



**City of Mansfield- Zoning Board of Adjustment**  
1200 E. Broad St.  
Mansfield, TX 76063

**8-29-20**

**Re: Laurie McGee-Special Exception Request**  
898 Newt Patterson Rd.  
Mansfield, TX. 76063

### **SPECIAL EXCEPTION FOR ACCESSORY BUILDING**

Zoning Board of Adjustment:

I am writing on behalf of Laurie McGee (homeowner at 898 Newt Patterson Rd.) to request a special exception to zoning regulation section 7800.B.5.K, which stipulates a maximum height of 12' for an accessory structure.

Based on special exception 6300(6)(a)(3), a special exception may be granted by the zoning board of adjustments for an accessory building of up to 35' high on a lot of 2 acres or greater. The subject lot is 7.914 acres.

The new accessory building is 1503 s.f., which does not exceed 4% of the lot footage – which is 344,733 s.f.

The new accessory building is 21'-10" in height, which is below the maximum height of 35' allowed for lots or 2 acres or more.

The new accessory building is 15'-3" from the side property line (farther than the allowable distance of 5') and 348'-5" from the rear property line (farther than the allowable distance of 7.5').

There is no intent to house or contain livestock in the new accessory structure, or to house automobiles. The intended use for the new accessory building is for storage of household goods and to house farm equipment and implements.

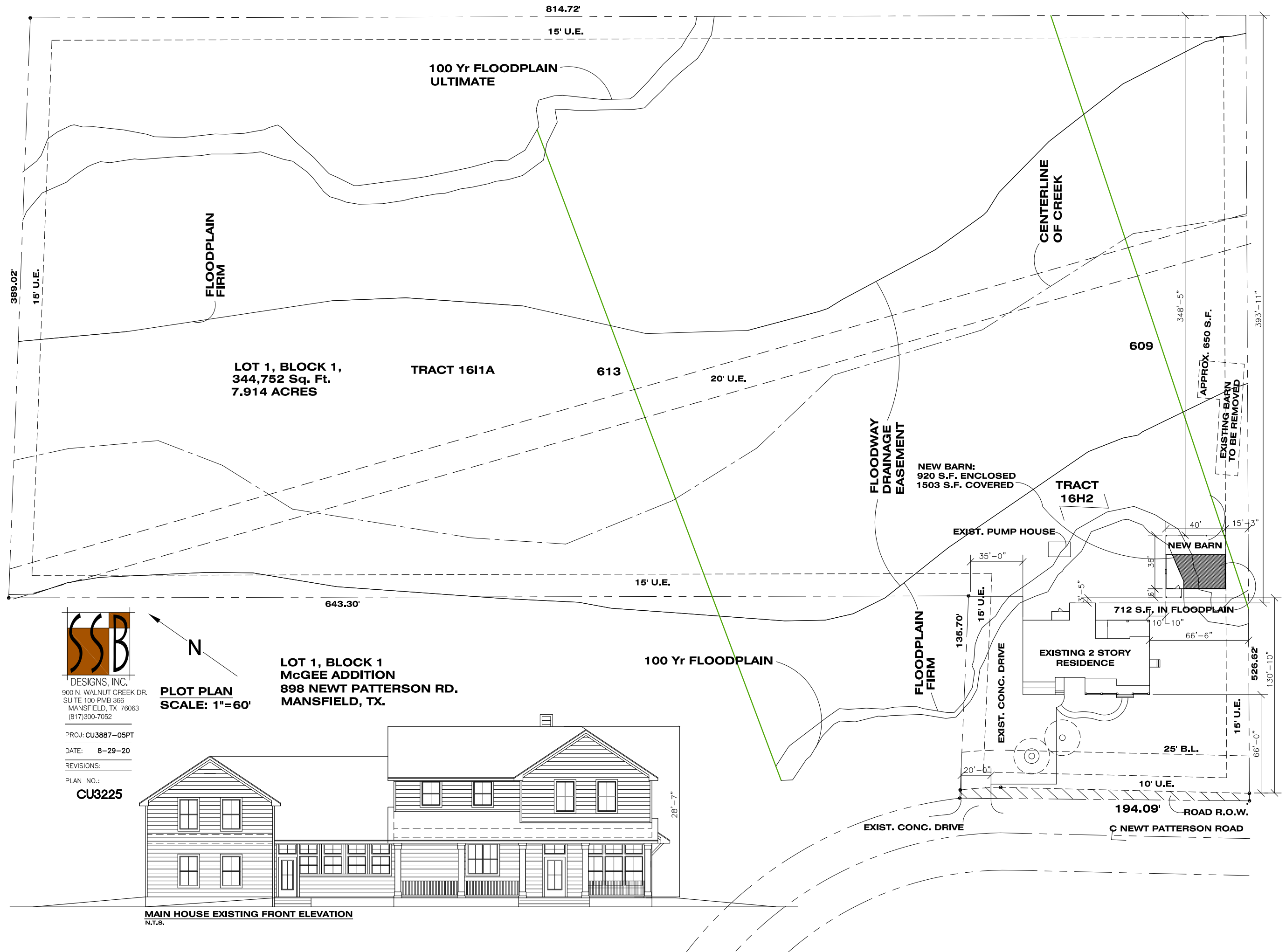
The new accessory building will replace an existing barn of approx. 650 s.f. (which will be demolished upon the approval of the requested special exception and prior to construction of the new accessory building). The existing barn requires replacement as it is within an area of the lot that was on dry ground when originally constructed, but now floods regularly during heavy rains due to the development of surrounding (especially upstream) property.

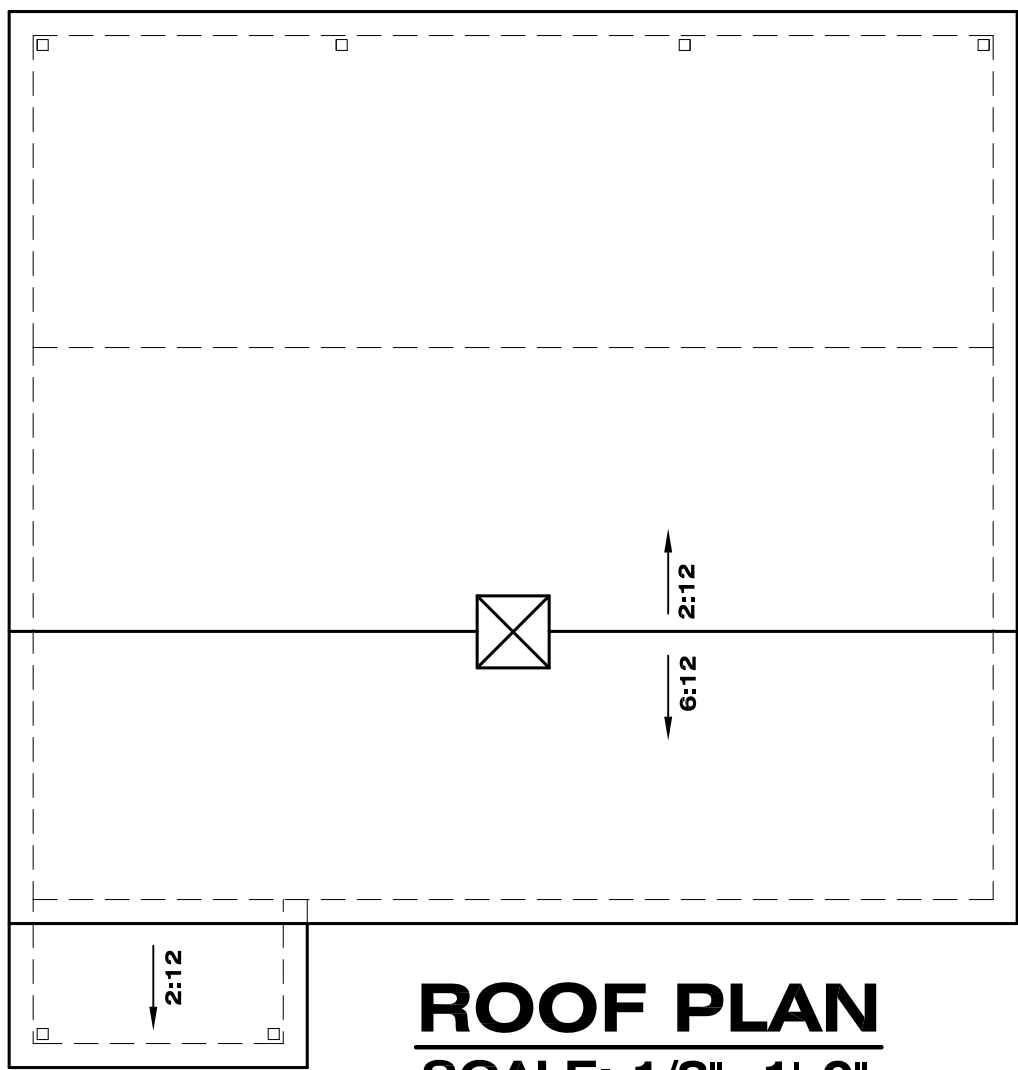
Ms. McGee asks for the approval of the allowable special exception described above, to allow for replacement of an existing barn with a new accessory structure (plans and site plan provided with this submittal).

Sincerely,  
SSB Designs, Inc.

A handwritten signature in blue ink that reads 'Sheri Bumgardner'. The signature is fluid and cursive, with a large 'S' and 'B'.

Sheri Bumgardner  
RAS #344





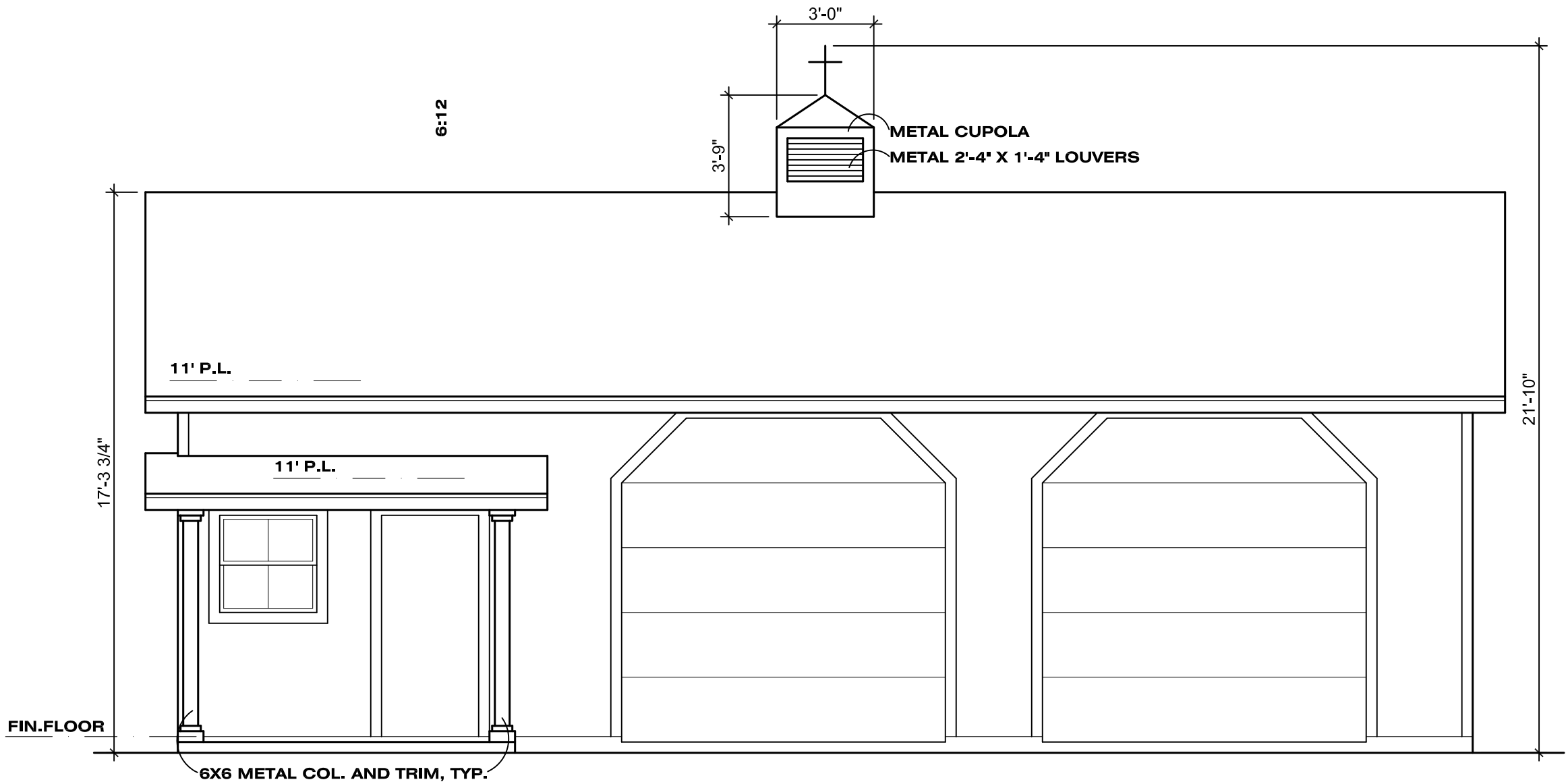
WINDOW SCHEDULE				
SYM	QTY	SIZE	DESCRIPTION	REMARKS/NOTES
A	3	30	30 VINYL, S.H., M.L.	46, 4

MAX. VALUES ON ALL GLAZING TO BE:  
U-FACTOR = 0.65  
SHGC = 0.40

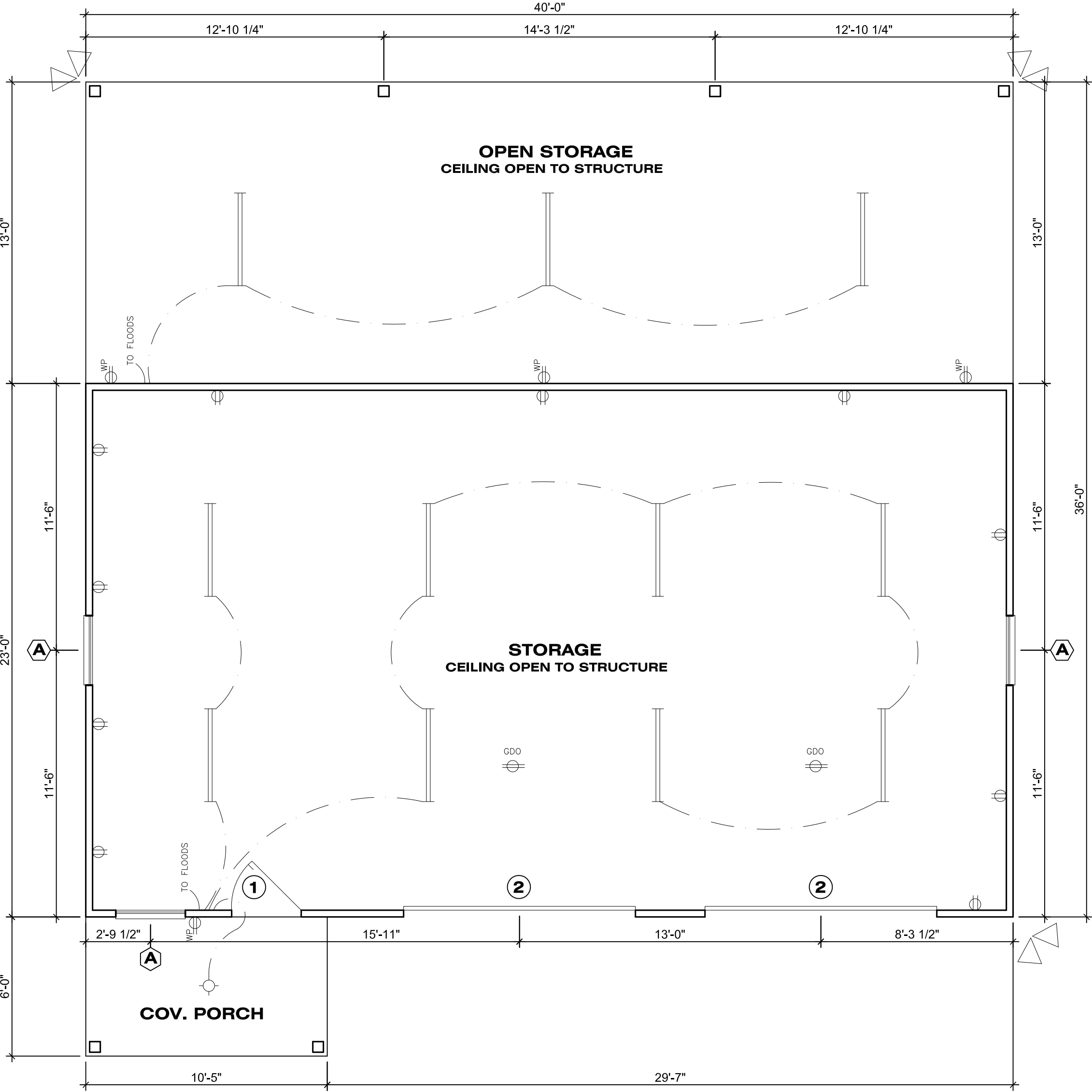
DOOR SCHEDULE				
SYM	QTY	TYPE	SIZE	DESCRIPTION
1	1	1	3068	EXT., FIBERGLASS
2	2	2	10'X10'	OVERHEAD SECTIONAL

SYMBOLS	
◇	LED FIXTURE, CEILING MOUNTED
□	INCANDESCENT FIXTURE, RECESSED
○	INCANDESCENT FIXTURE, WALL MOUNTED
○ <sub>ceiling</sub>	INCAN. FIXTURE, WALL MNT. - 12" A.F.F.
⊕	ELECTRICAL OUTLET, WALL MOUNTED
⊕ <sub>ceiling</sub>	ELECTRICAL OUTLET, WALL MOUNTED, 220V
⊕ <sub>eave</sub>	ELECTRICAL OUTLET, CEILING MOUNTED
⊕ <sub>wf</sub>	ELECTRICAL OUTLET, CLG. MNTD. IN EAVE
⊕ <sub>tv</sub>	ELECTRICAL OUTLET, WATER PROOF
⊕ <sub>tv</sub>	CABLE TELEVISION CONNECTION
□	EXHAUST FAN
+	HOSE BIB (H.B.), FROST PROOF
→	GAS
⊕ <sub>wh</sub>	WATER HEATER
◇	LED FIXTURE
△	FLOOD OR MOTION FIXTURE

**ROOF PLAN**  
SCALE: 1/8"=1'-0"



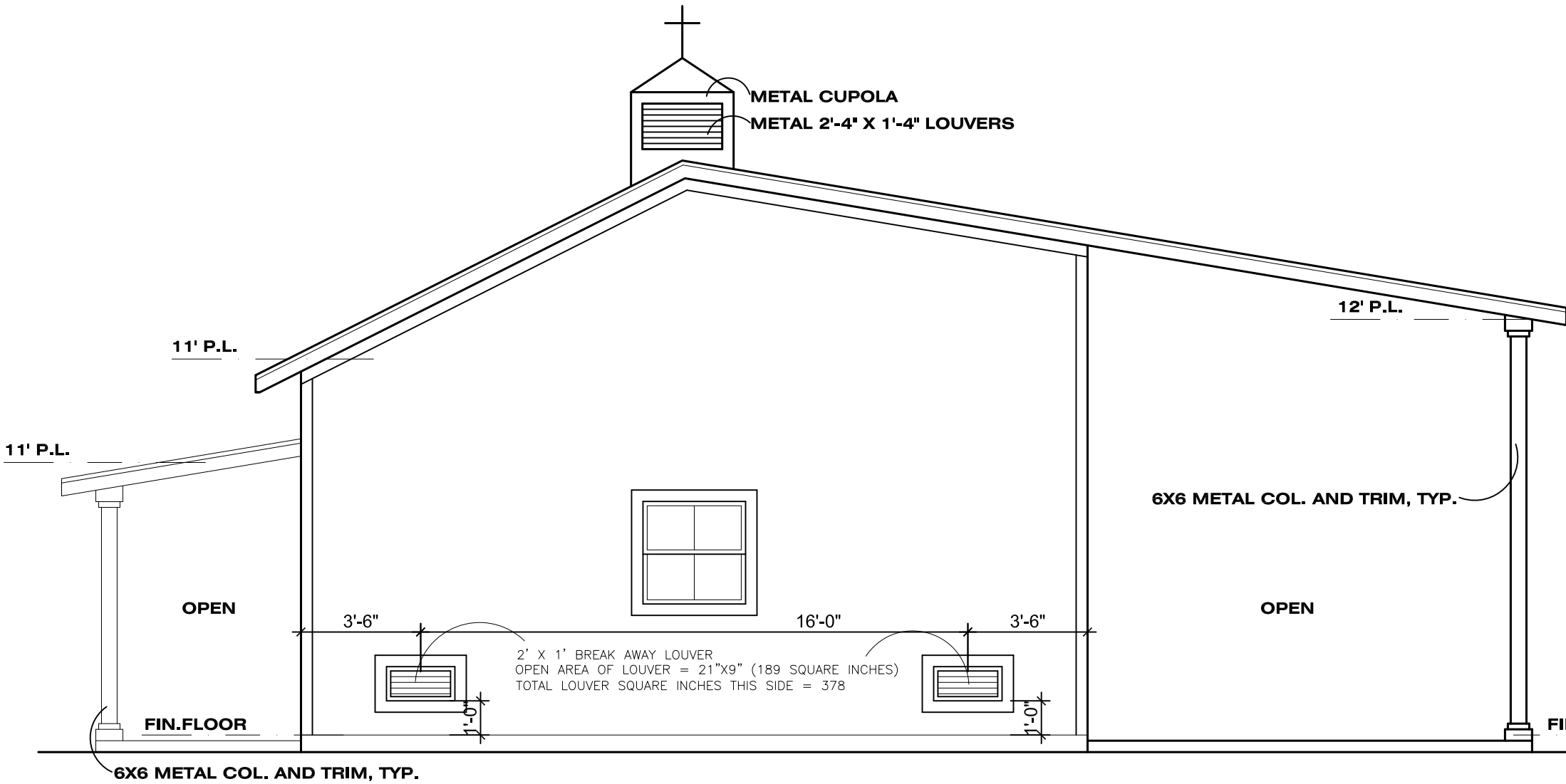
**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



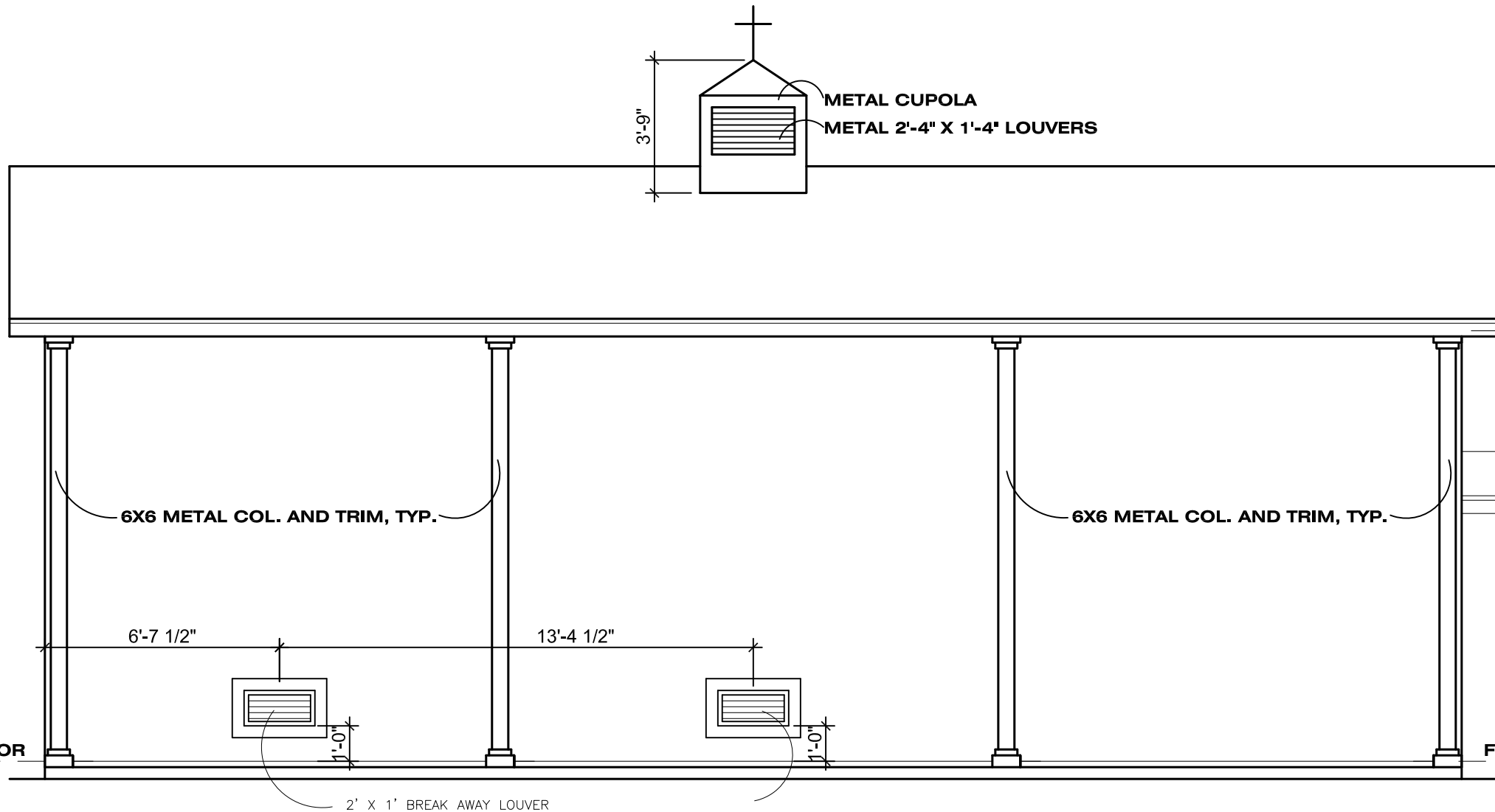
**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**SQ. FOOTAGE**  
ENCLOSED STORAGE 920  
FRONT PORCH 63  
COVERED STORAGE 520  
FOUNDATION 1503

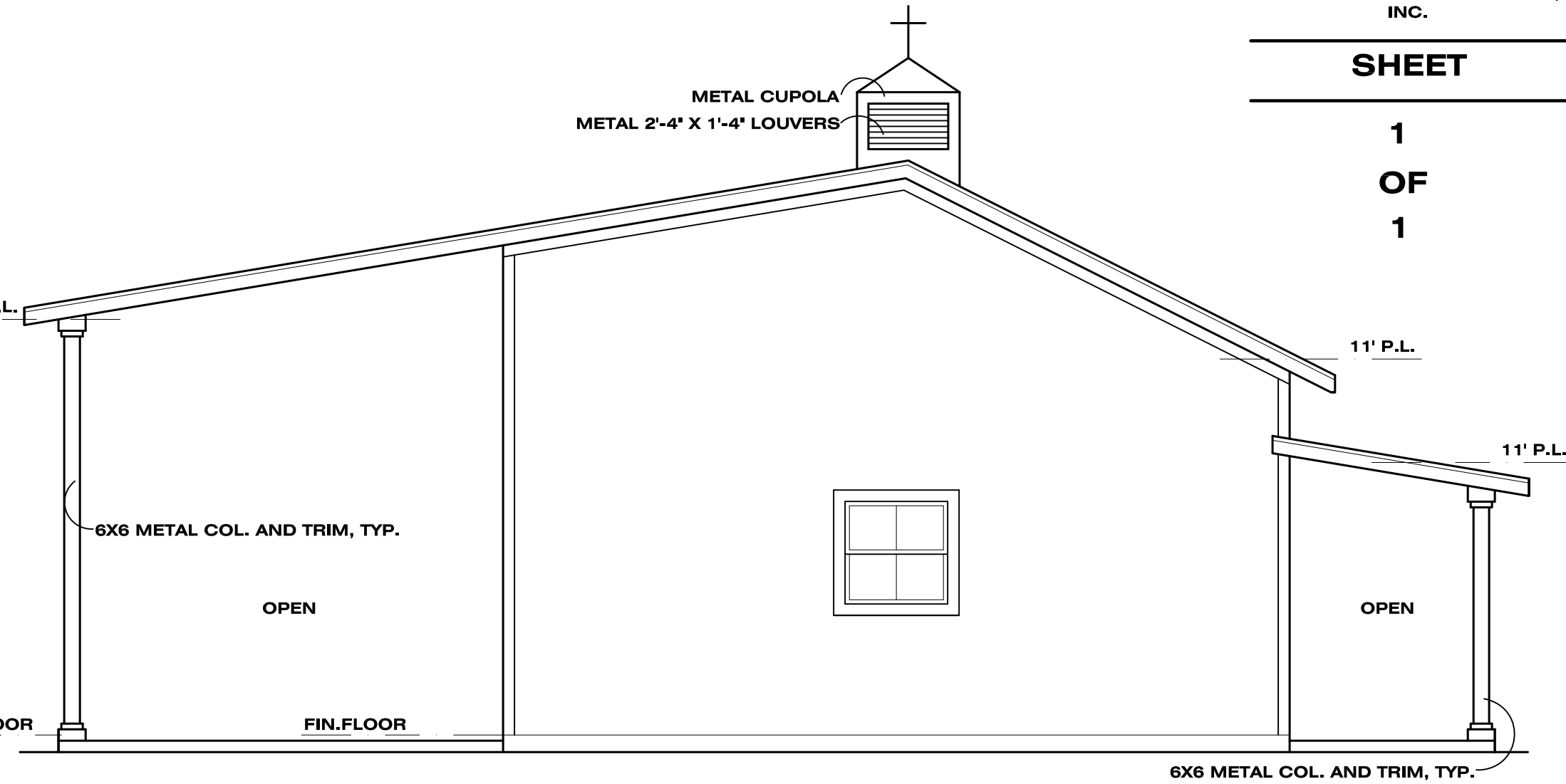
NOTES: 1. SEE ROOF PLAN FOR ROOF PITCHES.  
2. ROOF OVERHANG TO BE 12" U.N.O.  
3. ROOFING MATERIAL TO BE METAL.  
4. ALL ELEVATIONS TO BE METAL PANELS.  
5. BUILDING DETAILS - SEE METAL BUILDING DRAWINGS.  
6. BUILDING FOR STORAGE ONLY - NO OCCUPANCY.



**RIGHT ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/8"=1'-0"

**SSB**  
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**McGEE BARN**  
**898 NEWT PATTERSON RD.**  
**MANSFIELD-76063**

**PROJECT NUMBER**  
**McGEE BARN**

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**SHEET**

**1**  
**OF**  
**1**