

MANDATORY OWNERS ASSOCIATION NOTES:

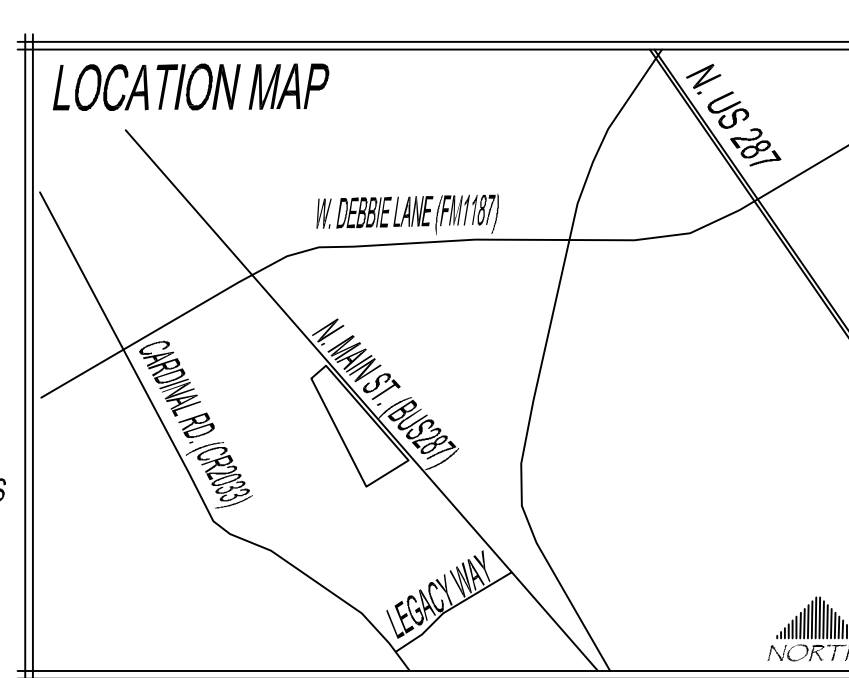
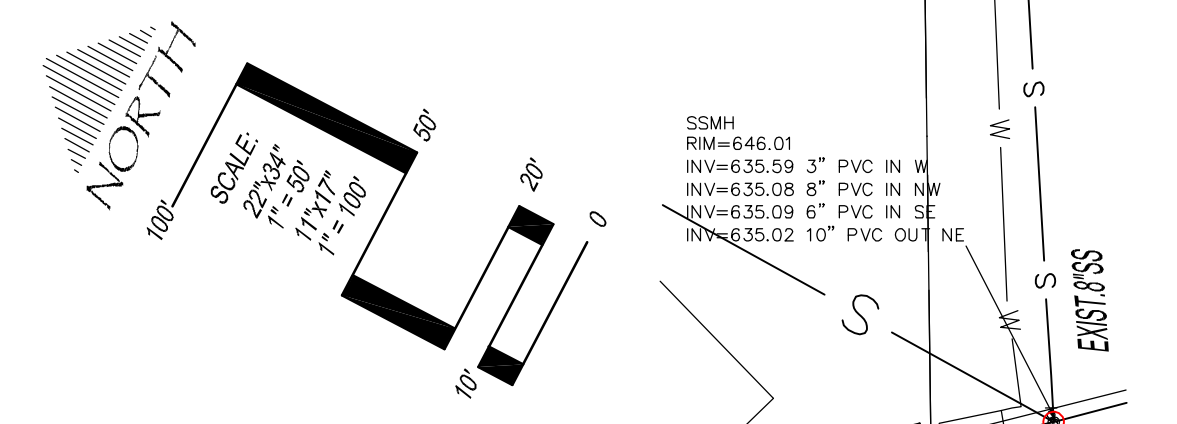
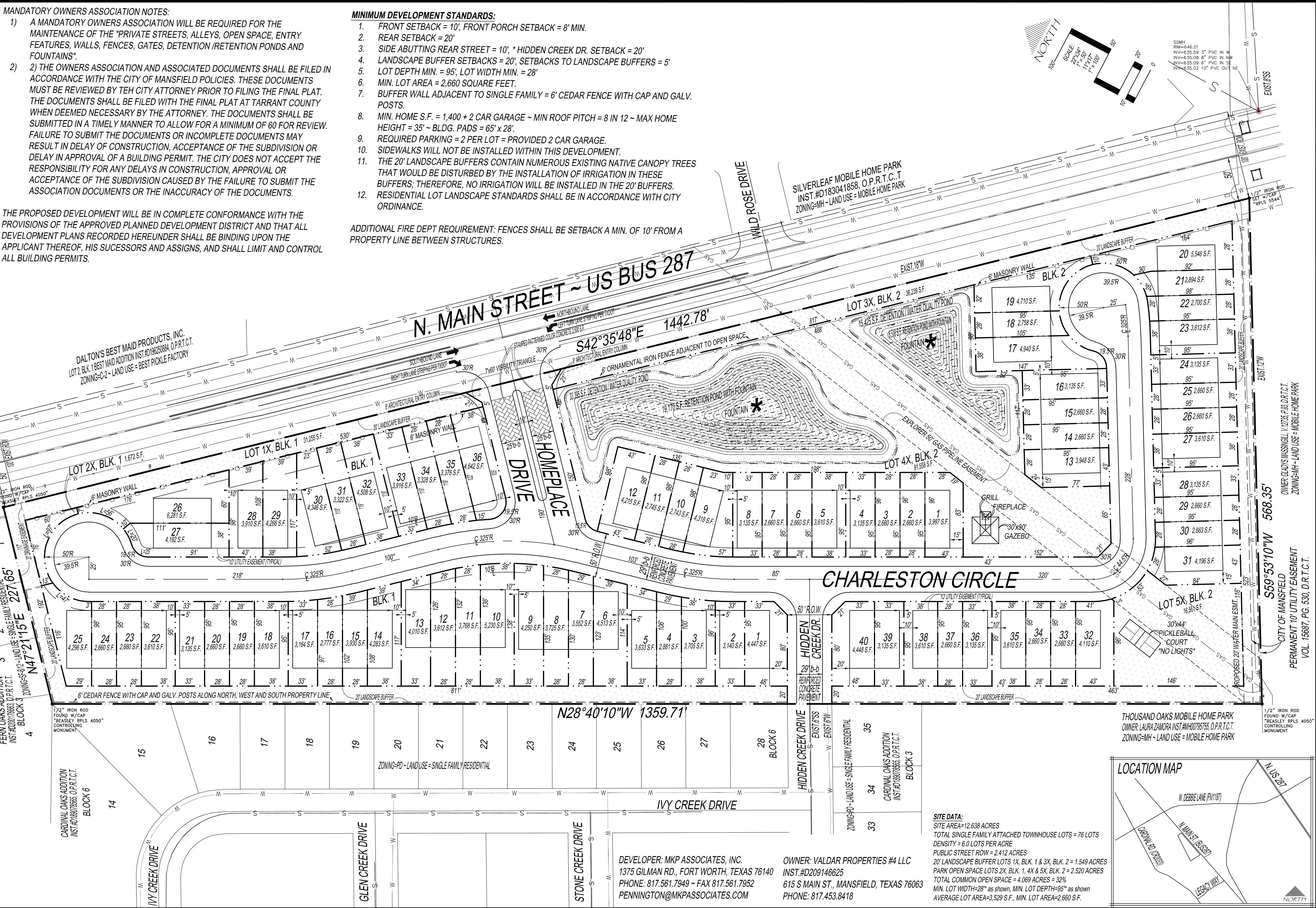
- 1) A MANDATORY OWNERS ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE "PRIVATE STREETS, ALLEYS, OPEN SPACE, ENTRY FEATURES, WALLS, FENCES, GATES, DETENTION /RETENTION PONDS AND FOUNTAINS".
- 2) 2) THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY TEH CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE CONFORMANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

MINIMUM DEVELOPMENT STANDARDS:

1. FRONT SETBACK = 10', FRONT PORCH SETBACK = 8' MIN.
2. REAR SETBACK = 20'
3. SIDE ABUTTING REAR STREET = 10', * HIDDEN CREEK DR. SETBACK = 20'
4. LANDSCAPE BUFFER SETBACKS = 20', SETBACKS TO LANDSCAPE BUFFERS = 5'
5. LOT DEPTH MIN. = 95', LOT WIDTH MIN. = 28'
6. MIN. LOT AREA = 2,660 SQUARE FEET.
7. BUFFER WALL ADJACENT TO SINGLE FAMILY = 6' CEDAR FENCE WITH CAP AND GALV. POSTS.
8. MIN. HOME S.F. = 1,400 + 2 CAR GARAGE ~ MIN ROOF PITCH = 8 IN 12 ~ MAX HOME HEIGHT = 35' ~ BLDG. PADS = 65' x 28'.
9. REQUIRED PARKING = 2 PER LOT = PROVIDED 2 CAR GARAGE.
10. SIDEWALKS WILL NOT BE INSTALLED WITHIN THIS DEVELOPMENT.
11. THE 20' LANDSCAPE BUFFERS CONTAIN NUMEROUS EXISTING NATIVE CANOPY TREES THAT WOULD BE DISTURBED BY THE INSTALLATION OF IRRIGATION IN THESE BUFFERS; THEREFORE, NO IRRIGATION WILL BE INSTALLED IN THE 20' BUFFERS. RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
- 12.

ADDITIONAL FIRE DEPT REQUIREMENT: FENCES SHALL BE SETBACK A MIN. OF 10' FROM A PROPERTY LINE BETWEEN STRUCTURES.

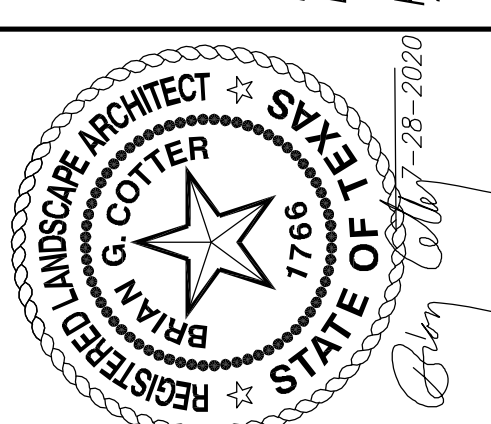


SITE DATA:
SITE AREA=12.638 ACRES
TOTAL SINGLE FAMILY ATTACHED TOWNHOUSE LOTS = 76 LOTS
DENSITY = 6.0 LOTS PER ACRE
PUBLIC STREET ROW = 2.412 ACRES
20' LANDSCAPE BUFFER LOTS 1X, BLK. 1 & 3X, BLK. 2 = 1.549 ACRES
PARK OPEN SPACE LOTS 2X, BLK. 1, 4X & 5X, BLK. 2 = 2.520 ACRES
TOTAL COMMON OPEN SPACE = 4.069 ACRES = 32%
MIN. LOT WIDTH=28' as shown, MIN. LOT DEPTH=95' as shown
AVERAGE LOT AREA=3,529 S.F., MIN. LOT AREA=2,660 S.F.

DEVELOPER: MKP ASSOCIATES, INC.
1375 GILMAN RD., FORT WORTH, TEXAS 76140
PHONE: 817.561.7949 ~ FAX 817.561.7952
PENNINGTON@MKPASSOCIATES.COM

OWNER: VALDAR PROPERTIES #4 LLC
INST.#D209146625
615 S MAIN ST., MANSFIELD, TEXAS 76063
PHONE: 817.453.8418

COTTER G.A. DIXON & ASSOCIATES, LLC
LAND DEVELOPMENT DESIGN CONSULTANTS
LAND PLANNING PROJECT MANAGEMENT LANDSCAPE ARCHITECTURE
1703 North Peyco Drive, Suite O, Arlington, Texas 76010
Phone: (817) 919-4415 ~ Email: CALLCOTTER@SBCGLOBAL.NET
Tx. Arch. Reg. Board FIRM REG. # BR-1373



DESIGN: BGC
DRAWN: DJC
DATE: 5-26-2020
REV: 7-28-2020
PROJECT: 932 PD.dwg

CHARLESTON
76 LOT SINGLE-FAMILY ATTACHED PD DEVELOPMENT PLAN
12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267
1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

2 OF 5

ZC#20-009 EXHIBIT "B"