VISIBILITY-TRIANGLE (1'x385')

15 -0" DRAINAGE AND

UTILITY EASEMENT

10'-0' MINIMU

SIDE YARD

R = 785.00' D = IT' 14'-55'

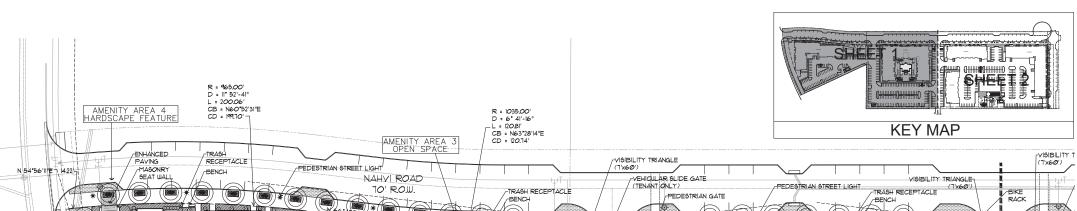
L = 236.32 CB = N46*14'35"E CD = 235.43

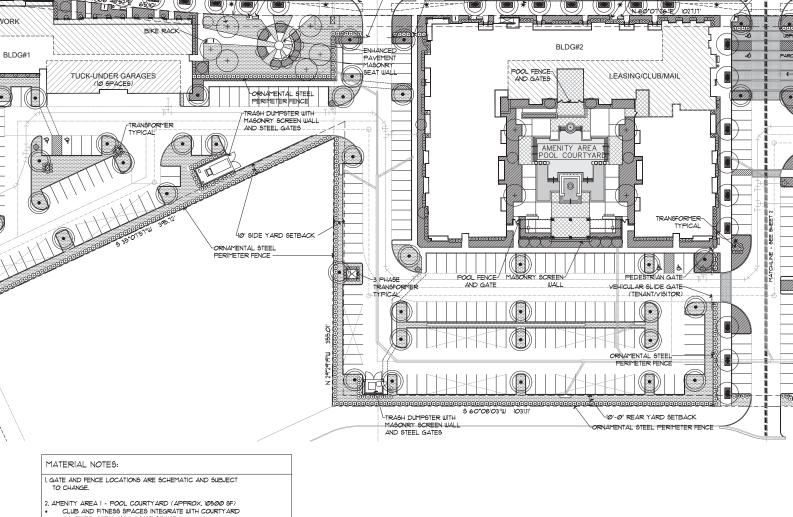
ORNAMENTA

STEEL PERIMETER

SWITCHGEAR TYPICAL

SETBACK





COVERED OPEN-AIR LOUNGE SPACE

RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES

LOUNGE CHAIRS AND OUTDOOR FURNITURE
GRILLING STATION WITH BAR COUNTER
ENHANCED PAVEMENT POOL DECK

SYNTHETIC TURF LAWN AREAS

3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 132009F FENCED DOG PARK WITH PET STATIONS LAUN AREA FOR RESIDENT STRUCTURED RECREATIONAL

SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT

SPACES
OUTDOOR FURNITURE AND BENCH SEATING

FESTIVE STRING LIGHTING

SHADE TREES AND ENHANCED PLANTING

. AMENITY AREA 3 - OPEN SPACE (APPROX. 4500SF PASSIVE ZONE ADJACENT TO STREET FRONTAGE AND

ACCESSIBLE TO THE PUBLIC

ACCESSIBLE TO THE PUBLIC INTIMATE HARD SURFACE SITTING AREA BENCH SEATING AND MASONRY SEAT WALL SHADE TREES AND ENHANCED PLANTING PEDESTRIAN SCALED LIGHT FIXTURES

ENHANCED PAVEMENT

5. AMENITY AREA 4 - HARDSCAPE FEATURE MASONRY SEAT WALL WITH MEMORIAL PLAQUE

ENHANCED PAVEMENT

6. DETAILS SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT EAUDECAPTION TRAINING THE PROPERTY TOWNER, TRAINING AS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING ACTIVITIES CONTROL TO THE TRAINERANCE OF LANDSCAPING.

LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS

AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING.

PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A DRIP IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED REPAIRED, SERVICED AND

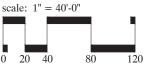
OPERATED IN A MANNET HAT WILL PROMOTE WATER CONSERVATION.

FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS
SHALL REMAIN CLEAR OF SHRIBS OR OTHER LANDSCAPE MATERIAL

THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL

N MEIGHT 18 ALLOWED WITHIN THESE TRIANGLES.

IN HEIGHT 18 ALLOWED WITHIN THESE TRIANGLES.





BLDG



CONCEPT PLANT SCHEDULE

Ulmus americana / American Elm

Ulmus parvifolia / Lacebark Elm

STREET TREE (5' CALIPER MINIMUM/3.5' CALIPER MINIMUM AT REGENCY PARKUMAY)
Acer grandidentatum / Bigtooth Maple
Ulmus crassifolia / Cedar Elim Quercus fusiformis / Live Oak Quercus Shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress

MAY INCLUDE BUT NOT LIMITED TO

PARKING LOT TREE (3.5" CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus Shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm

ADDITIONAL CANOPY TREE (3' CALIPER MINIMUM)
Acer grandidentatum / Bigtooth Maple
Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus Shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Eli Ulmus parvifolia / Lacebark Elm

SMALL TREE (2' CALIPER MINIMUM) Cersis canadensis texensis / Texas Redbud llex decidua / Possumhaw Holly
llex opaca 'savamah' / Savamah Holly
llex vomitoria / Yaupon Holly
Koeireuteria paniculata / Golden Rain Tree Lagerstroemia inclica / Crape Myrtle Myrica cerifera / Souther Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree

<u>DENSE EVERGREEN SHRUBS</u> (5 GALLON MINIMUM) Eleagnus ebbengii / Eleagnus Ilex x attenuata 'Foster' / Foster Holly ilex x attenuat Foster Foster Holly llex cornuta / Chinese Holly llex cornuta 'Burfordii Nana / Dwarf Burford Holly llex x 'Nellie R Stevens' / Nellie R Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaubon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle

SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia
Hesperaloe parviflora / Red Yucca
Ilex cornuta 'Burfordii Nana / Dwarf Burford Holly Juniperus sabina 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense "Variegata" / Varigated Chinese Privet Spirea sp. / Dwarf Spiraea

PERENNIAL (1 GALLON MINIMUM) 384

17,14Ø sf PLANTING AREA

TURF (SOLID SOD) 59,59Ø sf

EVERGREEN GROUNDCOVER (1 GALLON MINIMUM) 2,3Ø9 sf

> SUP #21-001 LANDSCAPE PLAN - EXHIBIT D JLB MANSFIELD

HANNOI LELD
HANNOI

ENVIRO DESIGN

1424 GREEN/LLE AVENUE, SUITE 200

DALLAS, TX 1523

PHONE: (214) 981-300

CONTACT: STEVEN REDDY

REDDY®ENVIRODESIGN-DAIL AGOAT

REDDY®ENVIRODESIGN-DAIL AGOAT

CONTACT: WEITHOUS CHURCH

BCHURCLIS I SET CONTACT

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ENVIRO

DESIGN

FOR PRELIMINARY REVIEW ONLY. NOT FOR PERMITTING ΩR CONSTRUCTION

REVISIONS 03-04-2021

SFIEL JLB PARTNERS LLC MANSFIELD, TEXAS AN Ξ JLB

SCALE

1" = 40'-0'

DATE

02-01-2021

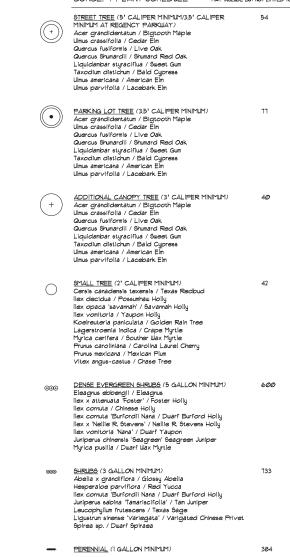
LANDSCAPE PLAN

SHEET EXHIBIT D 1 OF 4

1" = 40'-0'

PLAN

SHEET EXHIBIT D 2 OF 4

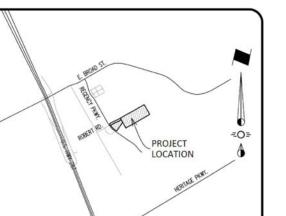


NOTE: REFERENCE EXHIBIT D SHEET I FOR GENERAL NOTES AND MATERIAL NOTES.

EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)

PLANTING AREA

TURF (SOLID SOD)



LOCATION MAP

VISIBILITY TRIANGLE (T'x60')

RACK

TRASH RECEPTACLE

TRASH-RECEPTACLE

VEHICULAR SLIDE GATE

PEDESTRIAN GATE

PERIMETER FENCE

VEHICLE

PEDESTRIAN GATE

BIKE RACK

ORNAMENTAL STEEL PERIMETER FENCE

BLDG#3

TUCK-UNDER GARAGES

TRANSFORMER

Ò.

VISIBILITY TRIANGLE-(1'x60')

5"E 1021,11'

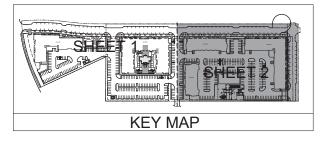
MAIL

ANSFORMER-TYPICAL

GATE SITOR)

· SETBACK

:RIMETER FENCE



M

PEDESTRIAN

RECYCLE CENTER WITH

TRASH DUMPSTER WITH MASONRY SCREEN WALL AND STEEL GATES

10'-0" REAR YARD SETBACK ORNAMENTAL STEEL PERIMETER FENCE-

MASONRY SCREEN WALL AND STEEL GATES

GATE

NAHVI ROAD

70' R.O.W.

TUCK-UNDER GARAGES

(10 SPACES)

3 PHASE TRANSFORMER TYPICAL

PEDESTRIAN GATE

VEHICULAR SLIDE GATE

BLDG#4

TRASH RECEPTACLE

TRIANGLE

PEDESTRIAN STREET LIGHT

TRIANGLE

TRASH RECEPTACLES

TRASH RECEPTACLE

BENCH BIKE RACK

BENCH TRASH RECEPTACLE

BIKE RACK

STEEL PERIMETER

FENCE

TRANSFORMER

YPICAL

AMENITY AREA 2

DOG PARK/RESIDEN

ACTIVITY ZONE

5 60°03'03"W 1031,111

scale: 1'' = 40'-0''



JLB MANSFIELD JED HANDFIELD

BLOCK A, LOT I

N THE CITY OF MANGFIELD, TARRANT COUNTY,
TEXAS

E. MCANIER SURVEY, ABST. NO. 10/09

560/564 5q. Ft. (Cross) / 12869 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

SUP #21-001 LANDSCAPE PLAN - EXHIBIT D

17,140 sf

59,59Ø sf

LANDSCAPE ARCHITECT QUNER / APPLICANT JLB REALTY, LLC

1424 GREENVILE AVENUE, SUITE 200 3890 W. NORTHWEST HIGHWAY, 1TH FLOOR DALLAS, TEXAS 15720 DALLAS, TEXAS 15720 CONTACT: STEVEN REDDY

SREDDY®ENVIRODESIGN-DALLAS,COM

PHONE: (214) 211-2480

File Plot

LANDSCAPE REQUIREMENTS	
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF "THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT" AS ADOPTED BY THE CITY OF MANSFIELD.	
SECTION 8 - PARKING AREAS	
8.4 <u>SURFACE PARKING LANDSCAPING</u> - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.	PROVIDED
86 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.	PROVIDED
SECTION 10 - SERVICE AND EQUIPMENT AREAS	
102 9ERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.	PRÓVIDED
SECTION 13 - STREETSCAPE AND OPEN SPACE	
13. FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FACADE TO OFFER AN INVITING WALKING EXPERIENCE, PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.	PRÓVIDED
132 <u>STREETSCAPES</u> - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (35) FEET FROM THE BACK OF CURB, TREES TO HAVE A MINIMUM CALIPER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.	PROVIDED
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER TREES SHALL HAVE A MINIMUM CALIPER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.	PROVIDED
156 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (16) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TUELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (15) FEET FROM THE FACE OF THE CURB.	PRÓVIDED
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT, THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED, OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.	PROVIDED
13.9 <u>STREET BENCHES</u> - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HINDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY, STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.	PROVIDED
13.10 <u>STREET LIGHTS</u> - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.	PROVIDED
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AYERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	PROVIDED
13.12 <u>LITTER CONTAINERS</u> - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	PROVIDED
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS	
Q. PARKING LOT PERINETER LANDSCAPING: (1) IN THE MF-1, MF-2, OP, C-1, C-2, C-3, 1-1, AND 1-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKINS LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SOREENED BY ONSITE BUILDINGS SHALL BE SCREENED BY OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:	PROVIDED
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.	PROVIDED
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING, 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS	SHRUBS
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	N/A
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.	N/A
R PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (IØ) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.	
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.	PROVIDED (51Ø 9URFACE/1Ø=51)
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:	
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROUS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.	N/A
(6) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-1SLAND.	PROVIDED
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.	PROVIDED
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.	PROVIDED *(NORTH/60UTH DRIVE TO INCORPORATE TREES IN TREE WELLS IN SIDEWALK IN LEIU OF TREES IN PARKING ISLANDS AS APPROVED BY CITY STAFF)
8. PARKING END CAPS; ONE (1) LANDSCAPE (9) LAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) (9) LANDS AND TWO (2) TREES.	PROVIDED

	Out II IA		RT - BUFFER YARDS/	المراحات	1.0	
LOCATION OF BUFFERYARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES	9CREENING WALL/ DEVIC HEIGHT AND MATERIAL
NORTH (NAHVI ROAD)	REQUIRED (1 TREE/ 3Ø LF)	1,404261	LOCAL STREET 10' ROW.	47	N/A	N/A
	PROVIDED	1,404.261	LOCAL STREET 10' ROW.	*38	N/A	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW.	11	N/A	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW.	*8	N/A	N/A
SOUTH	REQUIRED	1031.11'	IØ' REAR YARD SETBACK	N/A	N/A	N/A
	PROVIDED	1031,111	IØ' REAR YARD SETBACK	N/A	N/A	N/A
WEST (INSET)	REQUIRED	355.ØI'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
SOUTH (INSET)	REQUIRED	395.721	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	395.721	10' SIDE YARD SETBACK	N/A	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45	IØ' MIN. SIDE YARD SETBACK	8	N/A	N/A
	PROVIDED	312.45	IØ' MIN. SIDE YARD SETBACK	8	N/A	N/A

OTHER COMMENTS: N/A

*STREET TREE QUANTITY REDUCED BY CITY STAFF TO ACCOMMODATE VISIBILITY TRIANGLE

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,44Ø SF	10%	N/A	N/A	N/A	N/A
PROVIDED	44,44Ø SF	10%	N/A	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING			
NUMBER OF REQUIRED PARKING SPACES	407		
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510		
NUMBER OF TREES REQUIRED (I TREE/ IØ SPACES)	51		
NUMBER OF TREES PROVIDED	TT		
NOTE ANY CREDITS USED IN CALCULATIONS: N/A			
OTHER COMMENTS: N/A			

CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

<u>STREET TREE</u> (5' CALIPER MINIMUM/3.5' CALIPER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus Shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm

PARKING LOT TREE (3.5" CALIPER MINIMUM)
Acer grandicientatum / Bigtooth Maple
Ulmus crassifolia / Ceclar Elm
Quercus Risiformia / Live Oak
Quercus Shumardii / Shumard Red Oak
Liquidambar styracifiua / Sweet Gum
Taxodium Gistchum / Baid Cypress
Ulmus americana / Americana Elm
Ulmus americana / Americana Elm Ulmus parvifolia / Lacebark Elm

ADDITIONAL CANOPY TREE (3* CALIFER MINIMUM)
Acer grandicientatum / Bigtooth Mapie
Ulmus crassifolia / Cedar Elin
Quercus Bruifornis / Live Oak
Quercus Shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm

9MALL TREE (2" CALIPER MINIMUM) Cersis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly llex opaca 'savannah' / Savannah Holly llex opaca 'savanna'r / Savannan Hotiy llex vomitoria / Yaupon Holiy Koelreuteria paniculata / Golden Rain Tree Lägerstroemia indica / Crape Myrtle Myrica cerifera / Souther ilbax Myrtle Frunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree

DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) DENDE EVERGREEN SHRUDD (9 CALLON FIRMING):
Eleagnus elbengii / Eleagnus
Ilex x attenuata 'Foster' / Foster Holly
Ilex cornuta / Chrisese Holly
Ilex cornuta 'Burfordii Nana / Duarf Burford Holly
Ilex X Nellie R Stevens' / Nellie R Stevens Holly llex vomitoria Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle

SHRUBS (3 GALLON MINIMUM)
Abelia x grandiflora / Glossy Abelia
Hesperaloe parvillora / Red Yucca
llex comuta 'Burfordii Nana / Dwarf Burford Holly 733 Juniperus sabina Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Varigated Chinese Privet Spirea sp. / Dwarf Spiraea

PERENNIAL (I GALLON MINIMUM) 384

PLANTING AREA 17.14Ø sf TURF (SOLID SOD) 59,59Ø sf

EVERGREEN GROUNDCOVER (1 GALLON MINIMUM) 2,309 sf

> SUP #21-001 LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D

JLB MANSFIELD BLOCK A, LOT I

N THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST, NO. 10/05

56/0504 9q. Ft. (Gross) / 12/69 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT OWNER / APPLICANT
ENVIRO DESIGN
1424 GREENVILLE AVENUE, SUITE 200 3890 W. NORTHWEST HIGHWAY, THY FLOOR
DALLAS, TX-1523 DALLAS, TX-345 15220
PHONE: (2)4) 987-3010 CONTACT: BRITTON CHURCH CONTACT: STEVEN REDDY SREDDY@ENVIRODESIGN-DALLAS.COM

BCHURCH@JLBPARTNERS.COM PHONE: (214) 271-8480

02-01-2021

LANDSCAPE PLAN

SHEET EXHIBIT D 3 OF 4

File Plot

13 GAUGE, \$\frac{1}{2}\text{* HOLE METAL MESH PANELS WITH \$MOOTH EDGES - MINIMUM 18" FROM LOCK MECHANISM - BOLT OR WELD TO FRAME ON INSIDE OF GATE AND FENCE

TOP OF FENCE TO BE LEVEL

1 1/2" SQ. STEEL RAILS AND POSTS.

MAXIMUM POST SPACING 6'-0"o.c.
(EQUAL POST SPACING BETWEEN FIXED POINTS)

KANT-9LAM SELF CLOSING GATE MECHANISM (OR APPROVED

EQUAL) WITH (2) SELF CLOSING GATE HINGES - 3/4" SQ, STEEL PICKETS

4"o.c. MAXIMUM PICKET SPACING

CONCRETE FOOTING (STRUCTURAL DESIGN BY ENGINEER)

PRIME AND PAINT FENCE AND GATE TO MATCH

MOTES:

PRIME AND PAINT FENCE AND GATE TO MATCH
BUILDING RAILINGS.

GATE TO OPEN AWAY FROM POOL YARD.

GATE TO PEN AWAY FROM POOL YARD.

GATE TO PEN AWAY FROM POOL YARD.

GATE AND FENCE LOCATION ARE CO-LEMATIC ONLY
APPLICABLE OF THE TALL APPLICABLE STATE
AND LOCAL CODES, VERIFY HEIGHT REQUIREMENTS.

OPERATION OF GATE TO COMPLY WITH ADD

REQUIREMENTS, INCLIDING OPERABLE WITH ONE
HAND, BINS B LIBE MAXIMUM PRESSURE WITHOUT TIGHT
GRASPING, PINCHING OR TWISTING OF THE WRIST

GRASPING, PINCHING OR TWISTING OF THE WRIST

GRASPING, PINCHING OR TWISTING OF THE WRIST

FROWIDED FOR A MINIMUM OF TEN INCHES ABOVE
BOTTOM GATE RAIL PER AND ANY CANTIES
AT TOP OF PLATE TO BE CAPPED, PISURE
HORIZONTAL/VERTICAL JOINTS ARE LESS THAN INC.

ALL STEEL RAILINGS AND GATES TO BE FARRICATED

WITH CONTRACTOR SHALL BUSINESS

CONTRACTOR SHALL BUSINES

FOR APPROVAL PRIOR TO CONSTRUCTION.

REIN-PROVAL PRIOR TO CONSTRUCTION.

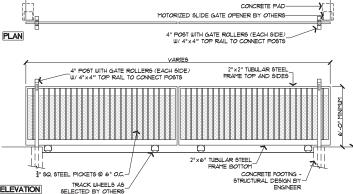
3/4" = 1'-0"

TOP OF FENCE TO BE LEVEL - STEP AT POST MODULE AS REQUIRED TO ACCOMMODATE GRADE CHANGE. 2" SQ. STEEL TOP RAIL -NOTES: 1. PRIME AND PAINT FENCE TO MATCH BUILDING RAILINGS. 2. REINFORCING AND FOOTING DETAILS FOR FENCE POSTS BY 2" SQ. STEEL POST @ DETAILS FOR FENCE POSTS BY STRUCTURAL ENGINEER
3. MAXIMM SPACING BETWEEN POSTS SHALL BE 61-07.
4. ALL STEEL RAILINGS TO BE FABRICATED WITH CONTINUOUS WELDS AND GROUND SMOOTH.
5. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO CONSTRUCTION, 3 90. STEEL PICKETS 2 6 0.C. 2" SQ. STEEL BOTTOM _ RAIL _ - FINISH GRADE CONCRETE FOOTING STRUCTURAL DESIGN
BY ENGINEER, EMBED
STEEL POST 2'-6" MINIMUM

PERIMETER FENCE

3/4" = 1'-0"

ORNAMENTAL STEEL FENCE AND GATES TO HAVE "DECO-GUARD" (CLASSIC) TO A MINIMUM HEIGHT OF 4'-O" ABOVE BOTTOM RAIL. "DECO-GUARD" TO BE INSTALLED ALONG THE ENTIRE LENGTH OF FENCE THAT HAS GATE SLIDING BEHIND IT, MAXIMUM HORIZONTAL OPENING IN "DECO-GUARD" TO BE 2 $\frac{1}{4}$, INSTALLED ON INSIDE FACE OF FENCE.



NOTES.

I. THIS DETAIL. IS FOR DESIGN INTENT PURPOSES ONLY.

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CONTRACTOR TO SUBHIT GATE HARDWARE AND FABRICATION SHOPPING TO SUBHIT OF A PROPOSED AND TO COUNER AND LANDSCAPE OF THE COUNTRY OF THE COUNTRY OF THE CONTRACTOR OF THE CONTRACTOR OF THE CONTRACTOR TO VERIFY GATE OPERATORS SPECIFICATIONS WITH SINAL DESIGN AND WEIGHT OF GATES OF THE CONTRACTOR TO INSTALL SILDE GATES AND GATE OPERATORS PER MANUFACTURERS DETAIL AND SPECIFICATIONS. ALL SHICKLICA GATE INSTALLATION AND EQUIPMENT TO MEET ALL ILL IS 35 AND ASTM F2200-02 STANDARDS AND SPECIFICATIONS.

I. FRITE AND PAINT SILDE GATE TO MATCH BUILDING RAILINGS.

6. CATE HEIGHT TO BE 6'-0" FROM TOP OF CURB GRADES.

9. VERIFY FIRE DEPARTMENT REQUIREMENTS FOR EMERGENCY OPENING.

OPENING. IO. SINGLE SLIDE VEHICULAR GATE TO BE SIMILAR TO THIS DETAIL.

VEHICULAR SLIDE GATE

TRACK WHEELS AS SELECTED BY OTHERS

ELEVATION

JLB Mansfield — submitto 03/26/2021 — 11:56am

File Plo≠

3'-6" GATE (3'-0" CLEAR MINIMUM) KANT-SLAM' SELF CLOSING GATE TOP OF GATE TO BE LEVEL 2" SQ. STEEL TOP RAIL MECHANISM (OR APPROVED EQUAL) WITH (2) SELF CLOSING GATE HINGES ∛" MAX.~ NOTES: 1. PRIME AND PAINT GATE TO MATCH BUILDING RAILINGS. 2. REINFORCING AND FOOTING DETAILS FOR FENCE POSTS BY 1. PRINIE AND PAIN DATE IN OFFICIAL PRILIDING SALINAS,
2. REINFORCIA AND POOTING DETAILS FOR FENCE POSTS BY
STRUCTURAL ENGINEER
3. PROVIDE 3-6" ACCESS GATE WHERE SHOWN ON PLAN. HC
ACCESSIBLE ENTRY LOCK FEATURE AS SELECTED BY
OWNER SELE LATICHING AND LOCKING MECHANISY.
4. ENSURE 5X5 CLEAR SPACE ON FULL SIDE OF GATES,
5. ALL STEEL GATES AND RALINGS TO BE FABRICATED WITH
CONTINUOUS WELDS AND GROUND SMOOTH.
6. CONTRACTOR TO SUBPITIES HOP DRAWINGS FOR APPROVAL
PRIOR TO CONSTRUCTION.
1. ALL GATES TO MEET ALL APPLICABLE STATE AND LOCAL
CODES AND ADA STANDARDS AND GUIDELINES.
8. OPERATION OF GATE TO COMPLY WITH ADA REQUIREMENTS,
INCLUDING OPERABLE WITH ONE HAND, USING SLEP FMAXIMUM
PRESSURE WITHOUT SIGHT GRAPPING, PINCHING OR FUNSTING
OF THE WRIST. 2" SQ. STEEL POST SELF-LATCHING AND LOCKING SELF-LATCHING AND LOCKING MECHANISM OUTSIDE PEDESTRIAN GATE TO HAVE SIMPLEX TYPE LOCK (OR EQUAL) WITH LEYER HANDLE AS SELECTED BY OWNER NISIDE OF GATE TO HAVE LOCK AS SELECTED BY CHAPE LOCK AS SELECTED FOR SECURITY AROUND LOCK MECHANISM IF REQUIRED WITH SELECTION OF LOCK OF THE WRIST.

GENSURE SMOOTH SURFACE (STEEL PLATE) IS PROVIDED FOR A HINNIM OF THE INCHES ABOVE BOTTOM GATE RAIL PER ANSI 40425 STEEL PLATE TO BE FLUSH WITH GATE PICKETS AND ANY CAVITIES AT TOP OF PLATE TO BE CAPPED. ENSURE HORIZOTHA/VERTICAL JOINTS ARE LESS THAN 165. ₹" SQ. STEEL PICKETS @ 6" O.C. 2" 9Q. STEEL BOTTOM RAIL - FINISH GRADE STEEL PLATE ON PUSH SIDE OF GATE WALKWAY (REFERENCE PLANS) 1 1 SAND CUSHION CONCRETE FOOTING (STRUCTURAL DESIGN BY ENGINEER) EMBED STEEL POST 2'-6" MINIMUM. IS" MIN. FROM EDGE OF GATE ON PULL. 9IDE AND 12" MIN. FROM EDGE OF GATE ON PUSH 9IDE 5'-O" X 5'-O" MIN, LANDING FOR HANDICAP ACCESS (ON BOTH SIDES OF GATE - REFERENCE PLAN)

PERIMETER GATE

3/4" = 1'-0"

SUP #21-001 LANDSCAPE PLAN - EXHIBIT D JLB MANSFIELD

BLOCK A, LOT I

IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS

E. McANIER SURVEY, ABST, NO, 1005
560564 5q, Et. (Cross) / 12869 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT OWNER / APPLICANT
ENVIRO DESIGN JLB REALTY, LLC
1424 GREENVILLE AVENUE, SUITE 200 3890 W.NORTHUEST HIGHWAY, THI FLOOR DALLAS, TEXAS 15220 CONTACT: BRITTON CHURCH BCHURCH@JLBPARTNERS.COM PHONE: (214) 271-8480 DALLAS, TX 75231

ENVIRO DESIGN

TIP

FOR PRELIMINARY

REVIEW ONLY NOT FOR OR CONSTRUCTION

REVISIONS 03-04-2021 03-18-2021

SFIEL JLB PARTNERS MANSFIELD, T AN Ξ

SCALE

AS NOTED

DATE

02-01-2021

TITLE LANDSCAPE PLAN

SHEET EXHIBIT D 4 OF 4