

MANDATORY OWNERS ASSOCIATION NOTES:

- 1) A MANDATORY OWNERS ASSOCIATION WILL BE REQUIRED FOR THE MAINTENANCE OF THE "PRIVATE STREETS, ALLEYS, OPEN SPACE, ENTRY FEATURES, WALLS, FENCES, GATES, DETENTION /RETENTION PONDS AND FOUNTAINS".
- 2) THE OWNERS ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICIES. THESE DOCUMENTS MUST BE REVIEWED BY THE CITY ATTORNEY PRIOR TO FILING THE FINAL PLAT. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAT AT TARRANT COUNTY WHEN DEEMED NECESSARY BY THE ATTORNEY. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF 60 FOR REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION, ACCEPTANCE OF THE SUBDIVISION OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS IN CONSTRUCTION, APPROVAL OR ACCEPTANCE OF THE SUBDIVISION CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

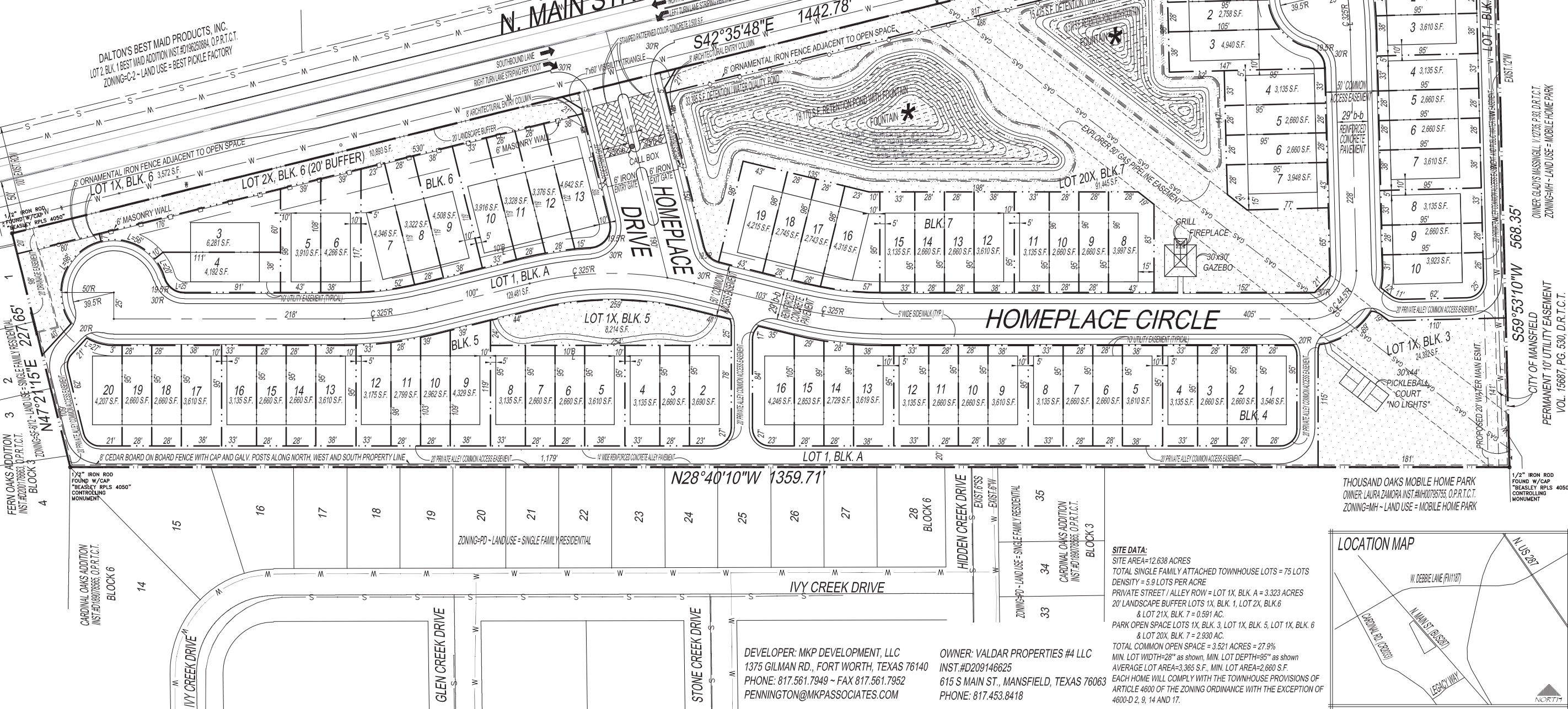
THE PROPOSED DEVELOPMENT WILL BE IN COMPLETE CONFORMANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

MINIMUM DEVELOPMENT STANDARDS:

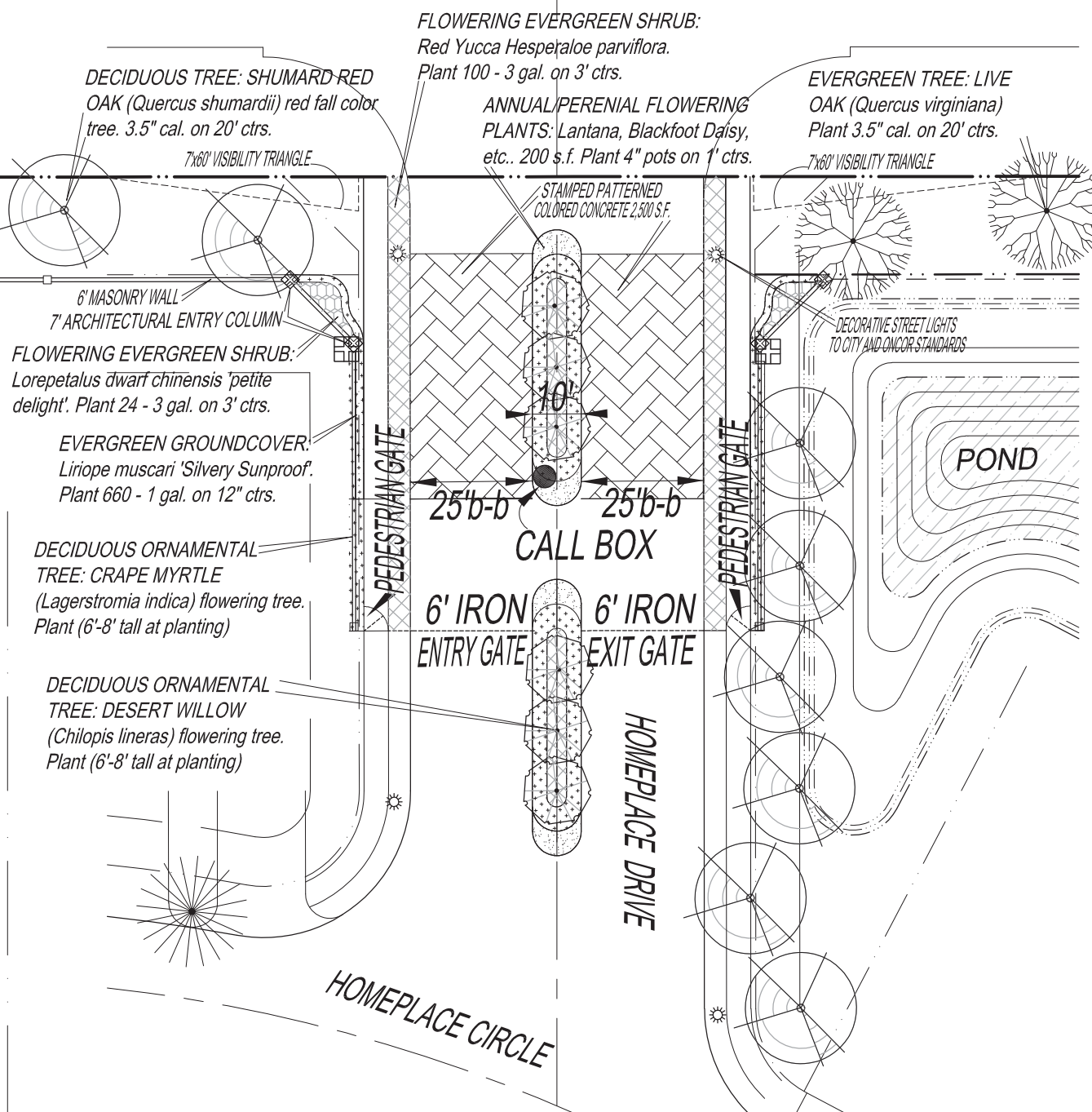
1. FRONT SETBACK = 10', FRONT PORCH SETBACK = 8' MIN.
2. REAR SETBACK = 20'
3. SIDE ABUTTING REAR STREET = 10'. SIDE SETBACK BETWEEN BUILDING BREAKS 5' ON ONE SIDE AND 10' ON THE OTHER. SIDE SETBACK ON ALL OTHERS = 5'.
4. LANDSCAPE BUFFER SETBACKS = 20'. SETBACKS TO LANDSCAPE BUFFERS = 5'
5. LOT DEPTH MIN. = 95'; LOT WIDTH MIN. = 28'
6. MIN. LOT AREA = 2,660 SQUARE FEET.
7. BUFFER WALL ADJACENT TO NORTH WEST AND SOUTH BOUNDARY = 8' BOARD ON BOARD CEDAR FENCE WITH CAP AND GALV. POSTS.
8. MIN. HOME S.F. = 1,800 + 2 CAR GARAGE ~ MIN ROOF PITCH = 8 IN 12 EXCEPT DORMERS MAY BE 4 IN 12 ~ MAX HOME HEIGHT = 35' ~ BLDG. PADS = 65' x 28'.
9. REQUIRED PARKING = 2 PER LOT = PROVIDED 2 CAR GARAGE.
10. SIDEWALKS WILL BE INSTALLED WITHIN THIS DEVELOPMENT AS SHOWN.
11. RESIDENTIAL LOT LANDSCAPE STANDARDS SHALL BE IN ACCORDANCE WITH CITY ORDINANCE.
12. CAMERAS SHALL BE PROVIDED AT THE ENTRANCES OF THE DEVELOPMENT.
13. THE SITE AMENITIES AND PERIMETER SCREENING SHALL BE COMPLETED PRIOR TO HOME BUILDING PERMITS.
14. ALL AC UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
15. ALL HOME DRIVEWAYS SHALL BE EITHER AGGREGATE OR SALT FINISH.
16. ALL ROOFS SHALL BE ENHANCED GAF TIMBERLINE OR EQUAL.
17. ALL IRRIGATION OF OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
18. ALL LANDSCAPE AREAS, INCLUDING LANDSCAPE BUFFERS, SETBACK AREAS, OPEN SPACE LOTS AND FRONT YARDS SHALL BE IRRIGATED.
19. THE LIGHTING ON THE REAR OF ALLEY-LOADED HOMES SHALL BE SHIELDED OR DIRECTED DOWNWARD (TO AVOID LIGHT TRESPASS AND GLARE FOR THE ADJACENT SINGLE-FAMILY HOMES.

MINIMUM DEVELOPMENT STANDARDS CONTINUED:

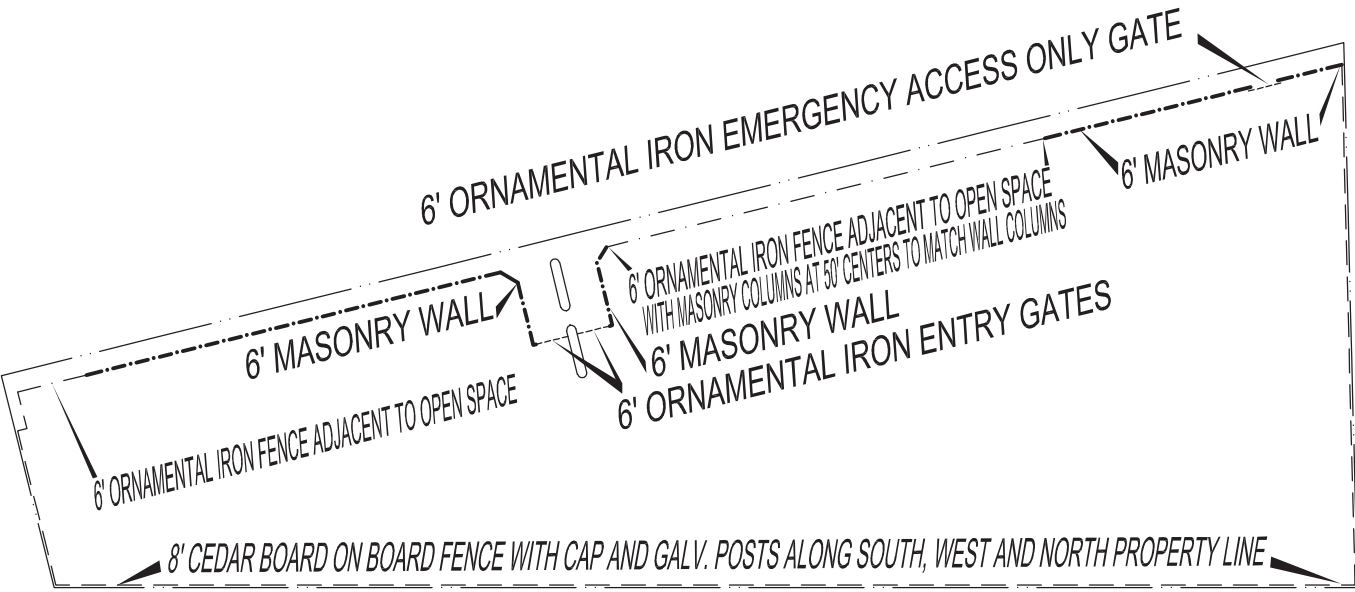
20. INDIVIDUAL LOT BACK AND SIDE YARD FENCING (IF DESIRED) SHALL BE A MAXIMUM OF 6' ORNAMENTAL IRON FENCE OR 6' BOARD ON BOARD CEDAR WITH A CAP IN THE SAME STYLE AS THE PERIMETER FENCES.
21. ADDITIONAL FIRE DEPT REQUIREMENT: FENCES SHALL BE SETBACK A MIN. OF 10' FROM A SIDE PROPERTY LINE BETWEEN STRUCTURES.
22. THE GARAGES SHALL BE ENHANCED WITH WOOD-CLAD OR CARRIAGE-STYLE DOORS AND CARRIAGE OR SCENCE LIGHT FIXTURES.
23. THE HOMES IN BLOCKS 6 & 7 SHALL BE REQUIRED TO HAVE REAR PORCHES; THESE PORCHES SHALL BE ALLOWED TO ENCROACH THE REAR SETBACK BY UP TO 10'.
24. Rental of any Lot and the Improvements thereon by the Owner for residential purposes shall be permitted provided that: (i) all leases, including renewals, must be for terms of not less than four (4) months nor more than six (6) months unless approved by the HOA Board in writing (The HOA Board may not approve any extension of a lease which would cause the aggregate term of the lease, as extended, to exceed twelve (12) months from the date of commencement of the lease. No subleasing shall be permitted, no overnight or short term rentals shall be allowed. Ownership of the units shall be limited to no more than 1 unit per individual/entity, excluding home builders and financial institutions.



N. MAIN STREET ~ US BUS 287

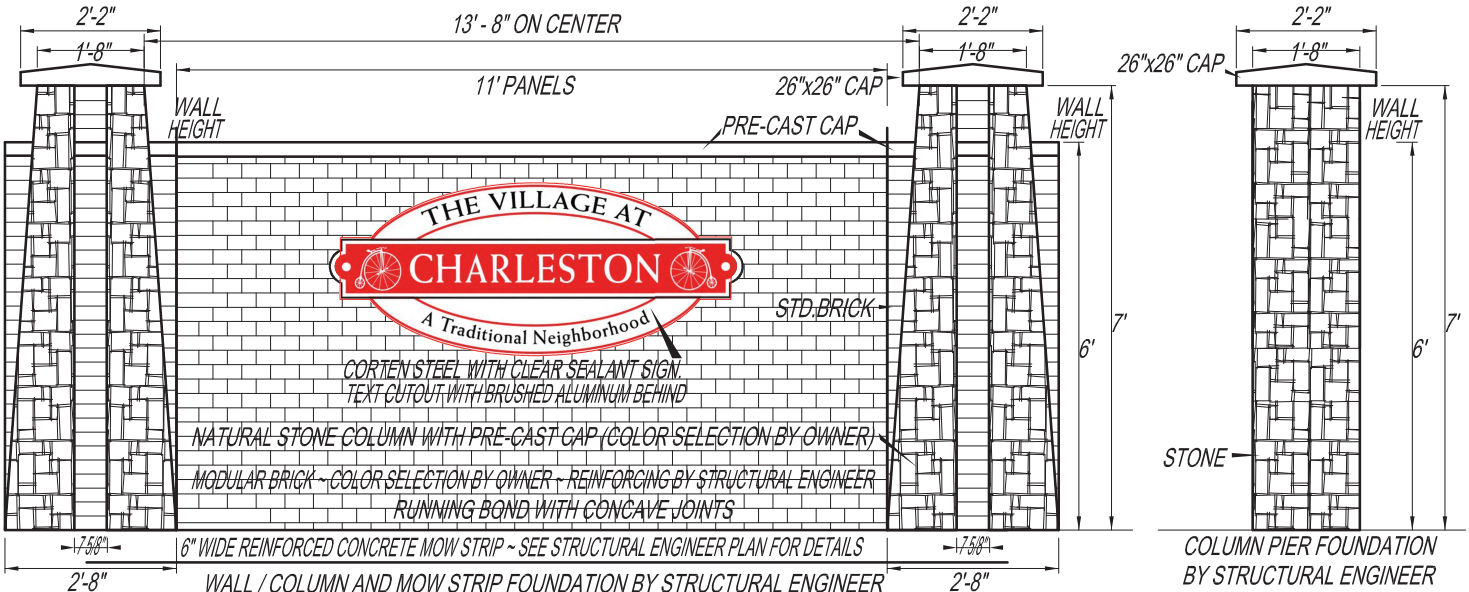


ENHANCED ENTRYWAY PLAN



BRICK WALL, ORNAMENTAL IRON AND CEDAR FENCE PLAN

NOTE: THE DEVELOPER WILL CONTACT THE ADJACENT PROPERTY OWNERS ALONG THE NORTH, WEST AND SOUTH PROPERTY LINES AND ATTEMPT TO OBTAIN PERMISSION TO REMOVE THE EXISTING FENCES TO REPLACE WITH THE NEW 8' CEDAR BOARD ON BOARD FENCE WITH CAP. IF DENIED PERMISSION THE DEVELOPER WILL INSTALL THE CONTINUOUS 8' BOARD ON BOARD FENCE ON CHARLESTON PROPERTY ALONG THE PROPERTY LINE.



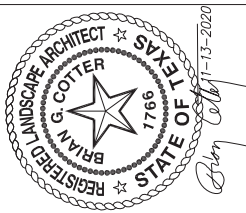
ARCHITECTURAL ENTRY COLUMNS AND SIGN ELEVATION

COLUMN FOR WALLS AND ORNAMENTAL IRON FENCE ON +/- 50' CTRS.

COTTER G.A. DIXON & ASSOCIATES ASSOCIATES, LLC

LAND DEVELOPMENT DESIGN CONSULTANTS
LAND PLANNING / PROJECT MANAGEMENT / LANDSCAPE ARCHITECTURE
1703 North Peyco Drive, Suite Q, Arlington, Texas 76001
Phone: (817) 919-4475 - Email: CALLCOTTER@SBCGLOBAL.NET
Tx. Arch. Reg. Board FIRM REG. # BR-1373

CIVIL ENGINEERING * HYDROLOGY * FLOOD STUDIES
4305 Mossridge Court, Arlington, Texas 76016
Phone: (882) 808-3156 - Email: EGAD1258@gmail.com
TEXAS ENGINEERING FIRM REGISTRATION #: 15836



DESIGN: BGC	DRAWN: DJC
DATE: 5-26-2020	REV: 11-13-2020
PROJECT: 932 P.D. dwg	

CHARLESTON EXHIBIT C ~ ENHANCED ENTRYWAY PLAN

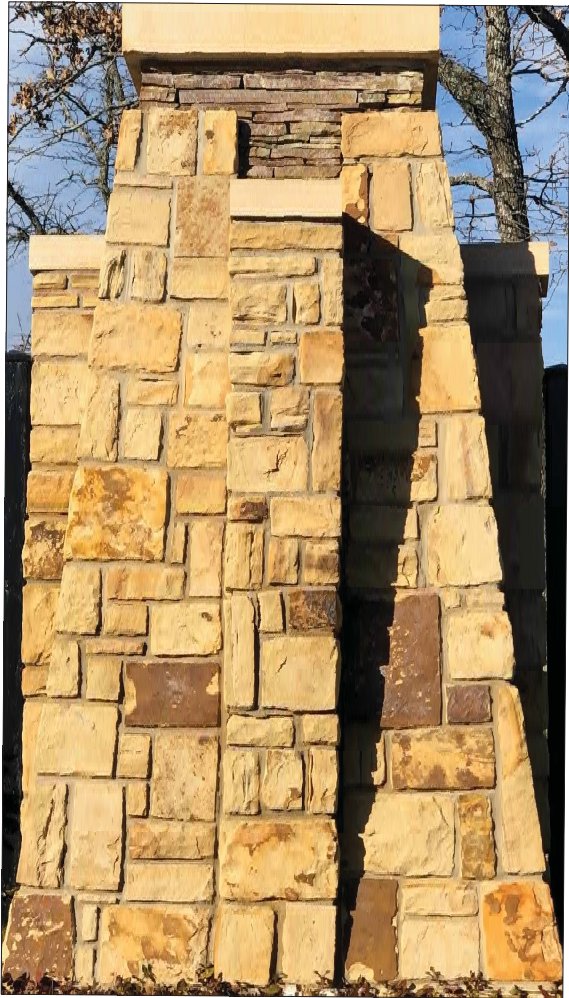
12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267

1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS



BOARD ON BOARD CEDAR FENCE EXAMPLE

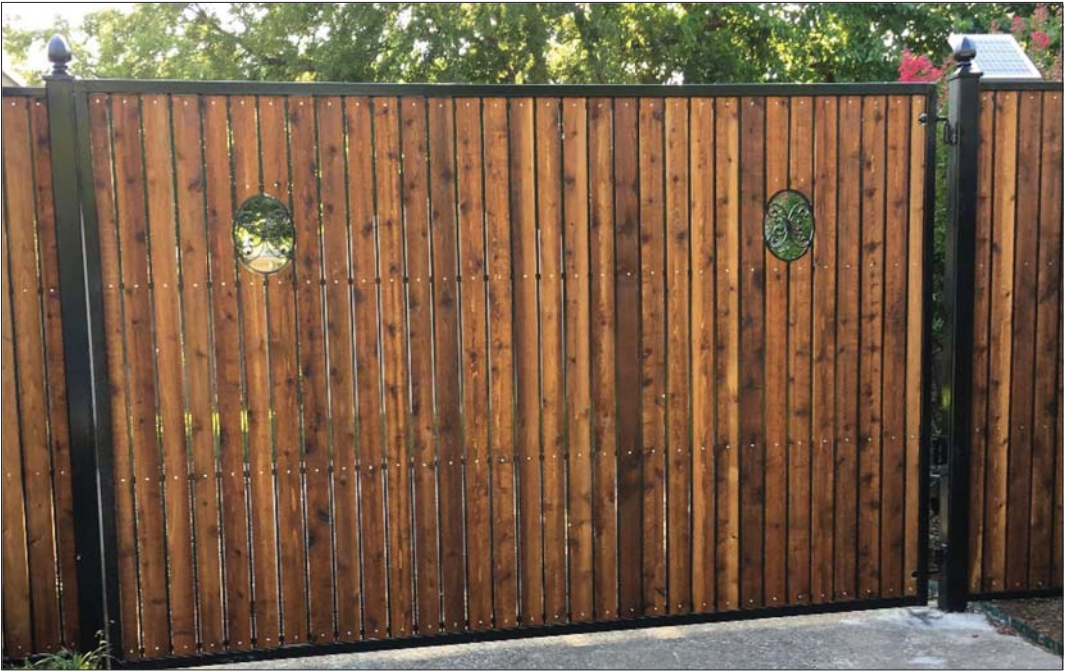
THE EXAMPLES SHOWN ARE FOR ILLUSTRATIVE PURPOSES TO ILLUSTRATE THE TYPE OF MATERIALS. PLEASE SEE THE PREVIOUS SHEET FOR DETAILED DIMENSIONS AND DETAIL.



STONE COLUMN EXAMPLE



ORNAMENTAL IRON FENCE EXAMPLE



OPAQUE EMERGENCY GATE EXAMPLE



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PROJECT: 932 PD.dwg	

CHARLESTON
EXHIBIT C ~ ENHANCED ENTRYWAY PLAN
12.638 ACRES IN THE M. ROCKEFELLOW SURVEY ABSTRACT 1267
1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

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LAND DEVELOPMENT DESIGN CONSULTANTS
LAND PLANNING * PROJECT MANAGEMENT * LANDSCAPE ARCHITECTURE
1703 North Peyco Drive, Suite Q, Arlington, Texas 76001
Phone: (817) 919-4475 ~ Email: CALLCOTTER@SBCGLOBAL.NET
Tx. Arch. Reg. Board FIRM REG. # BR-1373

G.A. DIXON & ASSOCIATES
CIVIL ENGINEERING * HYDROLOGY * FLOOD STUDIES
4305 Mossridge Court, Arlington, Texas 76016
Phone: (862) 808-3156 ~ Email: EGAD1258@gmail.com
TEXAS ENGINEERING FIRM REGISTRATION #: 15336

TREES TO BE REMOVED:
WITHIN EASEMENTS (EXEMPT)

EXEMPT TREES TO BE REMOVED:

#716 - 13" OAK
#725 - 19" OAK
#727 - 19" OAK
#744 - 11" OAK
#745 - 14" OAK
#759 - 28" OAK
#763 13" OAK
#771 - 13" OAK
#775 - 11" AND 8" TWIN OAK
#777 - 17" AND 7" TWIN OAK
#811 - 11" OAK
#812 - 13" OAK
#819 - 12" OAK
#825 - 10" OAK
#831 - 15" AND 16" TWIN OAK
#834 - 10" OAK
#836 - 17" OAK
#840 - 14" OAK
#841 - 12" OAK
#843 - 8" OAK
#854 - 15" OAK
#873 - 18" OAK
#875 - 16" OAK
#879 - 25" OAK
#890 - 22" OAK
#892 - 10" OAK
#893 - 13" OAK
#895 - 15" OAK
#898 - 8" OAK
#900 - 15" OAK
#901 - 12" OAK
#903 - 8" OAK
SUMMARY 488 CAL INCHES

TREES TO BE REMOVED:
PROTECTED TREES

#585 - 7" OAK
#820 - 16" OAK
#821 - 13" OAK
#832 - 10" OAK
#835 - 9" OAK
#847 - 20" OAK
SUMMARY = 75 CAL. INCHES

PROTECTED TREES TO REMAIN (PRESERVED TREES):

#904 - 30" OAK (6 TREE CREDIT)
#908 - 10" OAK (3 TREE CREDIT)
#910 - 11" OAK (3 TREE CREDIT)
#911 - 12" OAK (3 TREE CREDIT)
#912 - 14" OAK (3 TREE CREDIT)
#913 - 17" AND 16" TWIN OAK (8 TREE CREDIT)
#914 - 12" OAK (3 TREE CREDIT)
#915 - 8" OAK (2 TREE CREDIT)
#916 - 15" OAK (3 TREE CREDIT)
#917 - 7" OAK (2 TREE CREDIT)
#918 - 10" AND 7" TWIN OAK (5 TREE CREDIT)
#919 - 15" OAK (3 TREE CREDIT)
#924 - 15" OAK (3 TREE CREDIT)
#925 - 10" OAK (3 TREE CREDIT)
#926 - 13" OAK (3 TREE CREDIT)
#927 - 9" OAK (2 TREE CREDIT)
#928 - 6" OAK (2 TREE CREDIT)
SUMMARY 237 CAL INCHES (57 TREE CREDIT)

TREE SUMMARY:

TOTAL PROTECTED TREES REMOVED = 75 CAL.

INCHES

TOTAL PROTECTED TREES PRESERVED = 237 CAL

INCHES

PRESERVATION EXCEEDS REQUIRED

MITIGATION BY 162 CAL. INCHES

EXEMPT TREES TO BE REMOVED = 488 CAL INCHES

INSTALLED TREES ABOVE ORD. REQ. = 43 CANOPY

TREES AND 57 TREE PRESERVATION CREDITS

INSTALLED TREE LIST:

- EVERGREEN TREE: LIVE OAK (*Quercus virginiana*) Plant 29- 3.5" cal. on 20" ctrs.
DECIDUOUS TREE: SHUMARD RED OAK (*Quercus shumardii*) red fall color tree. Plant 31-3.5" cal. on 20" ctrs.
DECIDUOUS TREE: CEDAR ELM (*Ulmus crassifolia*) yellow fall color tree. Plant 18- 3.5" cal. on 20" centers.
67-3.5" cal. STREET TREES: to be installed by each home builder in the center of the parkway between the sidewalk and street. To avoid monoculture and monotony the homes builder may select any tree in the following list, but no more than 5 trees of the same species may be utilized in a row;
Ginkgo Biloba, Sweetgum (*Liquidambar styraciflua*), Autumn Blaze Maple (*Acer x freemanii*), Lacebark Elm (*Ulmus parvifolia sempervirens*), Caddo Maple (*Acer saccharum 'Caddo'*), River Birch (*Betula nigra*), Goldenrain Tree (*Koeleruteria paniculata*)
DECIDUOUS ORNAMENTAL TREE: DESERT WILLLOW (*Chilopsis linearis*) flowering tree. Plant 6 - (6'-8" tall at planting)
EVERGREEN ORNAMENTAL TREE: LITTLE GEM MAGNOLIA (*Magnolia 'Little Gem'*) flowering evergreen tree. Plant 47 - (6'-8" tall at planting)

INSTALLED TREES SUMMARY:

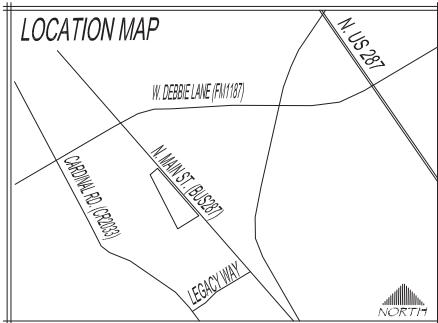
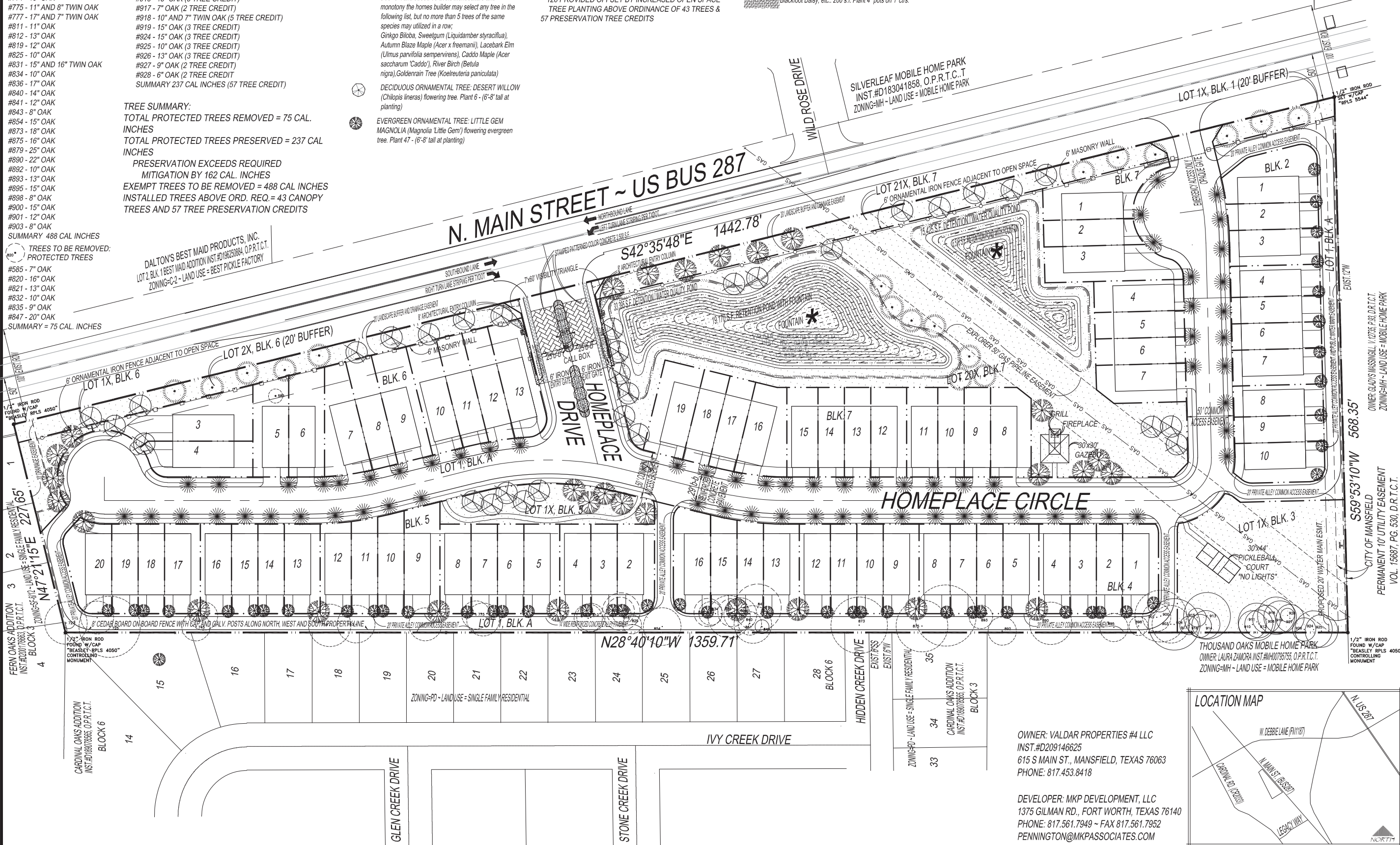
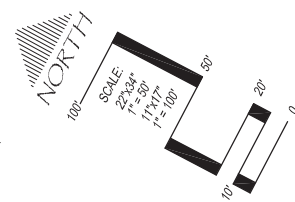
47 ORNAMENTAL+11 CANOPY TREES INSTALLED ON LOTS
OPEN SPACE AND N.MAIN INSTALLED TREES
134 CANOPY TREES & 6 ORNAMENTAL TREES = 140
TOTAL TREES INSTALLED = 198 TREES INSTALLED
REQUIRED TREES:
MAIN STREET 20' BUFFER = 25 TREES REQUIRED
29 PROVIDED
LOTS = 76 AT 2 PER LOT = 152 REQUIRED
126 PROVIDED OFFSET BY INCREASED OPEN SPACE
TREE PLANTING ABOVE ORDINANCE OF 43 TREES & 57 PRESERVATION TREE CREDITS

INSTALLED SHRUB AND GROUNDCOVER LIST:

- FLOWERING EVERGREEN SHRUB: *Lorepetalus dwarf chinensis* 'petite delight'. Plant 24 - 3 gal. on 3" ctrs.
FLOWERING EVERGREEN SHRUB: Red Yucca *Hesperaloe parviflora*. Plant 100 - 3 gal. on 3" ctrs.
EVERGREEN GROUNDCOVER: *Liriope muscari* 'Silver Sunproof'. Plant 660 - 1 gal. on 12" ctrs.
ANNUAL/PERENNIAL FLOWERING PLANTS: *Lantana*, *Blackfoot Daisy*, etc.. 200 s.f. Plant 4" pots on 1" ctrs.

NOTE:

- 1.EACH LOT SHALL INSTALL SHRUBS AND GROUNDCOVER BY EACH HOME BUILDER IN ACCORDANCE WITH CITY ORDINANCE REQUIREMENTS.
2. All plant material areas shall be irrigated by an automatic underground irrigation system designed by a licensed Texas irrigator in accordance with city ordinance requirements.
3. ALL INSTALLED TREES IN THE REAR YARDS ADJACENT TO THE ALLEYS ALONG THE WEST AND SOUTH BOUNDARY LINES SHALL BE EVERGREEN AS SHOWN.



OWNER: VALDAR PROPERTIES #4 LLC
INST.#D209146625
615 S MAIN ST., MANSFIELD, TEXAS 76063
PHONE: 817.453.8418

DEVELOPER: MKP DEVELOPMENT, LLC
1375 GILMAN RD., FORT WORTH, TEXAS 76140
PHONE: 817.561.7949 ~ FAX 817.561.7952
PENNINGTON@MKPASSOCIATES.COM

COTTER
G.A.DIXON
& ASSOCIATES
ASSOCIATES,LLC

LAND DEVELOPMENT DESIGN CONSULTANTS
LAND PLANNING PROJECT MANAGEMENT LANDSCAPE ARCHITECTURE
1703 North Peyco Drive, Arlington, Texas 76001
Phone: (817) 919-4475 ~ Email: CALLCOTTER@SBCGLOBAL.NET
Tx. Arch. Reg. Board FIRM REG. # BR-1373

REGISTERED LANDSCAPE ARCHITECT
BRIAN G. COTTER
1769
STATE OF TEXAS
12-1-13-2020

DESIGN: BGC
DRAWN: DJC
DATE: 5-26-2020
REV: 11-13-2020
PROJECT:
932 PD LA.dwg

CHARLESTON
75 LOT SINGLE-FAMILY ATTACHED PD LANDSCAPE PLAN

12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267
1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

5 OF 9

ZC#20-009 EXHIBIT "D"



SINGLE-FAMILY ATTACHED ELEVATION "A" REAR ENTRY



SINGLE-FAMILY ATTACHED ELEVATION "B" REAR ENTRY

NOTE: BUILDING MATERIALS, COLOR AND ROOF LINES SHALL VARY BETWEEN BUILDINGS TO PROVIDE DIFFERENTIATION IN ARCHITECTURE AND AVOID REPETITIVE FRONT FACADES.

NOTE: THE BUILDING ELEVATIONS SHOWN ARE SUBJECT TO CHANGE UPON FINAL DESIGN AND BUILDING PERMIT REVIEW AND APPROVAL FOR CONSTRUCTION.

DESIGN: BGC	DRAWN: DJC	DATE: 10-29-20	PROJECT: 932 PD.dwg
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CHARLESTON
 EXHIBIT E HOME ELEVATION RENDERINGS
 12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267
 1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

6 OF 9

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 LAND DEVELOPMENT DESIGN CONSULTANTS
 LAND PLANNING * PROJECT MANAGEMENT * LANDSCAPE ARCHITECTURE
 1703 North Peyco Drive, Suite Q, Arlington, Texas 76001
 Phone: (817) 919-4475 - Email: CALLCOTTER@SCGCI.ORGAL.NET
 Tx. Arch. Reg. Board FIRM REG. # BR-1373

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 4305 Mossridge Court, Arlington, Texas 76016
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 TEXAS ENGINEERING FIRM REGISTRATION #: 15336



SINGLE-FAMILY ATTACHED ELEVATION "A" FRONT ENTRY



SINGLE-FAMILY ATTACHED ELEVATION "B" FRONT ENTRY

NOTE: BUILDING MATERIALS, COLOR AND ROOF LINES SHALL VARY BETWEEN BUILDINGS TO PROVIDE DIFFERENTIATION IN ARCHITECTURE AND AVOID REPETITIVE FRONT FACADES.

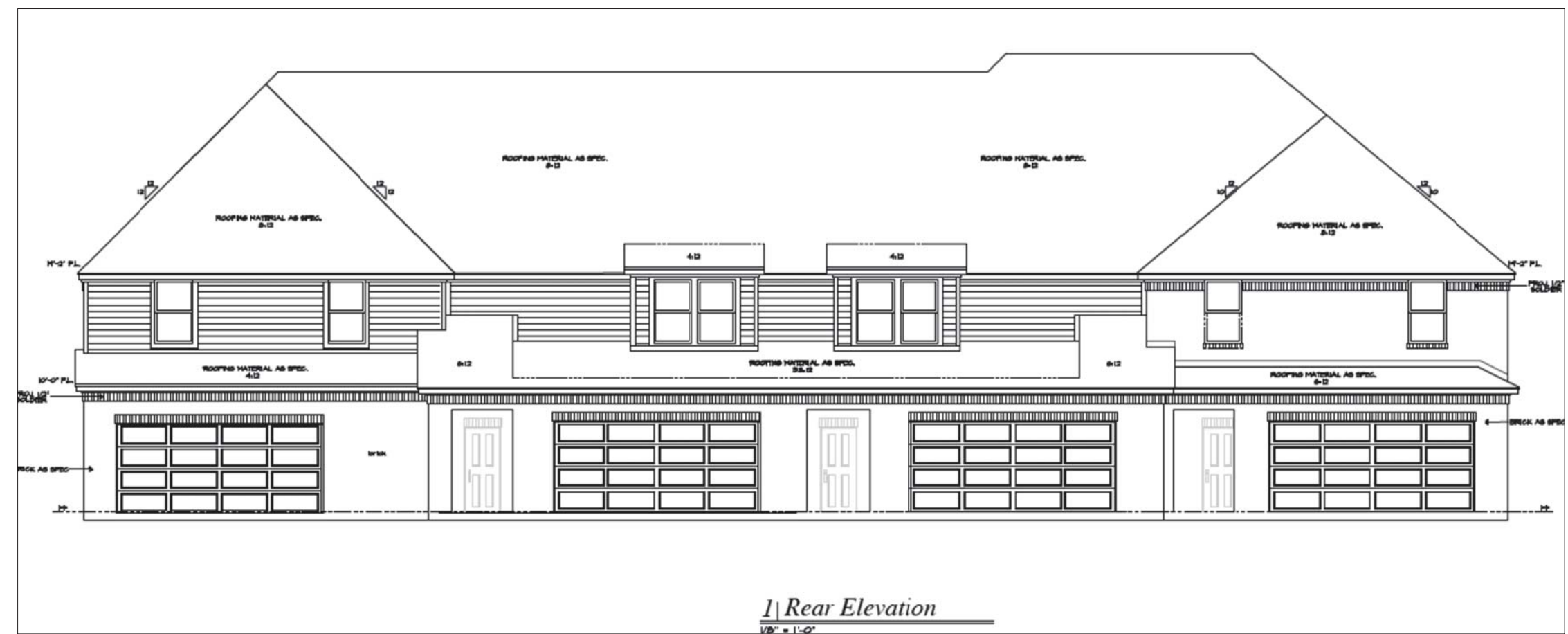
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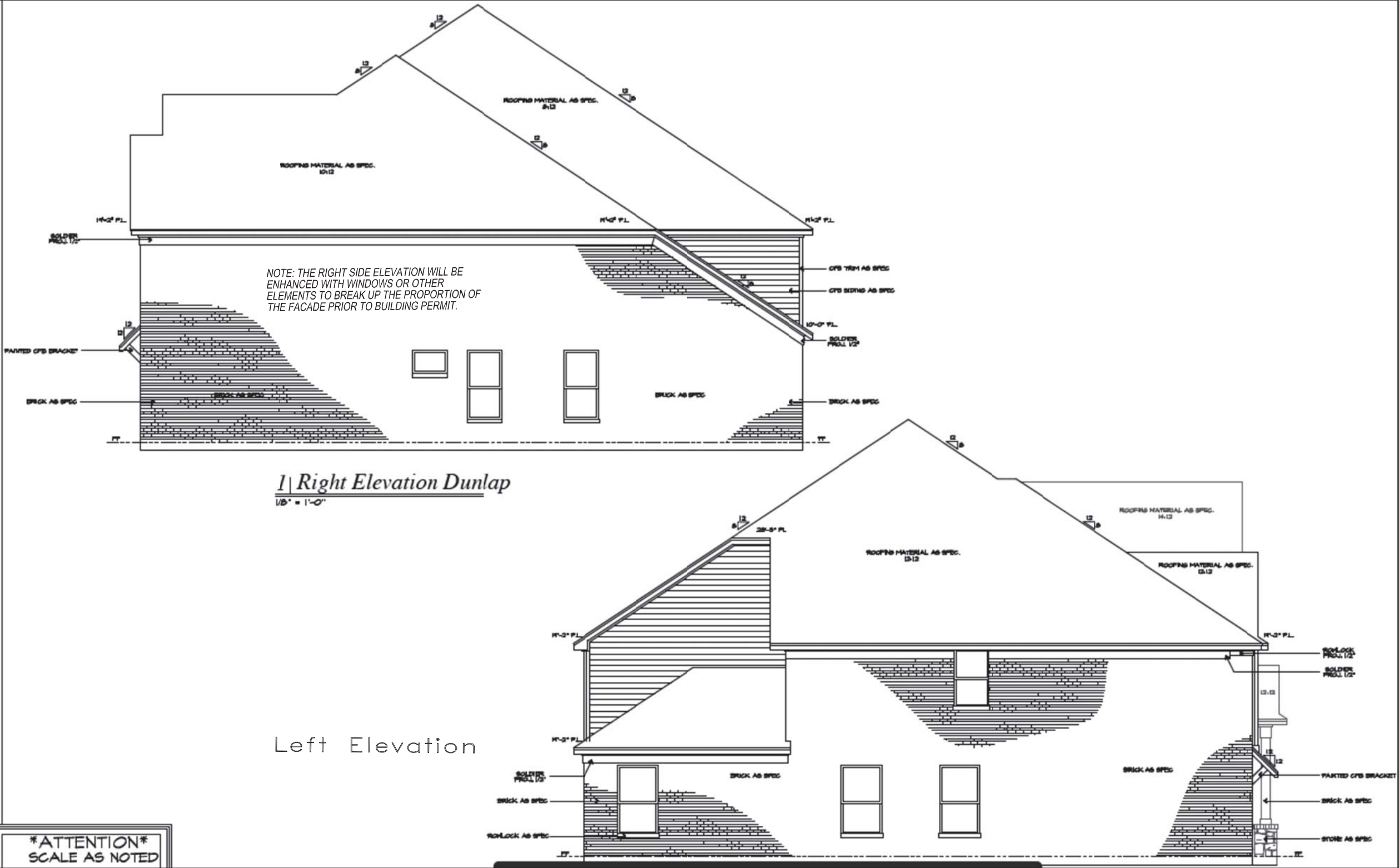


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 AND PLANNING • PROJECT MANAGEMENT • LANDSCAPE ARCHITECTURE
 17703 North Peyco Drive, Suite Q, Arlington, Texas 76001
 Phone: (817) 919-4475 • Email: CALLCOTTER@SBSC03.OBOL.NET
 P.O. Box 1373, Arch. Reg. Board FIRM REG. # BR-1373

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CHARLESTON
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1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS



G.A. DIXON & ASSOCIATES
CIVIL ENGINEERING • HYDROLOGY • FLOOD STUDIES
4305 Mossridge Court, Arlington, Texas 76016
Phone: (817) 919-4475 - Email: EGAD7258@gmail.com
TEXAS ENGINEERING FIRM REGISTRATION #: 15836

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LAND PLANNING • PROJECT MANAGEMENT • LANDSCAPE ARCHITECTURE
1703 North Peyco Drive, Suite Q, Arlington, Texas 76001
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