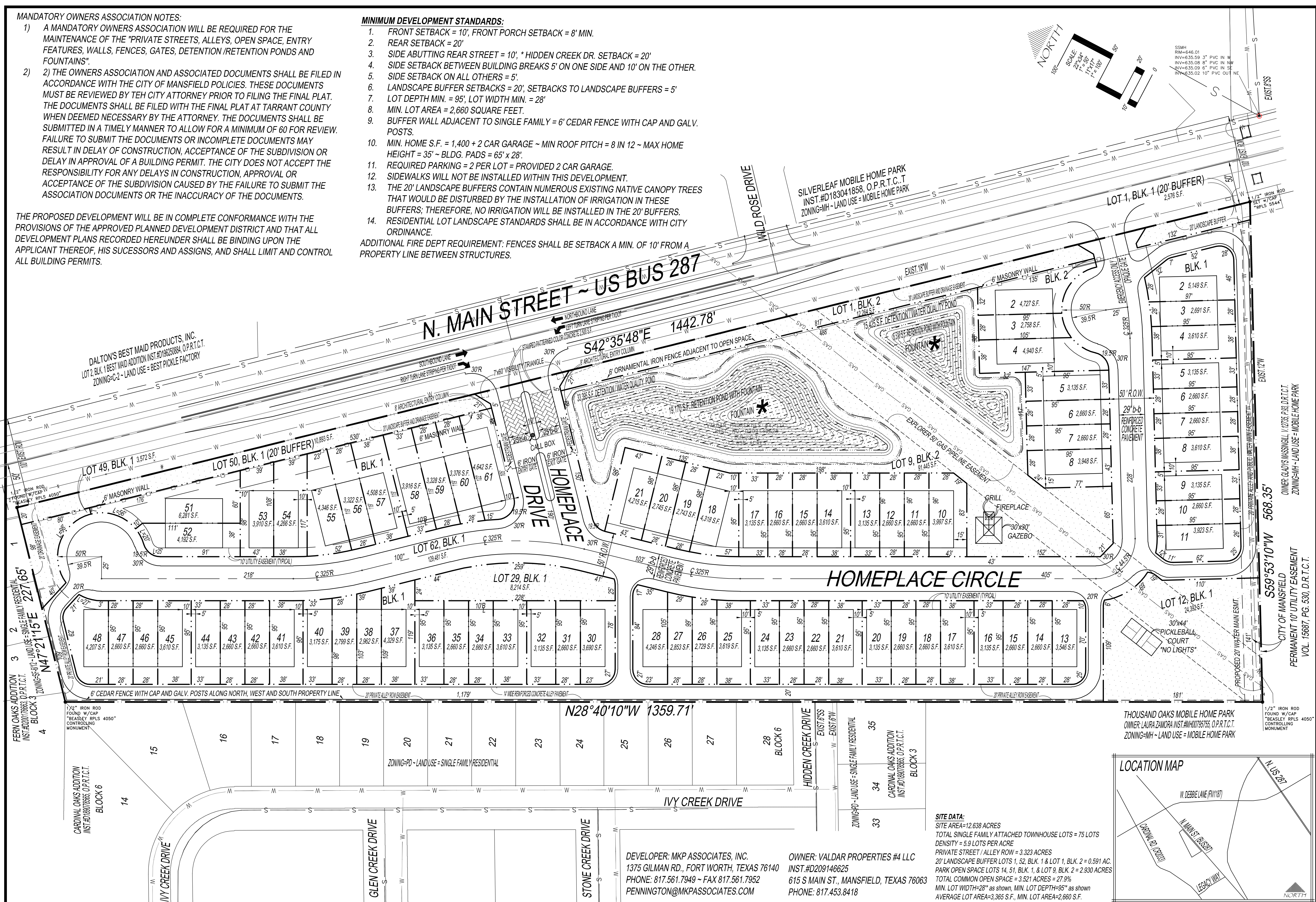


- 1) A MANDATORY OWNERS ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE "PRIVATE STREETS, ALLEYS, OPEN SPACE, ENTRY FEATURES, WALLS, FENCES, GATES, DETENTION /RETENTION PONDS AND FOUNTAINS".
- 2) 2) THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

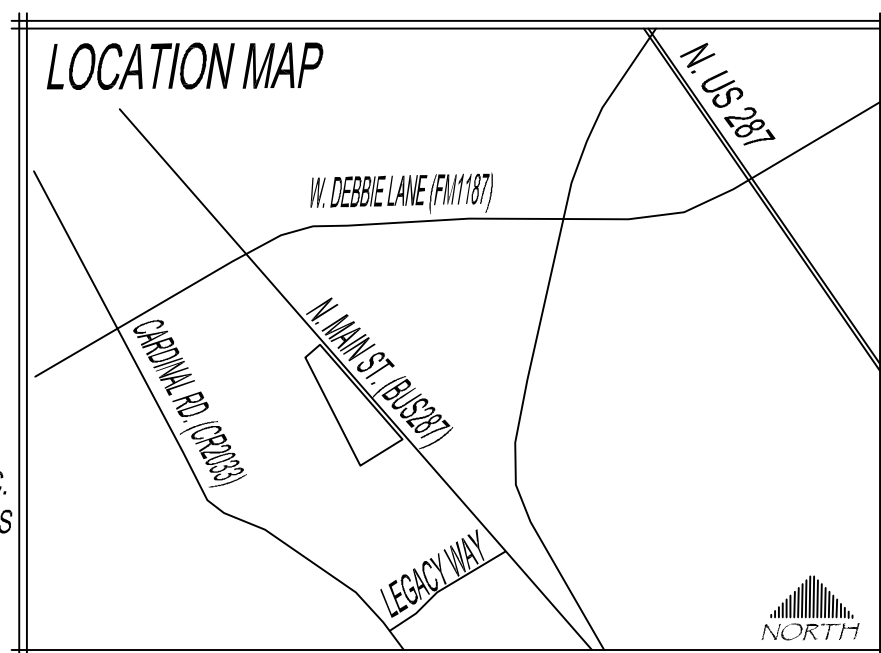
MINIMUM DEVELOPMENT STANDARDS:

1. FRONT SETBACK = 10', FRONT PORCH SETBACK = 8' MIN.
2. REAR SETBACK = 20'
3. SIDE ABUTTING REAR STREET = 10', * HIDDEN CREEK DR. SETBACK = 20'
4. SIDE SETBACK BETWEEN BUILDING BREAKS 5' ON ONE SIDE AND 10' ON THE OTHER.
5. SIDE SETBACK ON ALL OTHERS = 5'.
6. LANDSCAPE BUFFER SETBACKS = 20', SETBACKS TO LANDSCAPE BUFFERS = 5'
7. LOT DEPTH MIN. = 95', LOT WIDTH MIN. = 28'
8. MIN. LOT AREA = 2,660 SQUARE FEET.
9. BUFFER WALL ADJACENT TO SINGLE FAMILY = 6' CEDAR FENCE WITH CAP AND GALV. POSTS.
10. MIN. HOME S.F. = 1,400 + 2 CAR GARAGE ~ MIN ROOF PITCH = 8 IN 12 ~ MAX HOME HEIGHT = 35' ~ BLDG. PADS = 65' x 28'.
11. REQUIRED PARKING = 2 PER LOT = PROVIDED 2 CAR GARAGE.
12. SIDEWALKS WILL NOT BE INSTALLED WITHIN THIS DEVELOPMENT.
13. THE 20' LANDSCAPE BUFFERS CONTAIN NUMEROUS EXISTING NATIVE CANOPY TREES THAT WOULD BE DISTURBED BY THE INSTALLATION OF IRRIGATION IN THESE BUFFERS; THEREFORE, NO IRRIGATION WILL BE INSTALLED IN THE 20' BUFFERS.
14. RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.

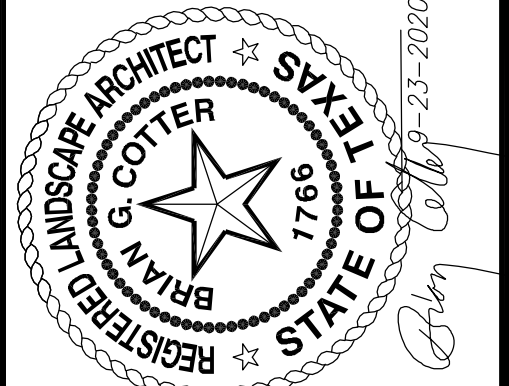
ADDITIONAL FIRE DEPT REQUIREMENT: FENCES SHALL BE SETBACK A MIN. OF 10' FROM A PROPERTY LINE BETWEEN STRUCTURES.



SITE DATA:
 SITE AREA=12.638 ACRES
 TOTAL SINGLE FAMILY ATTACHED TOWNHOUSE LOTS = 75 LOTS
 DENSITY = 5.9 LOTS PER ACRE
 PRIVATE STREET / ALLEY ROW = 3.323 ACRES
 20' LANDSCAPE BUFFER LOTS 1, 52, BLK. 1 & LOT 1, BLK. 2 = 0.591 AC.
 PARK OPEN SPACE LOTS 14, 51, BLK. 1, & LOT 9, BLK. 2 = 2.930 ACRES
 TOTAL COMMON OPEN SPACE = 3.521 ACRES = 27.9%
 MIN. LOT WIDTH=28' as shown, MIN. LOT DEPTH=95' as shown
 AVERAGE LOT AREA=3.365 S.F., MIN. LOT AREA=2.660 S.F.



COTTER ASSOCIATES, LLC
 LAND DEVELOPMENT DESIGN CONSULTANTS
 LAND PLANNING • PROJECT MANAGEMENT • LANDSCAPE ARCHITECTURE
 17703 North Peyco Drive, Suite Q, Arlington, Texas 76011
 Phone: (817) 919-4475 • Email: CALLCOTTER@GSCGLOBAL.NET
 P.O. Box 1373, Arch. Reg. Board FIRM REG. # BR-1373



IGN: BGC
WN: DJC
: 5-26-2020 9-23-2020
PROJECT: PD.dwg

CHARLESTON
75 LOT SINGLE-FAMILY ATTACHED PD DEVELOPMENT PLAN
12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267
1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS