

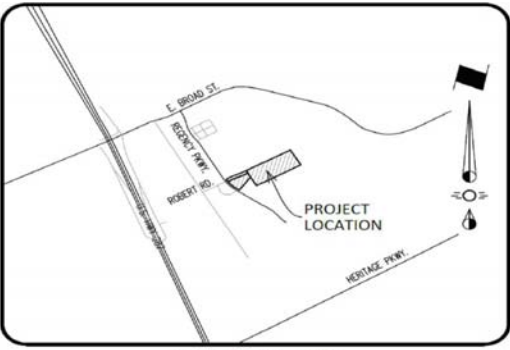
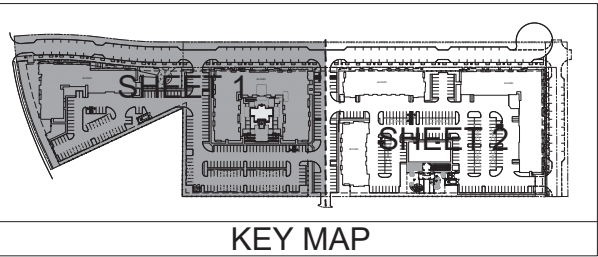
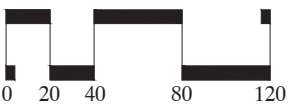
MATERIAL NOTES:

1. GATE AND FENCE LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE.
2. AMENITY AREA 1 - POOL COURTYARD (APPROX. 10500 SF)
 - CLUB AND FITNESS SPACES INTEGRATE WITH COURTYARD
 - COVERED OPEN-AIR LOUNGE SPACE
 - RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES
 - LOUNGE CHAIRS AND OUTDOOR FURNITURE
 - GRILLING STATION WITH BAR COUNTER
 - ENHANCED PAVEMENT POOL DECK
 - SYNTHETIC TURF LAWN AREAS
3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 13200 SF)
 - FENCED DOG PARK WITH PET STATIONS
 - LAWN AREA FOR RESIDENT STRUCTURED RECREATIONAL ACTIVITY
 - SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT SPACES
 - OUTDOOR FURNITURE AND BENCH SEATING
 - FESTIVE STRING LIGHTING
 - SHADE TREES AND ENHANCED PLANTING
4. AMENITY AREA 3 - OPEN SPACE (APPROX. 45000 SF)
 - PASSIVE ZONE ADJACENT TO STREET FRONTAGE AND ACCESSIBLE TO THE PUBLIC
 - INTIMATE HARD SURFACE SITTING AREA
 - BENCH SEATING AND MASONRY SEAT WALL
 - SHADE TREES AND ENHANCED PLANTING
 - PEDESTRIAN SCALED LIGHT FIXTURES
 - ENHANCED PAVEMENT
5. AMENITY AREA 4 - HARDSCAPE FEATURE
 - MASONRY SEAT WALL WITH MEMORIAL PLAQUE
 - ENHANCED PAVEMENT
 - ENHANCED PLANTING
6. DETAILS SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED, REPAIRED, SERVICED AND OPERATED IN A MANNER THAT WILL PROMOTE WATER CONSERVATION.
3. FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS SHALL REMAIN CLEAR OF SHRUBS OR OTHER LANDSCAPE MATERIAL THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL.
4. VISIBILITY TRIANGLE: NO TREES, SIGNS OR ANYTHING OVER TWO (2) FEET IN HEIGHT IS ALLOWED WITHIN THESE TRIANGLES.

scale: 1" = 40'-0"



CONCEPT PLANT SCHEDULE

MAY INCLUDE BUT NOT LIMITED TO

+	STREET TREE (5" CALIFER MINIMUM/3.5" CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
•	PARKING LOT TREE (3.5" CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
+	ADDITIONAL CANOPY TREE (3" CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40
○	SMALL TREE (2" CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
●●●	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus ebbingei / Elaeagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
●●●	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Juniperus sabina 'Tanaisifolia' / Tan Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spiraea sp. / Dwarf Spiraea	133
—	PERENNIAL (1 GALLON MINIMUM)	384
■	PLANTING AREA	17,140 sf
■	TURF (SOLID 600)	59,590 sf
■	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf

SUP #21-001

LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

E. McANIER SURVEY, ABST. NO. 1005

560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT

ENVIRO DESIGN

1424 GREENVILLE AVENUE, SUITE 200 DALLAS, TX 75231

PHONE: (214) 981-3010

CONTACT: STEVEN REDDY

SREDDY@ENVIRODESIGN-DALLAS.COM

OWNER / APPLICANT

JLB REALTY, LLC

3890 W. NORTHWEST HIGHWAY, 1TH FLOOR DALLAS, TEXAS 75220

CONTACT: BRITTON CHURCH

BCHURCH@JLBPARTNERS.COM

PHONE: (214) 271-8480

ENVIRO DESIGN
LANDSCAPE ARCHITECTURE
SITE PLANNING



7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 987-5010

RICHARD B. ARTING

FOR
PRELIMINARY
REVIEW ONLY.
NOT FOR
PERMITTING
OR
CONSTRUCTION

REVISIONS

03-04-2021
03-18-2021
03-26-2021

JLB MANSFIELD
JLB PARTNERS, LLC
MANSFIELD, TEXAS

SCALE

1" = 40'-0"

DATE

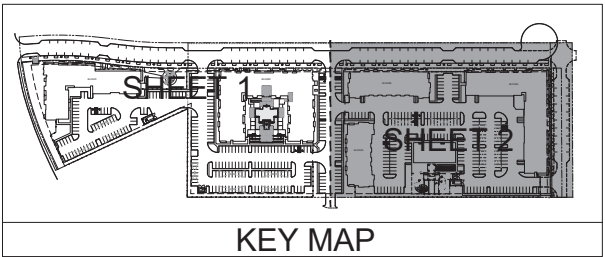
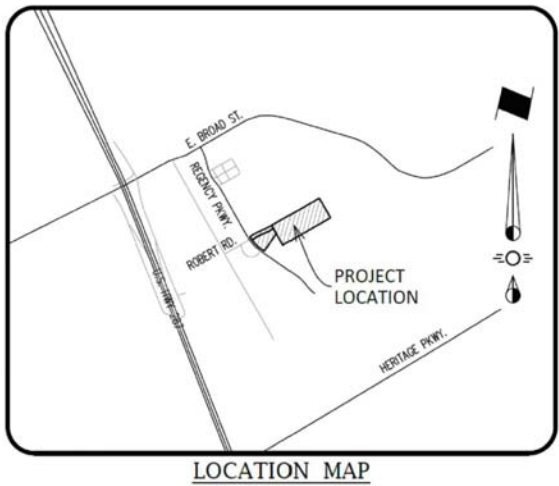
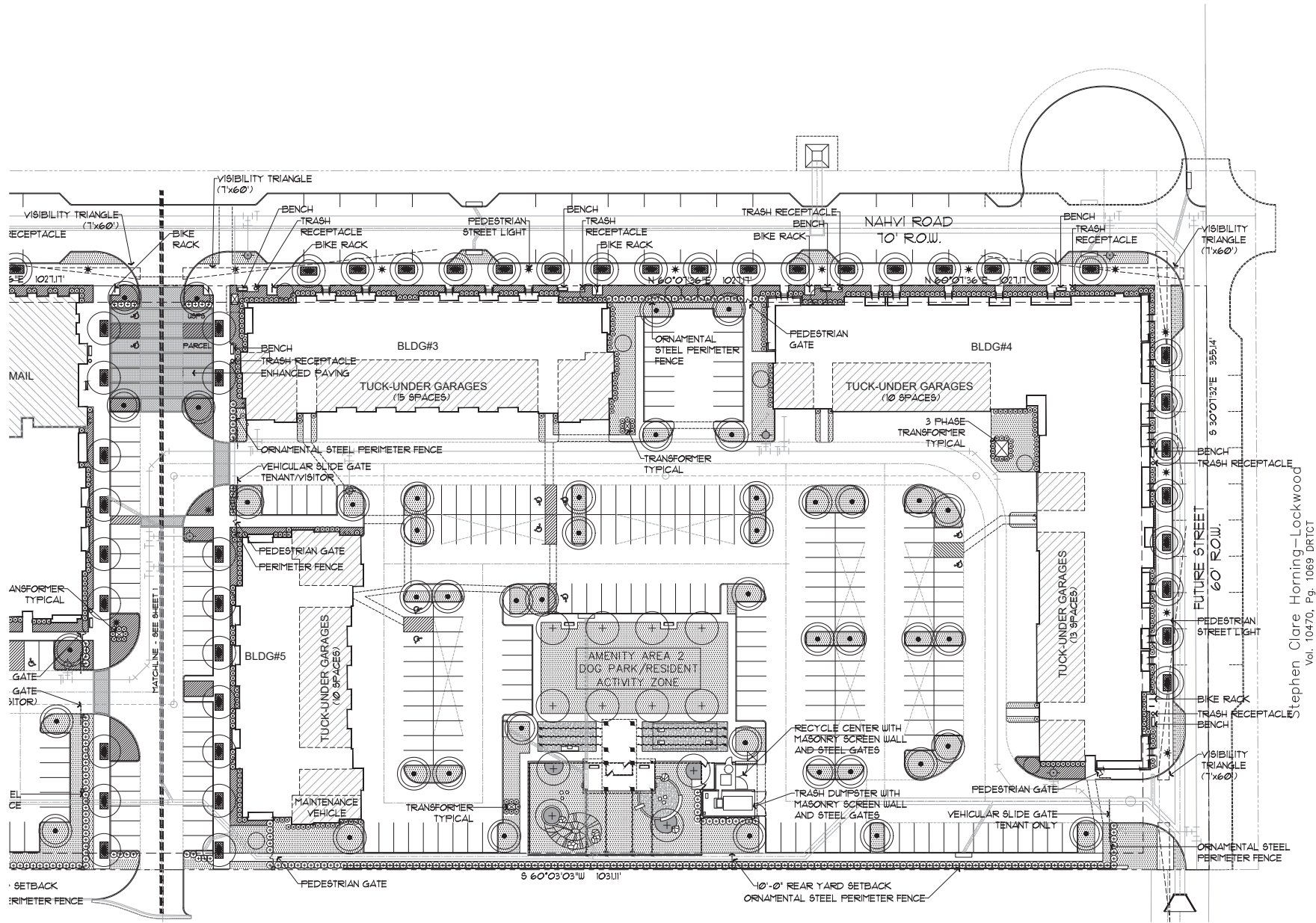
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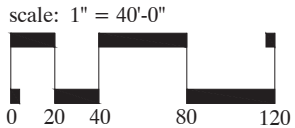
SHEET

EXHIBIT D
1 OF 4



CONCEPT PLANT SCHEDULE		MAY INCLUDE BUT NOT LIMITED TO
(+)	STREET TREE (5' CALIPER MINIMUM/3.5' CALIPER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
(•)	PARKING LOT TREE (3.5' CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
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(○)	SMALL TREE (2' CALIPER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Grape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
(●●●)	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus elaeagnifolia / Elaeagnus Ilex x attenuata Foster / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
(●●●)	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinia 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spiraea sp. / Dwarf Spiraea	133
(—)	PERENNIAL (1 GALLON MINIMUM)	384
(■)	PLANTING AREA	17,140 sf
(■)	TURF (SOLID SOD)	59,590 sf
(■)	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf

NOTE: REFERENCE EXHIBIT D SHEET 1 FOR GENERAL NOTES AND MATERIAL NOTES.



SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD
BLOCK A LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVIRO DESIGN
JLB REALTY, LLC
1424 GREENVILLE AVENUE, SUITE 200 DALLAS, TX 75231
PHONE: (214) 987-3010
CONTACT: STEVEN REDDY
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CONTACT: BRITTON CHURCH
BCHURCH@JLBPARTNERS.COM
PHONE: (214) 271-8480



SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION	PD 1558 (THE RESERVE PLANNED DEVELOPMENT WORKPLACE SUB-DISTRICT)
TOTAL SITE AREA:	12.869 ACRES (GROSS) / 560,584 SF (GROSS) 102.02 ACRES (NET) / 444,399 SF (NET)
PROPOSED USE:	MULTI-FAMILY APARTMENT
NO. UNITS/ NO. BEDROOMS (REFER TO ARCHITECTURALS)	356 UNITS/ 401 BEDROOMS
NO. PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM + 401

LANDSCAPE REQUIREMENTS		
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF 'THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT' AS ADOPTED BY THE CITY OF MANSFIELD.		
SECTION 8 - PARKING AREAS		
8.4 SURFACE PARKING LANDSCAPING - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.		PROVIDED
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.		PROVIDED
SECTION 10 - SERVICE AND EQUIPMENT AREAS		
10.2 SERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.		PROVIDED
SECTION 13 - STREETSCAPE AND OPEN SPACE		
13.1 FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FACADE TO OFFER AN INVITING WALKING EXPERIENCE. PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.		PROVIDED
13.2 STREETSCAPES - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (3.5) FEET FROM THE BACK OF CURB. TREES TO HAVE A MINIMUM CALIPER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.		PROVIDED
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER. TREES SHALL HAVE A MINIMUM CALIPER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.		PROVIDED
13.6 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (10) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TWELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (1.5) FEET FROM THE FACE OF THE CURB.		PROVIDED
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.		PROVIDED
13.9 STREET BENCHES - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY. STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.		PROVIDED
13.10 STREET LIGHTS - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY. LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.		PROVIDED
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
13.12 LITTER CONTAINERS - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.		PROVIDED
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS		
Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OF, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ON-SITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:		PROVIDED
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.		PROVIDED
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS		SHRUBS
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.		N/A
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.		N/A
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.		
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.		PROVIDED (510 SURFACE/ 10=51)
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:		
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.		N/A
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.		PROVIDED
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.		PROVIDED
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.		PROVIDED * (NORTH/SOUTH DRIVE TO INCORPORATE TREES IN TREE WELLS IN SIDEWALK IN LEIU OF TREES IN PARKING ISLANDS AS APPROVED BY CITY STAFF)
S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO-HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.		PROVIDED

SUMMARY CHART - BUFFER YARDS/ SETBACKS						
LOCATION OF BUFFER/ YARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES	SCREENING WALL/ DEVICE HEIGHT AND MATERIAL
NORTH (NAHV ROAD)	REQUIRED (1 TREE/ 30 LF)	1404.26'	LOCAL STREET 10' ROW	41	N/A	N/A
	PROVIDED	1404.26'	LOCAL STREET 10' ROW	#38	N/A	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW	11	N/A	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW	#8	N/A	N/A
SOUTH	REQUIRED	103.11'	10' REAR YARD SETBACK	N/A	N/A	N/A
	PROVIDED	103.11'	10' REAR YARD SETBACK	N/A	N/A	N/A
WEST (INSET)	REQUIRED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
SOUTH (INSET)	REQUIRED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
	PROVIDED	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						
#5 TREE TREE QUANTITY REDUCED BY CITY STAFF TO ACCOMMODATE VISIBILITY TRIANGLE						

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,440 SF	10%	N/A	N/A	N/A	N/A
PROVIDED	44,440 SF	10%	N/A	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
NUMBER OF REQUIRED PARKING SPACES	401
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510
NUMBER OF TREES REQUIRED (1 TREE/ 10 SPACES)	51
NUMBER OF TREES PROVIDED	11
NOTE ANY CREDITS USED IN CALCULATIONS: N/A	
OTHER COMMENTS: N/A	

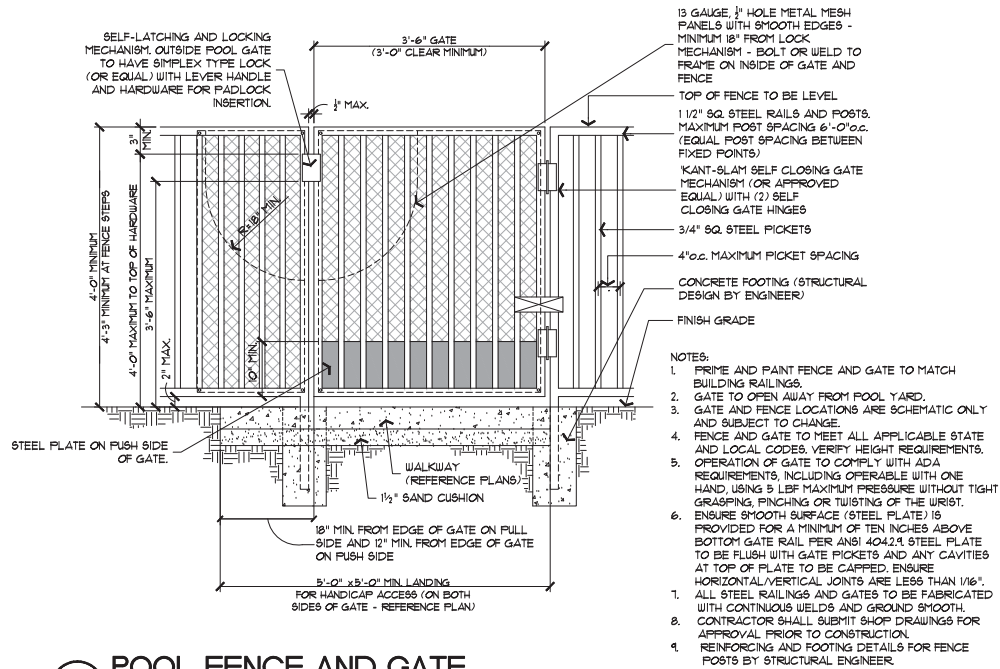
CONCEPT PLANT SCHEDULE

MAY INCLUDE BUT NOT LIMITED TO

	STREET TREE (5" CALIPER MINIMUM/3.5" CALIPER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54		DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Eleagnus ebbengelii / Eleagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x Nellie R. Stevens / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica paullia / Dwarf Wax Myrtle	600
	PARKING LOT TREE (3.5" CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11		SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabina 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133
	ADDITIONAL CANOPY TREE (3" CALIPER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40		PERENNIAL (1 GALLON MINIMUM)	384
				PLANTING AREA	11,140 sf
				TURF (SOLID SOD)	59,590 sf
				EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	2,309 sf

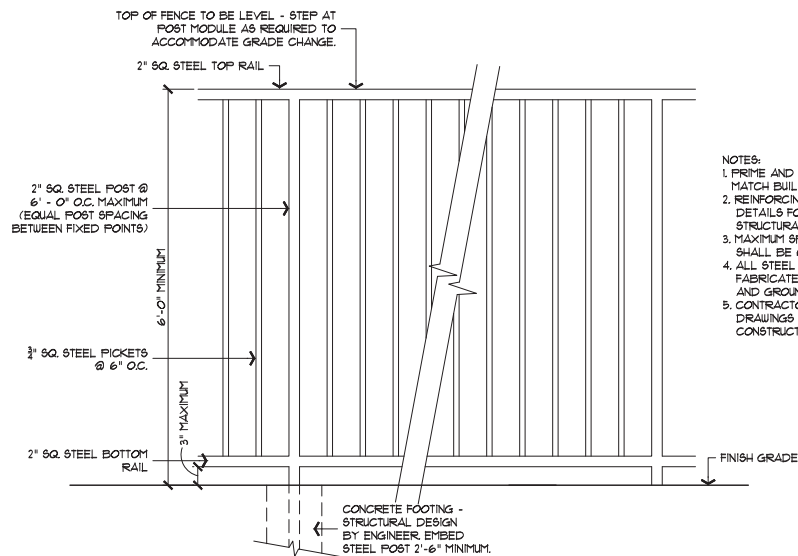
	SMALL TREE (2" CALIPER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleruteria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree	42
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SUP #21-001
LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D
JLB MANSFIELD
BLOCK A LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560,584 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict
LANDSCAPE ARCHITECT
ENVIRO DESIGN
7424 GREENVILLE AVENUE, SUITE 200
DALLAS, TX 75231
PHONE: (214) 981-3010
CONTACT: STEVEN REDDY
SREDDY@ENVIRODESIGN-DALLAS.COM
OWNER / APPLICANT
JLB REALTY, LLC
38920 W. NORTHWEST HIGHWAY, 1TH FLOOR
DALLAS, TEXAS 75220
CONTACT: ERITTON CHURCH
ECHURCH@JLBPARTNERS.COM
PHONE: (214) 211-8480



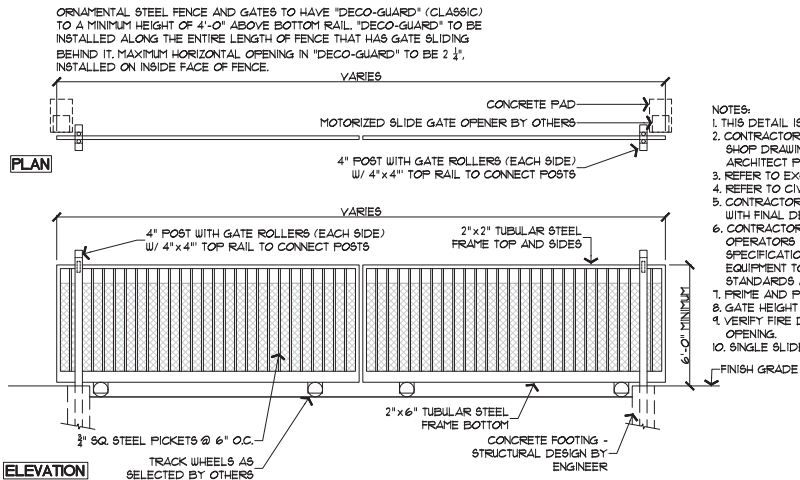
A POOL FENCE AND GATE

3/4" = 1'-0"



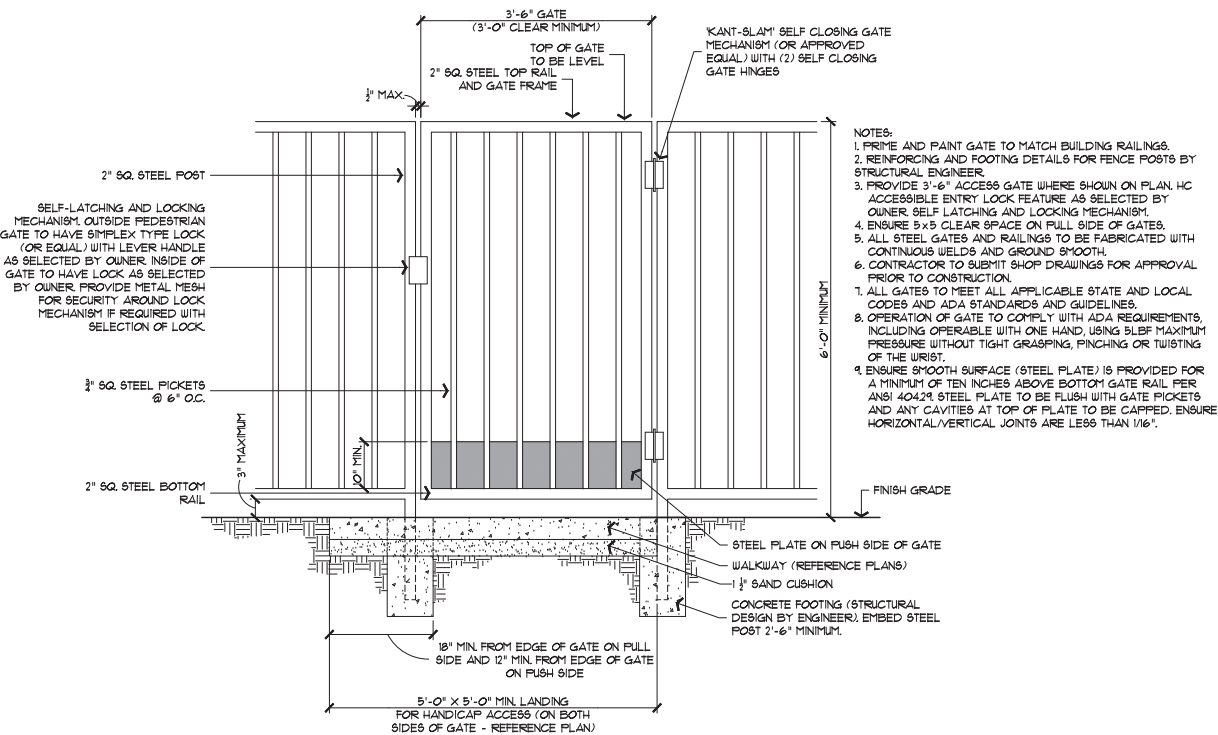
B PERIMETER FENCE

3/4" = 1'-0"



C VEHICULAR SLIDE GATE

1/4" = 1'-0"



D PERIMETER GATE

3/4" = 1'-0"

SUP #21-001
LANDSCAPE PLAN - EXHIBIT D
JLB MANSFIELD
BLOCK A, LOT 1
IN THE CITY OF MANSFIELD, TARRANT COUNTY,
TEXAS
E. McANIER SURVEY, ABST. NO. 1005
560384 Sq. Ft. (Gross) / 12.869 Acres (Gross)
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

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