

**Proposed Motorhome Garage/Accessory Building**

**Address: 611 West Broad, Mansfield, Texas 76063**

To Whom it May Concern,

Justin and Keri Zuckerbrow will be building a 3,932 living sqft house at the above referenced address with Lakeland Custom Homes (Nick Zuckerbrow). The slab sqft will be 5,007. We are in the process of applying for the proper loan documents and submitting for a permit the week of 9/14/20.

Per the Civil plan we would like to plan on putting a 20' wide X 50' long X 19' tall metal building to store our motorhome. The flatwork will be 16' wide from front to back to access the back portion with a fire truck.

Under the current code accessory buildings can not be taller than 12' and cannot be larger than 750 SQFT or 2% of the size of the lot. Based on the size of our lot (37,627 SQFT) we would like the 4% SQFT accessory building to be considered. In this case the maximum size would be 1,505 SQFT. This building will be 1,000 SQFT. Our motorhome is 13' tall and will not fit underneath the current maximum allowable height. We are requesting the maximum height to be 19' measured from top of slab to the top of the metal building. The building will be located 10' from the East side property line and 49' at the rear of the property.

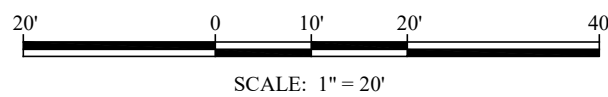
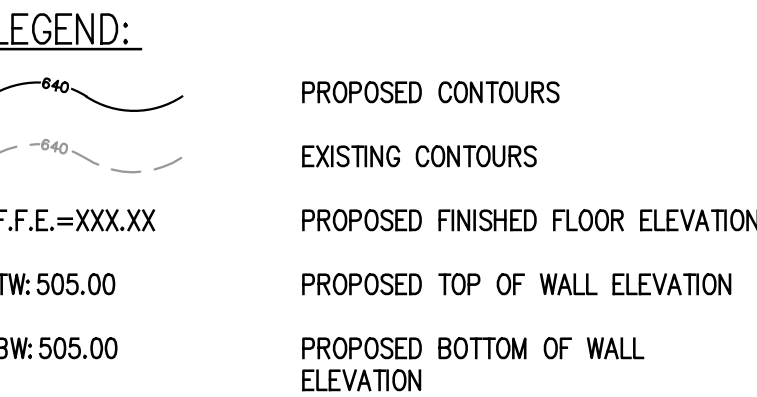
To limit the impact of the neighbors on the South side and the East side we are lowering the grade and building a rock retaining wall ranging from 1'-4' in height. In addition, we are going to put up a 6' board on board with cap stained fence along the property line including next to the motorhome garage.

If you have any further questions, please let me know.

Thank you,

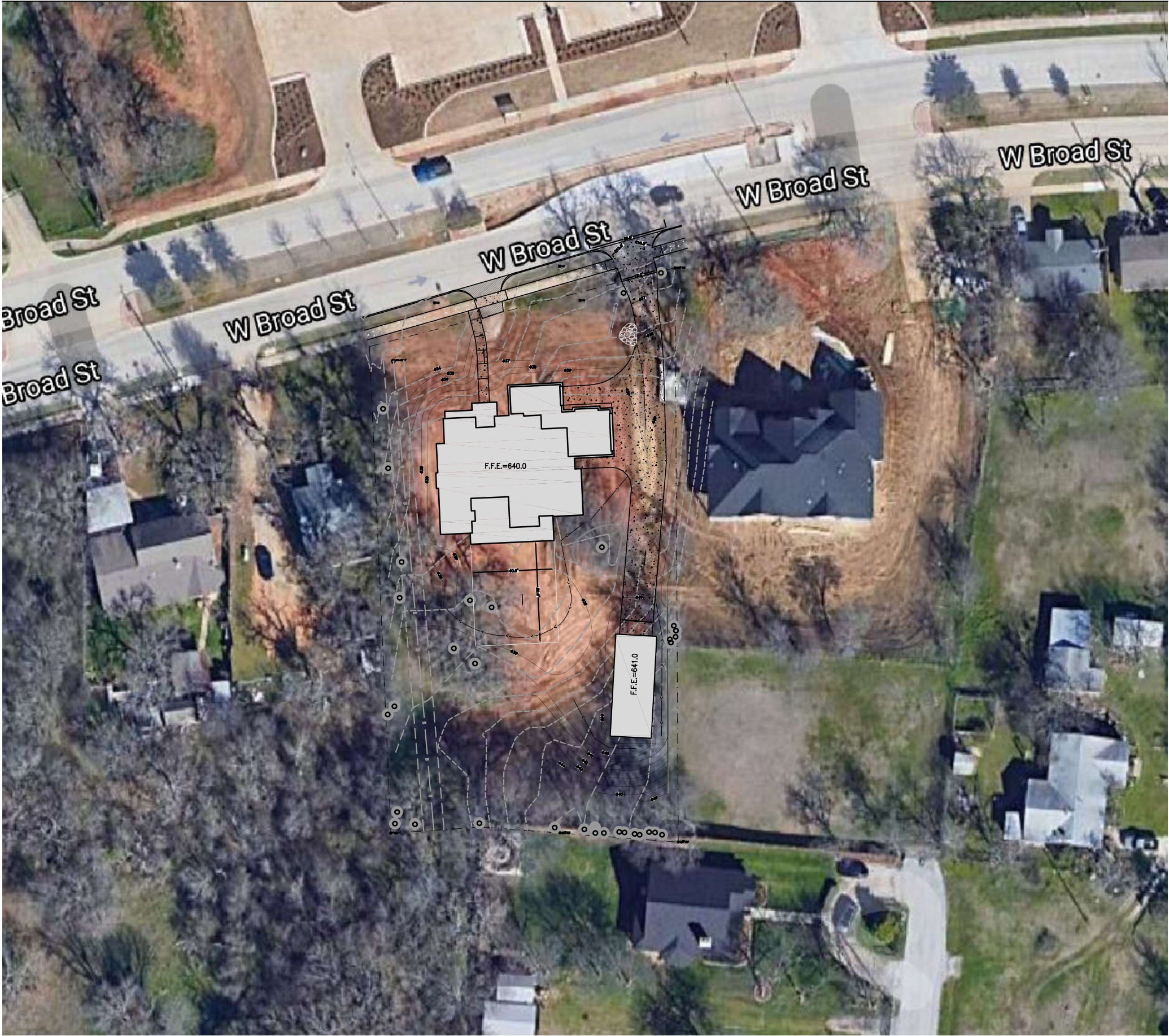
Justin Zuckerbrow

817-944-0440



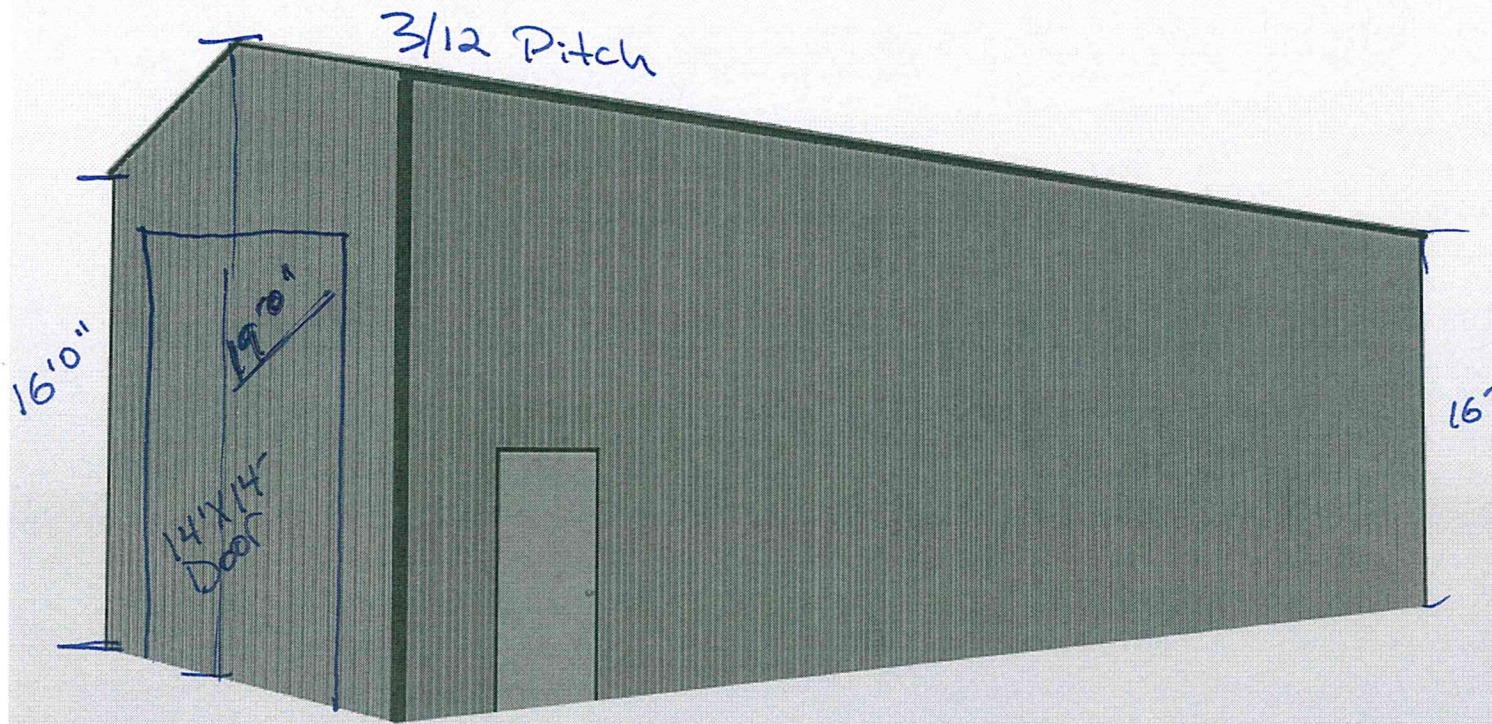
1. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THIS SITE.
2. CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE PROJECT DOCUMENTS.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.
4. APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY, STATE AND COUNTY PRIOR TO EXCAVATION WITHIN ANY RIGHT-OF-WAY, AND PRIOR TO ANY CONSTRUCTION.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS AND TO BE LIABLE FOR DAMAGE AND CONSEQUENT REPAIR TO SUCH IN THE COURSE OF HIS OPERATIONS.
6. THE CONTRACTOR AND/OR BUILDER WILL KEEP THE SUBDIVISION NEAT AND ORDERLY AT ALL TIMES WHILE CONSTRUCTION IS TAKING PLACE. ALL CITY STREETS ADJACENT TO THE DEVELOPMENT SHALL BE KEPT CLEAR OF MUD, ROCK, DIRT, DEBRIS, PAPER AND WASTE MATERIAL AT ALL TIMES. THE PROPER AMOUNT OF INSPECTION SHALL BE CALLED FOR AT THEIR PROPER TIMES, OR ANY AND ALL WORK MAY BE REJECTED.
7. IF ANY WORK OR ACCESS TO ANY ADJOINING PROPERTY IS DONE, IT IS THE FULL RESPONSIBILITY OF THE APPLICANT/OWNER TO OBTAIN PROPER RELEASES FROM ADJOINING PROPERTY OWNERS AND ASSUME ALL LIABILITY FOR ACTION TAKEN DURING ALL CONSTRUCTION.
8. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK AND DRIVEWAYS.
9. THE CONTRACTOR SHALL HAVE ON SITE A SET OF PLANS. THE CONTRACTOR SHALL HAVE ON THE PROJECT AT ALL TIMES, AS HIS AGENT, A COMPETENT SUPERINTENDENT CAPABLE OF READING AND THOROUGHLY UNDERSTANDING THE PLANS AND SPECIFICATIONS, THOROUGHLY EXPERIENCED IN THE TYPE OF WORK BEING PERFORMED, AND WHO SHALL RECEIVE INSTRUCTIONS FROM THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
10. MANHOLE COVERS, VALVE BOXES AND OTHER UTILITY APPURTENANCES SHALL NOT ENCROACH ON SIDEWALKS, CURBS OR PAVEMENT. WHERE CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO PROCEEDING.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
12. THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
13. A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
15. COORDINATION BETWEEN ALL PARTIES IS AN ESSENTIAL PART OF THE CONTRACT.
16. ALL DISTURBED AREAS ARE TO BE RE-SEEDED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE CITY OR COUNTY STANDARDS.
17. PROVIDE TEMPORARY EROSION CONTROL TO CONTAIN ALL SOILS ON SITE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
18. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING THE WHOLE CONSTRUCTION PERIOD BY THE CONTRACTOR.
19. CONTRACTOR TO PROTECT ANY STORM INLETS THAT RECEIVE STORM WATER FROM THE AREA OF CONSTRUCTION FROM SEDIMENT.
20. CONTRACTOR TO TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK AND DRIVEWAYS.
21. THE INSTALLATION OF SILT FENCE FOR CONSTRUCTION IS TO BE INSTALLED BY THE CONTRACTOR AND IN PLACE BEFORE BEGINNING SITE CONSTRUCTION. SIMILAR DEVICES MAY BE USED BY THE CONTRACTOR TO MEET THE REQUIREMENTS OF THE ENGINEER. DEVICES TO BE IN PLACE AS SHOWN ON THE PLANS. ADJUSTMENT OF THE LOCATION BY THE CONTRACTOR MAY BE DONE TO MEET EXISTING FIELD CONDITIONS. ALL CONTROLS ARE TO BE LACED WITHIN OWNER'S PROPERTY. ACCUMULATED SEDIMENT IN BASINS WILL REQUIRE REMOVAL DURING CONSTRUCTION OR AFTER EACH RAIN EVENT AND AT THE END OF CONSTRUCTION. EACH BASIN SHALL BE CHECKED AFTER EACH RAIN EVENT. CONTRACTOR TO MINIMIZE THE AREA DISTURBED BY CONSTRUCTION ACTIVITIES AT ANY ONE TIME AND TO PROMPTLY REVEGETATE (OR MECHANICALLY STABILIZE) AREA DISTURBED BY CONSTRUCTION ACTIVITY.
22. SILT FENCE SHALL BE PLACED AROUND ALL SOIL SPOIL PILES TO PREVENT EROSION.





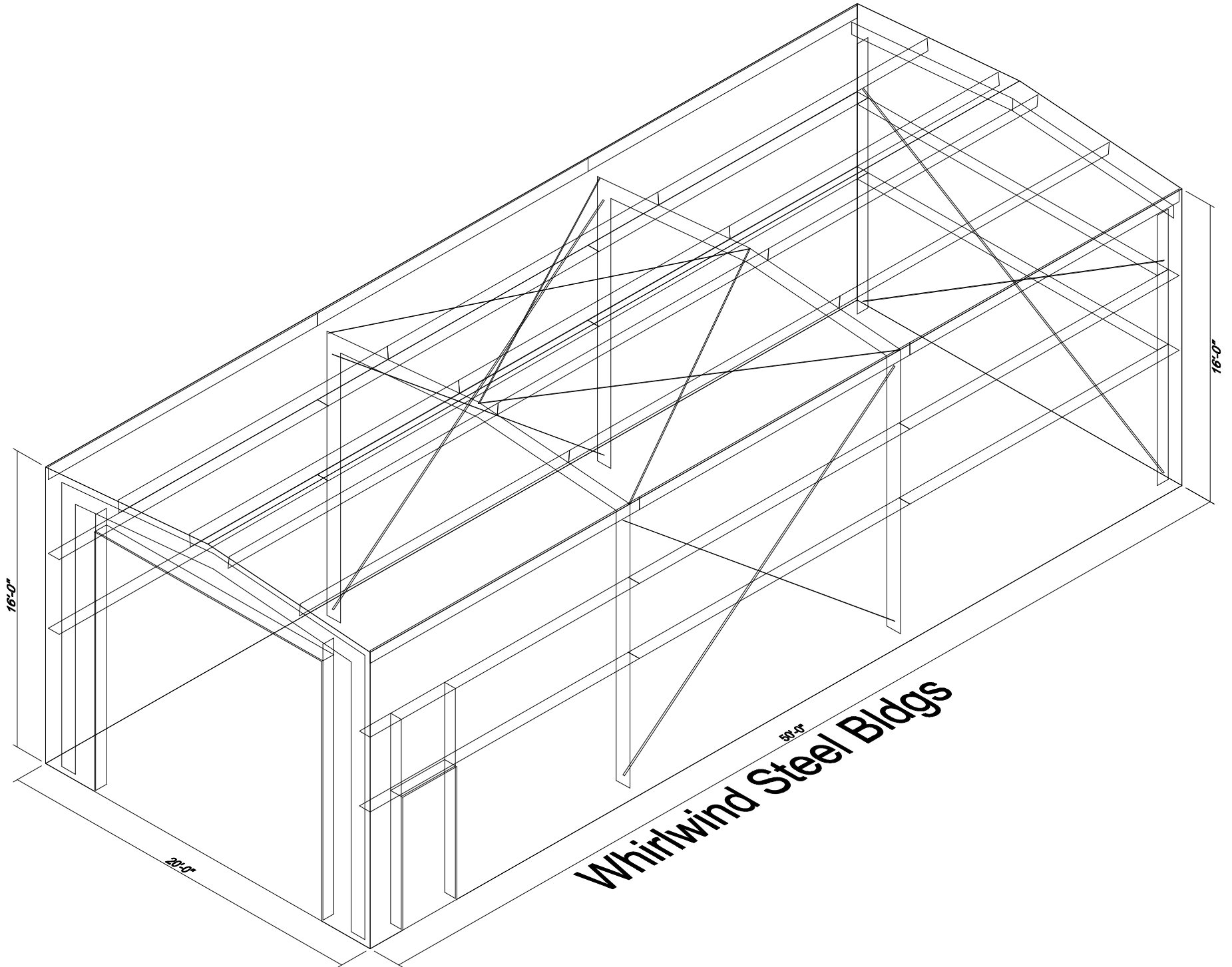


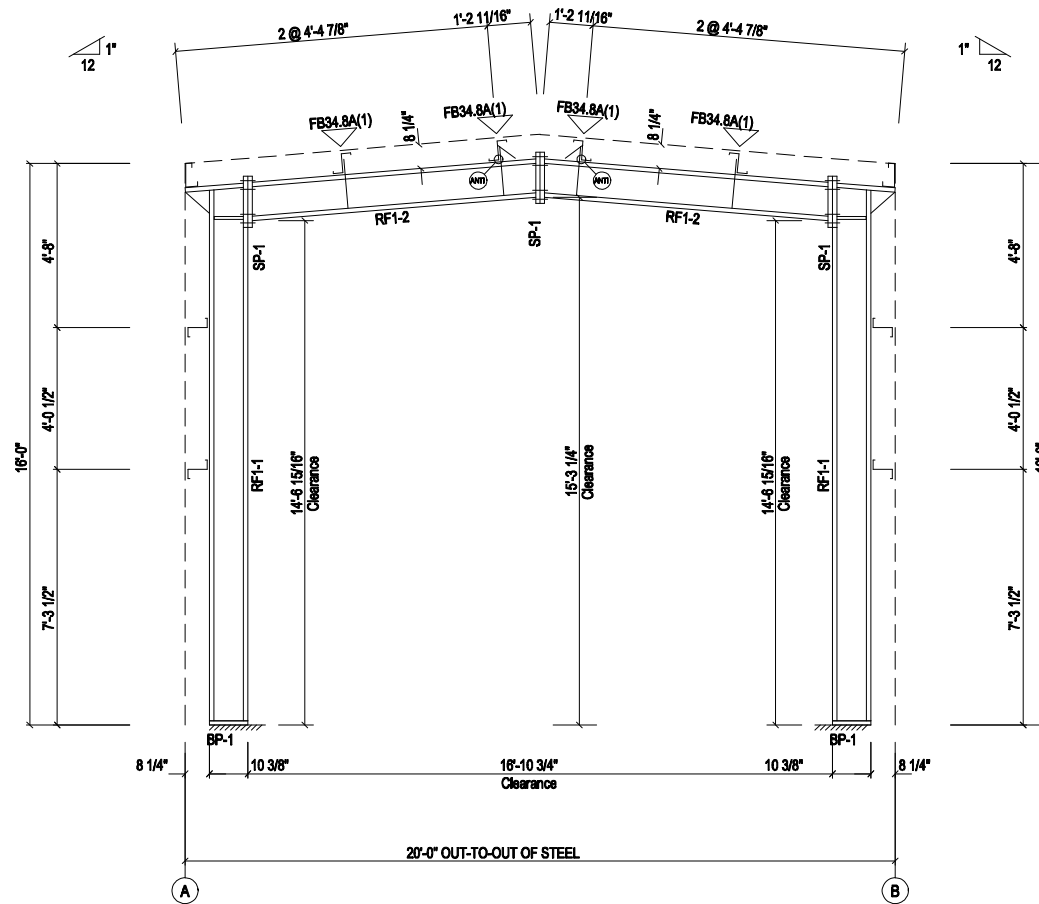
611 West Broad street



20' W x 50' L x 16' H

Approximate center clearance: 18' 6"





RIGID FRAME ELEVATION: FRAME LINE 1

Whirlwind Steel Bldgs				
PROJECT	Mansfield	RIGID FRAME ELEVATION		
ID	BG20-Mansfield-01	DESIGN:	DRAFT:	CHECK:
PROJECT	811 West Broad ST	DATE: 8/12/20	SHEET	OF
ADDRESS	Mansfield, TX 76063			