

VICINITY MAP
NOT TO SCALE

Notes:

- The proposed development will be in complete accordance with the provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.
- All signage will adhere to the regulations for C-2 zoned properties as specified in Section 7100 of the Zoning Ordinance.
- All service areas and mechanical equipment will be screened in accordance with Section 7301.A of the Zoning Ordinance.
- All rooftop equipment will be screened by building parapets at least one foot taller than the tallest piece of equipment.
- The development will be completed in a single phase.

Base Zoning: C-2 Community Business District

Permitted Uses:

- Nursery Wholesale
- Nursery Retail
- Live-Work Dwellings for on-site manager or caretaker

Area, Setback and Height Regulations:

- Minimum Front Setback - 25'
- Minimum Side Setback - 30' exterior, 10' interior (3' at existing residence)
- Minimum Rear Setback - 0' (Railroad R.O.W.)
- Maximum Height - The height of the proposed buildings will not exceed 35'
- Maximum Area of the Proposed Greenhouse - 4,200 s.f. Foundation

Architectural Requirements:

- Exterior façade of the proposed building shall be cementitious siding with cedar posts.
- Roof of the proposed building shall have a hip or gable form - with dimensional asphalt shingles.

Greenhouse Requirements:

- Greenhouse will be a standard hoop-house design that matches the form and character of the existing greenhouses on site.
- The greenhouse shall be used for restocking outdoor retail sales, and indoor sales.

Landscaping Requirements:

- A row of screening 3' screening shrubs will be planted in front of parking and drive aisles, per the Landscape Plan. 2 Large canopy trees will be added to parking area

Outdoor Storage Requirements

- Potted trees, shrubs, groundcovers, and seasonal color may be stored in the areas labeled as 'gravel/geosynthetic weed fabric'.
- No other outside storage or retail operations will be allowed except in areas specified in the plan.

Water Quality

- Water quality will be addressed post-construction through the installation of vegetated bioswales.

LENO'S PLANT FARM
SITE AREA - 5.15 ACRES

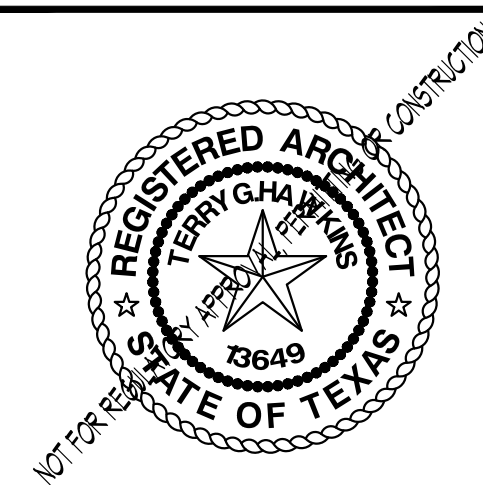
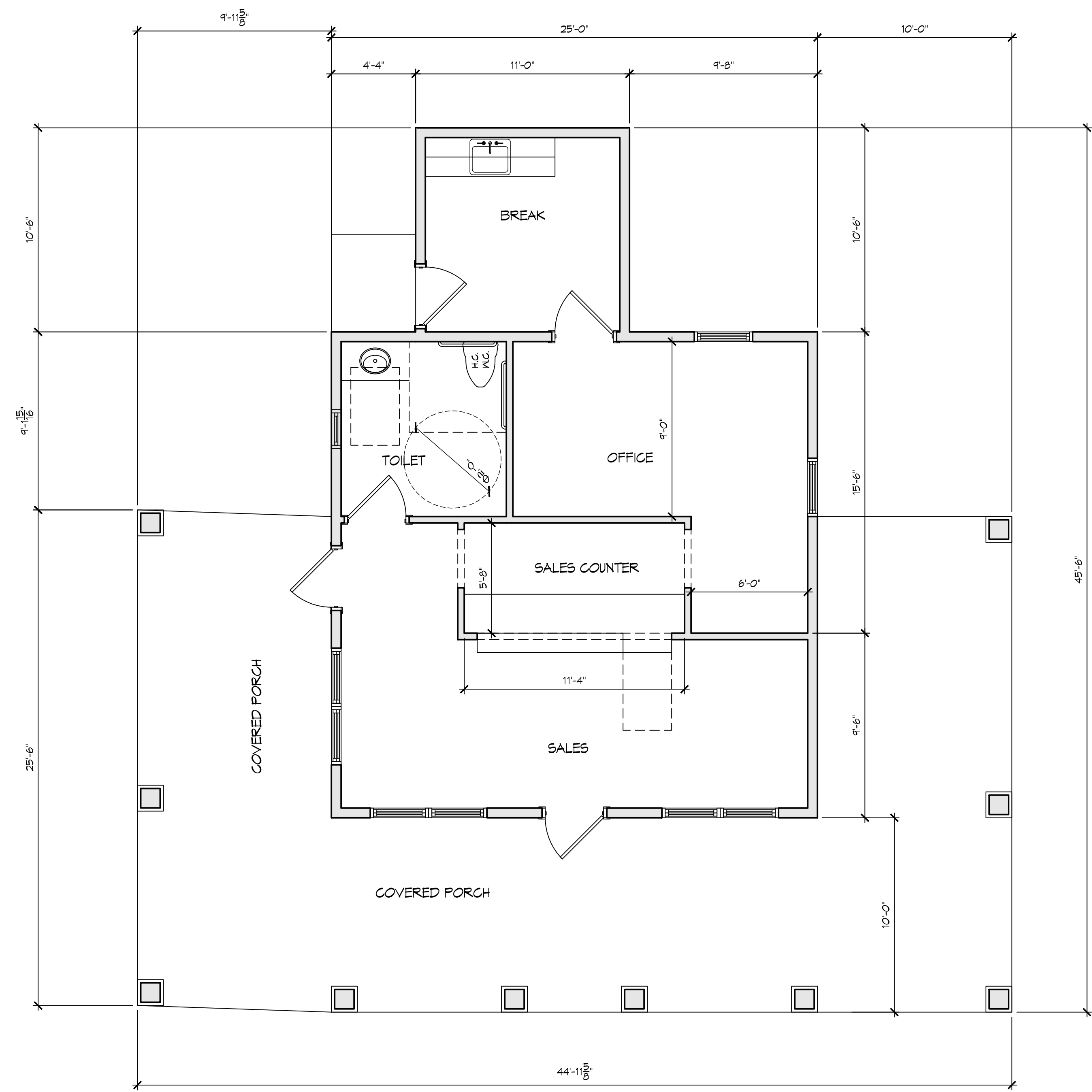
DESIGNER:
Michael A. Wilson, RLA
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
mwilson@bannistereng.com

OWNER:
Magdalaeno I. Pacheco
Leno's Plant Farm
1573 Newt Patterson Rd
Mansfield, TX 76063
682.433.1324
carinap1211@gmail.com

ZC#21-001
"EXHIBIT B"
DEVELOPMENT PLAN
PAGE 1 OF 1

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

DATE PREPARED: 03/25/2021



203850

LENO'S
PLANT
FARM

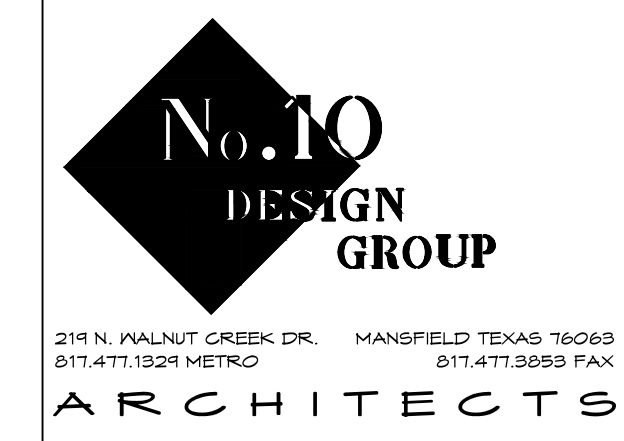
1513 NEWT PATTERSON RD.
LOT ---- BLOCK ----

MANSFIELD, TEXAS
TARRANT

DATE: 2-22-21

SHEET Title:

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SHEET No.:

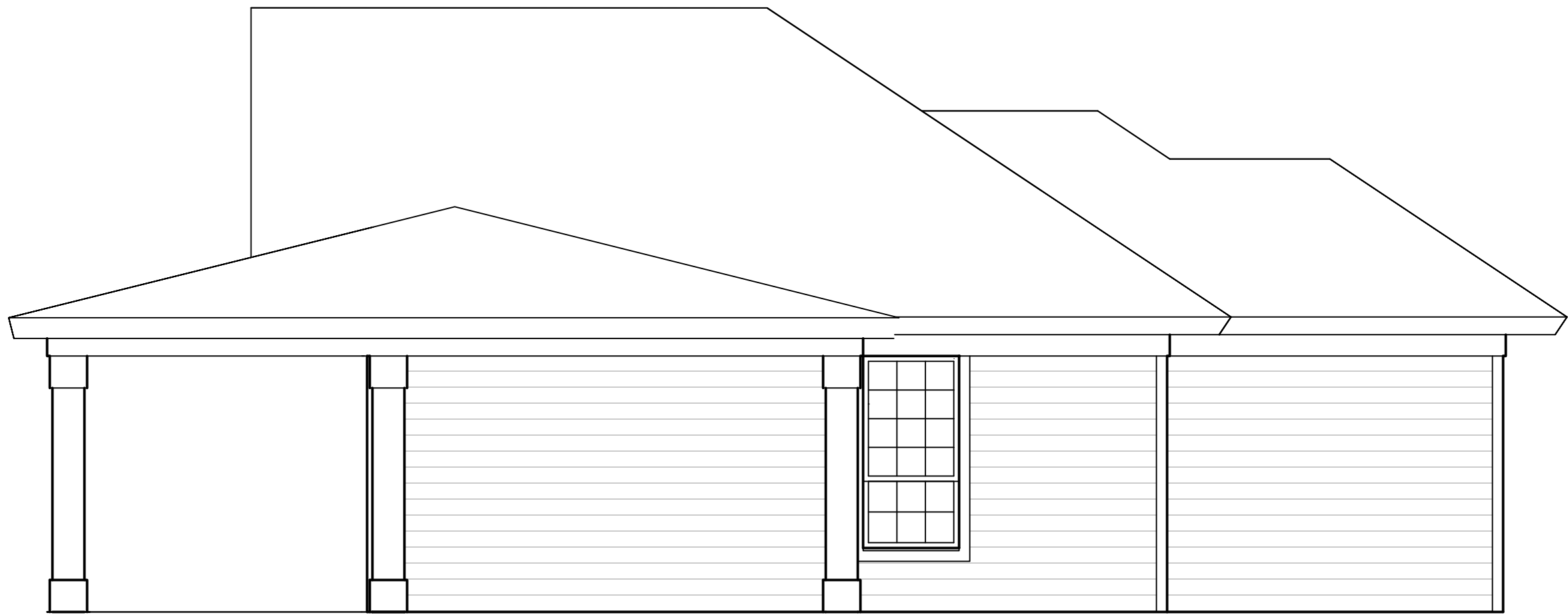
A1-1

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



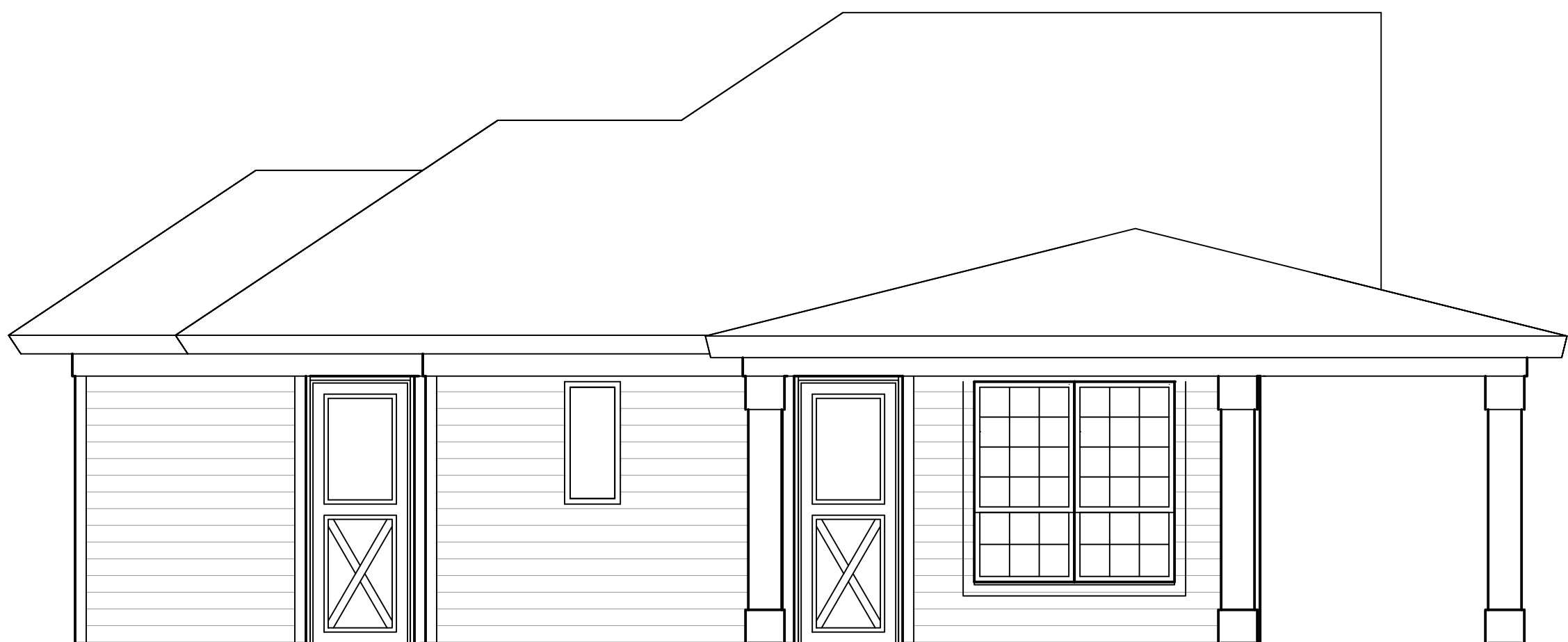
 SOUTH ELEVATION
1/4" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



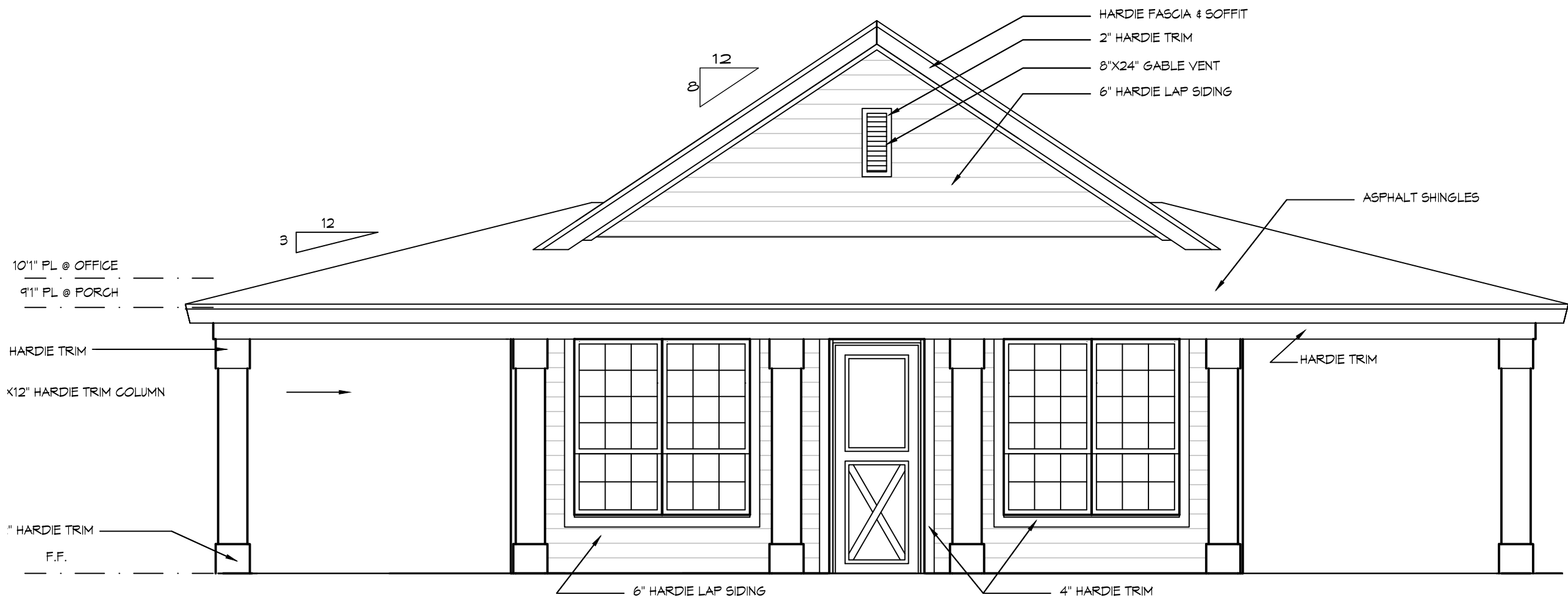
 WEST ELEVATION
1/12" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
"HARDIE" CEMENTIOUS SIDING OR APPROVED EQUAL



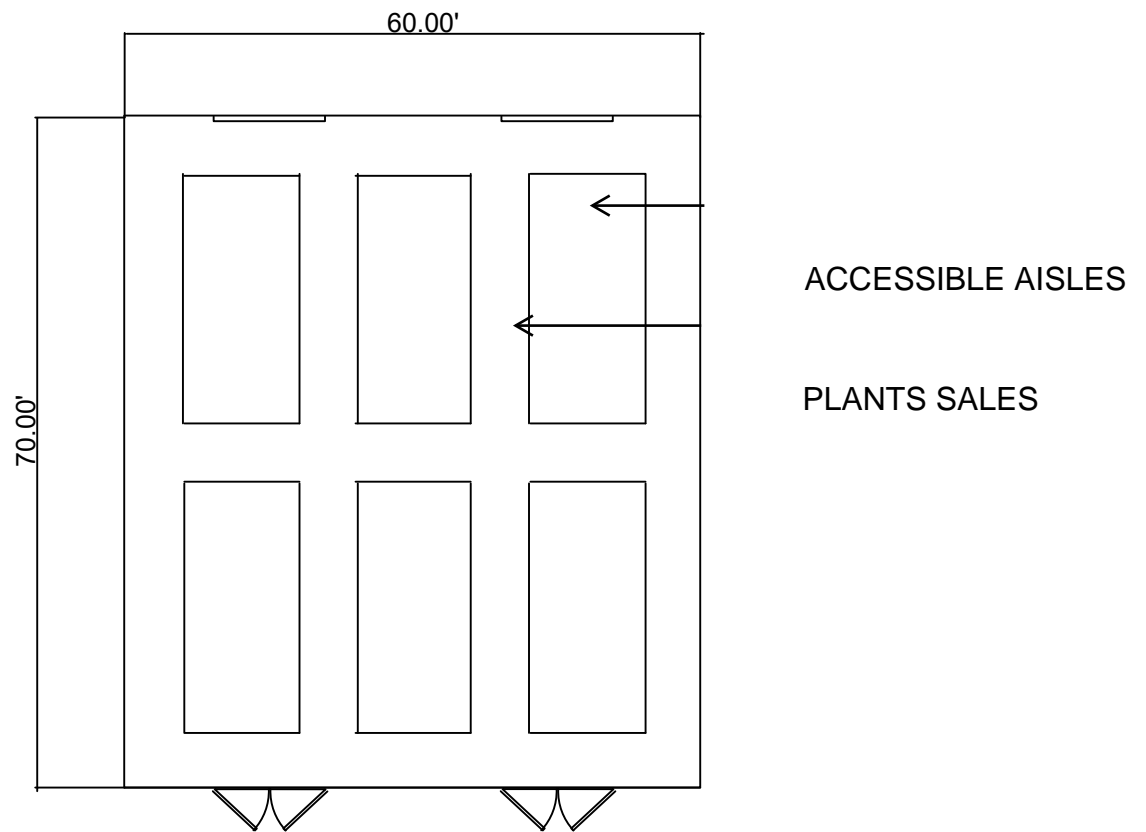
 EAST ELEVATION
1/4" = 1'-0"

NOTE: ALL EXTERIOR CLADDING TO BE
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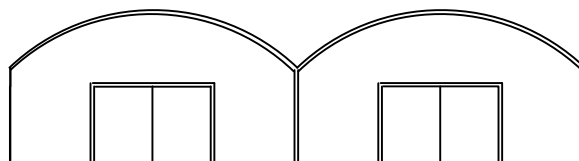


 NORTH ELEVATION
1/4" = 1'-0"

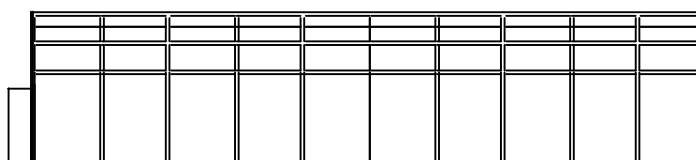
RETAIL GREENHOUSE - CONCEPT



PLAN VIEW



ELEVATION (NORTH)



ELEVATION (WEST)

EXISTING FRONT RESIDENCE
NORTH ELEVATION



EXISTING FRONT RESIDENCE
SOUTH ELEVATION



EXISTING REAR RESIDENCE
EAST ELEVATION



EXISTING RACK STORAGE



EXISTING POTTING AREA (OFFICE IN BACKGROUND)



EXISTING OFFICE ENTRANCE



EXISTING TOOL STORAGE

NORTH ENTRANCE



EXISTING TOOL STORAGE

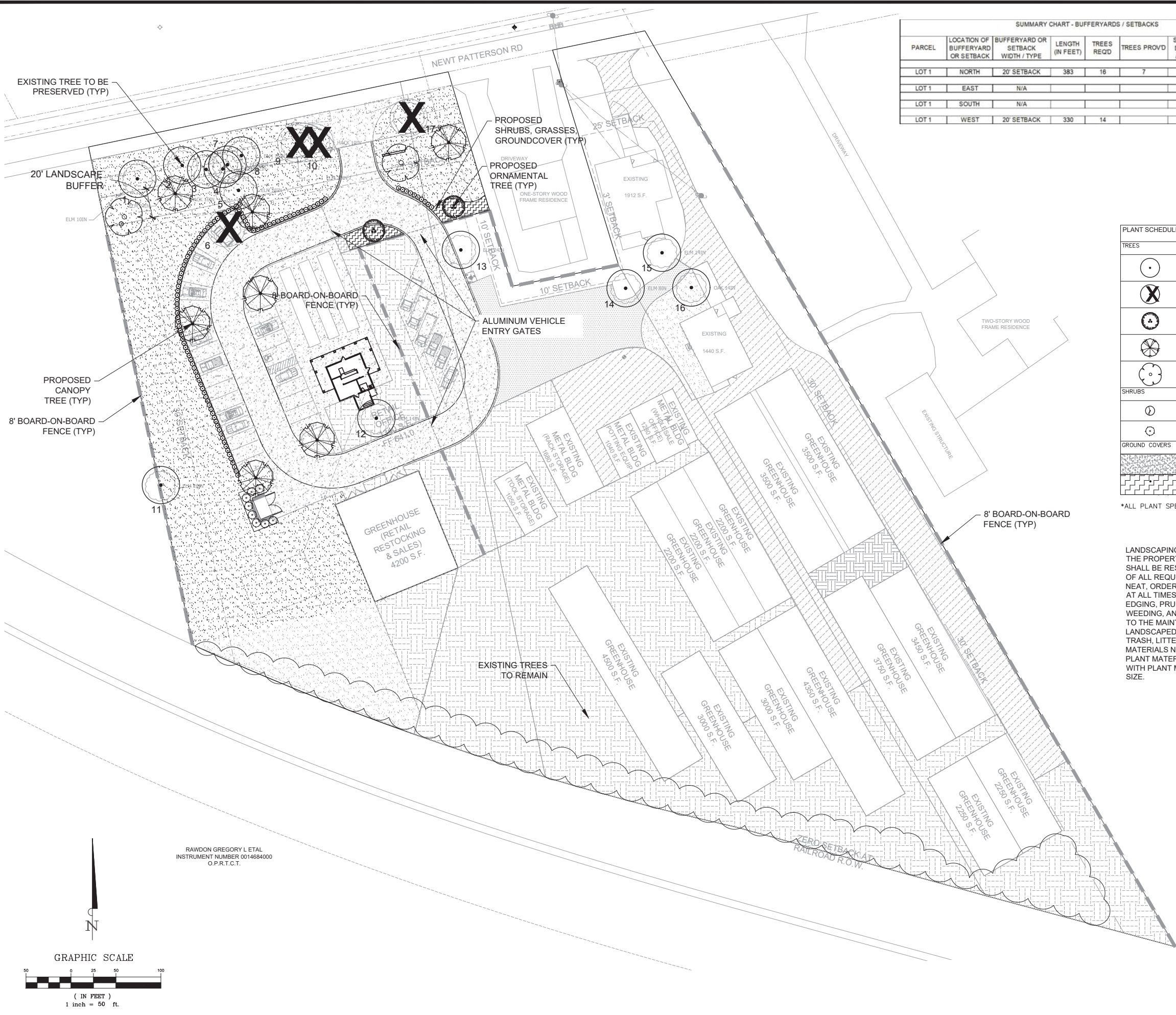
SOUTH ENTRANCE



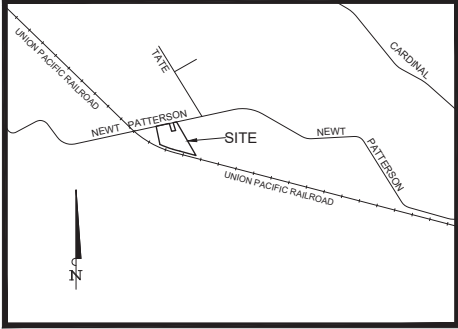
EXISTING GREENHOUSES

PROPOSED RETAIL GREENHOUSE TO BE A SIMILAR PRODUCT





SUMMARY CHART - BUFFERYARDS / SETBACKS						
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	BUFFERYARD OR SETBACK WIDTH / TYPE	LENGTH (IN FEET)	TREES REQD	TREES PROVIDED	SCREEN WALL / DEVICE HEIGHT AND MATERIAL
LOT 1	NORTH	20' SETBACK	383	16	7	
LOT 1	EAST	N/A				
LOT 1	SOUTH	N/A				
LOT 1	WEST	20' SETBACK	330	14		



VICINITY MAP
NOT TO SCALE

PLANT SCHEDULE						
TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	14	EXISTING TREE TO REMAIN	N/A			
	3	EXISTING TREE TO BE REMOVED	N/A			
	2	LAGERSTROEMIA INDICA 'TUSCARORA' / CRAPE MYRTLE	30 GAL	3"	6'-8"	FULL, MATCHING, SYMMETRICAL
	5	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45 GAL	3"	10'-12"	FULL, MATCHING, SYMMETRICAL
	2	ULMUS CRASSIFOLIA / CEDAR ELM	45 GAL	3"	10'-12"	FULL, MATCHING, SYMMETRICAL
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	106	ILEX VOMITORIA 'NANA' / DWARF YAUPON	3 GAL	18" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
	8	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	15 GAL	48" HT	PER PLAN	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	NOTES			
	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD			
	PER PLAN	SHRUBS, GRASSES, GROUND COVERS				

*ALL PLANT SPECIES SHALL BE SELECTED FROM THE CITY OF MANSFIELD RECOMMENDED PLANT LIST

LANDSCAPING MAINTENANCE:
THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.

EXISTING TREES			REMAIN	REMOVE
NUMBER	SPECIES	CALIPER		
1	ELM	10"	X	
2	ELM	24"	X	
3	HACKBERRY	16"	X	
4	ELM	22"	X	
5	ELM	28"	X	
6	ELM	26"		X
7	ELM	8"	X	
8	ELM	16"	X	
9	ELM	30"		X
10	HACKBERRY	10"		X
11	ELM	26"	X	
12	ELM	14"	X	
13	ELM	24"	X	
14	ELM	8"	X	
15	ELM	14"	X	
16	OAK	14"	X	
17	HACKBERRY	36"		X

LENO'S PLANT FARM
SITE AREA - 5.15 ACRES

DESIGNER:
Michael A. Wilson, RLA
Bannister Engineering
240 North Mitchell Rd
Mansfield, TX 76063
817.842.2094
mwilson@bannistereng.com

Magdalaeno I. Pacheco
Leno's Plant Farm
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Mansfield, TX 76063
682.433.1324
carinap1211@gmail.com

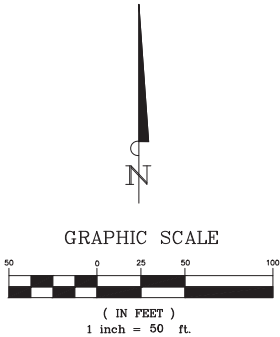
ZC#21-001
"EXHIBIT D"
LANDSCAPE PLAN

PAGE 1 OF 3

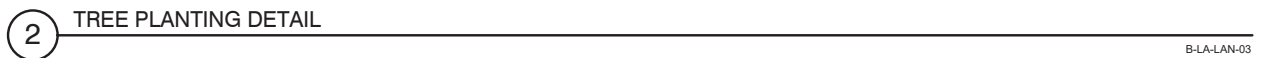
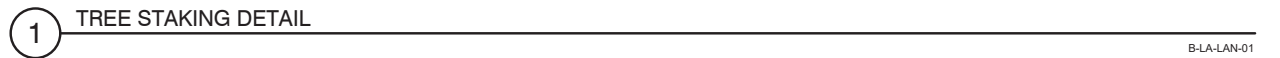


DATE PREPARED: 03/25/2021

RAWDON GREGORY L ETAL
INSTRUMENT NUMBER 0014684000
O.P.R.T.C.T.



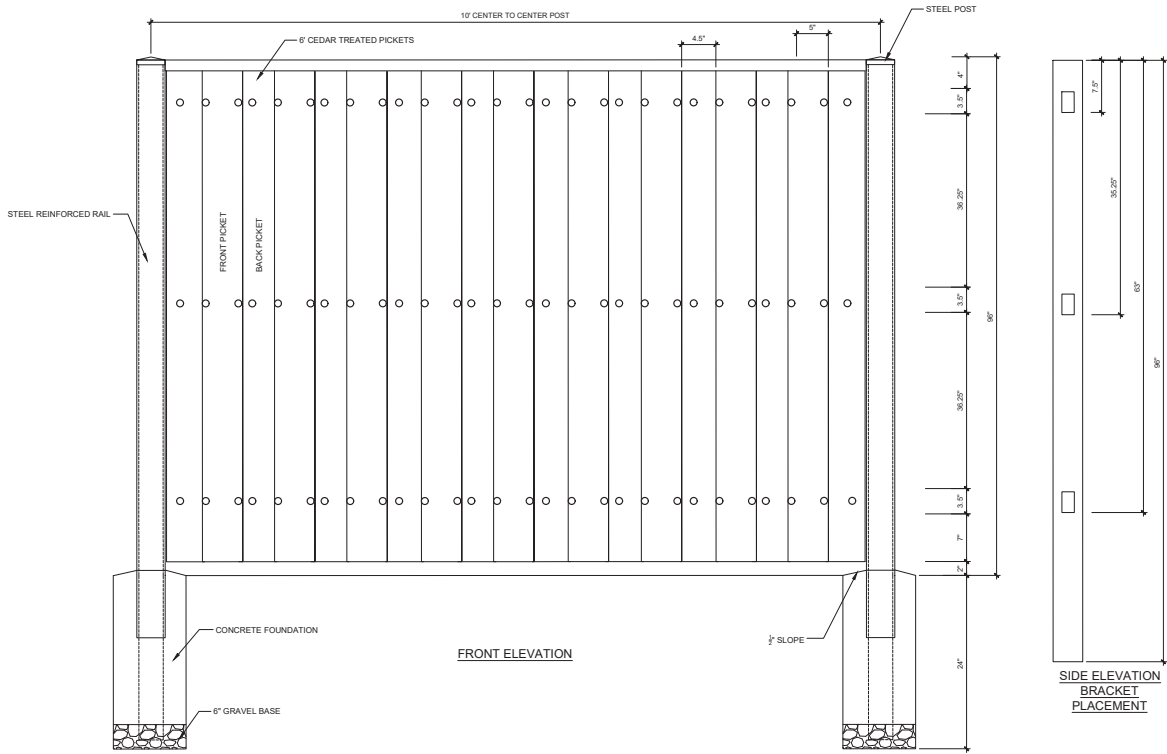
1. Locate all utilities prior to digging. Contractor shall be responsible for all damage incurred by his/her work.
2. Contractor shall advise the Owner and Landscape Architect of any condition found on site which prohibits installation as shown on these plans.
3. If a discrepancy between drawings and plant schedule is found, the drawings shall take precedent over the plant schedule.
4. Plant material shall comply with all sizing and grading standards of the latest edition of 'American Standard for Nursery Stock.'
5. Contractor shall stake out tree locations and bed configuration for approval by Owner prior to installation.
6. Substitutions shall not be made without prior written authorization from the Owner or Landscape Architect.
7. All disturbed areas not indicated as planting beds shall be sodded or seeded by Contractor to provide an established turf area.
8. Contractor shall remove reasonable amount of stones, dead roots, detritus and other undesirable material from existing soil.
9. If rocks are encountered, remove to a depth of 3" and add 3" of friable fertile topsoil to all sodded areas. Contractor to ensure that site is graded according to the Engineer's grading plan.
10. Lawn areas shall have 3" minimum friable topsoil and be treated with fertilizer applied at a rate of 20 pounds per 1,000 square feet.
11. Soil preparation for planting beds shall be as follows:
 - 3" of organic compost
 - 20 pounds of organic fertilizer / 1,000 sf of bed area
 - Till bed to a depth of 6" to 8"
 - Check soil acidity. Soil acidity should range from 5.0 to 7.0 pH. Regulate if necessary.
12. All plant beds shall be top dressed with a minimum 2"-4" tan river rock, permeable weed mat shall be laid prior to river rock being installed.
13. Provide steel edge between all plant beds and lawn areas unless indicated differently on plans.
14. Tree planting pits shall be cleared of undesirable material and backfilled with prepared top soil. Place 1" of compost and 3" of shredded hardwood mulch on top of root ball.
15. The Contractor will be held liable for any damage caused to trees due to improper staking methods, including absence of staking throughout the warranty period.
16. Trees shall be planted at least 2.5 feet from any right-of-way line, curb, walk or fire hydrant, and outside all utility easements.
17. Trees shall be planted at least 8 feet from any public utility line where possible. In the event this is not possible, Contractor shall install a root barrier, per the detail(s) noted on this sheet.
18. Trees overhanging walks and parking areas shall have a clear trunk height of 7 feet from finish surface grade.
19. Contractor shall warranty plant material to remain alive and healthy for a period of one year after the final acceptance. All plant material shall be maintained in a healthy condition in accordance with the season. Dead, damaged or destroyed plant material shall be replaced in kind within thirty days. Warranty shall not include damage for loss of plant material due to natural causes, acts of vandalism or negligence on the part of the owner.
20. Landscape areas shall be kept free of trash, litter and weeds.
21. An automatic irrigation system shall be provided to maintain all landscape areas. Overspray on streets is prohibited.
22. Installing contractor to maintain landscaping for 30 days from owner occupancy to establish plants and grass, mowing and trimming to be included.
23. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.
24. Any hardwood mulched beds on site shall have permeable weed mat installed prior to plant material and mulch being installed.
25. All bedding areas with ground cover (Asian Jasmine, Wintercreeper, etc.) shall be top dressed with hardwood mulch until ground cover has covered area completely.
26. Any switch gear devices, electrical transformers, telephone pedestals, and hvac units located on the property are to be screened. If these devices have been altered from the most recent plans, the contractor is to verify placement of these utilities and contact Landscape Architect for plant material specifications and placement.
27. Landscape contractor shall not place topsoil or mulch above brick ledge of the building and shall not block weep holes on the building.
28. If the grades on site at the time the landscape contractor is set to begin work does not allow the brick ledge and weep holes to remain uncovered, it is the landscape contractor's responsibility to notify the owner or general contractor immediately.



BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # F-10599 (TEXAS)

File: B:\Clients\207 (Leno's Plant Farm)\207-20-001 (Leno's Plant Farm - Mansfield)\Civil\Sheet Set\L- 1.0 Landscape Plan.dwg || Date Plotted: 3/25/2021 9:32 AM || Plotted By: mwilson

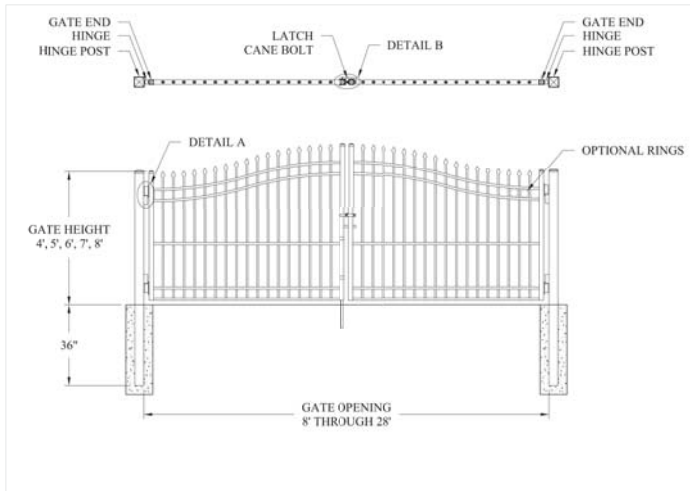
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1 8' BOARD ON BOARD FENCE

1" = 1'-0"

B-LA-FEN-04



2 ALUMINUM VEHICULAR ENTRY GATE

NTS

LENO'S PLANT FARM
SITE AREA - 5.15 ACRES

DESIGNER:
Michael A. Wilson, RLA
Bannister Engineering
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Magdalaeno I. Pacheco
Leno's Plant Farm
1573 Newt Patterson Rd
Mansfield, TX 76063
682.433.1324
carinap1211@gmail.com

ZC#21-001
"EXHIBIT D"
LANDSCAPE DETAILS
PAGE 3 OF 3



DATE PREPARED: 03/25/2021