

**EXHIBIT B-PAGE 2 OF 2: FOR ZC#20-012
PLANNED DEVELOPMENT REGULATIONS**

Base Zoning: SF-7.5/12, Single-Family Residential District

Permitted Uses: Single family detached dwelling with detached garage/accessory dwelling.

Area, Setback and Height Regulations:

- Minimum Lot Width - 75'
- Minimum Lot Depth - 150'
- Minimum Lot Area – 11,250 s.f.
- Minimum Front Setback (principal building) - 25'*
- Minimum Side Setback (principal building) - 10'* exterior, 5' interior
- Minimum Rear Setback (principal building) - 15'
- Minimum Side Setback (detached garage) – 5'
- Minimum Rear Setback (detached garage) – 10'
- Maximum Lot Coverage - 45%
- Maximum Height - The height of detached garage and detached accessory dwelling shall not exceed 25' or the height of the principal building.
- Maximum Height of principal building – 35'.
- Maximum Area of the Accessory Structure – 1100 s.f. Foundation/1700 s.f. Under Roof.
- Minimum Residential Floor Area of Primary Building – 1500 s.f.

*Porches are allowed to encroach into the setbacks shown on the development plan

Architectural Requirements:

- Exterior reconstruction and remodel of the principal building must be compatible with the historic character of the building.
- Exterior facade of the principal building to be vinyl siding with cedar posts. Cementitious siding shall be used at such time that the siding is replaced.
- Exterior façade of the proposed building shall be cementitious siding with cedar posts.
- Roof of the proposed building shall have a hip form – with dimensional asphalt shingles.
- The garage door shall be carriage-style.
- Exterior paint colors of the proposed building and principal building will be compatible with each other.

Accessory Dwelling Requirements:

- Occupancy of the accessory dwelling shall be limited to domestic servants or caretakers employed on the premises, temporary guests, or family members of the owner of the premises. Guests may occupy such dwelling no more than 90 consecutive days in any twelve-month period.
- No additional accessory structures will be allowed on the property.
- The accessory dwelling shall not be rented as an apartment, used as a separate domicile, used as a vacation rental or other such lodging.
- All utilities must be on the same meter as the main residential building
- No separate driveway approach shall be permitted

Parking Requirements:

- Minimum off-street parking - 2 parking spaces

Landscaping Requirements:

- No additional trees or shrubs will be required for this lot with a pre-existing principal building

Compliance with PD Regulations: The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.



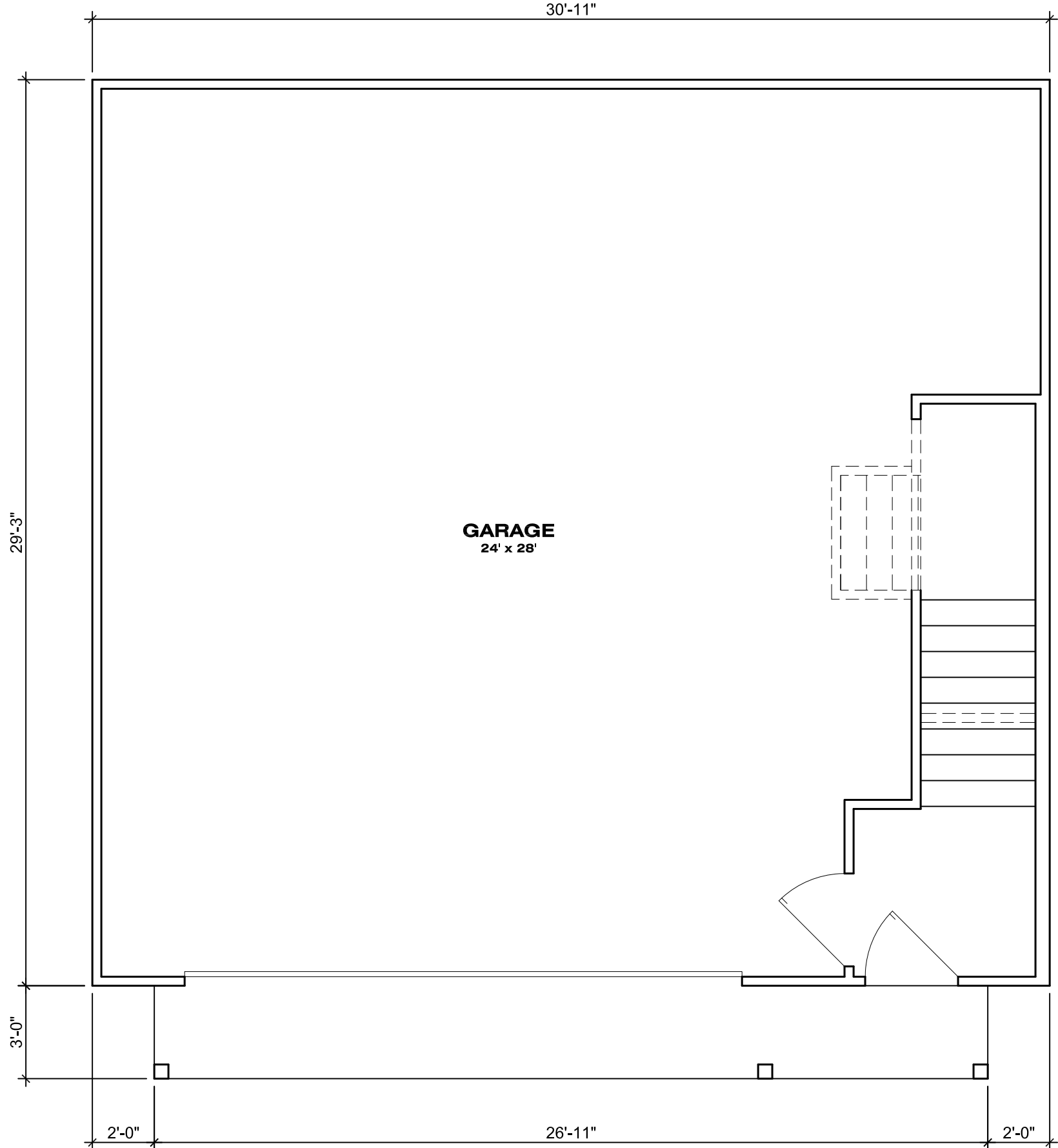
REPRESENTATIVE PHOTO - CARRIAGE-STYLE GARAGE DOOR



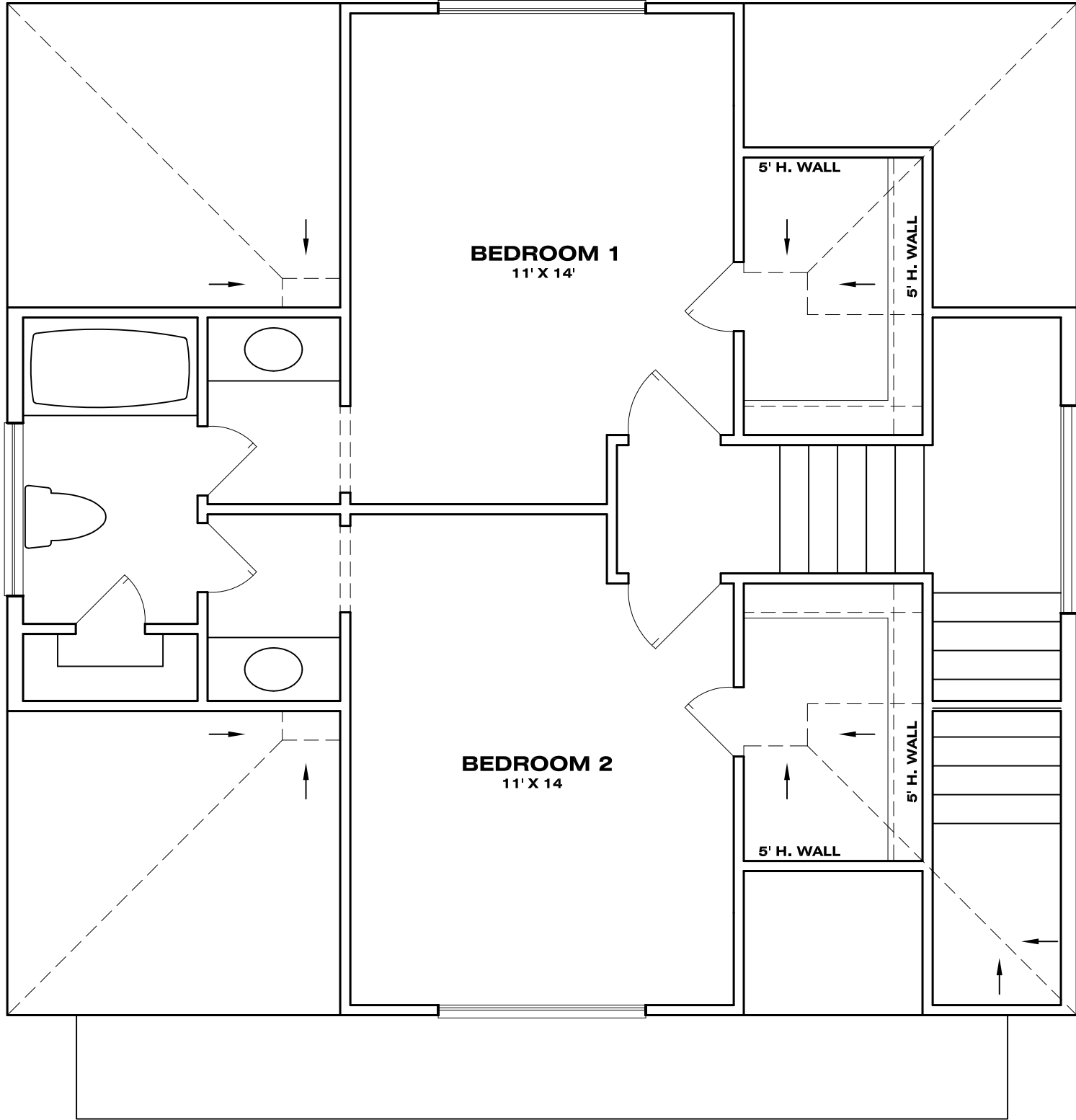
SIDE ELEVATION- PRIMARY RESIDENCE



FRONT ELEVATION- PRIMARY RESIDENCE



FIRST FLOOR PLAN
SCALE:1/4"=1'-0"



SECOND FLOOR PLAN
SCALE:1/4"=1'-0"



FRONT ELEVATION
SCALE:1/4"=1'-0" CEMENTITIOUS SIDING AND TRIM, TYP.



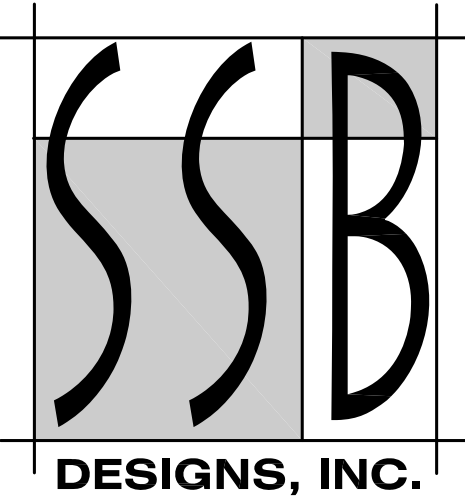
RIGHT ELEVATION
SCALE:1/4"=1'-0"



REAR ELEVATION
SCALE:1/4"=1'-0"



LEFT ELEVATION
SCALE:1/4"=1'-0"



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PENDERGAST RESIDENCE
106 S. 2ND ST. MANSFIELD, TX
EXHIBIT C- ZC #20-012

PROJECT NUMBER
PENDERGAST

DATE: 8-26-20

REVISIONS:

PLAN NUMBER:
PENDERGAST

SQ. FOOTAGE

LIVING - 2ND FLR.	551
PORCHES	81
GARAGE	904
FOUNDATION	985
COVERED	1536

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