



SINGLE-FAMILY ATTACHED ELEVATION "A"



SINGLE-FAMILY ATTACHED ELEVATION "B"

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 T.A. Arch. Reg. Board FIRM REG. # BR-1373

DESIGN: BGC
 DRAWING: D/C
 DATE: 8-4-2020
 PROJECT:
 502 PLO/MD

CHARLESTON
 TOWNHOUSE ELEVATION RENDERINGS
 12.638 ACRES IN THE M. ROCKERFELLOW SURVEY/ABSTRACT 1267
 1675 N. MAIN ST., CITY OF MANFIELD, TARRANT COUNTY, TEXAS

1 OF 1

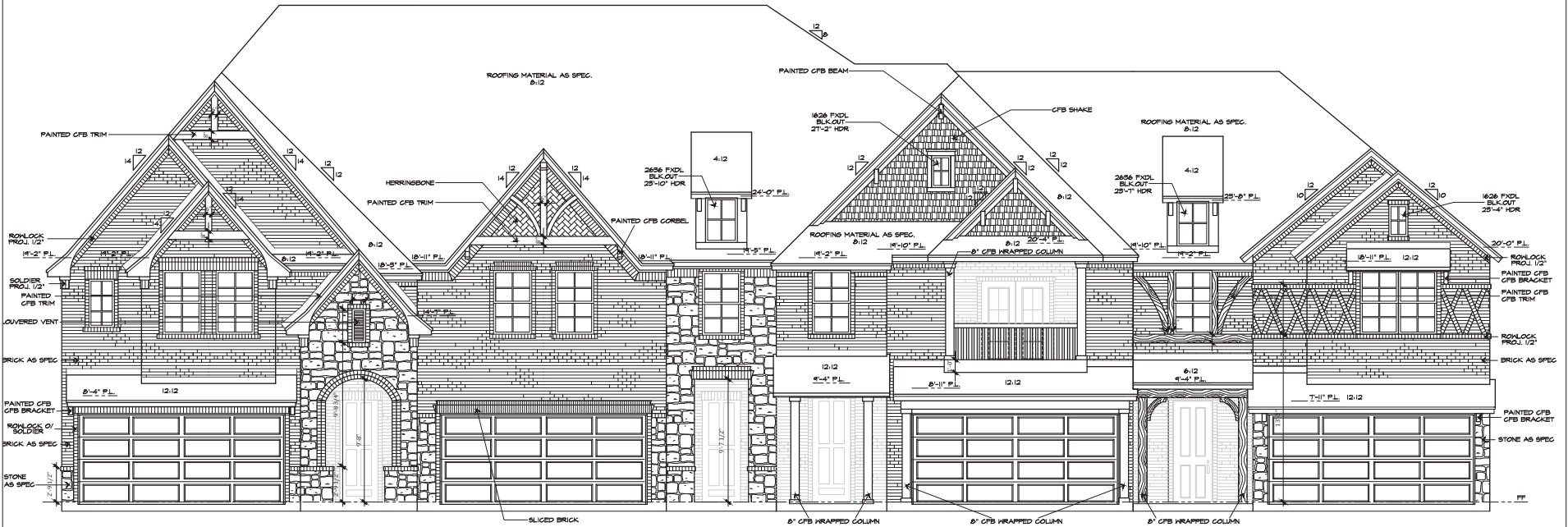
ZC#20-009

*ALL DORMERS NOT TO PENETRATE ATTIC SPACE

*ROOF PENETRATIONS ARE PROHIBITED WITHIN 4' OF THE REQUIRED FIREWALL

*FOUNDATIONS EXPOSED MORE THAN 10" SHALL BE OF COMPLEMENTARY MATERIALS

*EAVES SHALL EXTEND AT LEAST 12" FROM WALL



1 | Front Elevation

1/8" = 1'-0"

ATTENTION
SCALE AS NOTED

24"x36" PRINTS ARE 1/4" = 1'-0"

11"x17" PRINTS ARE 1/8" = 1'-0"

*UNLESS SPECIFIED OTHERWISE

EXHIBIT "E" ZC#20-009

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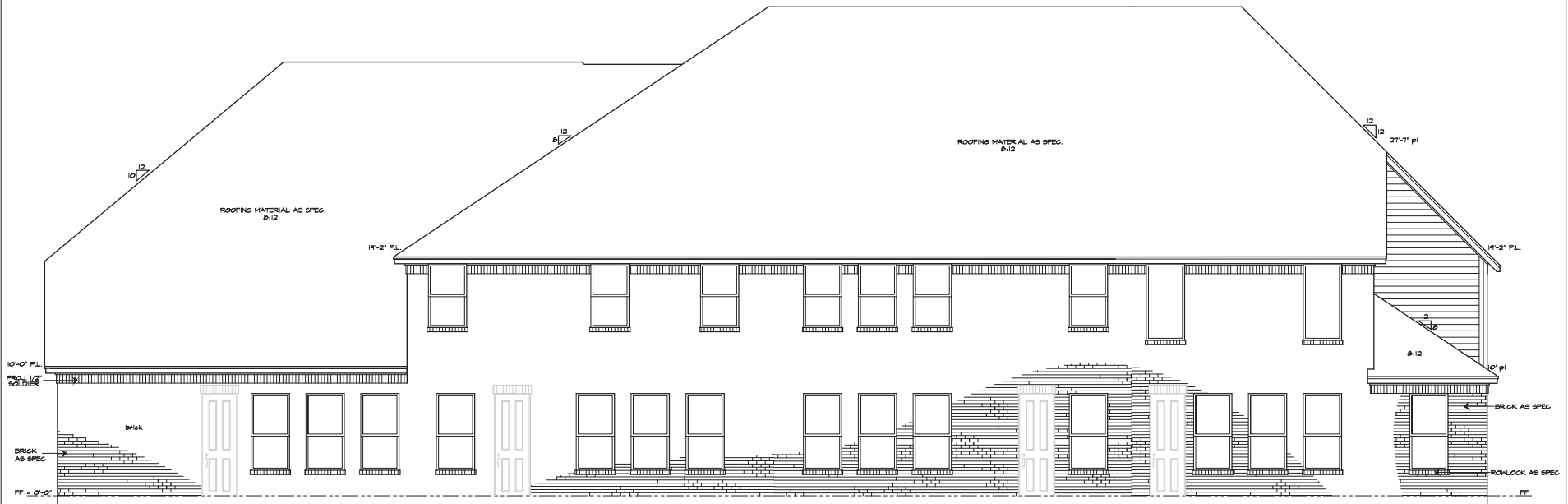
JOHN HOUSTON
CUSTOM HOMES

The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 4
Front Entry

SHEET
5A OF 5

- *ALL DORMERS NOT TO PENETRATE ATTIC SPACE
- *ROOF PENETRATIONS ARE PROHIBITED WITHIN 4' OF THE REQUIRED FIREWALL
- *FOUNDATIONS EXPOSED MORE THAN 10" SHALL BE OF COMPLEMENTARY MATERIALS
- *EAVES SHALL EXTEND AT LEAST 12" FROM WALL



1 | Rear Elevation
1/8" = 1'-0"

ATTENTION
SCALE AS NOTED
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11"x17" PRINTS ARE 1/8" = 1'-0"
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EXHIBIT "E" ZC#20-009

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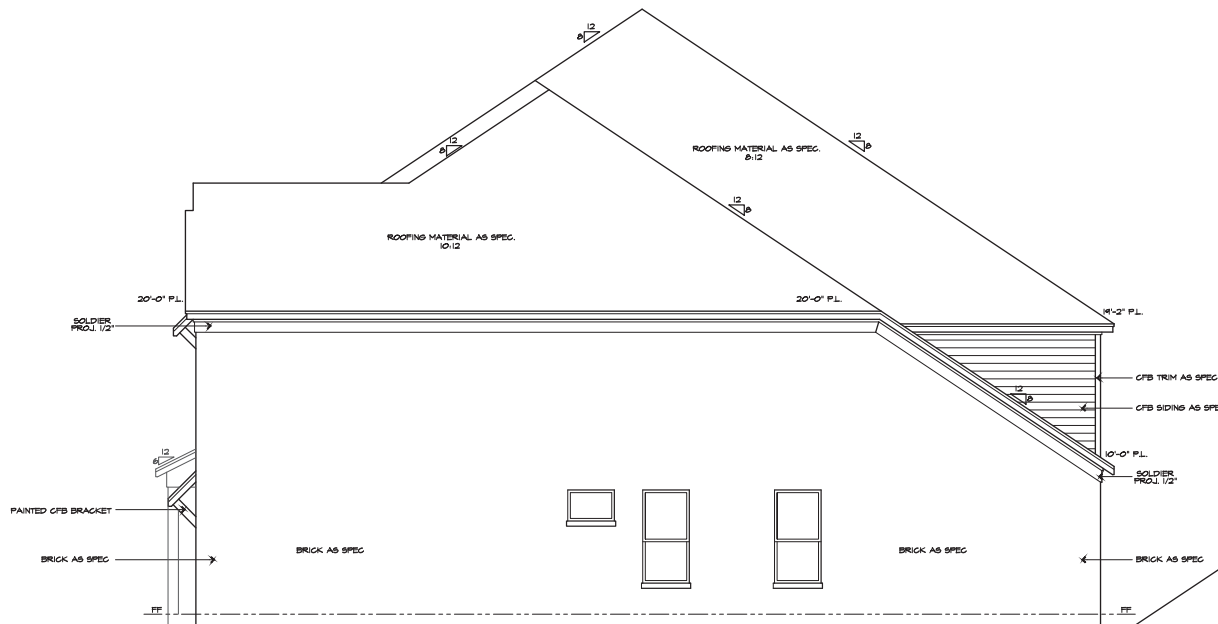
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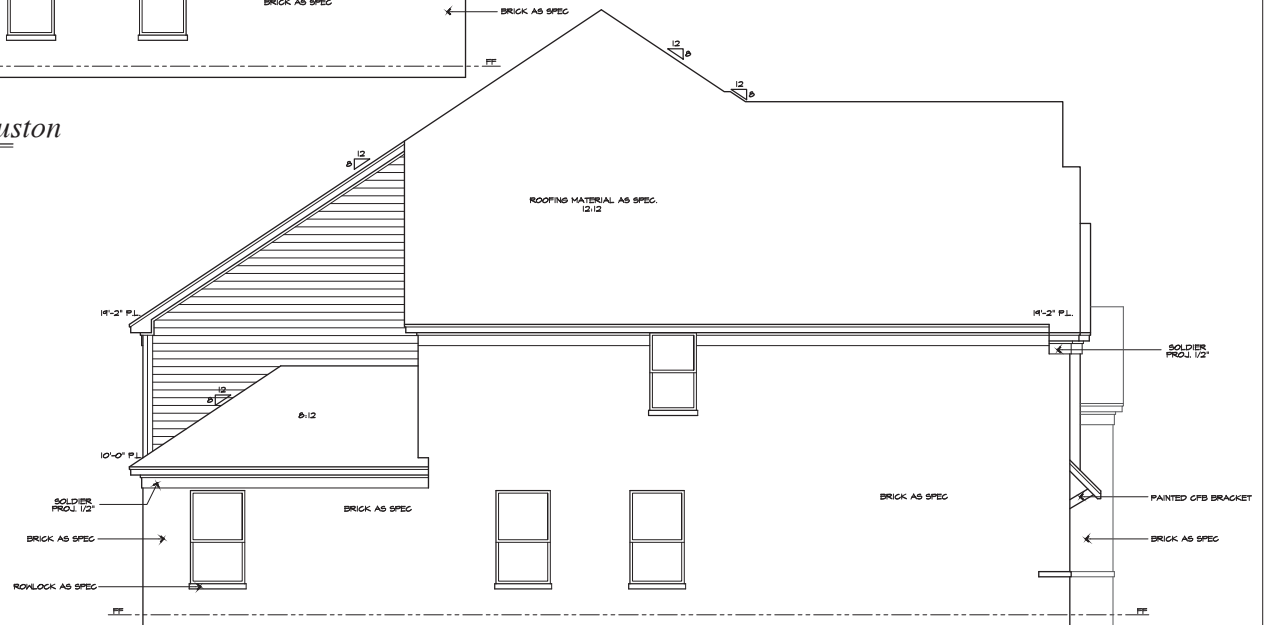
The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 4
Front Entry

SHEET
5B OF 5



1 | Right Elevation Houston
1/8" = 1'-0"



2 | Left Elevation Erie
1/8" = 1'-0"

- *ALL DORMERS NOT TO PENETRATE ATTIC SPACE
- *ROOF PENETRATIONS ARE PROHIBITED WITHIN 4' OF THE REQUIRED FIREWALL
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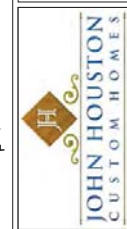
The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 4
Front Entry

SHEET
5 OF 5

EXHIBIT "E" ZC#20-009

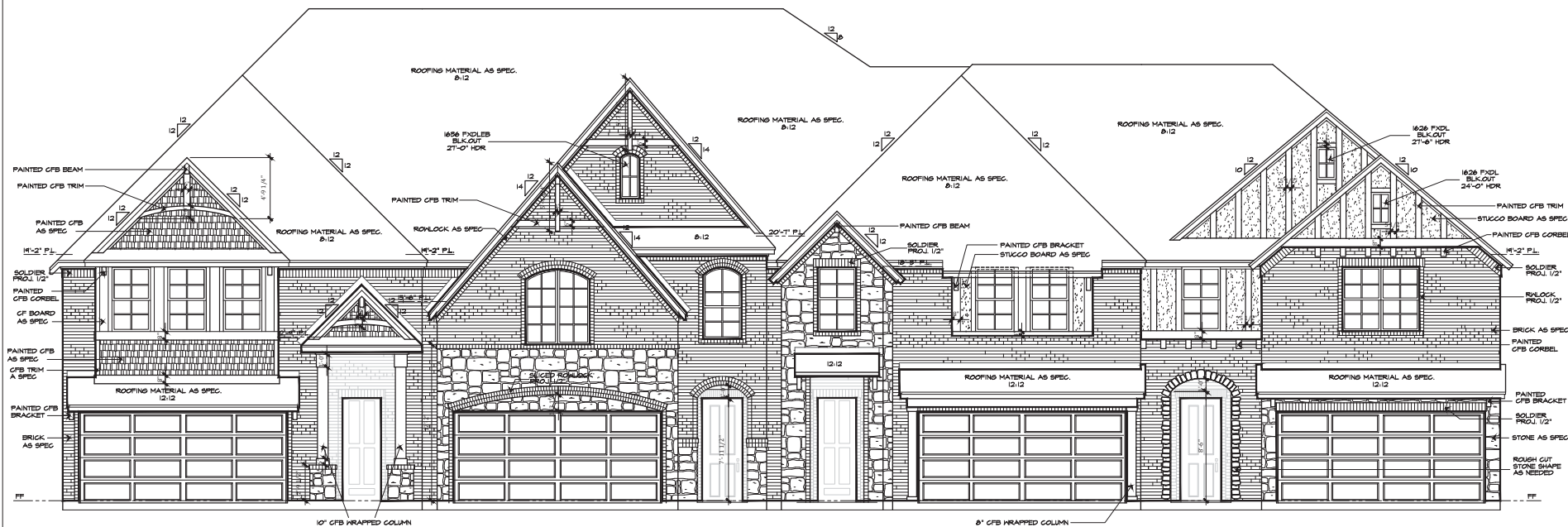
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**The Preserve at
Kelly Elliott
LOT: X BLOCK: X**

PLAN
BLDG 3
Front Entry

SHEET
5D OF 5



MASONRY CALCS			
		SQUARE FTG.	PERCENTAGE
FRONT ELEV.	BRICK	1125 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
REAR ELEV.	BRICK	12000 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
RIGHT ELEV.	BRICK	450 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
LEFT ELEV.	BRICK	82450 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
TOTAL EXT. WALL AREA:		4099 SQ. FT.	
TOTAL HOUSE BRICK		PERCENTAGE:	100 %

1 | Front Elevation
1/8" = 1'-0"

$$\frac{1}{8''} = 1'-0''$$

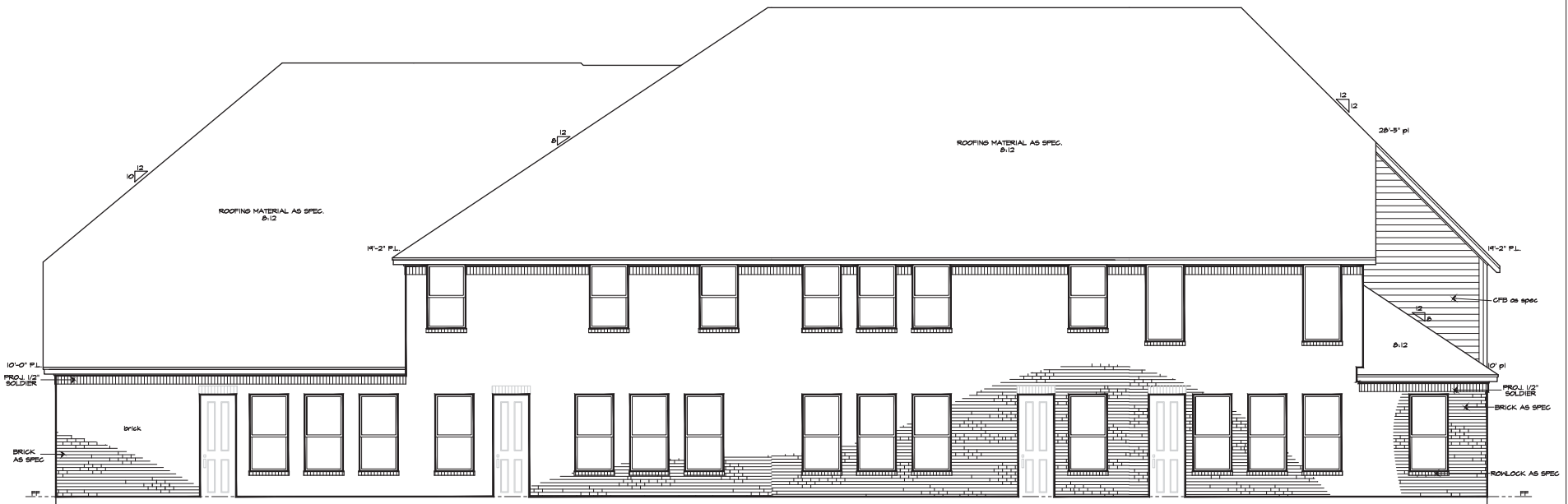
ATTENTION
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11"x17" PRINTS ARE 1/8" = 1'-0"

*UNLESS SPECIFIED OTHERWISE

EXHIBIT "E" ZC#20-009

*EAVES SHALL EXTEND AT LEAST 12" FROM WALL


$$\overline{1/8''} = \overline{1'-0''}$$

*UNLESS SPECIFIED OTHERWISE

EXHIBIT "E" ZC#20-009

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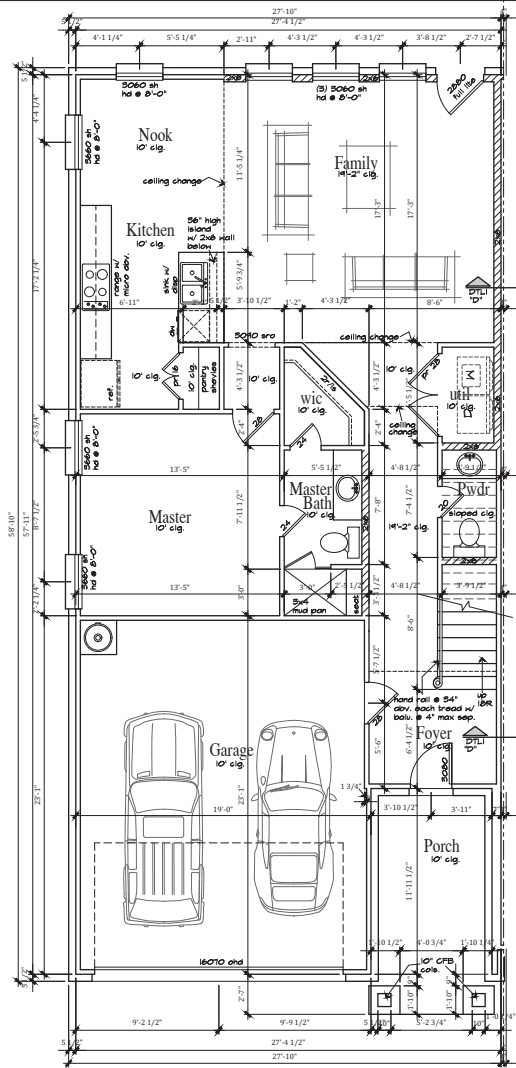
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The Preserve at
Kelly Elliott
LOT: X BLOCK: X

PLAN
BLDG 3
Front Entry

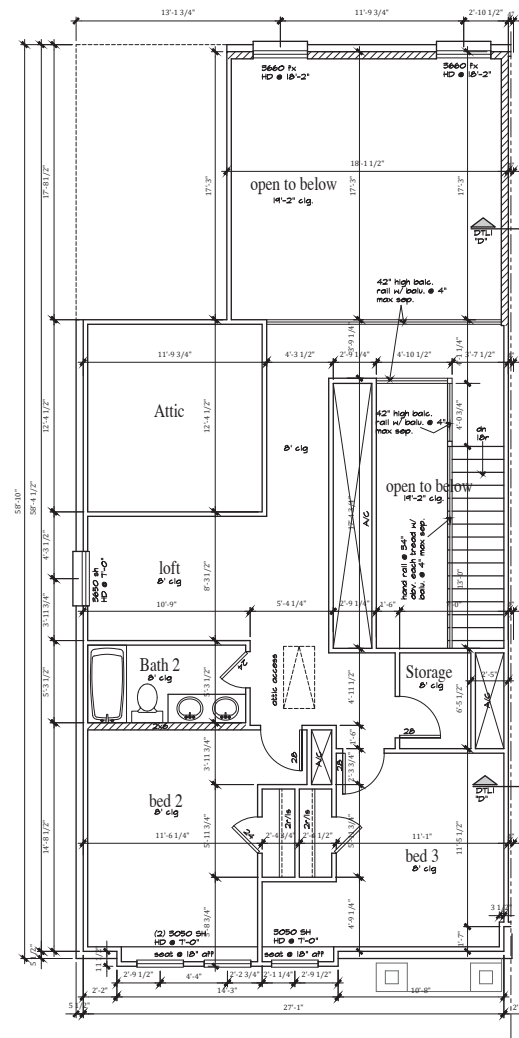
SHEET
5E OF 5



Arlington
unit "A"

1 | Unit A 1st Floor
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1097 S.F.
SECOND FLOOR	808 S.F.
TOTAL AREA	1905 S.F.
GARAGE AND/OR STORAGE	453 S.F.
COVERED PATIO AND/OR PORCH	114 S.F.
TOTAL UNDER ROOF	2472 S.F.
SLAB AREA	1664 S.F.



Arlington
unit "A"

2 | Unit A 2nd Floor
1/8" = 1'-0"

ATTENTION
SCALE AS NOTED
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11"x17" PRINTS ARE 1/8" = 1'-0"
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EXHIBIT "E" ZC#20-009

PLAN
BLDG 3
Front Entry

SHEET
5G OF 5

The Preserve at
Kelly Elliott
Lot: x Block: x

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Erie
unit "E"

1 | Unit E 1st Floor

$$\frac{1}{\delta^n} = 1 - O^n$$

SQUARE FOOTAGES	
FIRST FLOOR	1097 S.F.
SECOND FLOOR	846 S.F.
TOTAL AREA	1943 S.F.
GARAGE AND/OR STORAGE	483 S.F.
COVERED PATIO AND/OR PORCH	128 S.F.
TOTAL UNDER ROOF	2554 S.F.
SLAB AREA	1708 S.F.

Erie
unit "E"

2| Unit E 2nd Floor

$$\frac{1}{8"} = 1'-0"$$

ATTENTION
SCALE AS NOTED

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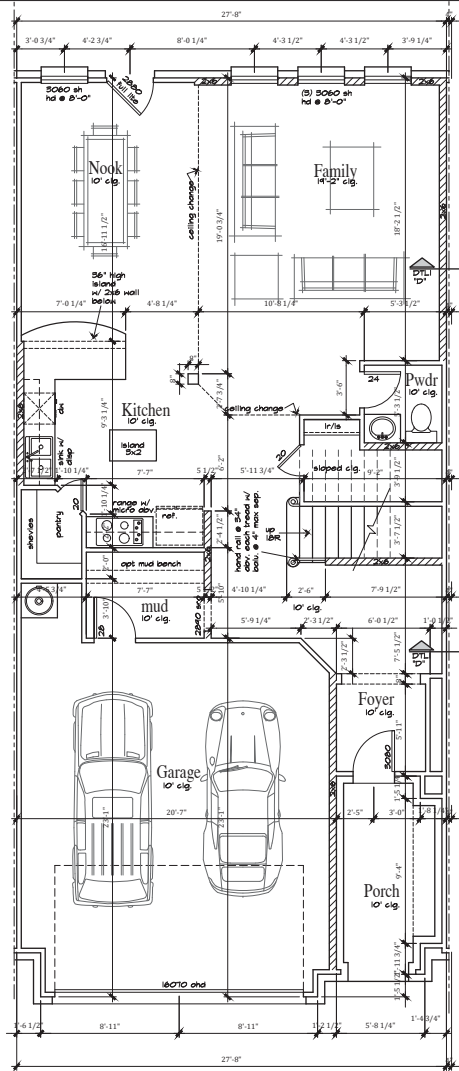


The Preserve at
Kelly Elliott
LOT: X BLOCK: X

PLAN
BLDG 4
Front Entry

SHEET
5H OF 5

EXHIBIT "E" ZC#20-009



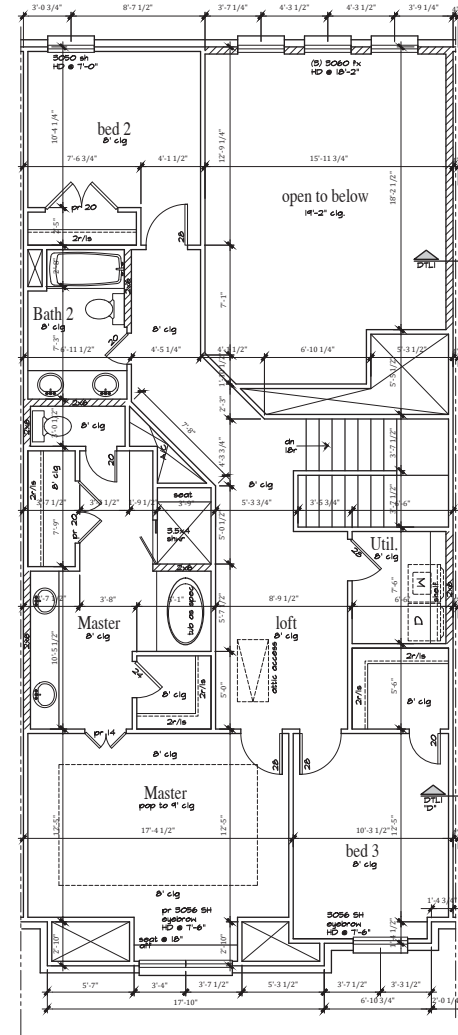
Brownwood
unit "B"

1 | Unit B 1st Floor

1/8" = 1'-0"

SQUARE FOOTAGES

FIRST FLOOR	1086 S.F.
SECOND FLOOR	1178 S.F.
TOTAL AREA	2264 S.F.
GARAGE AND/OR STORAGE	494 S.F.
COVERED PATIO AND/OR PORCH	85 S.F.
TOTAL UNDER ROOF	2843 S.F.
SLAB AREA	1665 S.F.



Brownwood
unit "B"

2 | Unit B 2nd Floor

1/8" = 1'-0"

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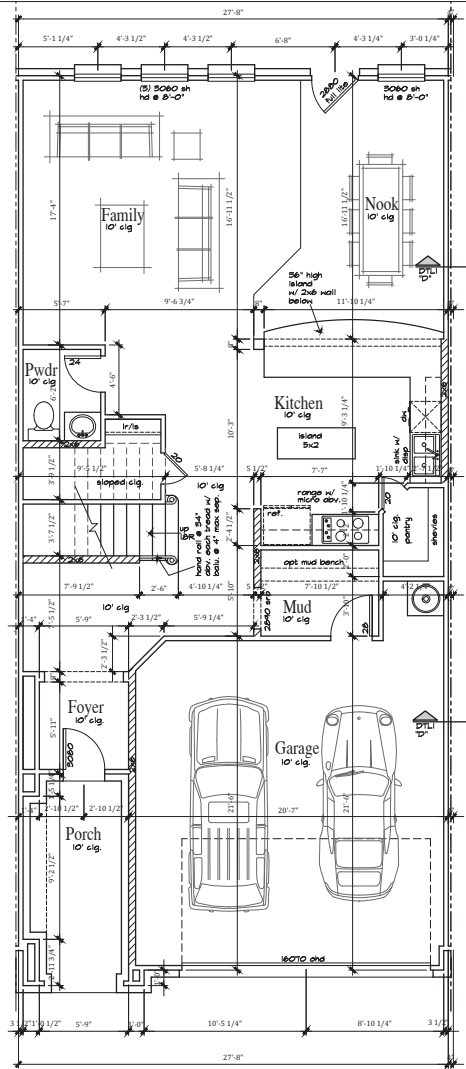


The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 3
Front Entry

SHEET
51 OF 5

EXHIBIT "E" ZC#20-009



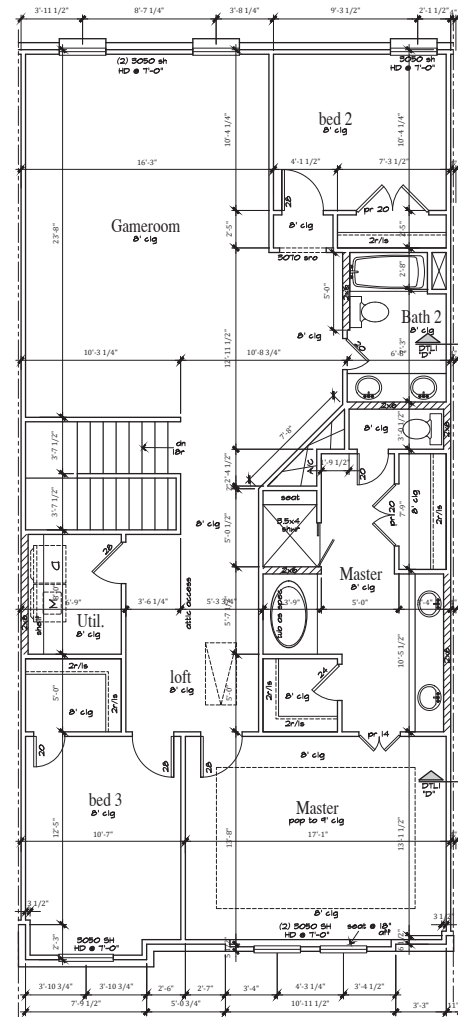
Coleman
unit "C"

1 | Unit C 1st Floor

1/8" = 1'-0"

SQUARE FOOTAGES

FIRST FLOOR	1086 S.F.
SECOND FLOOR	1578 S.F.
TOTAL AREA	2664 S.F.
GARAGE AND/OR STORAGE	466 S.F.
COVERED PATIO AND/OR PORCH	94 S.F.
TOTAL UNDER ROOF	3224 S.F.
SLAB AREA	1646 S.F.



Coleman
unit "C"

2 | Unit C 2nd Floor

1/8" = 1'-0"

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The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 3
Front Entry

SHEET
5 OF 5

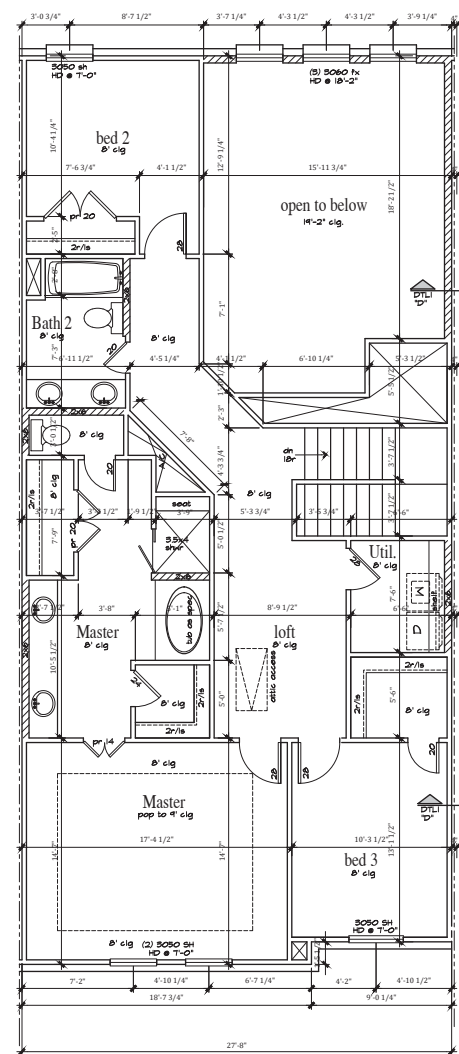
EXHIBIT "E" ZC#20-009

Findley
unit "F"

1 | Unit F 1st Floor

$$\frac{1}{8}'' = 1'-0''$$

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
<u>SECOND FLOOR</u>	<u>1198 S.F.</u>
TOTAL AREA	2284 S.F.
GARAGE AND/OR STORAGE	483 S.F.
<u>COVERED PATIO AND/OR PORCH</u>	<u>83 S.F.</u>
TOTAL UNDER ROOF	2805 S.F.
SLAB AREA	1652 S.F.

Findley
unit "F"

2| Unit F 2nd Floor

$$1/\delta'' = 1'-0''$$

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11"x17" PRINTS ARE 1/8" = 1'-0"

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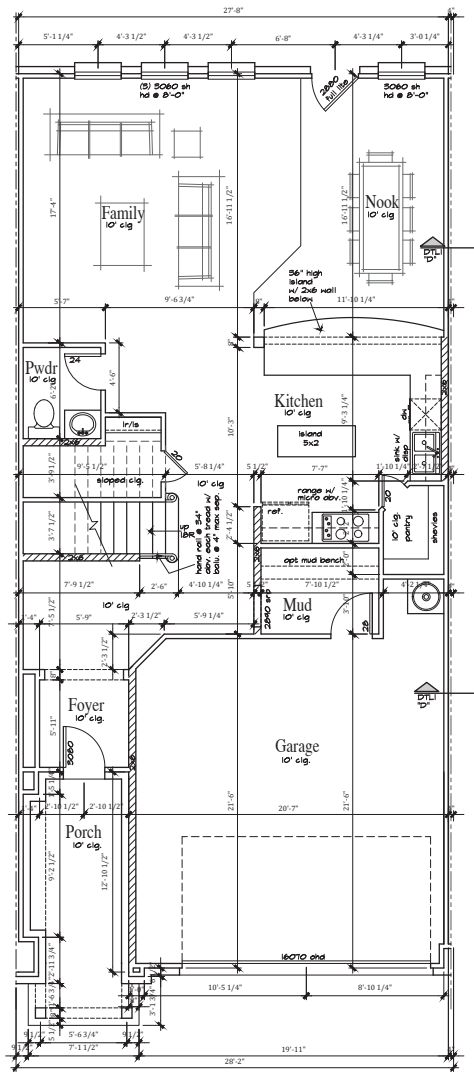
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The Preserve at
Kelly Elliott
LOT: X BLOCK: X

PLAN
BLDG 4
Front Entry

SHEET
 51 OF 5

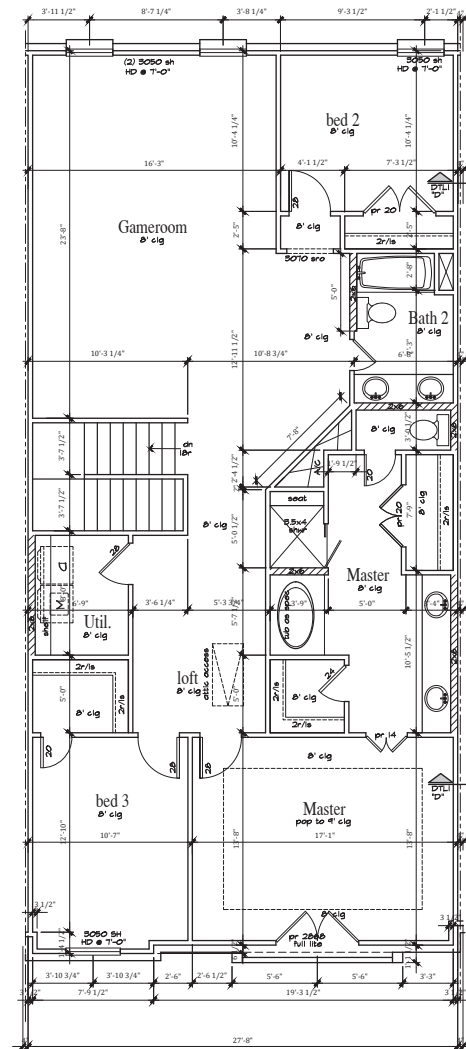
EXHIBIT "E" ZC#20-009



Granbury
unit "G"

1 | Unit G 1st Floor
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
SECOND FLOOR	1574 S.F.
TOTAL AREA	2660 S.F.
GARAGE AND/OR STORAGE	466 S.F.
COVERED PATIO AND/OR PORCH	109 S.F.
TOTAL UNDER ROOF	3235 S.F.
SLAB AREA	1661 S.F.



Granbury
unit "G"

2 | Unit G 2nd Floor
1/8" = 1'-0"

ATTENTION
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11"x17" PRINTS ARE 1/8" = 1'-0"
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JOHN HOUSTON
CUSTOM HOMES

The Preserve at
Kelly Elliott
Lot: x Block: x

PLAN
BLDG 4
Front Entry

SHEET
5M OF 5

Houston
unit "H"

1 | Unit H 1st Floor
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1084 S.F.
SECOND FLOOR	726 S.F.
TOTAL AREA	1810 S.F.
GARAGE AND/OR STORAGE	425 S.F.
COVERED PATIO AND/OR PORCH	138 S.F.
TOTAL UNDER ROOF	2373 S.F.
SLAB AREA	1647 S.F.

[illegible]

2 | Unit H 2nd Floor
1/8" = 1'-0"

ATTENTION
SCALE AS NOTED

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11"x17" PRINTS ARE 1/8" = 1'-0"

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PLAN
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SHEET
5N OF 5

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