

# HLC#20-008

## Discussion on the Mansfield Downtown Development Strategies and Preservation Planning



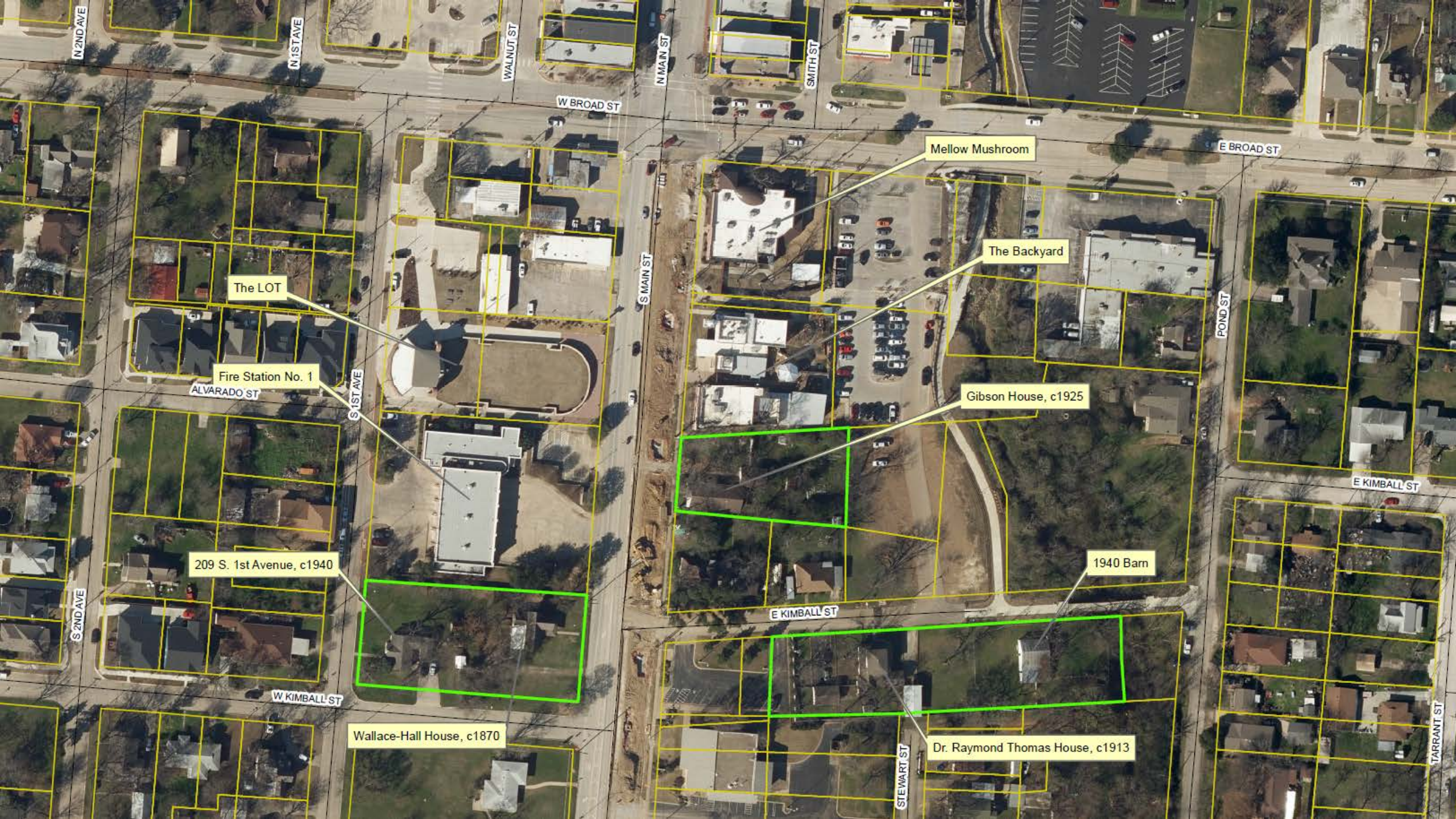
## SECTION 8700.E

If the Historic Landmark Commission finds that certain buildings, land, areas or districts cannot be preserved without acquisition, the Commission shall recommend to the City Planning and Zoning Commission that the fee or a lesser interest in the property be acquired by gift, or purchase, using funds available for preservation or restoration.

# PLANNING FOR NEW DEVELOPMENT







N 2ND AVE

N 1ST AVE

WALNUT ST

N MAIN ST

SMITH ST

W BROAD ST

E BROAD ST

S MAIN ST

POND ST

The LOT

Fire Station No. 1

ALVARADO ST

S 1ST AVE

209 S. 1st Avenue, c1940

S 2ND AVE

E KIMBALL ST

W KIMBALL ST

Wallace-Hall House, c1870

Mellow Mushroom

The Backyard

Gibson House, c1925

1940 Barn

E KIMBALL ST

STEWART ST

Dr. Raymond Thomas House, c1913

TARRANT ST



210 S. Main  
Street -  
Wallace-Hall  
House, c. 1878

This property is listed as a High priority resource. Built ca. 1878. the Wallace-Hall House is a good local, and the only intact, example of a 1-½ story Queen Anne style dwelling in Mansfield. This house is listed on the National Register.



## 203 S. Main Street – Gibson House

This property is listed as a Medium priority resource. This 1925 house is a front-gabled bungalow with Craftsman-style elements. The house has been in the Gibson family since 1949. Prior to that time, property belonged to the A.A. Collier family, whose daughter Ethel married A.S. Gibson.

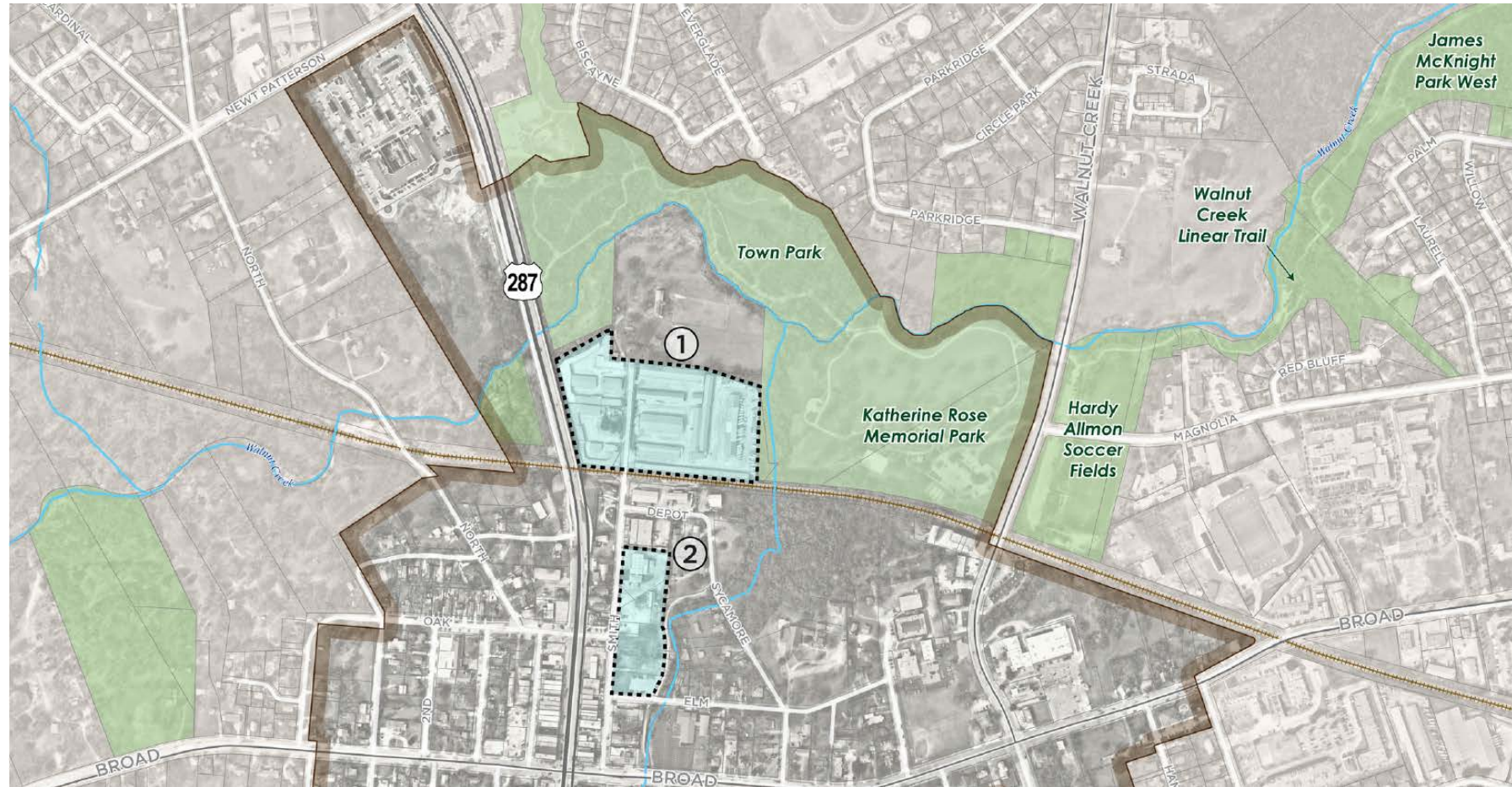




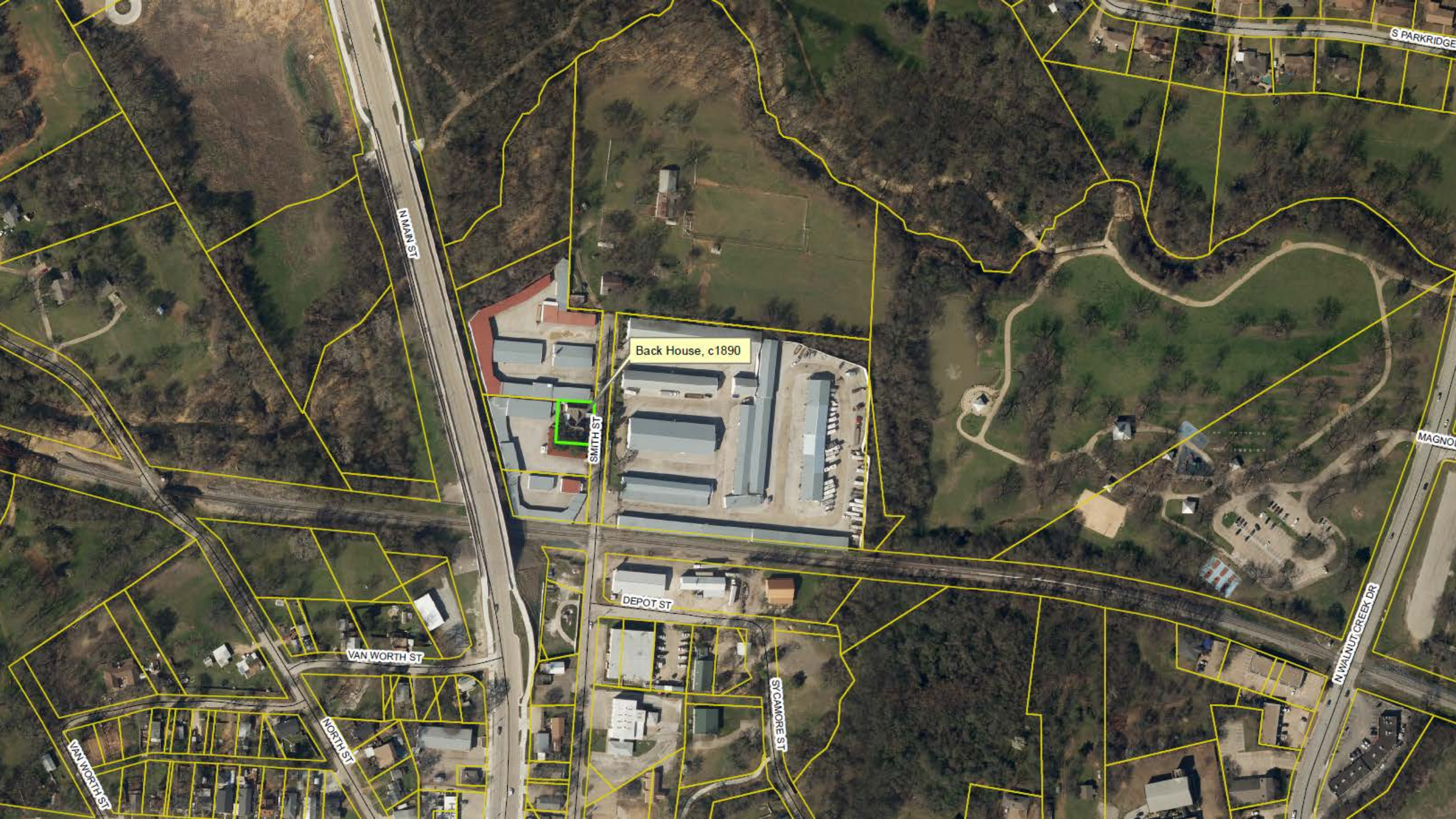
106 E. Kimball  
Street – Raymond  
Thomas House, c.  
1913

This 1½ story wood frame house is thought to have been built in 1913. Originally it was a one-story dwelling with a pyramidal roof and an offset integral porch. This type of house was widely built between 1910 and 1920 in Texas and throughout the nation. The roof line and windows used in the second floor suggest that this part of the house was added about 1940. The house retains a high degree of integrity.

# TRANSIT ORIENTED DEVELOPMENT







Back House, c1890

N MAIN ST

SMITH ST

VAN WORTH ST

NORTH ST

DEPOT ST

SYCAMORE ST

N WALNUT CREEK DR

MAGNOLIA ST

S PARKRIDGE

VAN WORTH ST



# 305 Smith Street – Jacob M. Back House, c. 1890

A prominent landmark on the north edge of central Mansfield, this was the residence of Jacob and Alida Muncy Back and their descendants from about 1891 until the mid 1950s. The Backs enlarged the original one-room house around 1900 and again around 1910. As an excellent example of the typical process by which folk houses grow over time the Back House appears to be eligible for the National Register.



# PRESERVATION PLANNING IDEAS

- ***Identify properties at risk due to new development.***
- ***Attempt to preserve in place.***
  - Recommend incentives that encourage rehabilitation and improvement projects for existing buildings.
  - Work with the Downtown Coordinator to market historic properties
- ***Promote the City's property tax exemption program for historic properties.***
- ***If a historic resource cannot remain in place, explore the possibility of relocating it to a "Historic Village" in the downtown area.***
- ***If a historic resource cannot be preserved, create a system to document its history.***
- ***Establish a process and funding source to use Section 8700.E.***

# HISTORIC VILLAGE CONCEPT

FOUNDERS ROW  
MIDLOTHIAN





# HISTORIC VILLAGE CONCEPT

## DALLAS HERITAGE PARK





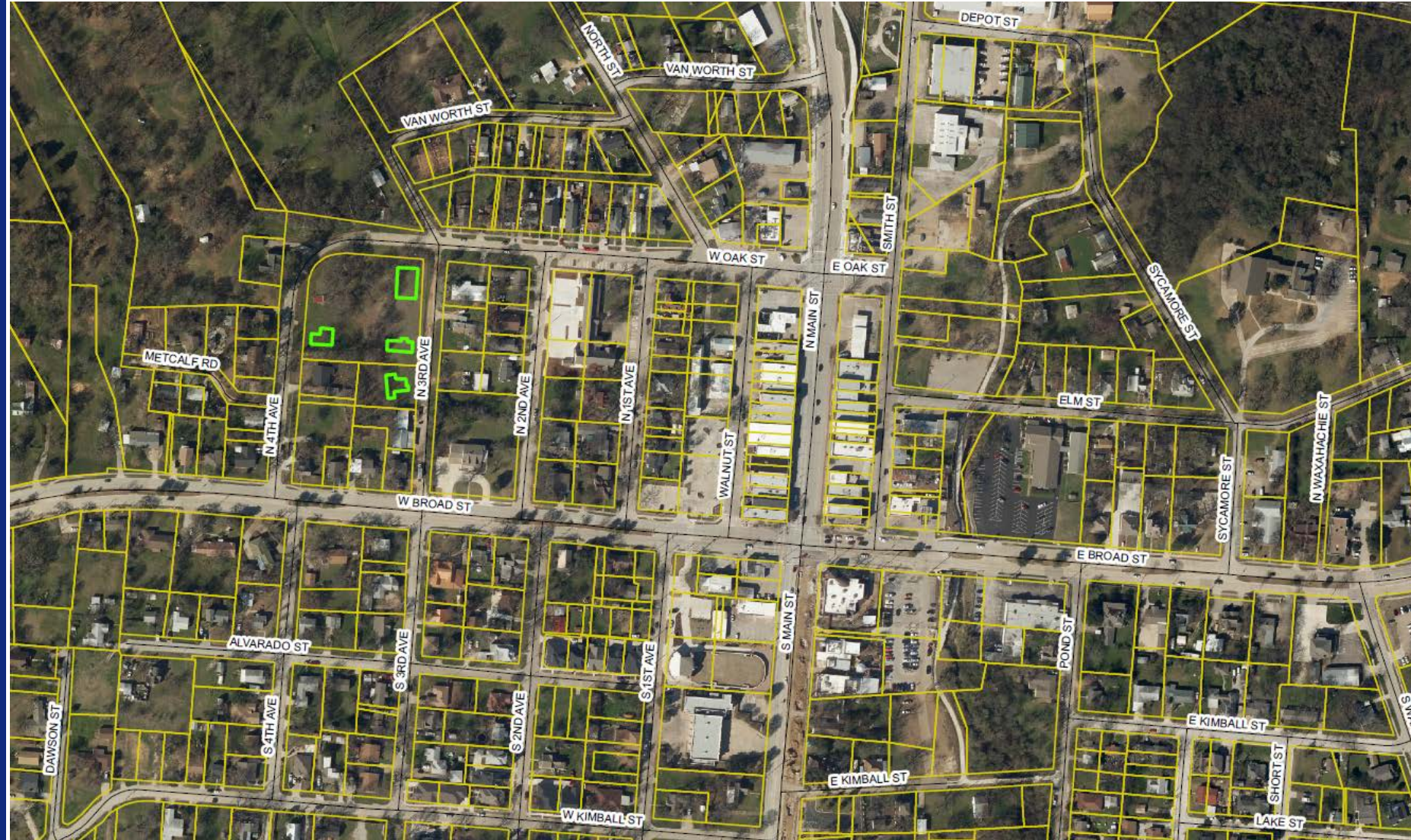
# HISTORIC VILLAGE CONCEPT

## DENTON HISTORICAL PARK





IF HISTORIC  
BUILDINGS  
CANNOT BE  
PRESERVED IN  
PLACE,  
CONSIDER  
RELOCATING

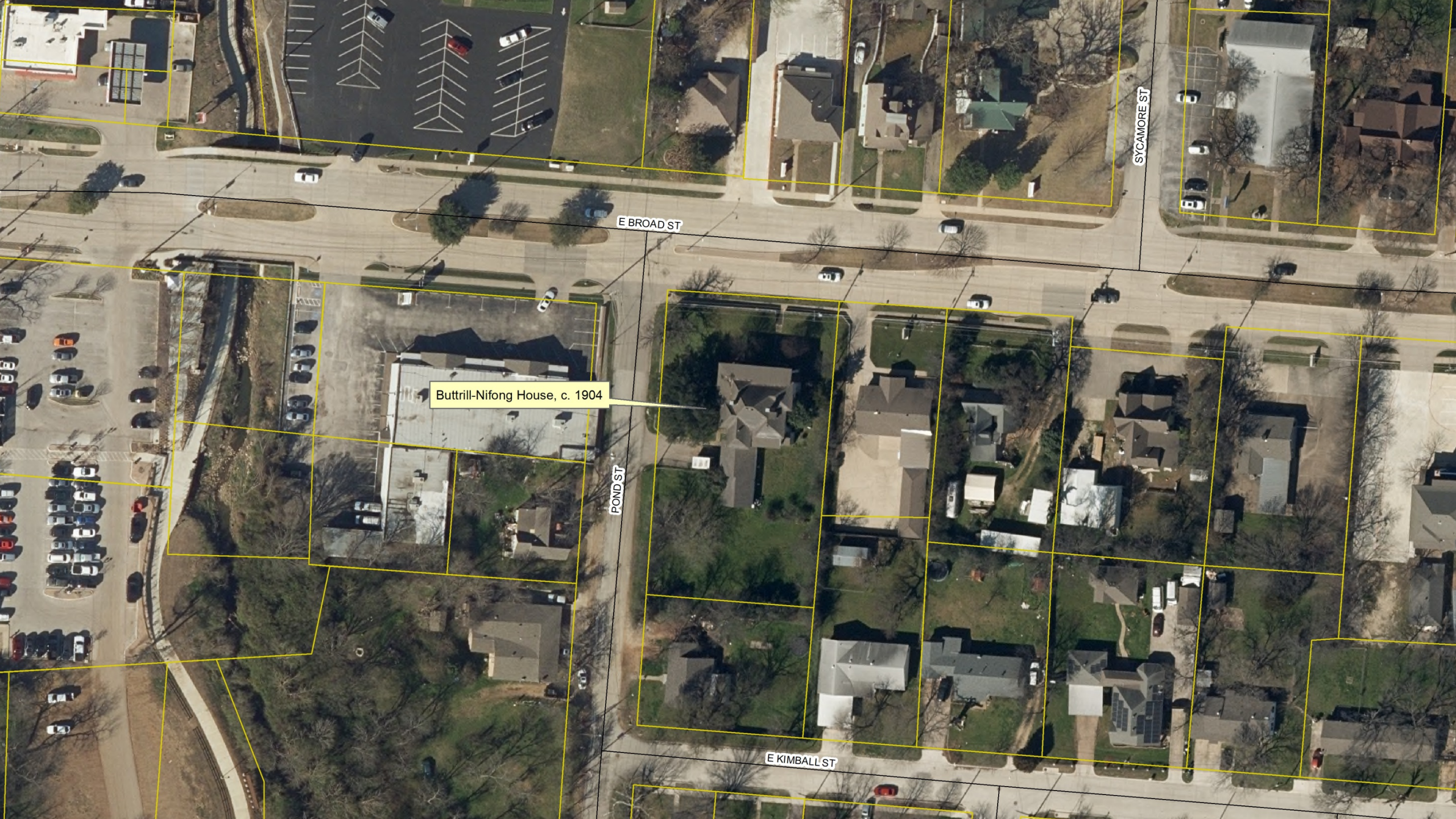




# PLANNING FOR AT RISK PROPERTIES FOR OTHER REASONS







Buttrill-Nifong House, c. 1904

E BROAD ST

POND ST

SYCAMORE ST

E KIMBALL ST



## 302 E. Broad Street

This 1905 house is listed as a high priority and is one of the few remaining grand houses in Historic Mansfield. The house is a candidate for a Historic Preservation Grant.

The Buttrill-Nifong House is the most prominent historic residence in Mansfield, due to its size, design and conspicuous site. The two-story colonnade which extends along the two principal facades is particularly impressive. It was designed and built by local contractor Jay Grow around 1904 for David G. Buttrill, farmer and owner of a general merchandising business who came to Mansfield from Alabama in the 1890s. Subsequent owners included George Casstevens and Dr. Harry D. Nifong.









# North Street – 1922

## Auto Bridge

This structure is listed as a Selected Medium priority resource. This reinforced concrete bridge, spanning Walnut Creek on old State Highway 34, replaced an iron truss bridge that was washed away by flood waters in 1922. It was designed by the Tarrant County Engineering Department. The bridge is slated for demolition as part of future North Street improvements.





# PRESERVATION PLANNING IDEAS

- *Establish a process for identifying properties at risk of demolition by neglect.*
- *Promote the City's property tax exemption program for historic properties.*
- *Develop a list of properties rated SELECTED LOW and LOW from the Historic Resources Survey that have significance to the community. Seek local landmark status for these properties.*
- *Use the City's Property Code, Vacant Building Ordinance, and the Omission of Repairs provisions of the Zoning Ordinance to enforce maintenance.*
- *Establish a program to acquire an interest in a historic property:*
  - Façade easements where owner retains ownership
  - Land purchase where City or other entity acquires the property
- *Establish a process and funding source to use Section 8700.E.*