

# Brooklyn Heights

Exhibit C.0

*A missing middle housing addition to the Historic Original Town of Mansfield*



ZC#20-013



PURPOSE AND INTENT: THE PURPOSE OF THIS DEVELOPMENT IS TO INTEGRATE MULTIPLE INHABITABLE DWELLINGS INTO THE ORIGINAL TOWN OF MANSFIELD AREA. THIS DESIRABLE AREA IS IN DESPERATE NEED OF MORE HOUSING OPTIONS. THE INTENT OF THIS DEVELOPMENT IS TO CREATE MULTI-DWELLING STRUCTURES THAT LOOK LIKE SINGLE FAMILY HOMES. WALKABILITY IS A KEY COMPONENT OF ANY DOWN TOWN AREA AND THESE RESIDENTS WILL HAVE A SHORT WALK TO ACCESS THEIR DINING AND SHOPPING NEEDS. THIS DEVELOPMENT IS INTENDED TO BE HIGH QUALITY, BOTH IN AESTHETICS AND COMMUNITY VALUE.

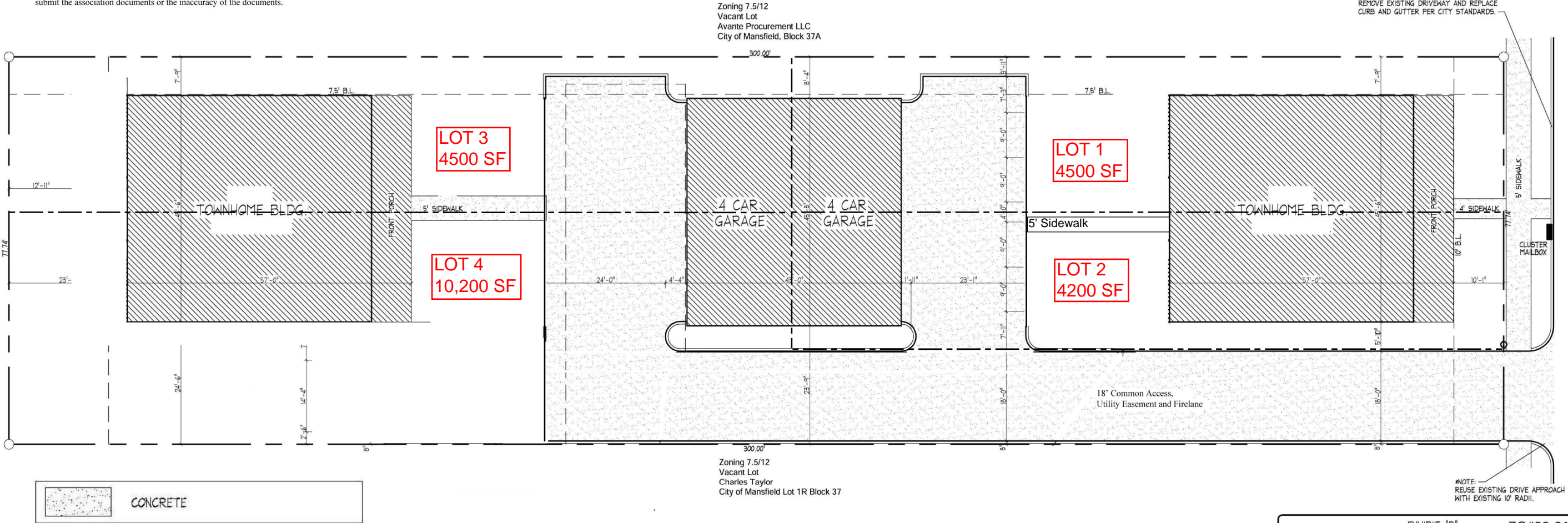
DEVELOPMENT STANDARDS	
MINIMUM LOT AREA PER DWELLING UNIT (SF)	4150
MINIMUM FLOOR AREA PER UNIT (SF)	1800
MAXIMUM LOT COVERAGE	65%
MINIMUM LOT WIDTH (FEET)	27
MINIMUM LOT DEPTH (FEET)	140
MINIMUM FRONT YARD (FEET)	10
MINIMUM REAR YARD (FEET)	20
MINIMUM SIDE YARD (FEET)	5&0
MAXIMUM HEIGHT (FEET)	35
MAXIMUM GARAGE HEIGHT (FEET)	26
MINIMUM FRONT PORCH AREA UNDER ROOF (SF)	150
MINIMUM GARAGE PARKING PER UNIT	2
MAXIMUM DENSITY (UNITS/ACRE)	8

NOTE:  
THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREINAFTER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS, AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

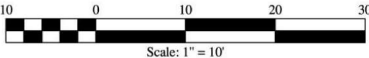
- (1) A mandatory owners association will be responsible for the maintenance of the Common Access Driveway and Common Interior Entryways.  
(2) The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. These documents must be reviewed by the City Attorney prior to filing the final plat. The documents shall be filed with the final plat at Tarrant County when deemed necessary by the attorney. The documents shall be submitted in a timely manner to allow for a minimum of 60 days review. Failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the subdivision or delay in approval of a building permit. The City does not accept the responsibility for any delays in construction, approval or acceptance of the subdivision caused by the failure to submit the association documents or the inaccuracy of the documents.

Zoning PD - Single Family - Shanesha Powers  
Manchester Heights Lot 2 Block 2

Zoning PD - Single Family - Jesse Pinkerton  
Manchester Heights Lot 1 Block 2



Note: The Director of Planning or his designee may allow minor changes of "form" and "site" but not uses so long as they are keeping with the spirit and intent of the ordinances and exhibits herein. The Administrative Official or designee may refer any suggested minor changes in question for any reason to the zoning commission for review and recommendation. This is not to be used or construed as a substitute for a substantive change to the "form" or "site" but the intent is to allow for minor issues that arise during the permitting/construction phase to be addressed in a timely manner.



## ARCHITECTURAL SITE PLAN

SCALE 1" = 10'

EXHIBIT "B"  
Concept Plan  
Brooklyn Heights  
A PORTION OF BLOCK 37  
ORIGINAL TOWN OF MANSFIELD  
CITY OF MANSFIELD, TARRANT COUNTY, TX  
1 Lot, 0.535 Acres  
CURRENT ZONING - SF-7.5/12  
BEN HARTMAN, 500 ALVARADO ST., MANSFIELD, TX 76063, 817-446-4628, ~ DEVELOPER/BUILDER ~ Email: benhartman62@gmail.com  
LINDBERGH DESIGNS, 100 KINGS ROW DR., MANSFIELD, TX 76063, 817-283-4800 ~ DESIGN FIRM  
AUGUST 18, 2020

ZC#20-013

DATE: 29 JUN 20  
REV. 17 AUG 20

PLAN: TH 4331  
S1

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Job Location:  
Hartman Project  
505 W. Kimball St.  
Mansfield, TX 76063  
A Portion of Block 37  
Original Town of Mansfield

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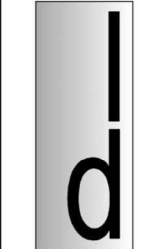
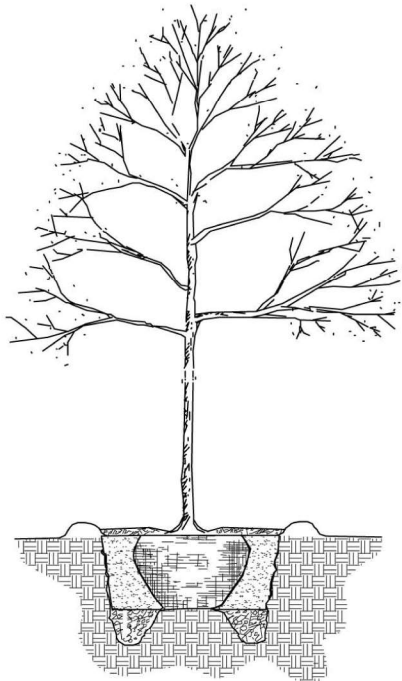




Exhibit D - Concept Landscape Plan



DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES.

STAKE TREE ONLY AT THE APPROVAL OF THE LANDSCAPE ARCHITECT.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

4 INCH DEPTH OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH NEED FREE.

MULCH RING TO BE 6 INCH DIAMETER MIN., 8 INCH DIAMETER PREFERRED.

TAMP SOIL AROUND ROOT BALL FIRMLY WITH FOOT PRESSURE TO PREVENT SHIFTING.

TREE PIT TO BE 3X WIDER THAN ROOT BALL. SCARIFY AND ANGLE SIDES OF THE HOLE.

SET TOP OF ROOT BALL 1 INCH ABOVE FINISH GRADE.

PLACE BOTTOM OF ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF ROOT BALL.

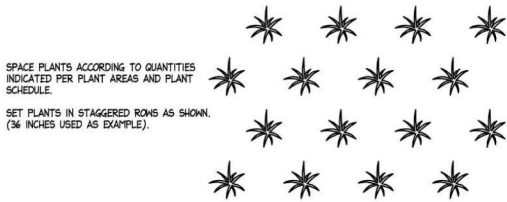
BACKFILL HOLE WITH EXISTING SOIL.

AMENDMENTS SHALL BE ADDED TO SOIL BASED ON RESULTS OF SOIL TESTS.

THE TOP OF ROOT BALL SHALL NOT BE COVERED WITH SOIL.

PROVIDE DRAINAGE IN PLANTING PIT AS DEEMED NECESSARY BY A SOIL PERCOLATION TEST.

TREE PLANTING DETAIL  
NOT TO SCALE



SPACE PLANTS ACCORDING TO QUANTITIES INDICATED PER PLANT AREAS AND PLANT SCHEDULE.

SET PLANTS IN STAGGERED ROWS AS SHOWN (3/4 INCHES USED AS EXAMPLE).

PLANT SPACING DETAIL  
NOT TO SCALE

PROPOSED TREES				
SYMBOL	KEY	CANOPY TREE Common Name (Botanical Name )	SIZE	SPACING
		EXISTING TREES (Labeled as noted )	3' Cal.	As Scaled
	LO	OAK, LIVE ( <i>Quercus virginiana</i> )	3' Cal.	As Scaled
	CE	ELM, CEDAR( <i>Ulmus crassifolia</i> )	3' Cal.	As Scaled
	BC	CYPRESS, BALD ( <i>Taxodium distichum</i> )	3' Cal.	As Scaled
	GY	GRAPE MYRTLE ( <i>Lagerstroemia indica</i> )	6' Ht.	As Scaled

PROPOSED TREES				
SYMBOL	KEY	CANOPY TREE Common Name (Botanical Name )	SIZE	SPACING
	DBH	HOLLY, DWARF BURFORD ( <i>Ilex cornuta 'Dwarf Burfordii'</i> )	3 Gal./ 2' Ht.	36"
	DYH	HOLLY, DWARF YAUPON ( <i>Ilex vomitoria 'Dwarf Nana'</i> )	3 Gal./ 2' Ht.	36"
	AS	SAGE, AUTUMN ( <i>Salvia greggii</i> )	3 Gal./ 2' Ht.	36"
	HDN	NANDINA, Harbour Dwarf ( <i>Nandina domestica 'Harbour Dwarf'</i> )	3 Gal.	24"
	ND	NANDINA ( <i>Nandina domestica</i> )	3 Gal.	36"
	WM	WAX MYRTLE ( <i>Myrica cerifera</i> )	7 Gal.	60"
	YL	LANTANA, YELLOW ( <i>Lantana</i> )	1 Gal.	24"
		ANNUAL BED		
		Common Bermuda Grass		

NOTES

No changes shall be made to the plans, including plant material type and location without approval from Landscape Architect or Owner.

All plant material shall be guaranteed for a period of 1 year from the date of installation completion. Wording to this effect shall be included in Contractor's proposal.

The Contractor shall notify the Landscape Architect in writing of discrepancies between the plans and actual site conditions prior to commencing work. Failure to do so shall be interpreted as the Contractor accepting such conditions and responsible at no additional cost to Owner, for any future adjustments that need to be made.

All work shall be in accordance to plans. Any defective work shall be corrected at no additional cost.

The quality of the plant material is subject to the approval of the Landscape Architect and may be rejected (ASNGS).

Minor field adjustments may be made to the location of plant materials by the Landscape Architect and shall be made by the Contractor at no additional cost.

All areas to be sodded shall first be tilled to a uniform depth of 4 inches in two, crossing directions. After the initial tilling operation, incorporate 1,500 pounds per acre of 10-20-10 fertilizer or as specified by a soil test. Apply amendments as specified by a soil test.

Sod strips shall be pulled tightly together in a neat orderly manner. Do no overlap sod strips and to not use any strips that exhibit weak or thin soil.

Installed sod that turns yellow shall be given 7 days to recover before it will be rejected. Replace rejected sod by completely and uniformly cutting out area to make the repair.

After installation, the sod shall be rolled in two directions with a roller not weighing less than 100 lbs. per square foot.

Amendments shall be added to each planting pit and bed area.

All burlap material on balled and burlapped plants shall be the type that decomposes within two years. Synthetic or plastic type wrappings are not allowed.

After setting balled and burlapped plants, remove the top 1/3 of the burlap and completely remove all binder twine. No burlap shall show above the surface.

All planting areas shall be graded smooth, without the presence of low spots, depressions or irregular humps. Areas around planting beds shall be constructed to re-direct drainage around and away from planting areas. All planting areas shall be constructed and graded to ensure positive drainage away from structures.

Cedar mulch shall be applied within 24 hours of planting of new plant material. Mulch shall be spread evenly to a settled depth of 4" around all trees and shrubs to the limits of the planting beds as shown on plans.

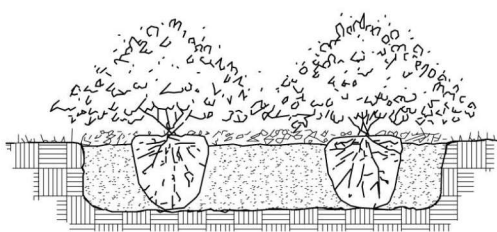
All plantings shall be "watered in" by flooding the backfield hole within the same working day upon which they were planted. All plants shall be adjusted as necessary to ensure correct depth of planting, vertical alignment and/or to compensate for settling. Soil shall be firmed around around each plant as final adjustments are made.

REMOVE ALL TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIALS ATTACHED TO THE PLANT OR ROOT MASS.

PRUNE PLANT TO REMOVE DEAD OR BROKEN BRANCHES.

4 INCH DEPTH OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH PLANT TRUNK. MAINTAIN THE MULCH NEED FREE.

MULCH SHALL BE KEPT MIN. 2 INCHES AWAY FROM TRUNK OF PLANT.



PLANT PIT TO BE AT LEAST 2X WIDER THAN ROOT BALL. SCARIFY AND ANGLE SIDES OF THE HOLE.

REMOVE CONTAINER FROM ROOT MASS. LOOSEN ROOTS FROM POTBOUND PLANTS BY SCORING OR PULLING.

DAMPEN SOIL PRIOR TO PLANTING.

BACKFILL HOLE WITH THOROUGH MIXTURE OF 1 PT. SAND, 1 PT. ORGANIC HUMUS, 1 PT. NATIVE TOPSOIL.

AMENDMENTS SHALL BE ADDED TO SOIL BASED ON RESULTS OF SOIL TESTS.

PLACE BOTTOM OF ROOT BALL ON TAMPED SOIL THAT HAS BEEN SETTED WITH WATER.

PLANT SOIL LEVEL SHALL BE 1" HIGHER THAN SURROUNDING GRADE.

TAMP SOIL AROUND ROOT BALL LIGHTLY WITH FOOT OR HAND PRESSURE TO PREVENT SHIFTING.

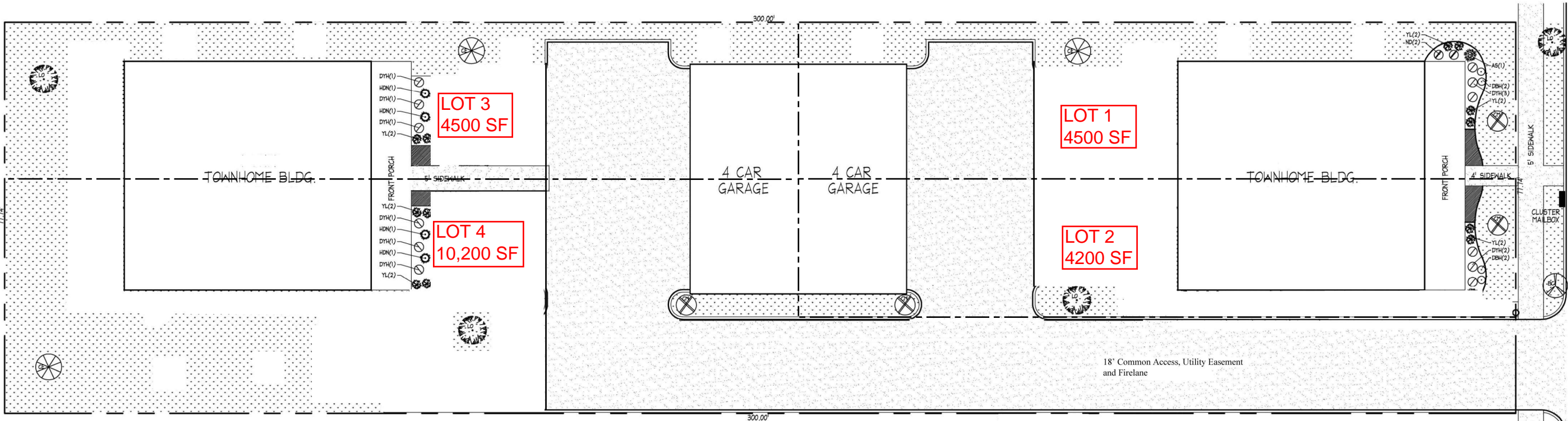
PROVIDE DRAINAGE IN PLANTING PIT AS DEEMED NECESSARY BY A SOIL PERCOLATION TEST.

SHRUB PLANTING DETAIL  
NOT TO SCALE



Concept  
LANDSCAPE PLAN

SCALE 1" = 10'



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DATE: 29 JUN 20  
REV. 17 AUG 20  
PLAN: TH 4331  
L1

ZC#20-013



Exhibit C.1

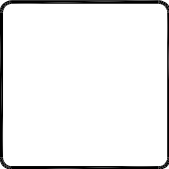


EXTERIOR FACADE DATA		
EXTERIOR FACADE (BRICK)	64 SQ. FT.	2.1 %
EXTERIOR FACADE (SIDING)	2954 SQ. FT.	97.9 %
TOTAL FACADE AREA	3018 SQ. FT.	100.0 %

Note: All siding is cementitious fiber board

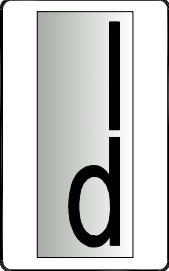
- Required Architectural Features**
- Siding with more than one pattern:  
Example - horizontal lap style siding on the first floor and board and batt style siding on the second floor.
  - Stone or masonry accents on the front elevation.
  - Craftsman elements utilized in the gables, such as knee braces or gable pediments.
  - Craftsman style windows (characterized by a divided lite look on top with no lites on the bottom)
  - Eight foot (8') tall front door.
  - 30 yr Architectural shingle
  - Carriage style garage doors required.

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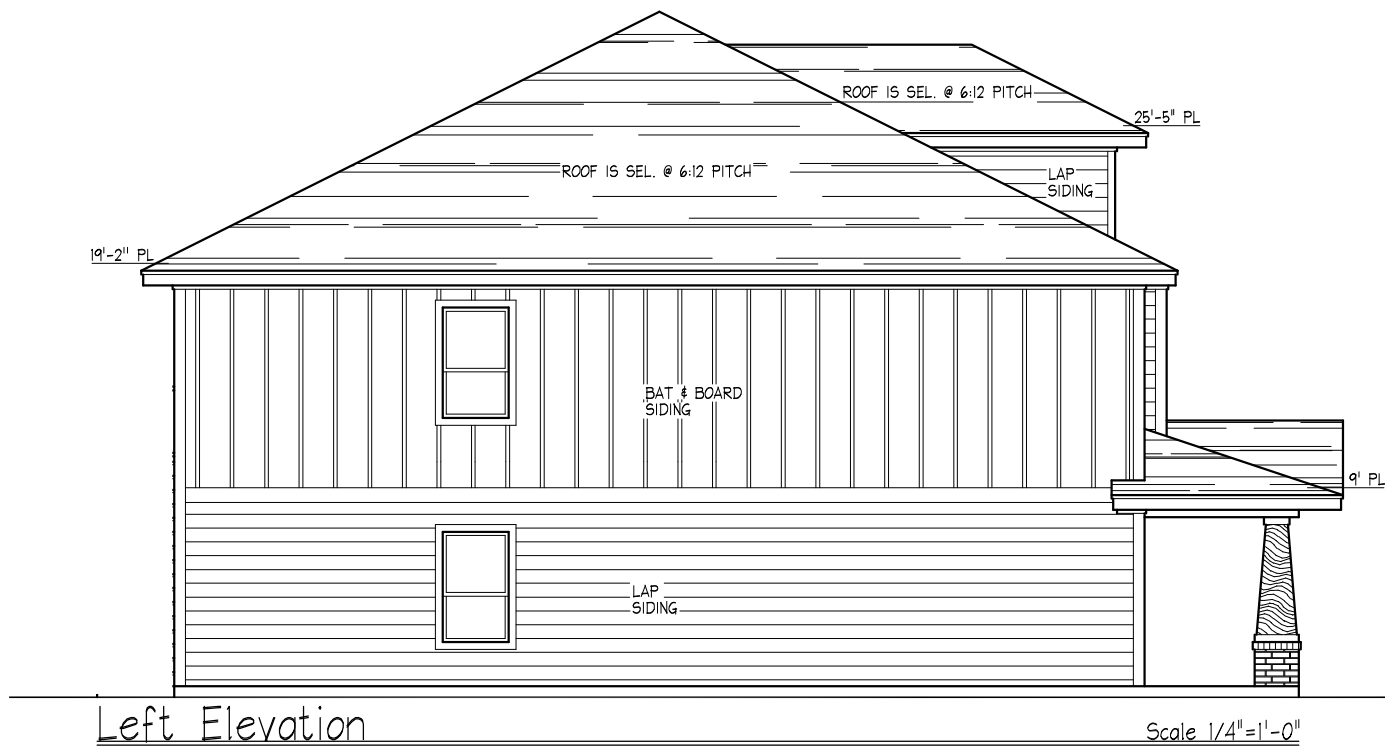
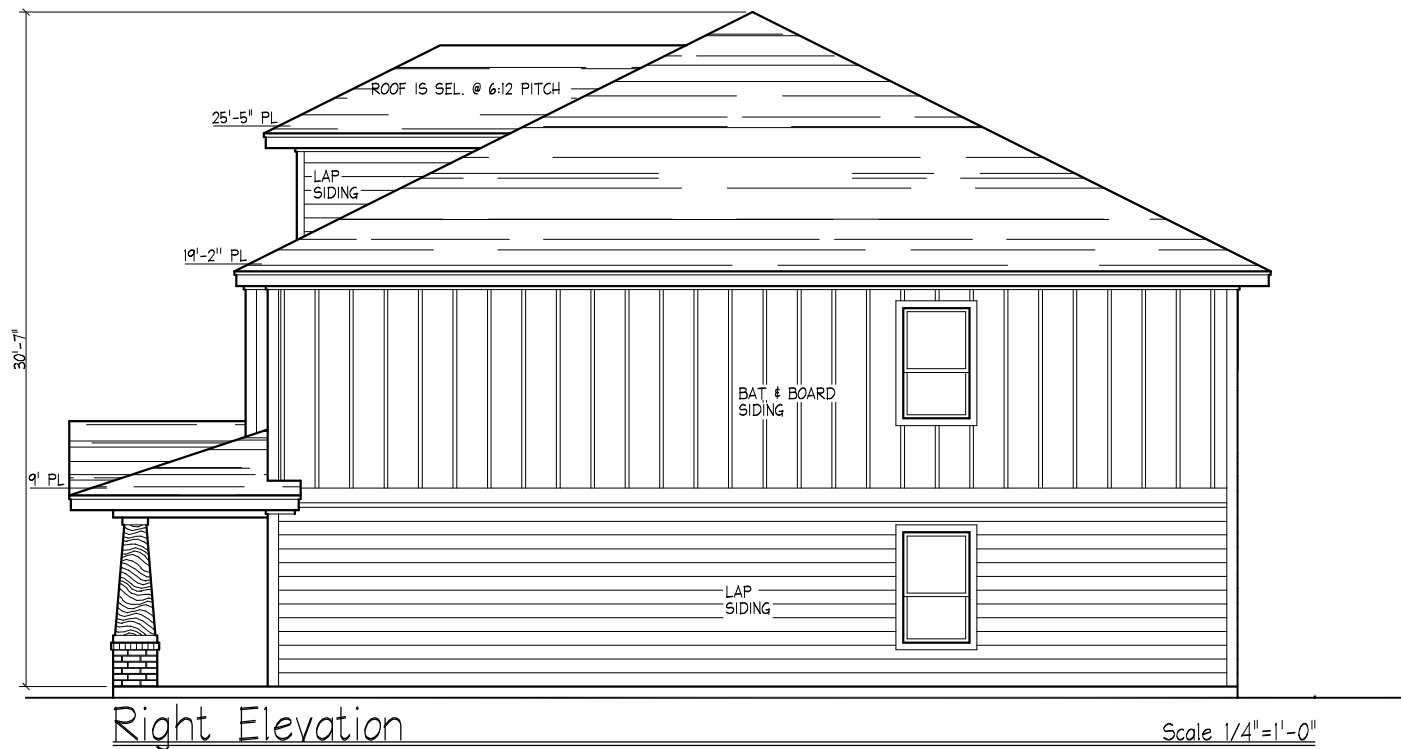
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PLAN: TH 4331  
AT

Concept Elevation

Exhibit C.2

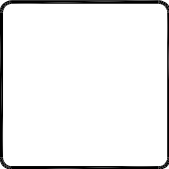


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TOTAL FACADE AREA	3018 SQ. FT.	100.0 %

Note: All siding is cementitious fiber board

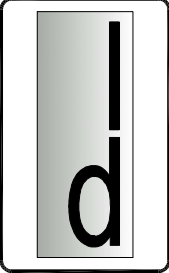
- Required Architectural Features**
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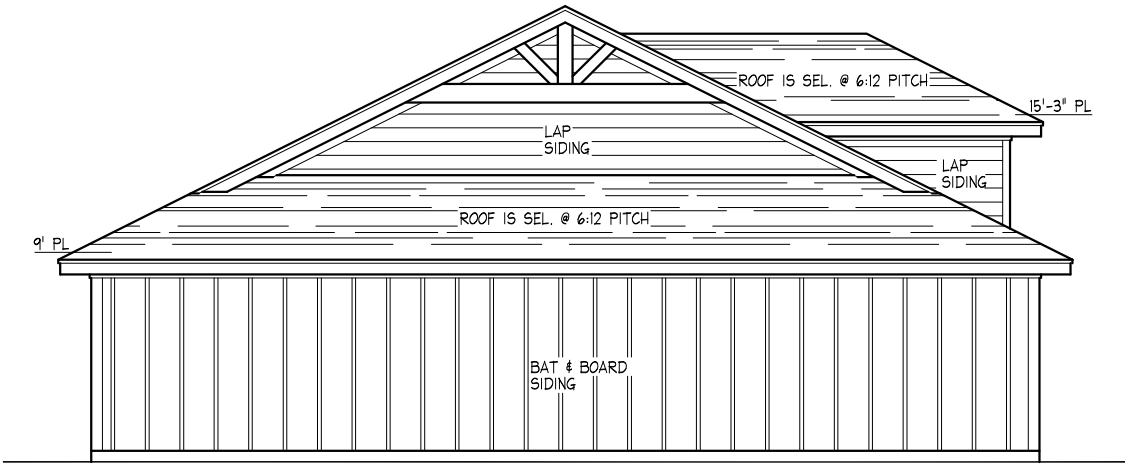
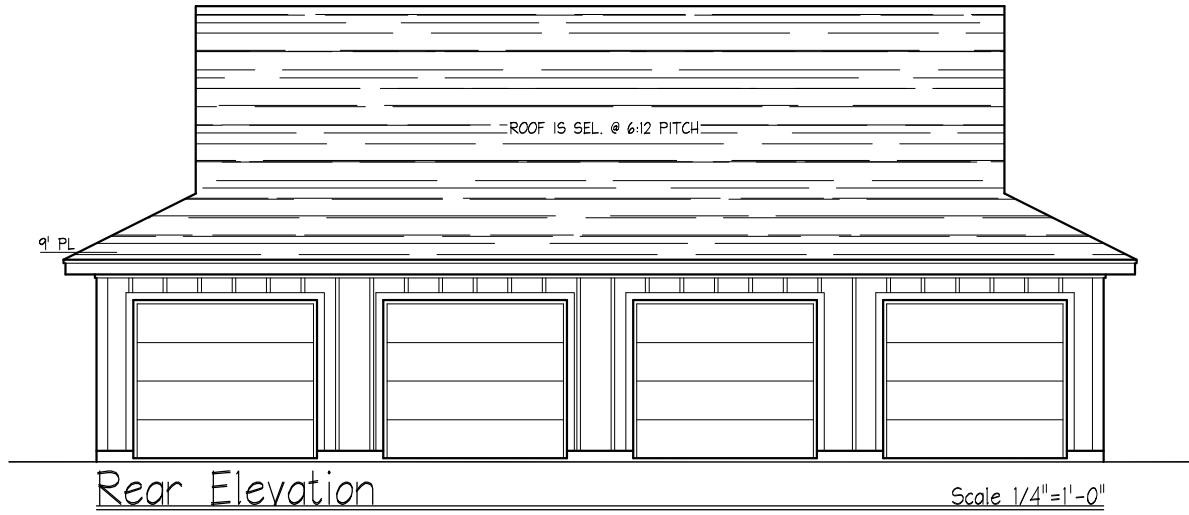
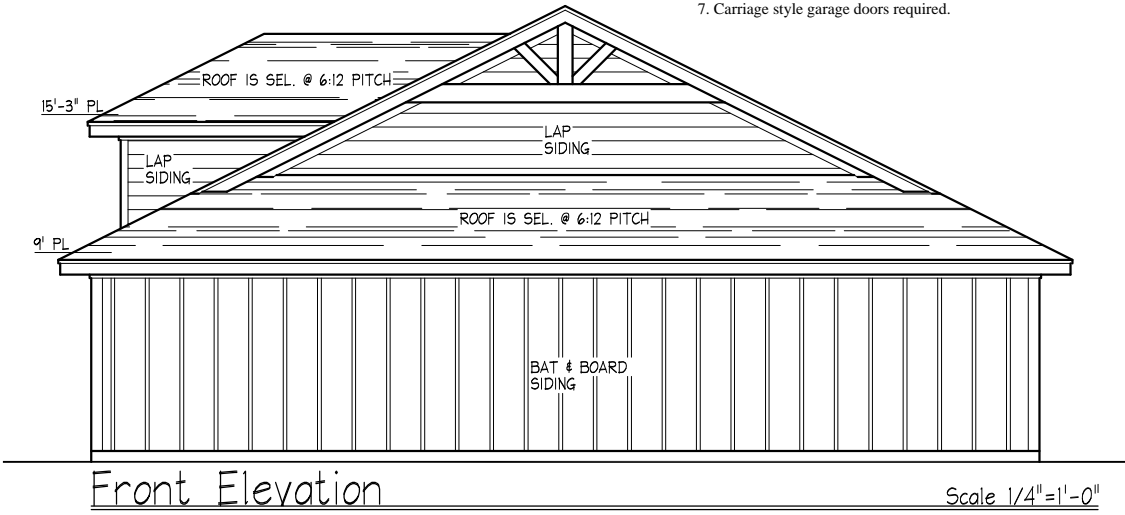
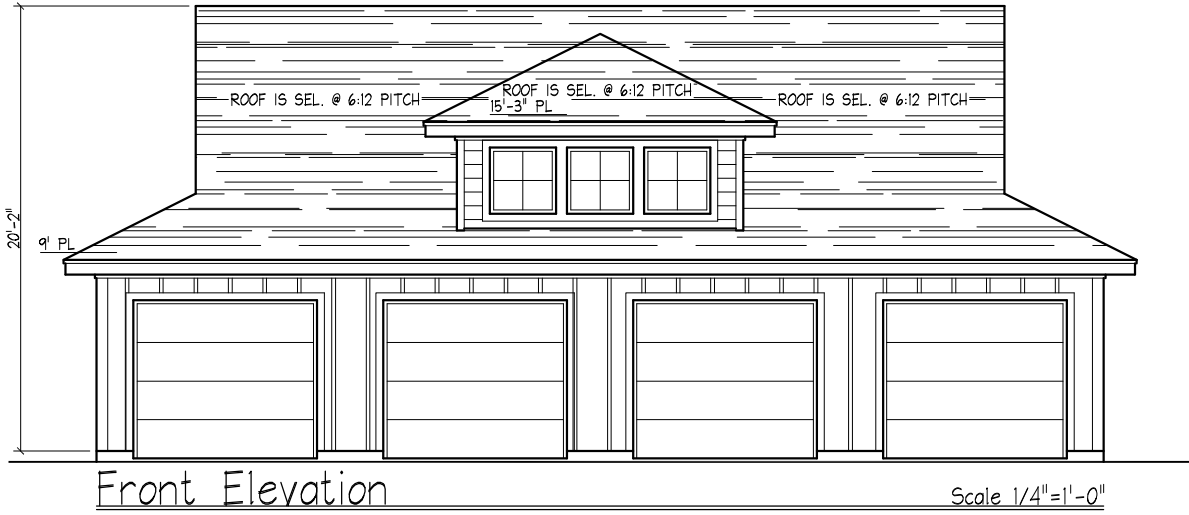
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PLAN: TH 4331  
A2

Concept Elevation

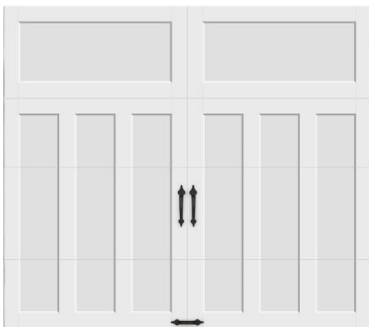
Exhibit C.3

EXTERIOR FACADE DATA		
EXTERIOR FACADE (BRICK)	0 SQ. FT.	0.0 %
EXTERIOR FACADE (SIDING)	977 SQ. FT.	100.0 %
TOTAL FACADE AREA	977 SQ. FT.	100.0 %

- Note: All siding is cementitious fiber board
- Required Architectural Features**
- Siding with more than one pattern:  
Example - horizontal lap style siding on the first floor and board and batt style siding on the second floor.
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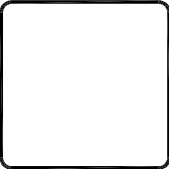


Carriage style garage doors required



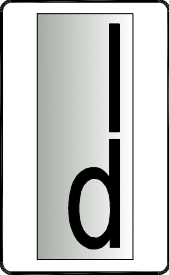
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