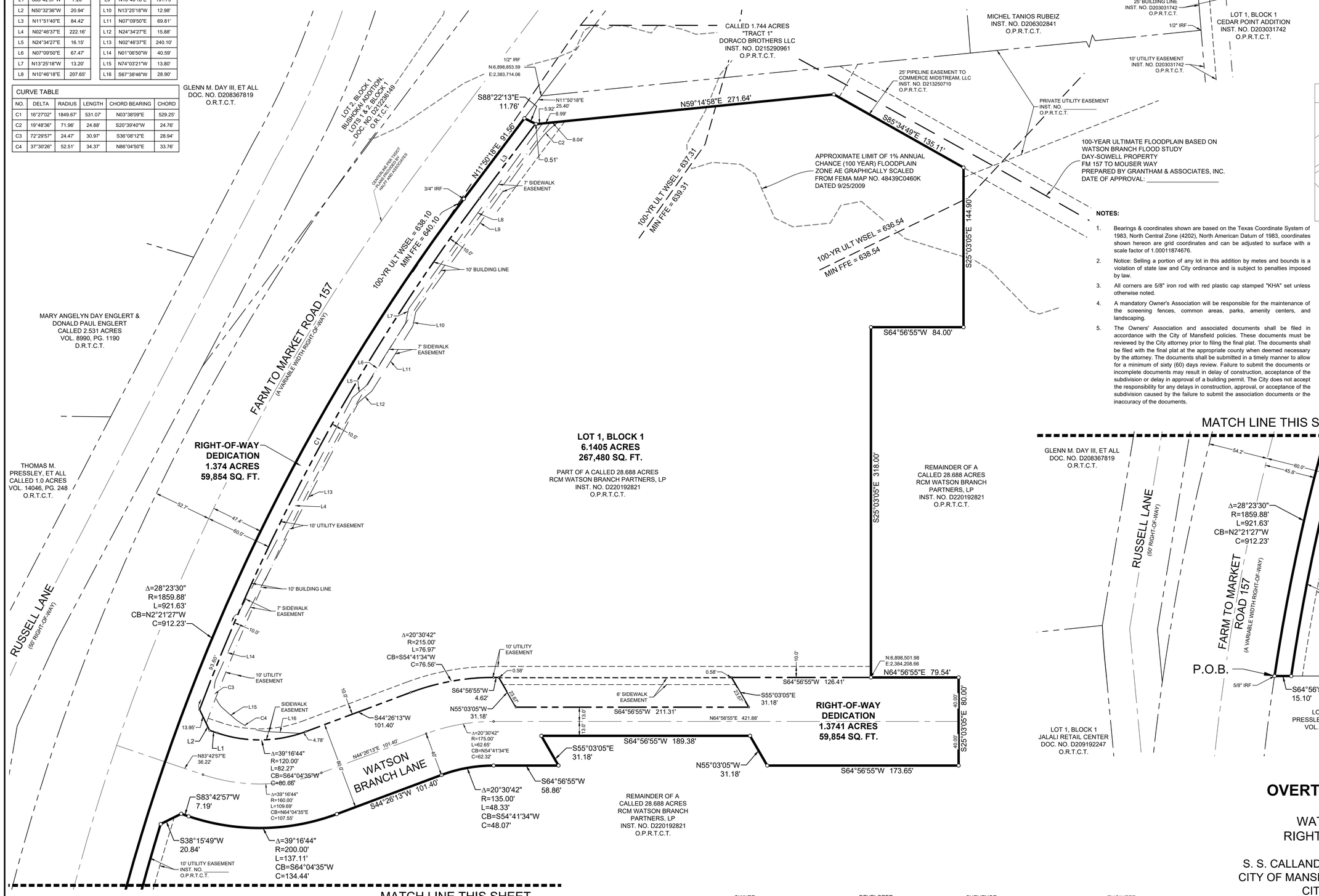
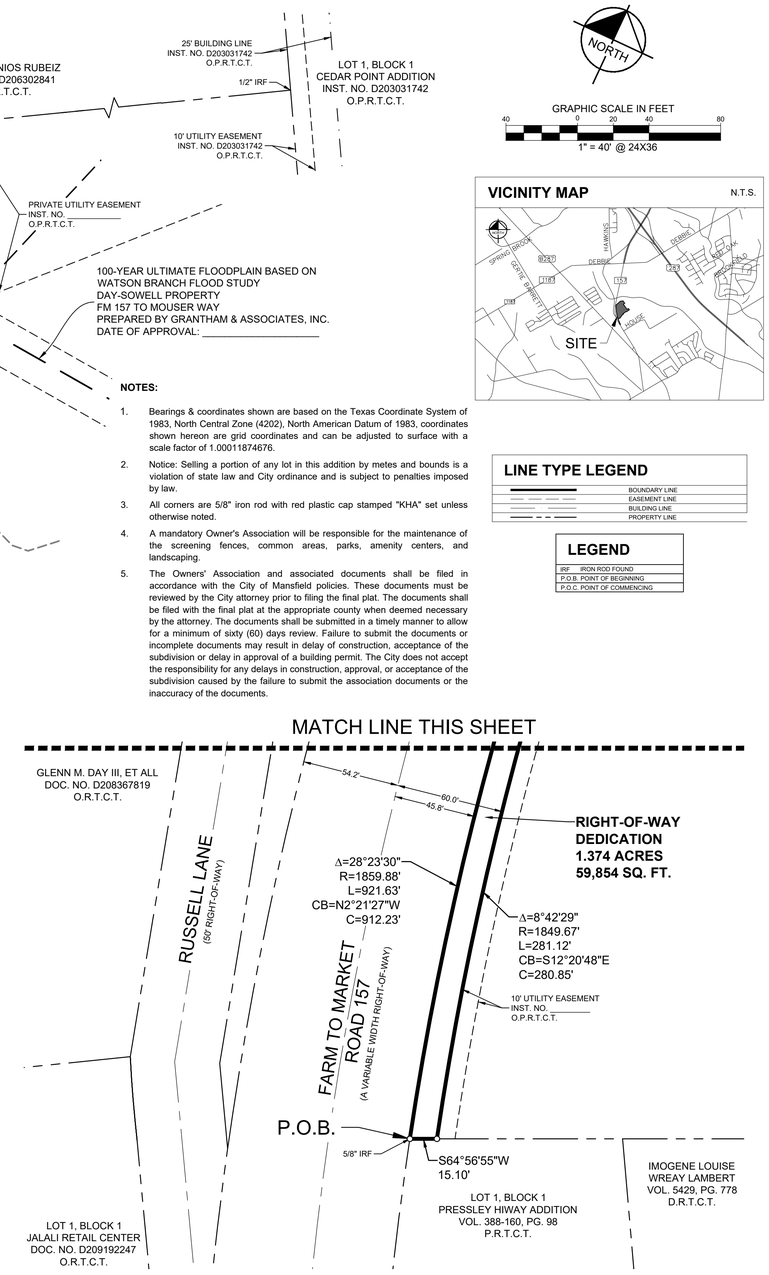
LINE TABLE		
NO.	BEARING	LENGTH
L1	S83°42'57"W	7.20'
L2	N50°32'36"W	20.94'
L3	N11°51'40"E	84.42'
L4	N02°46'37"E	222.16'
L5	N24°34'27"E	16.15'
L6	N07°09'50"E	67.47'
L7	N13°25'18"W	13.20'
L8	N10°46'18"E	207.65'

LINE TABLE		
NO.	BEARING	LENGTH
L9	N10°46'18"E	191.73'
L10	N13°25'18"W	12.98'
L11	N07°09'50"E	69.81'
L12	N24°34'27"E	15.88'
L13	N02°46'37"E	240.10'
L14	N01°06'50"W	40.59'
L15	N74°03'21"W	13.80'
L16	S67°38'46"W	28.90'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	16°27'02"	1849.67'	531.07'	N03°38'09"E	529.25'
C2	19°48'36"	71.96'	24.88'	S20°39'40"W	24.76'
C3	72°29'57"	24.47'	30.97'	S36°08'12"E	28.94'
C4	37°30'26"	52.51'	34.37'	N86°04'50"E	33.76'





GRAPHIC SCALE IN FEET

40 0 20 40 80

1" = 40' @ 24X36

VICINITY MAP

N.T.S.

LINE TYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE
	BUILDING LINE
	PROPERTY LINE

LEGEND

IRF	IRON ROD FOUND
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING

NOTES:

1. Bearings & coordinates shown are based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983, coordinates shown hereon are grid coordinates and can be adjusted to surface with a scale factor of 1.00011874676.
2. Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.
3. All corners are 5/8" iron rod with red plastic cap stamped "KHA" set unless otherwise noted.
4. A mandatory Owner's Association will be responsible for the maintenance of the screening fences, common areas, parks, amenity centers, and landscaping.
5. The Owners' Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City attorney prior to filing the final plat. The documents shall be filed with the final plat at the appropriate county when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval, or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

FINAL PLAT
OVERTURE AT MANSFIELD
LOT 1, BLOCK 1
WATSON BRANCH LANE
RIGHT-OF-WAY DEDICATION
7.5146 ACRES
S. S. CALLANDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
CITY FILE NO. SD#20-046

OWNER:
RCM WATSON BRANCH PARTNERS, LP
909 LAKE CAROLYN PARKWAY, SUITE 150
IRVING, TX 75039
CONTACT: TIMOTHY S. COLTART
PHONE: 469-533-4100

DEVELOPER:
GREYSTAR
600 EAST LAS COLINAS BOULEVARD
IRVING, TX 75039
CONTACT: ANDREW ORD
AORD@GREYSTAR.COM
PHONE: 972-444-2197

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
CONTACT: DAVID DE WEIRDT, R.P.L.S.
EMAIL: DAVID.DEWEIRDT@KIMLEY-HORN.COM
PHONE: 972-770-1300

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
CONTACT: JUDD MULLINIX
EMAIL: JUDD.MULLINIX@KIMLEY-HORN.COM
PHONE: 972-770-1300

THIS PLAT FILED IN INST. NO. D_____, DATE_____

Kimley»Horn
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240
FIRM # 10115500
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 40'	MRW	DJD	OCT. 2020	067771668	1 OF 2

DWG NAME: \\DALFP01\DATA\PROJECT\DAL_SURVEY\067771668-GREYSTAR MANSFIELD\DWG\MANSFIELD GREYSTAR_FP.DWG PLOTTED BY\PATRICK, DAVID 10/12/2020 5:49 PM LAST SAVED 10/12/2020 5:48 PM

CONDITIONS OF DRAINAGE ACCEPTANCE

This plat is proposed by the owners of properties described herein (hereinafter referred to as "Property Owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns.

No obstruction to the flow of stormwater run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by The City of Mansfield. Provided, however, it is understood that in the event it becomes necessary for The City of Mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, The City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The Property Owners will be responsible for maintaining said drainage easement. the property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. The City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the Property Owners. if at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, The City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred, or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing.

Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the occurrence of these natural phenomena or the failure of any facilities within said drainage easement. further, The City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

AFTER RECORDING, RETURN TO CITY OF MANSFIELD
1200 E. BROAD STREET, MANSFIELD, TX 76063

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS RCM WATSON BRANCH PARTNERS, LP, acting by and through the undersigned, is the sole owner of a 7.5146 acre tract of land situated in the S. S. Callendar Survey, Abstract No. 359, and being a portion of that called 28.688 acre tract of land described in the Special Warranty Deed with Vendor's Lien to RCM WATSON BRANCH PARTNERS, LP recorded in Instrument No. D220192821, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod found for the northwest corner of Lot 1, Block 1 of Pressley Hiway Addition, an addition to the City of Mansfield, Tarrant County, Texas according to the plat thereof recorded in Volume 160, Page 98 of the Plat Records of Tarrant County Texas and being in the east right-of-way line of Farm to Market Road 157 (a 100-foot wide right-of-way at this point) same being the southwest corner of said 28.688 acre tract and being at the beginning of a curve to the right having a central angle of 28°23'30", a radius of 1,859.88 feet, a chord bearing and distance of North 2°21'27" West, 912.23 feet;

THENCE along said east right-of-way line and the west line of said 28.688 acre tract, the following courses and distances:

In a northwesterly direction, with said curve to the right, an arc distance of 921.63 feet to a 3/4" iron rod found for corner;

North 11°50'18" East, a distance of 91.56 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the southwest corner of an existing Pipeline Easement to Commerce Midstream, LLC, recorded in Instrument No. D213250710, Official Public Records, Tarrant County, Texas from which a 1/2" iron rod found for the northwest corner of said 28.688 acre tract bears North 11°50'18" East, a distance of 25.40 feet;

THENCE with the south line of said Pipeline Easement and over and across said 28.688 acre tract, the following courses and distances:

South 88°22'13" East, a distance of 11.76 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 59°14'58" East, a distance of 271.64 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 85°34'49" East, a distance of 135.11 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

THENCE continuing over and across said 28.688 acre tract, the following courses and distances:

South 25°03'05" East, a distance of 144.90 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 64°56'55" West, a distance of 84.00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 25°03'05" East, a distance of 318.00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 64°56'55" East, a distance of 79.54 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 25°03'05" East, a distance of 80.00 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 64°56'55" West, a distance of 173.65 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

North 55°03'05" West, a distance of 31.18 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 64°56'55" West, a distance of 189.38 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 55°03'05" East, a distance of 31.18 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 64°56'55" West, a distance of 58.86 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the left having a central angle of 20°30'42", a radius of 135.00 feet, a chord bearing and distance of South 54°41'34" West, 48.07 feet;

In a southwesterly direction, with said curve to the left, an arc distance of 48.33 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 44°26'13" West, a distance of 101.40 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 39°16'44", a radius of 200.00 feet, a chord bearing and distance of South 64°04'35" West, 134.44 feet;

In a southwesterly direction, with said curve to the right, an arc distance of 137.11 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 83°42'57" West, a distance of 7.19 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner;

South 38°15'49" West, a distance of 20.84 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set at the beginning of a non-tangent curve to the left having a central angle of 8°42'29", a radius of 1849.67 feet, a chord bearing and distance of South 12°20'48" East, 280.85 feet;

In a southeasterly direction, with said curve to the left, an arc distance of 281.12 feet to a 5/8" iron rod with red plastic cap stamped "KHA" set for corner in the common line of said 28.688 acre tract and said Lot 1, Block 1 of Pressley Hiway Addition;

THENCE with said common line, South 64°56'55" West, a distance of 15.10 feet to the **POINT OF BEGINNING** and containing 7.5146 acres or 327,334 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

OWNER'S DEDICATION

STATE OF TEXAS §
COUNTY OF TARRANT §

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, **RCM WATSON BRANCH PARTNERS, LP** being the owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above described property as **LOT 1, BLOCK 1, OVERTURE AT MANSFIELD**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

By:

_____
Owner

STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2020.

_____
Notary Public, State of _____

_____
Printed Name

SURVEYOR'S STATEMENT:

This is to certify that I, David J. De Weirdt, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

_____ _____
David J. De Weirdt Date
Registered Professional Land Surveyor No. 5066
Kimley-Horn and Associates, Inc.
13455 Noel Road
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Ph. 972-770-1300
david.deweirdt@kimley-horn.com

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared David J. De Weirdt, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2020.

_____
Notary Public, State of Texas

_____
Printed Name

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY:

_____ _____
P & Z COMMISSION CHAIRMAN DATE

ATTEST:

_____ _____
P & Z COMMISSION SECRETARY DATE

OWNER:
RCM WATSON BRANCH PARTNERS, LP
909 LAKE CAROLYN PARKWAY, SUITE 150
IRVING, TX 75039
CONTACT: TIMOTHY S. COLTART
PHONE: 469-533-4100

DEVELOPER:
GREYSTAR
600 EAST LAS COLINAS BOULEVARD
IRVING, TX 75039
CONTACT: ANDREW ORD
AORD@GREYSTAR.COM
PHONE: 972-444-2197

SURVEYOR:
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TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
CONTACT: DAVID DE WEIRDT, R.P.L.S.
EMAIL: DAVID.DEWEIRDT@KIMLEY-HORN.COM
PHONE: 972-770-1300

ENGINEER:
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TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
CONTACT: JUDD MULLINIX
EMAIL: JUDD.MULLINIX@KIMLEY-HORN.COM
PHONE: 972-770-1300

THIS PLAT FILED IN INST. NO. D_____, DATE_____

FINAL PLAT
OVERTURE AT MANSFIELD
LOT 1, BLOCK 1
WATSON BRANCH LANE
RIGHT-OF-WAY DEDICATION
7.5146 ACRES
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CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
CITY FILE NO. SD#20-046

Kimley»Horn
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	MRW	DJD	SEP. 2020	067771668	2 OF 2

DWG NAME: \\DALFPS1\DATA\PROJECTDAL_SURVEY\067771668-GREYSTAR MANSFIELD\DWG\MANSFILED GREYSTAR_FP.DWG PLOTTED BYPATRICK, DAVID 10/12/2020 5:48 PM LAST SAVED 10/12/2020 5:48 PM