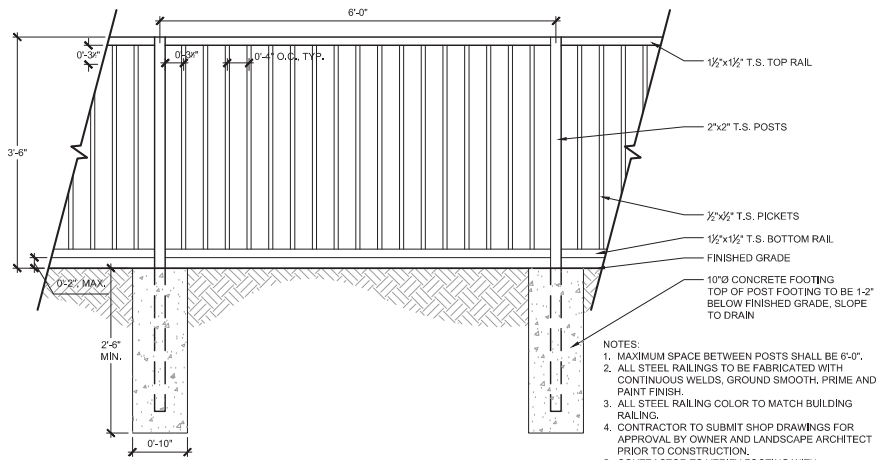
MATERIALS PLAN

RZL2-01

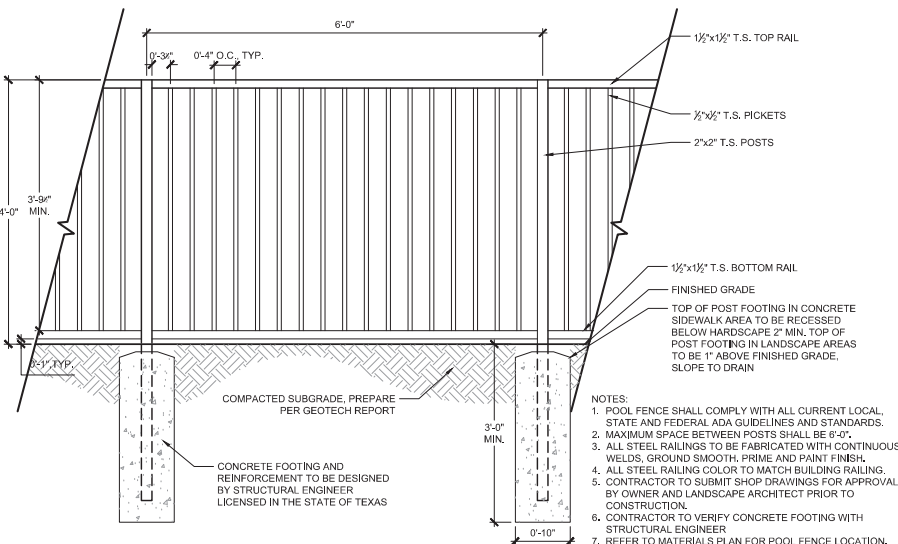
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Exhibit: D
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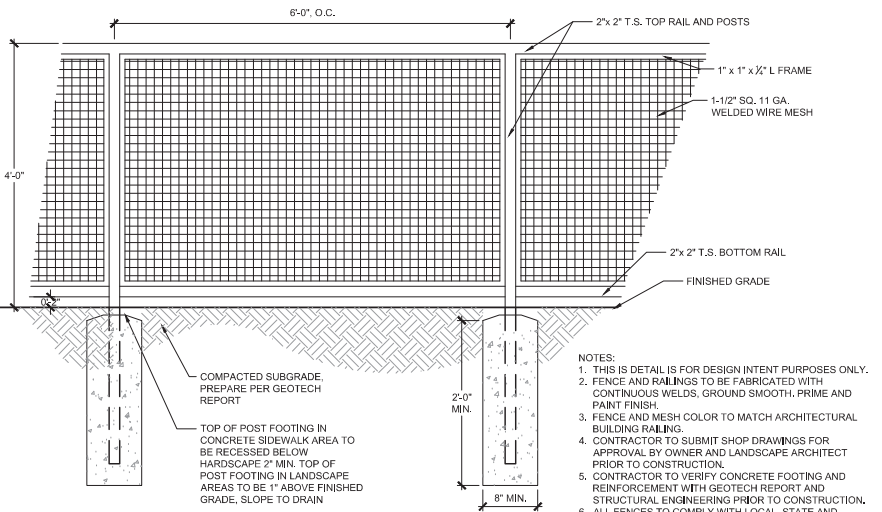




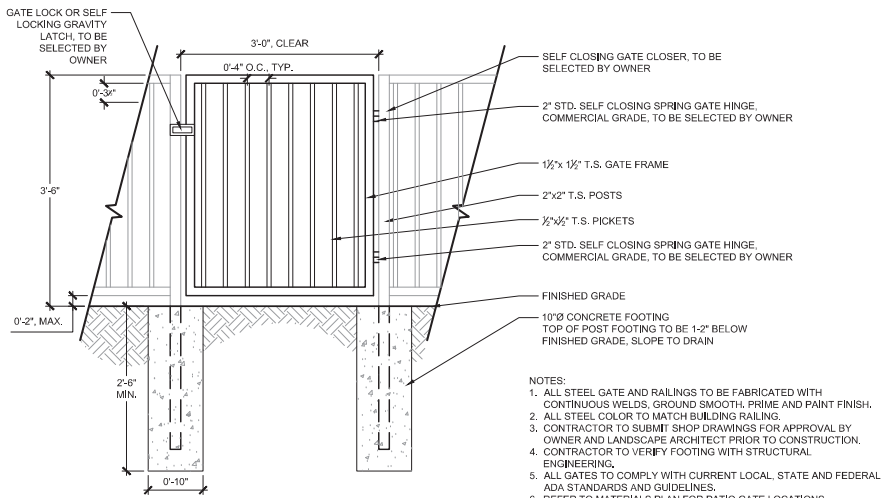
PRIVATE YARD FENCE
ELEVATION / SECTION
SCALE: 3/4" = 1'-0"



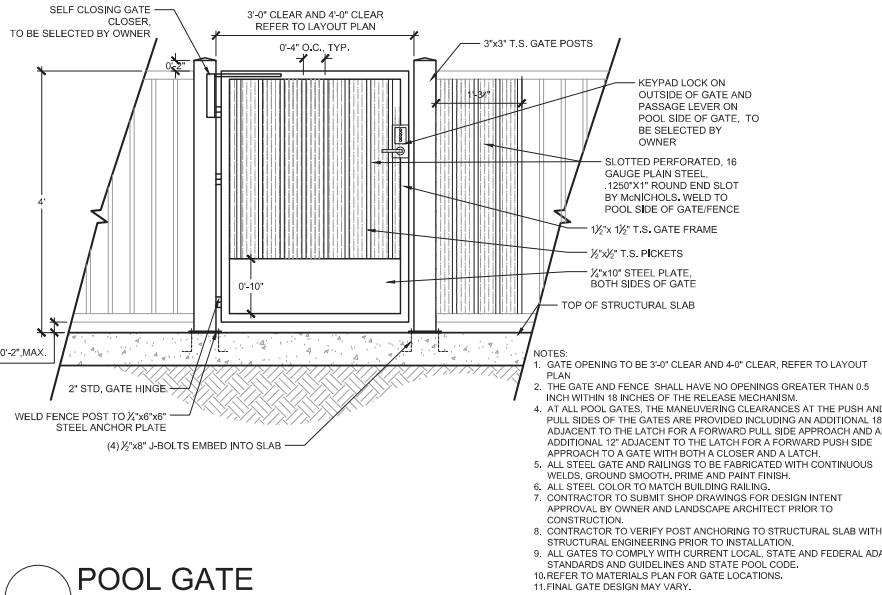
POOL FENCE
ELEVATION / SECTION
NOT TO SCALE



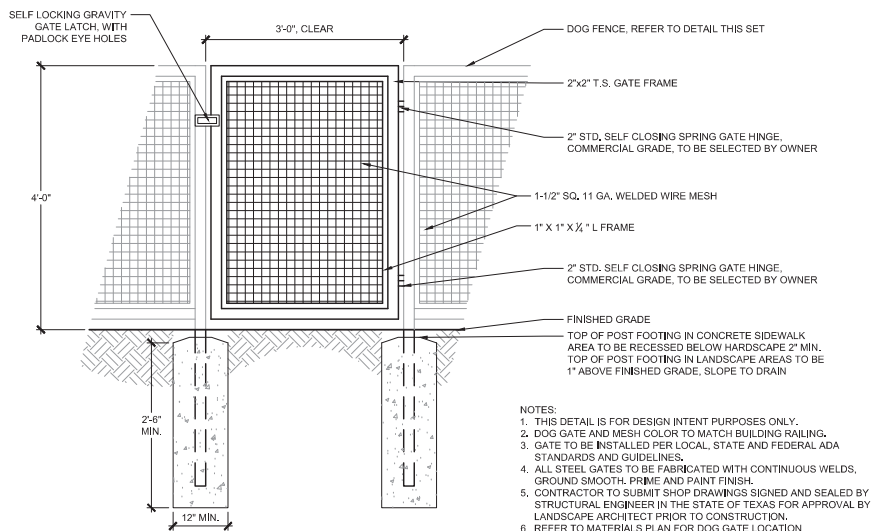
DOG FENCE
ELEVATION / SECTION
NOT TO SCALE



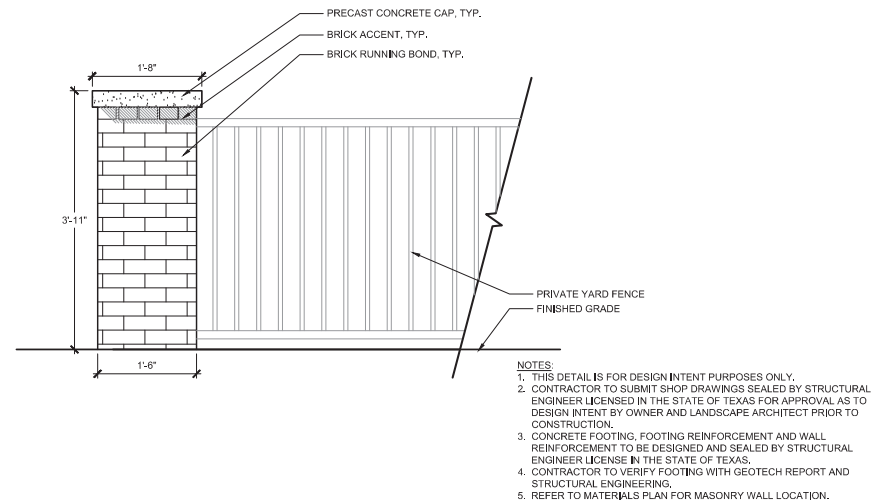
PRIVATE YARD GATE
ELEVATION / SECTION
SCALE: 3/4" = 1'-0"



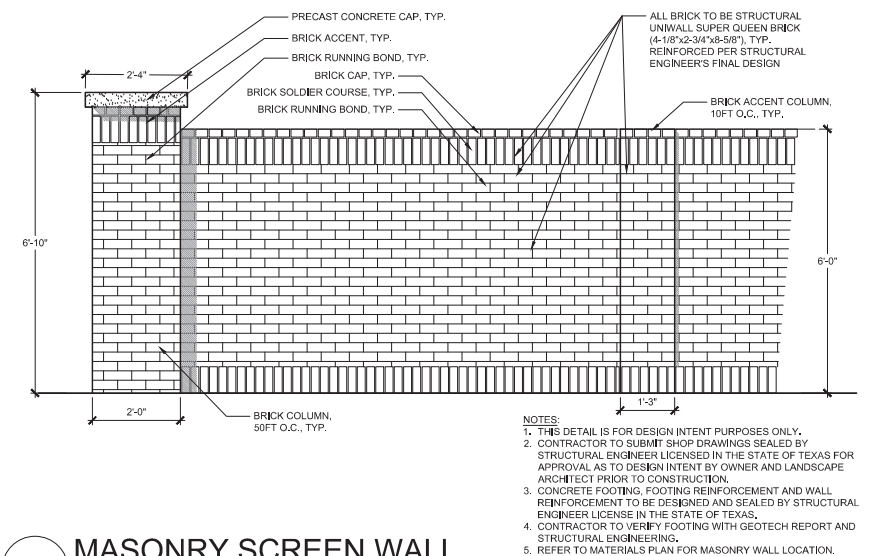
POOL GATE
ELEVATION / SECTION
NOT TO SCALE



DOG GATE
ELEVATION / SECTION
NOT TO SCALE



PRIVATE YARD COLUMN
ELEVATION
NOT TO SCALE



MASONRY SCREEN WALL
ELEVATION
NOT TO SCALE

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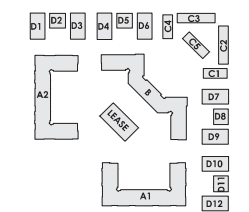
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| No | Description | Date |
|----|--------------------|------------|
| 1 | ZONING RESUBMITTAL | 07.02.2020 |



KEYPLAN

PRELIMINARY
FOR REVIEW PURPOSES ONLY AND
SHALL NOT BE USED FOR BIDDING,
PERMITTING, OR CONSTRUCTION.

Matthew S. Vinten
Registered Landscape Architect of the
State of TEXAS
Registration Number: 2946
08.06.2020

WDG Architecture Project No:
© 2020 LD# 8520043 DA19040

SITE DETAILS
RZL2-02

Zoning Case Number:
ZC#20-008
Exhibit: D
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[KEY]

- 1. BUILDING TYPE A
- 2. BUILDING TYPE B
- 3. BUILDING TYPE C
- 4. BUILDING TYPE D
- 5. LEASING AND AMENITY BUILDING
- 6. MAIN ENTRY
- 7. POOL AMENITY COURTYARD
- 8. AMENITY COURTYARDS
- 9. POCKET PARK
- 10. DOG PARK

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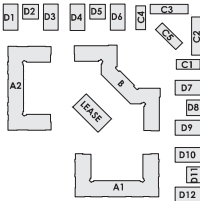
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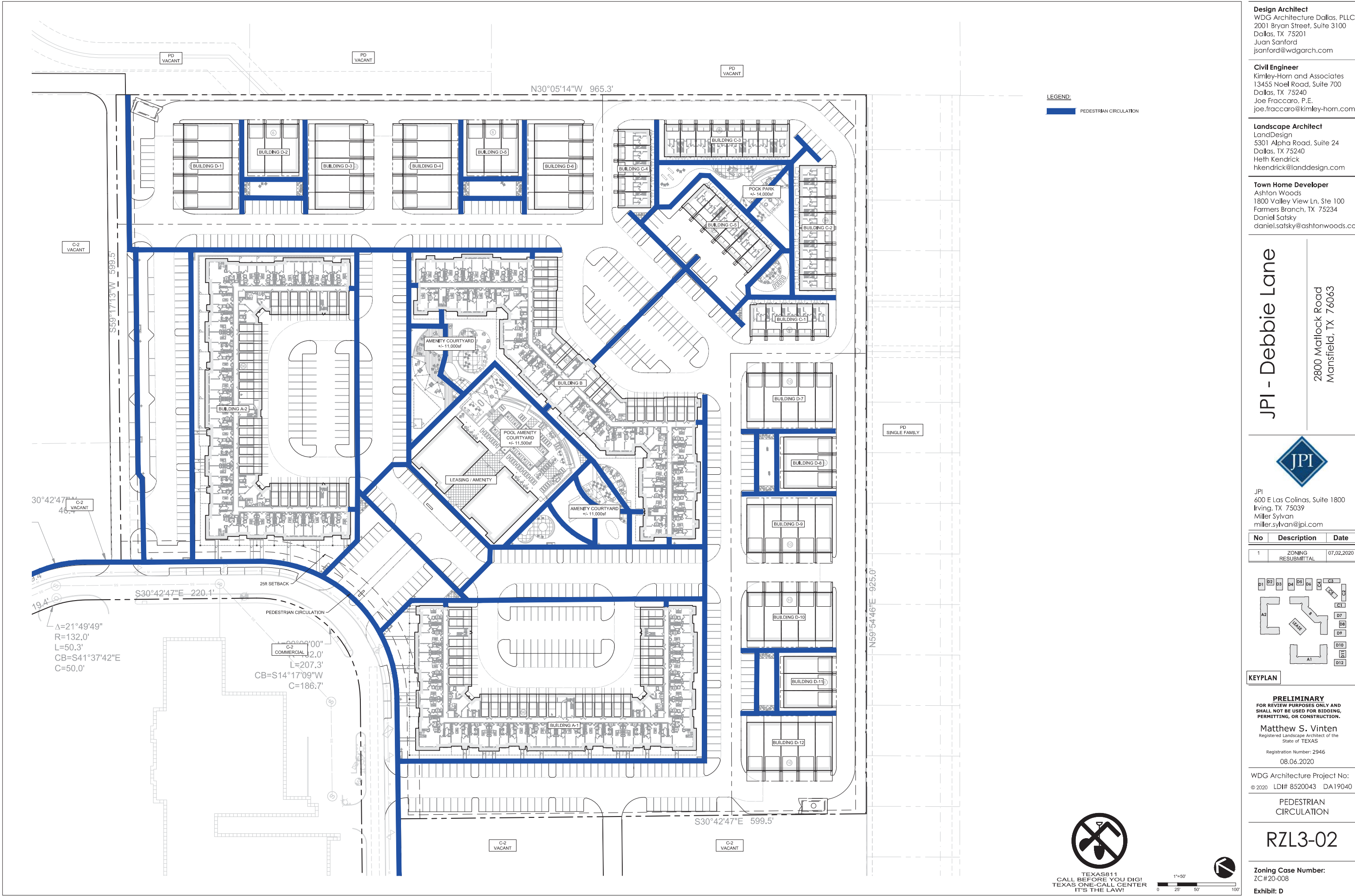
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CONCEPTUAL SITE
RENDERING

RZL3-01

Zoning Case Number:
ZC#20-008

Exhibit: D
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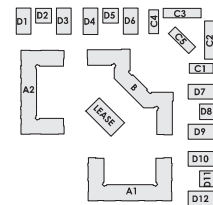
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PEDESTRIAN
CIRCULATION

RZL3-02

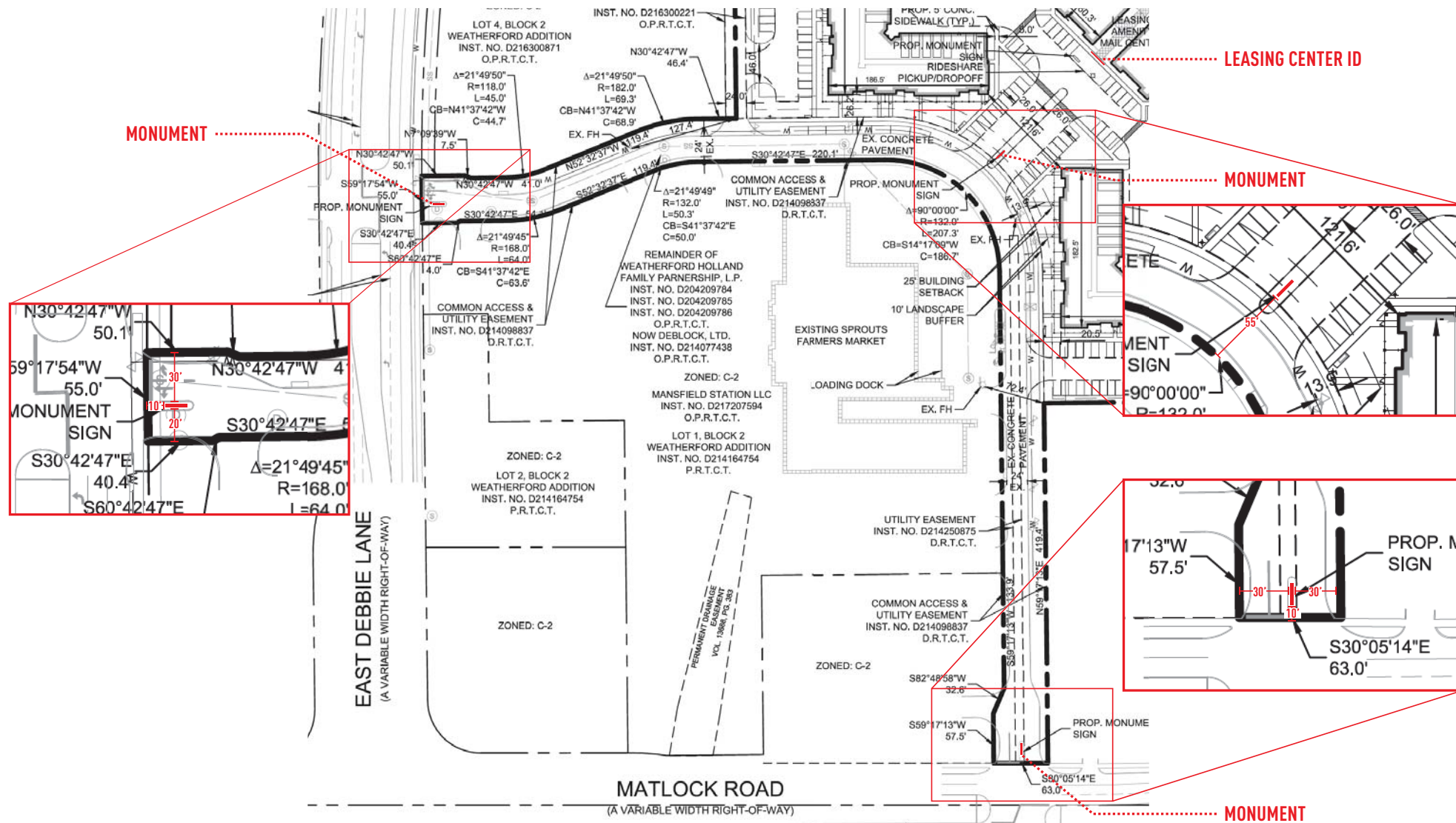
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JPI JEFFERSON DEBBIE LANE

July 16, 2020

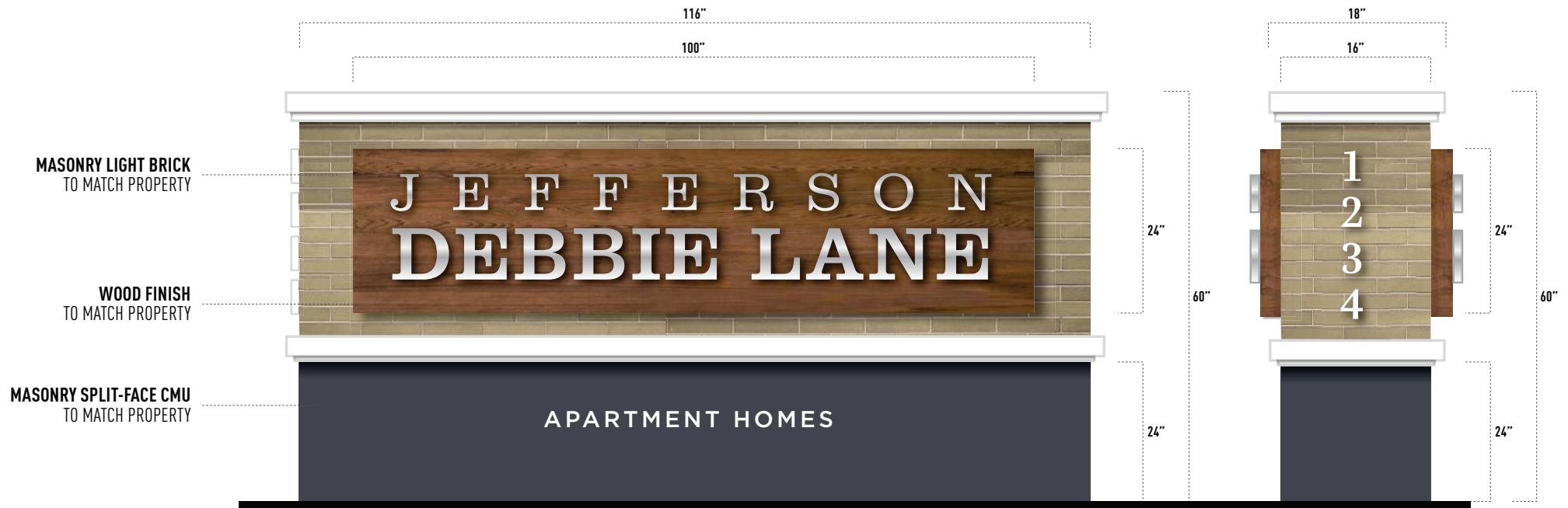
SIGNAGE LOCATIONS



MONUMENT SIGN DESIGN



MONUMENT SIGN DESIGN



LEASING CENTER ID DESIGN

