

- PLANNED DEVELOPMENT STANDARDS:**
- Current Zoning: PR
- Proposed Zoning: Planned Development with base zoning of SF12/22
- Area, Setback and Height Regulations:
- Minimum Lot Size - 12,000sf
 - Minimum Residential Floor Area - 2,600sf
 - Maximum Lot Coverage - 45%
 - Maximum Height - 35'
 - Minimum Front Setback - 20'/15' at Cul-de-sac
 - Minimum Lot Width - 120'/79' at Cul-de-sac
 - Minimum Lot Depth - 95'/70' at Cul-de-sac
 - Minimum Rear Setback - 15'
 - Minimum Interior Side Setback - 10'
- Landscaping and Screening Requirements:
- Common area, including detention pond area are to be landscaped per Exhibit D, Landscape Plan.
 - Four medium-sized canopy trees shall be planted on each residential lot. Minimum of two in front yard.
 - Screening shall be provided at the south, west, and north boundary through the use of a 6 foot height board-on-board fence as indicated per Exhibit D, Landscape Plan.

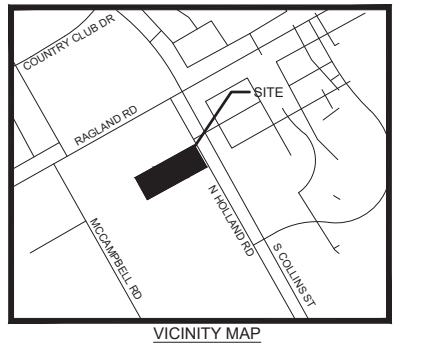
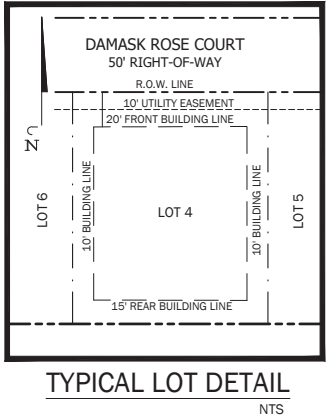


EXHIBIT B
ZC#21-003
DEVELOPMENT PLAN
DAMASCUS GARDENS
2349 N. HOLLAND RD
4.00 ACRE TRACT
City of Mansfield
Tarrant County, Texas



Owner Association Notes:

1. A mandatory owners' association will be responsible for the maintenance of the screening wall, open space lots, detention ponds, enhanced entry features, landscaping, hardscape improvements.
2. The Owners Association and associated documents shall be filed in accordance with the City of Mansfield policies. the documents shall be filed with the final plat. the documents shall be submitted in a timely manner to allow for a minimum of sixty (60) days review. failure to submit the documents or incomplete documents may result in delay of construction, acceptance of the development or delay in approval of a building permit. The City does not except the responsibility for the delays cause by the failure to submit the association documents or the inaccuracy of the documents.

Notes:

1. This Development will be completed in one single Phase.
2. Architectural and Community design standards will adhere to Section 4600 of the Zoning Ordinance with the exception of the use of up to 100% masonry stucco veneer where architecturally appropriate.
3. Minimum off street Parking and Loading Standards will adhere to section 7200 of the Zoning Ordinance.
4. The proposed Development will be in complete accordance with the provisions of the Planned Development District and all Development Plans recorded hereunder be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.