

SITE DATA			
<b>SITE DENSITY</b>			
Site Area	12.869 Acres (Gross)	10.202 Acres (Net)	
	560,584 Sq. Ft. (Gross)	444,399 Sq. Ft. (Net)	
Total Units	356		
Density	27.7 UPA	34.9 UPA	
<b>UNIT MIX</b>			
Type of Unit	# of Units	Min. Floor Area	Total %
Efficiency (Studio)	26	600 SF	7.3%
Efficiency (One Bedroom)	141	700 SF	39.6%
One Bedroom (A)	94	750 SF	26.4%
Two Bedroom (B)	86	950 SF	24.2%
Live Work (One Bedroom)	9	750 SF	2.5%
Total	356		100.0%
<b>UNIT TABULATION</b>			
Bldg. Number	Efficiency/One Bedroom / LW	Two Bedroom	Total
Bldg. 1	55	6	61
Bldg. 2	78	39	117
Bldg. 3	29	9	38
Bldg. 4	92	20	112
Bldg. 5	19	9	28
Total	273	83	356
<b>BUILDING TABULATION</b>			
Bldg. Number	Footprint	Total Building Area	
Bldg. 1	23,861 SF	71,583 SF	
Bldg. 2	35,688 SF	142,752 SF	
Bldg. 3	15,739 SF	47,216 SF	
Bldg. 4	30,335 SF	121,339 SF	
Bldg. 5	12,419 SF	37,256 SF	
Total	118,042 SF	420,146 SF	
Lot Coverage	27%		
Floor Area Ratio	0.945 :1		
<b>PARKING REQUIRED</b>			
1 Bedroom & Eff. Units	1 Space/Unit	235 Spaces	
2 Bedroom Units	2 Spaces/Unit	172 Spaces	
Total		407 Spaces	
<b>PARKING PROVIDED</b>			
Standard Parking Spaces		338	
Standard HC Parking Spaces		13	
Covered Parking Spaces		99	
Covered HC Parking Spaces		1	
Attached Tuck-Under Garages		58	
Total Provided		509	
Space Per Bed		1.15	
Space Per Unit		1.43	

MATCHLINE SHT. 2

**NOTES**

- No trees, signs, or anything over 2' in height is allowed within the visibility triangles.
- Adequate lighting shall be provided throughout the development in accordance with Section 7 of the workplace sub-district of the Reserve Planned Development District Standards.
- All service areas and mechanical equipment will be located and screened in accordance with Section 10 of the Workplace Sub-District of The Reserve Planned Development Standards.
- All rooftop equipment shall be screened by at least 1' higher than the tallest piece of equipment.
- No outside storage or outside operations of any kind shall be permitted.
- No boats, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be parked or stored on the property.
- All utilities except electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

**LEGEND**

- Proposed Firelane
- Existing Sign
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Proposed Transformer
- Edge of Proposed Paving\*
- Edge of Future Paving
- Proposed ADA Parking Space
- Covered Parking

\* All Proposed Street and Sidewalk Shall Be Concrete

**SUP#21-001 EXHIBIT B**

**SPECIFIC USE PERMIT SITE PLAN**

**JLB MANSFIELD**

**BLOCK A, LOT 1**

**IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS**

**E. McANIER SURVEY, ABST. NO. 1005**

**456,299 Sq. Ft./ 10.475 Acres (Net)**

**560,584 Sq. Ft./ 12.869 Acres (Gross)**

**Current Zoning: PD-1558-The Reserve-Workplace Subdistrict**

**ENGINEER / SURVEYOR**

Spars Engineering, Inc.

765 Custer Road, Suite 100

Plano, TX 75075

Telephone: (972) 422-0077

TBPE No. F-2121

Contact: Joe Lehman

joe.lehman@sparsengineering.com

**OWNER / APPLICANT**

JLB Realty, LLC

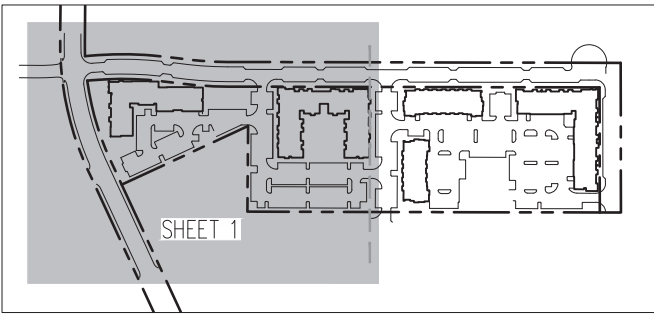
3890 W. Northwest Highway, 7th Floor

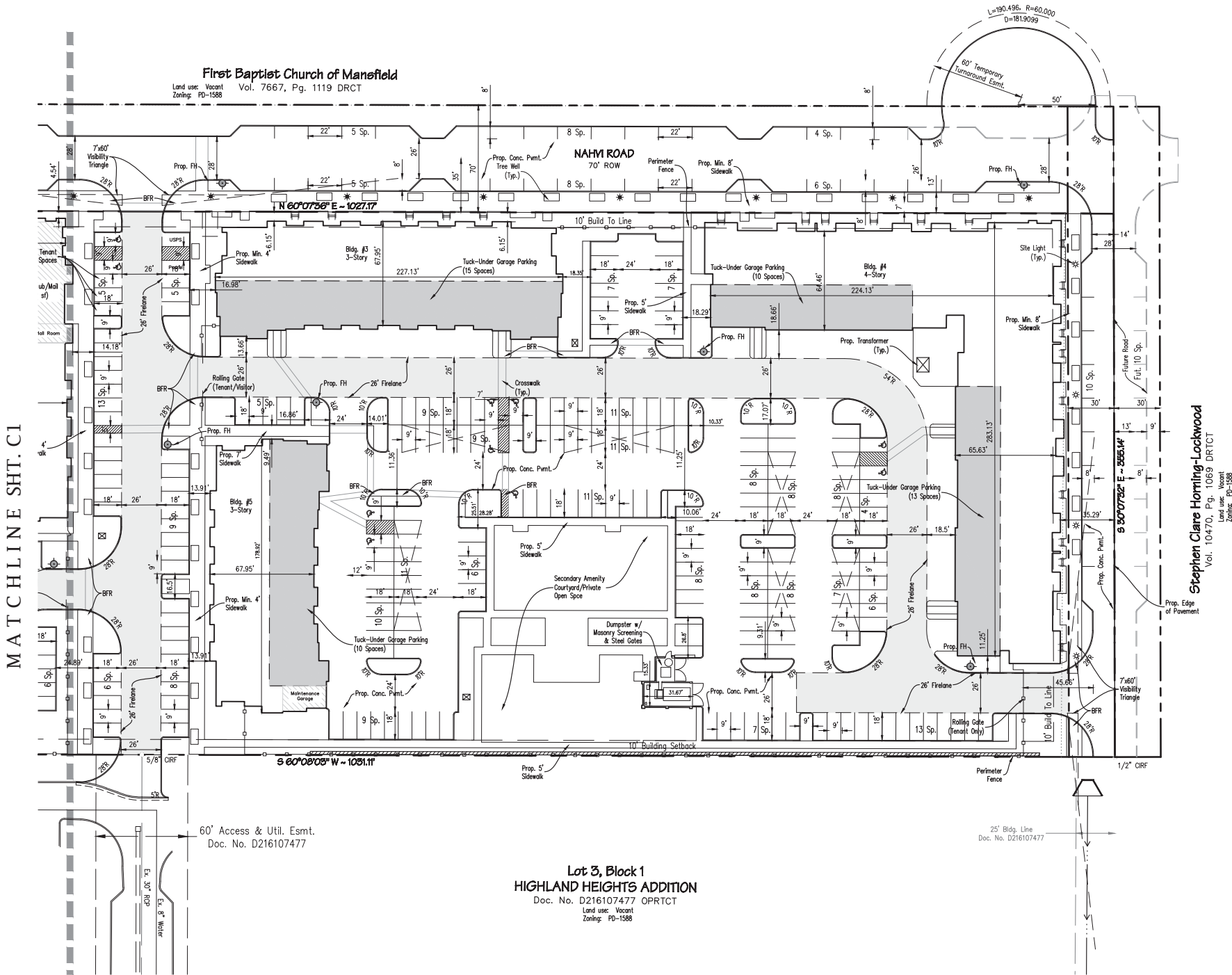
Dallas, Texas 75220

Contact: Britton Church

bchurch@jlbpartners.com

Phone: 214-271-8480

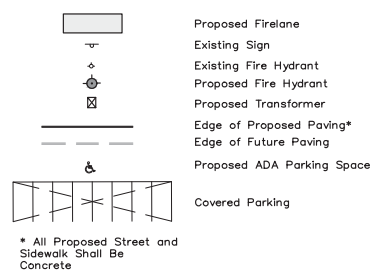




#### NOTES

1. No trees, signs, or anything over 2' in height is allowed within the visibility triangles.
2. Adequate lighting shall be provided throughout the development in accordance with Section 7 of the workplace sub-district of the Reserve Planned Development District Standards.
3. All service areas and mechanical equipment will be located and screened in accordance with Section 10 of the Workplace Sub-District of The Reserve Planned Development Standards.
4. All rooftop equipment shall be screened by at least 1' higher than the tallest piece of equipment.
5. No outside storage or outside operations of any kind shall be permitted.
6. No boats, motor homes, trailers, recreational vehicles, towed trailers, or similar vehicular equipment shall be parked or stored on the property.
7. All utilities except electrical transmission lines shall be placed underground in accordance with the Planned Development Standards.

#### LEGEND



### SUP#21-001 EXHIBIT B SPECIFIC USE PERMIT SITE PLAN JLB MANSFIELD

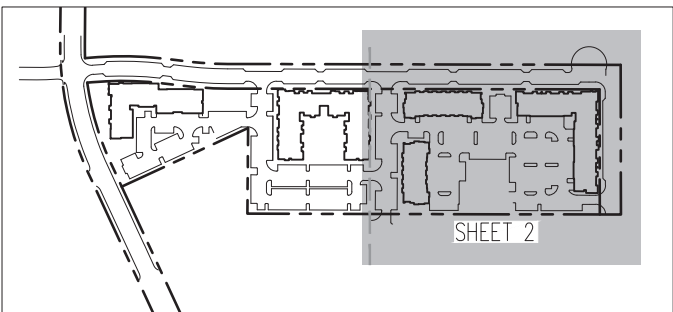
BLOCK A, LOT 1  
IN THE CITY OF MANSFIELD, TARRANT COUNTY,  
TEXAS

E. McANIER SURVEY, ABST. NO. 1005  
456,299 Sq. Ft./ 10.475 Acres (Net)  
560,584 Sq. Ft./ 12.869 Acres (Gross)

Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

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Plano, TX 75075  
Telephone: (972) 422-0077  
TBPE No. F-2121  
Contact: Joe Lehman  
joe.lehman@spiarsengineering.com

OWNER / APPLICANT  
JLB Realty, LLC  
3890 W. Northwest Highway, 7th Floor  
Dallas, Texas 75220  
Contact: Britton Church  
bchurch@jlbpartners.com  
Phone: 214-271-8480



KEY MAP (1" = 250')

SHEET 2

Lot 3, Block 1  
HIGHLAND HEIGHTS ADDITION  
Doc. No. D216107477 OPRCT  
Land use: Vacant  
Zoning: PD-1558

60' Access & Util. Esmt.  
Doc. No. D216107477

25' Bldg. Line  
Doc. No. D216107477

MATCHLINE SHT. C1

Stephen Clare Homing-Lockwood  
Vol. 10470, Pg. 1069 DRCT  
Land use: Vacant  
Zoning: PD-1558



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	
26.8%	

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -  
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -  
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -  
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL  
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -  
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -  
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -  
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING  
SYSTEM
- 11

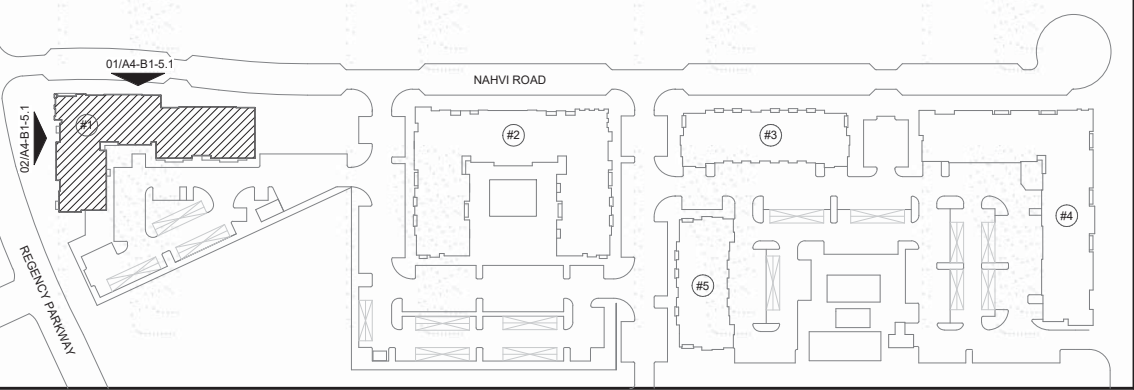
ALUMINIUM PARAPET  
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:  
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



02 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	80.6%
BRICK - FIELD 01	50.4%
BRICK - FIELD 02	12.7%
BRICK - FIELD 03	17.5%
CEMENTITIOUS PANEL	19.4%
GLASS/WINDOW/DOOR	
27.1%	



01 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	79.6%
BRICK - FIELD 01	49.4%
BRICK - FIELD 02	18.8%
BRICK - FIELD 03	11.5%
CEMENTITIOUS PANEL	20.4%
GLASS/WINDOW/DOOR	
30.5%	

CASE NUMBER \_SUP #21 - 001  
HENSLEY LAMKIN RACHEL, INC.  
14881 QUORUM DR#550  
DALLAS, TX-75254  
CONTACT PERSON - JUAN TORRES  
(sr. proj manager)  
EMAIL - [juan@hlrinc.net](mailto:juan@hlrinc.net)

Revisions



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	74.6%
BRICK - FIELD 01	58.6%
BRICK - FIELD 02	11.2%
BRICK - FIELD 03	4.8%
CEMENTITIOUS PANEL	19.1%
SIDING	6.3%
GLASS/WINDOW/DOOR	26.8%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -  
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -  
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -  
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL  
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 03
- 06.1

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- 06.2

BRICK MASONRY BAND -  
FIELD COLOR 02
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BRICK MASONRY BAND -  
FIELD COLOR 03
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SPECIALTY WINDOW
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CAST STONE
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METAL RAILING SYSTEM
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ASPHALT SHINGLE ROOFING  
SYSTEM
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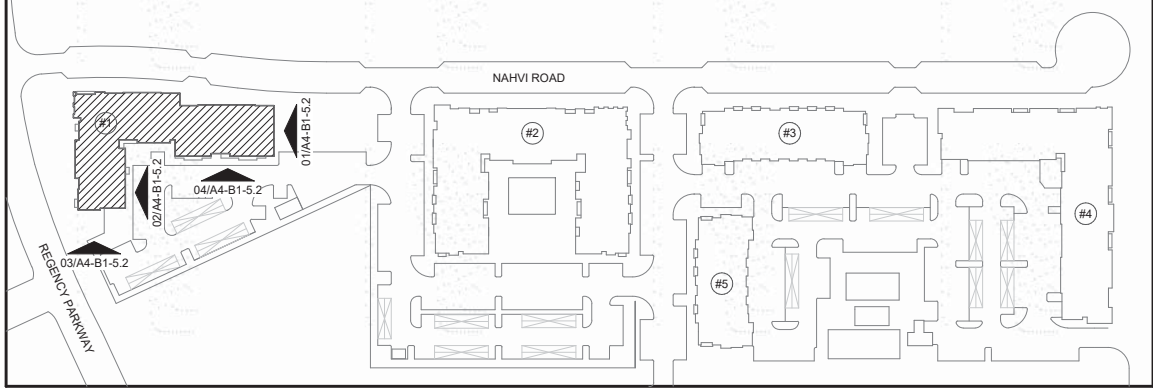
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METAL CANOPY
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DOWNSPOUT
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RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



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04 SOUTH ELEVATION 02  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	41.0%
BRICK - FIELD 01	41.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	33.1%
SIDING	25.9%
GLASS/WINDOW/DOOR	31.3%



3 SOUTH ELEVATION 01  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	95.0%
BRICK - FIELD 01	95.0%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	5.0%
SIDING	0%
GLASS/WINDOW/DOOR	14.3%



02 EAST ELEVATION 01  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	73.5%
BRICK - FIELD 01	73.5%
BRICK - FIELD 02	0%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	14.4%
SIDING	12.1%
GLASS/WINDOW/DOOR	27.1%



01 EAST ELEVATION 02  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.9%
BRICK - FIELD 01	42.0%
BRICK - FIELD 02	35.9%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	22.1%
SIDING	0%
GLASS/WINDOW/DOOR	11.1%

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(sr. proj. manager)  
EMAIL - [juan@hlrinc.net](mailto:juan@hlrinc.net)

Revisions



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL SIDING	37.61%
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

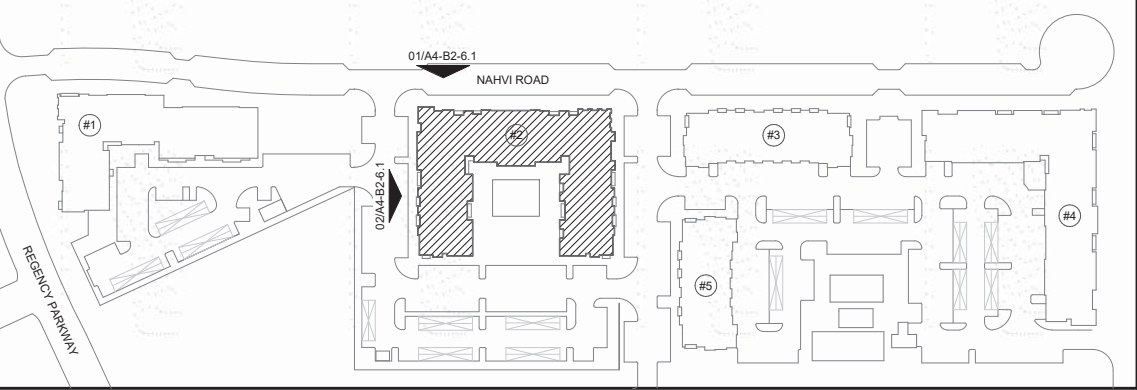
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METAL CANOPY
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DOWNSPOUT
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RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:  
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02 WEST ELEVATION 01  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	81.0%
BRICK - FIELD 01	55.5%
BRICK - FIELD 02	16.3%
BRICK - FIELD 03	9.2%
CEMENTITIOUS PANEL	19.0%
GLASS/WINDOW/DOOR	25.8%



01 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	83.0%
BRICK - FIELD 01	45.7%
BRICK - FIELD 02	17.6%
BRICK - FIELD 03	19.7%
CEMENTITIOUS PANEL	17.0%
GLASS/WINDOW/DOOR	22.7%

0 3 6 9 12 15  
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DALLAS, TX-75254  
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(sr. proj. manager)  
EMAIL - juan@hlrinc.net

Revisions



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GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

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BRICK MASONRY VENEER - FIELD COLOR 02
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BRICK MASONRY VENEER - FIELD COLOR 03
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CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
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CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
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PATIO DOOR UNIT
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CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
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CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
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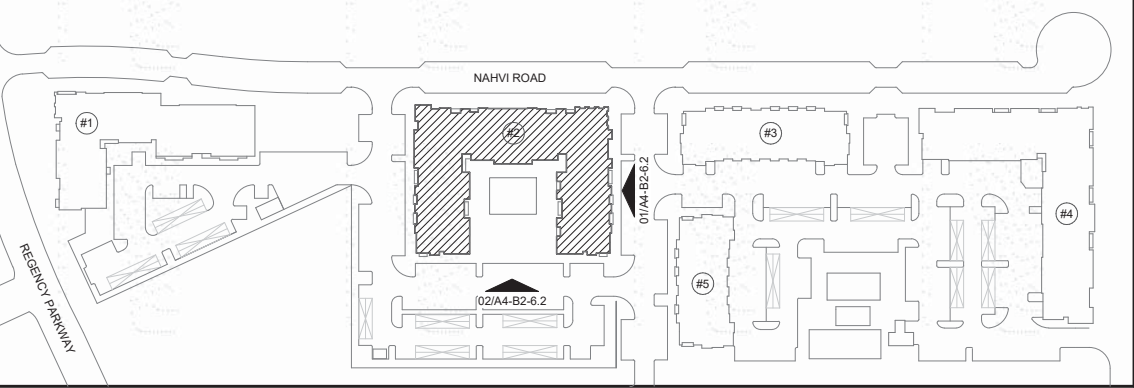
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RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



2 SOUTH ELEVATION 03  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	61.64%
BRICK - FIELD 01	47.81%
BRICK - FIELD 02	13.83%
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	38.36%
GLASS/WINDOW/DOOR	14.59%



01 EAST ELEVATION 03  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	78.0%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	13.9%
BRICK - FIELD 03	10.3%
CEMENTITIOUS PANEL	22.0%
GLASS/WINDOW/DOOR	27.0%

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WALLS	
BRICK	62.39%
BRICK - FIELD 01	47.99%
BRICK - FIELD 02	8.80%
BRICK - FIELD 03	5.60%
CEMENTITIOUS PANEL	37.61%
SIDING	0
GLASS/WINDOW/DOOR	25.16%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -  
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -  
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -  
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 03
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PATIO DOOR UNIT
- 04

PREFINISHED VINYL  
WINDOW SYSTEM
- 05.1

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SYSTEM - FIELD COLOR 01
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CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 02
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CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 03
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BRICK MASONRY BAND -  
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BRICK MASONRY BAND -  
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SPECIALTY WINDOW
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CAST STONE
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METAL RAILING SYSTEM
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ASPHALT SHINGLE ROOFING  
SYSTEM
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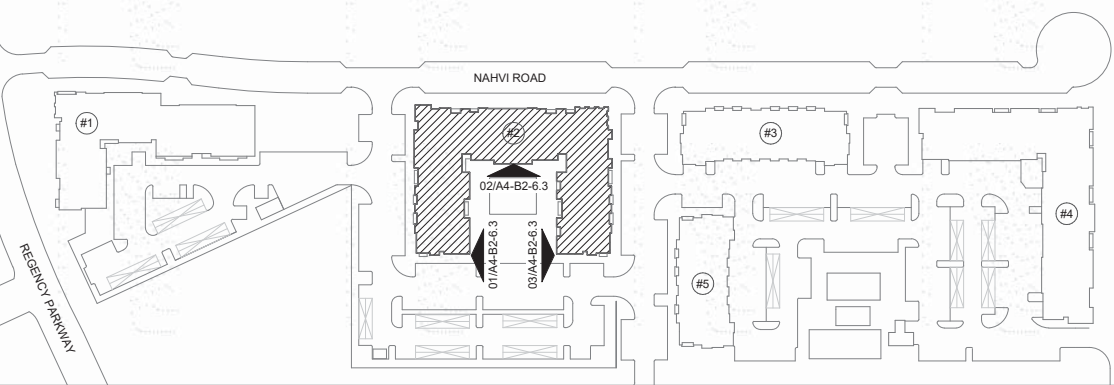
ALUMINIUM PARAPET  
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



03 WEST ELEVATION 03  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%



02 SOUTH ELEVATION 02  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.35%
BRICK - FIELD 01	29.35%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	70.65%
GLASS/WINDOW/DOOR	31.32%



01 EAST ELEVATION 01  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	51.86%
BRICK - FIELD 01	51.86%
BRICK - FIELD 02	0
BRICK - FIELD 03	0
CEMENTITIOUS PANEL	48.14%
GLASS/WINDOW/DOOR	27.37%

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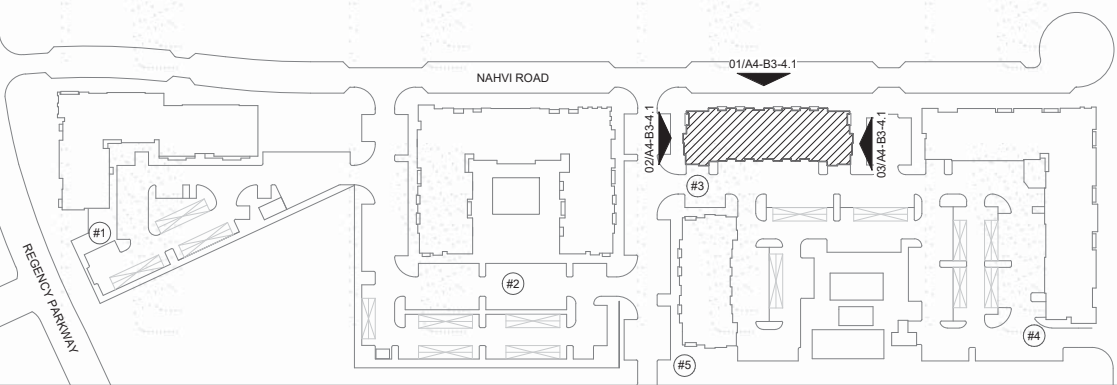


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(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	22.5%



03 EAST ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	22.5%



02 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.5%
BRICK - FIELD 01	53.8%
BRICK - FIELD 02	30.7%
CEMENTITIOUS PANEL	8.6%
SIDING	6.9%
GLASS/WINDOW/DOOR	22.8%



01 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	77.2%
BRICK - FIELD 01	69.7%
BRICK - FIELD 02	7.4%
CEMENTITIOUS PANEL	22.8%
SIDING	0.0%
GLASS/WINDOW/DOOR	24.7%

0 3' 5' 10' 15'

CASE NUMBER \_SUP #21 - 001  
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(sr. proj manager)  
EMAIL - [juan@hlrinc.net](mailto:juan@hlrinc.net)

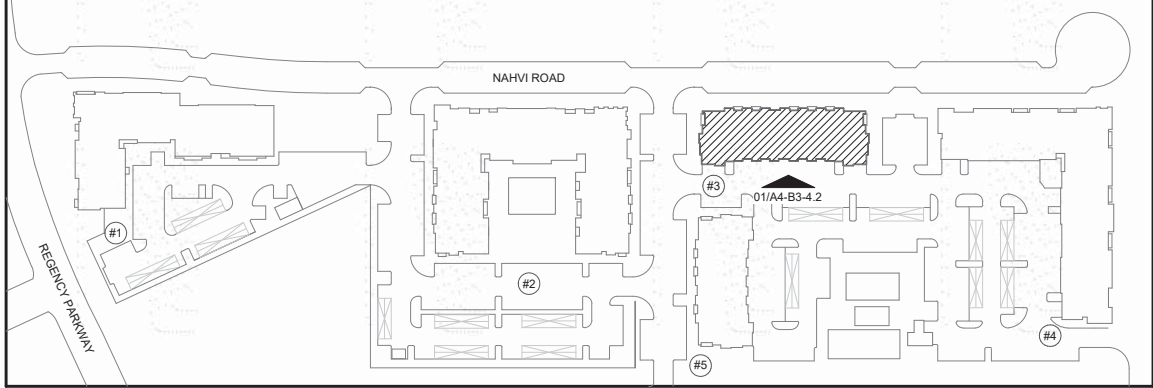


ROOF MOUNTED EQUIPMENT SCREEN NOTE:  
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades.  
(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.4%
BRICK - FIELD 01	51.7%
BRICK - FIELD 02	13.7%
CEMENTITIOUS PANEL	15.9%
SIDING	18.7%
GLASS/WINDOW/DOOR	
	22.5%



MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	34.6%
BRICK - FIELD 01	28.2%
BRICK - FIELD 02	6.4%
CEMENTITIOUS PANEL	23.9%
SIDING	41.5%
GLASS/WINDOW/DOOR	
	19.7%

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HENSLEY LAMKIN RACHEL, INC.  
DALLAS • HOUSTON • SEATTLE  
WWW.HLRINC.NET  
PH: 972.726.9400

Revisions

BRUCE W. RACHEL, AIA  
TX LICENCE NO. 14373  
PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION  
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LAMKIN RACHEL, INC.

Project Title:  
NAHVI ROAD  
EXHIBIT C  
MANSFIELD, TX.



Project ID: #20410  
Sheet No.



ROOF MOUNTED EQUIPMENT SCREEN NOTE:  
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades.  
(Ref. to Page 12 of 15 for additional details)

BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK - FIELD 01	68.88%
BRICK - FIELD 02	47.11%
BRICK - FIELD 03	17.71%
CEMENTITIOUS PANEL SIDING	4.06%
GLASS/WINDOW/DOOR	14.97%
	21.94%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

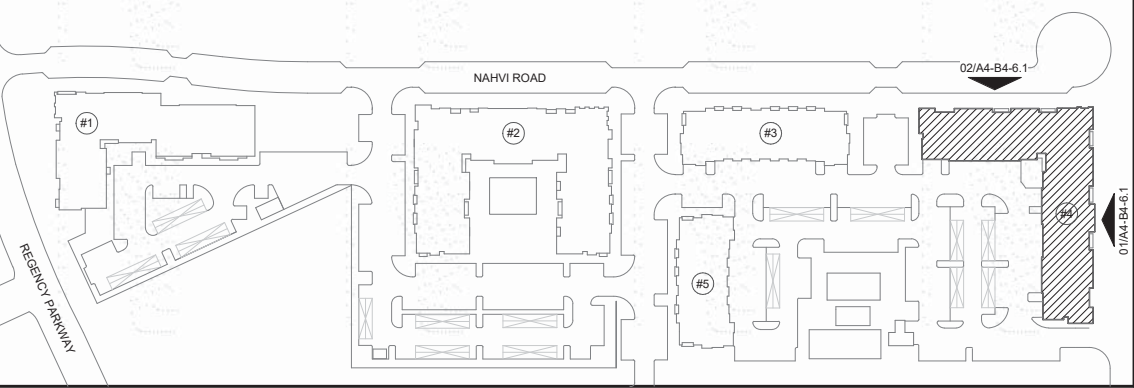
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



02 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK - FIELD 01	98.0%
BRICK - FIELD 02	61.6%
BRICK - FIELD 03	18.1%
CEMENTITIOUS PANEL	18.3%
GLASS/WINDOW/DOOR	2.0%
	24.4%



01 EAST ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK - FIELD 01	87.7%
BRICK - FIELD 02	63.5%
BRICK - FIELD 03	18.1%
CEMENTITIOUS PANEL	6.1%
GLASS/WINDOW/DOOR	12.3%
	26.6%



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(sr. proj manager)  
EMAIL - juan@hlrinc.net



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER - FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER - FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER - FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND - FIELD COLOR 01
- 06.2

BRICK MASONRY BAND - FIELD COLOR 02
- 06.3

BRICK MASONRY BAND - FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING SYSTEM
- 11

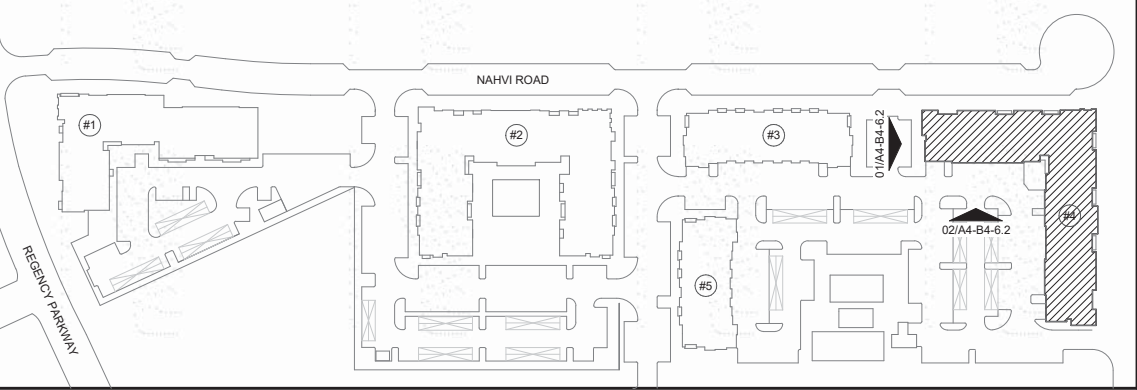
ALUMINIUM PARAPET COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



**ROOF MOUNTED EQUIPMENT SCREEN NOTE:**  
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2 SOUTH ELEVATION-1  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	32.33%
BRICK - FIELD 01	26.40%
BRICK - FIELD 02	5.93%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	20.79%
GLASS/WINDOW/DOOR	46.88%



1 WEST ELEVATION-1  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL SIDING	17.06%
GLASS/WINDOW/DOOR	14.52%



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(sr. proj manager)  
EMAIL - [juan@hlrinc.net](mailto:juan@hlrinc.net)



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	68.88%
BRICK - FIELD 01	47.11%
BRICK - FIELD 02	17.71%
BRICK - FIELD 03	4.06%
CEMENTITIOUS PANEL	14.97%
SIDING	16.13%
GLASS/WINDOW/DOOR	21.94%

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -  
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -  
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -  
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL  
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -  
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -  
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -  
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING  
SYSTEM
- 11

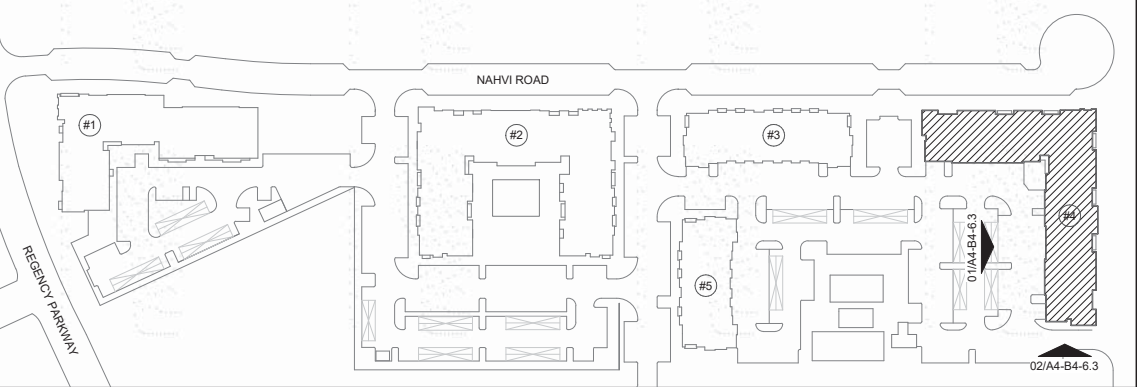
ALUMINIUM PARAPET  
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



ROOF MOUNTED EQUIPMENT SCREEN NOTE:  
All roof-mounted equipment shall be fully screened by building parapets at least 1' taller than the tallest piece of equipment on all facades facing public or private streets. All roof-mounted equipment shall be fully screened by a guardrail screening system painted to match the roof at least 1' taller than the tallest piece of equipment on all other facades. (Ref. to Page 12 of 15 for additional details)



MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	82.94%
BRICK - FIELD 01	53.12%
BRICK - FIELD 02	29.82%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	17.06%
SIDING	0%
GLASS/WINDOW/DOOR	14.52%

02 SOUTH ELEVATION -2  
SCALE: 3/32" = 1'-0"



01 WEST ELEVATION -2  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	29.42%
BRICK - FIELD 01	24.93%
BRICK - FIELD 02	4.49%
BRICK - FIELD 03	0%
CEMENTITIOUS PANEL	20.64%
SIDING	49.94%
GLASS/WINDOW/DOOR	26.09%

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Revisions



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(Ref. to Page 12 of 15 for additional details)

MATERIAL LEGEND

- 01.1

BRICK MASONRY VENEER -  
FIELD COLOR 01
- 01.2

BRICK MASONRY VENEER -  
FIELD COLOR 02
- 01.3

BRICK MASONRY VENEER -  
FIELD COLOR 03
- 02.1

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 01
- 02.2

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 02
- 02.3

CEMENTITIOUS PANEL  
SYSTEM - FIELD COLOR 03
- 03

PATIO DOOR UNIT
- 04

PREFINISHED VINYL  
WINDOW SYSTEM
- 05.1

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 01
- 05.2

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 02
- 05.3

CEMENTITIOUS SIDING  
SYSTEM - FIELD COLOR 03
- 06.1

BRICK MASONRY BAND -  
FIELD COLOR 01
- 06.2

BRICK MASONRY BAND -  
FIELD COLOR 02
- 06.3

BRICK MASONRY BAND -  
FIELD COLOR 03
- 07

SPECIALTY WINDOW
- 08

CAST STONE
- 09

METAL RAILING SYSTEM
- 10

ASPHALT SHINGLE ROOFING  
SYSTEM
- 11

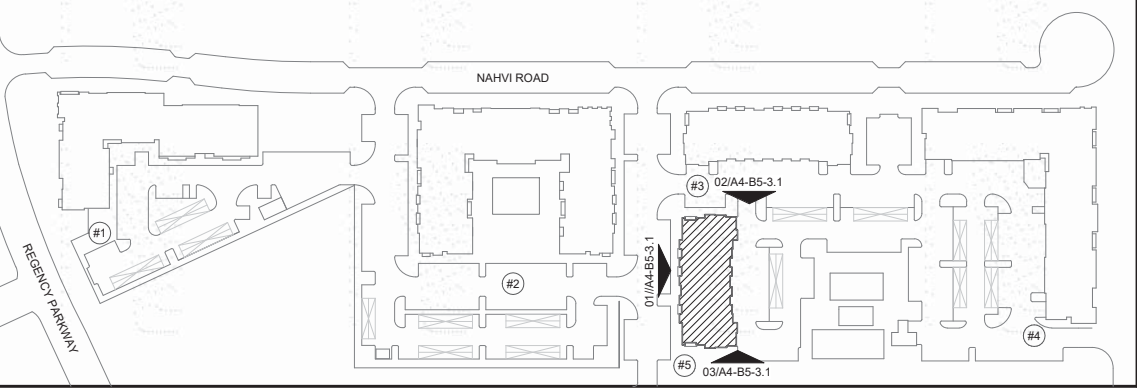
ALUMINIUM PARAPET  
COPING CAP
- 12

METAL CANOPY
- 13

DOWNSPOUT
- 14

RESIDENTIAL STEEL DOOR

KEY PLAN - BUILDING LEGEND



BUILDING TOTAL: MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	64.7%
BRICK - FIELD 01	50.6%
BRICK - FIELD 02	14.1%
CEMENTITIOUS PANEL	16.5%
SIDING	18.8%
GLASS/WINDOW/DOOR	21.9%



03 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	65.5%
BRICK - FIELD 01	55.1%
BRICK - FIELD 02	10.4%
CEMENTITIOUS PANEL	8.3%
SIDING	26.2%
GLASS/WINDOW/DOOR	22.5%



02 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	84.8%
BRICK - FIELD 01	55.0%
BRICK - FIELD 02	29.8%
CEMENTITIOUS PANEL	8.3%
SIDING	6.9%
GLASS/WINDOW/DOOR	22.5%



01 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

MATERIAL / FENESTRATION PERCENTAGES	
WALLS	
BRICK	75.2%
BRICK - FIELD 01	63.1%
BRICK - FIELD 02	12.1%
CEMENTITIOUS PANEL	28.4%
SIDING	0.0%
GLASS/WINDOW/DOOR	24.2%

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(Ref. to Page 12 of 15 for additional details)

01.1	BRICK MASONRY VENEER - FIELD COLOR 01	04	PREFINISHED VINYL WINDOW SYSTEM	07	SPECIALTY WINDOW
01.2	BRICK MASONRY VENEER - FIELD COLOR 02	05.1	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 01	08	CAST STONE
01.3	BRICK MASONRY VENEER - FIELD COLOR 03	05.2	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 02	09	METAL RAILING SYSTEM
02.1	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 01	05.3	CEMENTITIOUS SIDING SYSTEM - FIELD COLOR 03	10	ASPHALT SHINGLE ROOFING SYSTEM
02.2	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 02	06.1	BRICK MASONRY BAND - FIELD COLOR 01	11	ALUMINIUM PARAPET COPING CAP
02.3	CEMENTITIOUS PANEL SYSTEM - FIELD COLOR 03	06.2	BRICK MASONRY BAND - FIELD COLOR 02	12	METAL CANOPY
03	PATIO DOOR UNIT	06.3	BRICK MASONRY BAND - FIELD COLOR 03	13	DOWNSPOUT
				14	RESIDENTIAL STEEL DOOR

The site plan shows the layout of the Regency Parkway area. Five numbered locations are marked for the proposed pedestrian bridge:

- #1: Located near the intersection of Regency Parkway and Nahvi Road, adjacent to a building footprint.
- #2: Located in the central area, between two large building footprints.
- #3: Located near the intersection of Regency Parkway and Nahvi Road, adjacent to a building footprint.
- #4: Located in the eastern area, near a building footprint.
- #5: Located in the western area, near a building footprint.

A north arrow is located in the upper right corner, pointing towards the top right. A scale bar at the bottom indicates a distance of 0' to 100'.

## Scale: NTS

<u>WALLS</u>	
BRICK	64.7%
BRICK - FIELD 01	50.6%
BRICK - FIELD 02	14.1%
CEMENTITIOUS PANEL	16.5%
SIDING	18.8%
<u>GLASS/WINDOW/DOOR</u>	
	21.9%

2) 1" MAX GAP BETWEEN FC TRIM BOARDS

Technical drawing of a flat roof parapet wall, showing elevation and section views with dimensions and material specifications.

**Elevation View (Left):**

- Overall height: 48 1/2" ABV. DECK
- Top edge detail: 1" MIN. TOP OF EQUIP. BEYOND
- Horizontal trim board: 1X6 FIBER CEMENT TRIM BOARD (PAINTED)
- Spacing: 4"-0" O.C. MAX
- Bottom edge detail: 3" MAX FLOOR FINISH
- Base: FLAT ROOF BEYOND
- Foundation: EQUAL

**Section View (Right):**

- Overall height: 48 1/2" ABV. DECK
- Top edge detail: 1" MIN. TOP OF EQUIP. BEYOND
- Horizontal trim board: 1X6 FIBER CEMENT TRIM BOARD (PAINTED)
- Vertical trim board: 1X6 CONTINUOUS FC TRIM (PAINTED)
- Vertical trim board: 2X VERTICAL PT. WOOD RAILER
- Vertical trim board: 1 1/2" SQ. T.S. NEWEL POST @ 4' O.C.
- Bottom edge detail: 3" MAX FLOOR FINISH
- Base: FLAT ROOF BEYOND
- Foundation: EQUAL

**AC EQUIP. (Air Conditioning Equipment):**

- Height: 3'-1"

**Material and Finish Specifications:**

- 1X6 FIBER CEMENT TRIM BOARD (PAINTED)
- 1X6 CONTINUOUS FC TRIM (PAINTED)
- 2X VERTICAL PT. WOOD RAILER
- 1 1/2" SQ. T.S. NEWEL POST @ 4' O.C.

**Dimensions:**

- 48 1/2" ABV. DECK
- 4"-0" O.C. MAX
- 3" MAX FLOOR FINISH
- 3'-1"
- 1" MIN. TOP OF EQUIP. BEYOND
- 1 1/2" SQ. T.S. NEWEL POST @ 4' O.C.

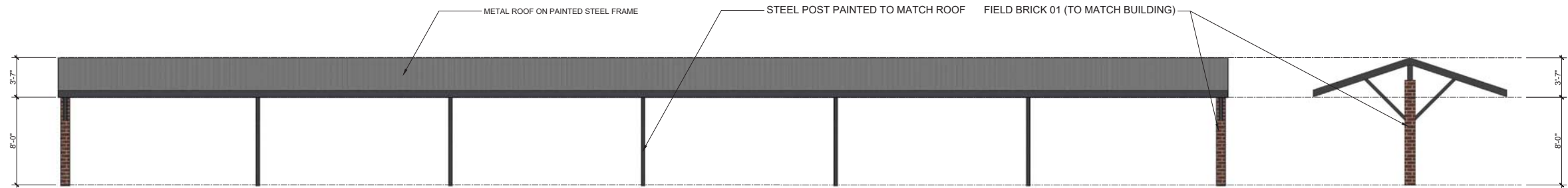
## SECTION VIEW

01 SCALE: 3/32" = 1'-0"

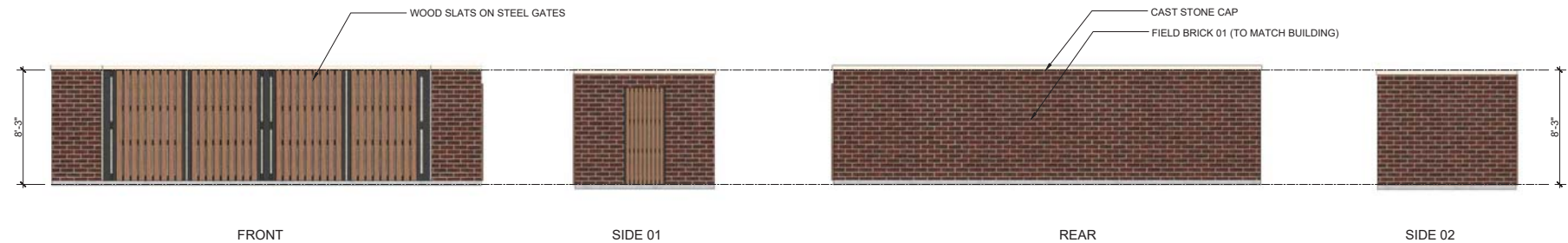
<u>WALLS</u>	
BRICK	36.8%
BRICK - FIELD 01	29.2%
BRICK - FIELD 02	7.6%
CEMENTITIOUS PANEL	21.1%
SIDING	42.1%
<u>GLASS/WINDOW/DOOR</u>	18.7%

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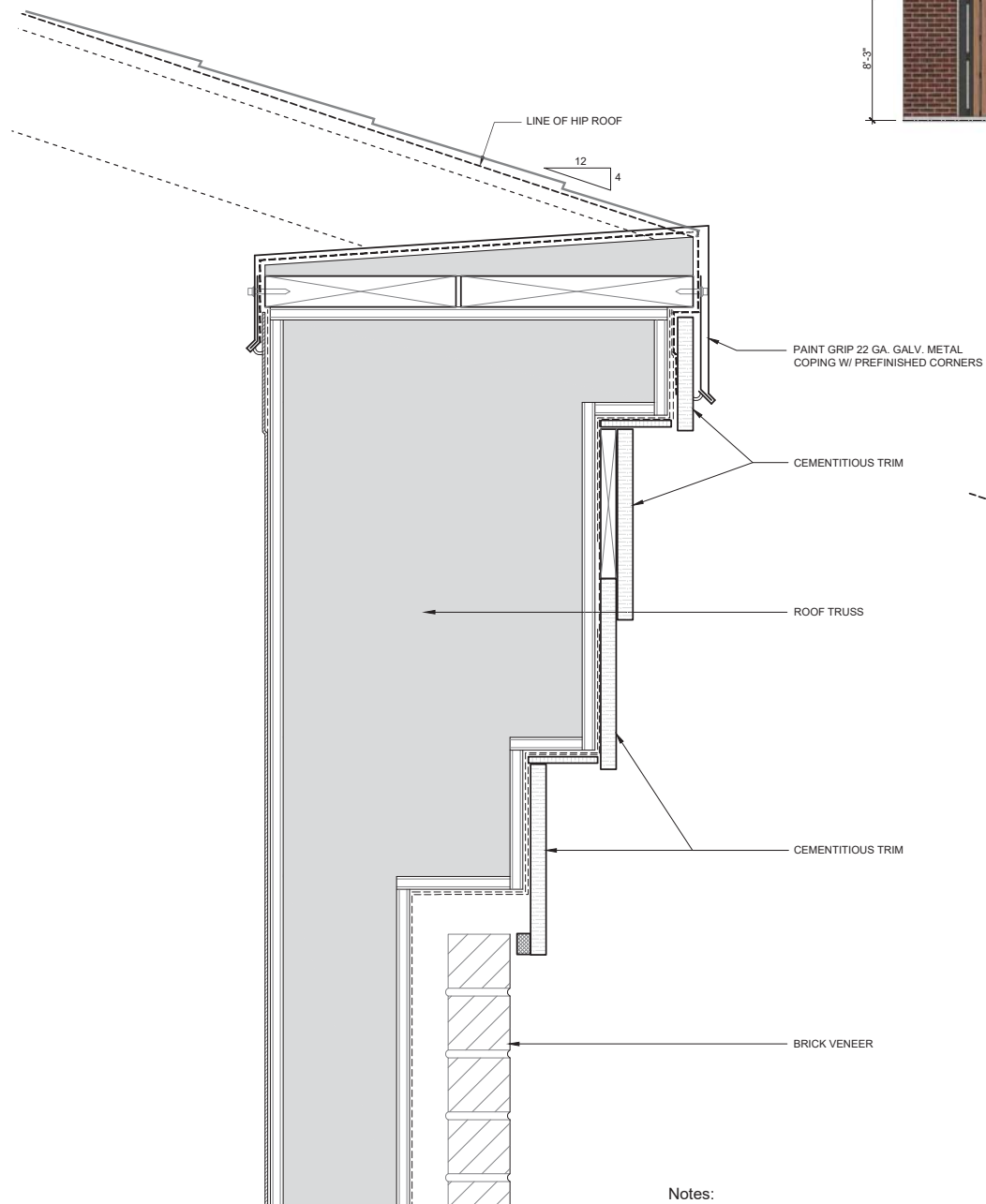




05 CARPORT ELEVATIONS  
SCALE: 3/16" = 1'-0"

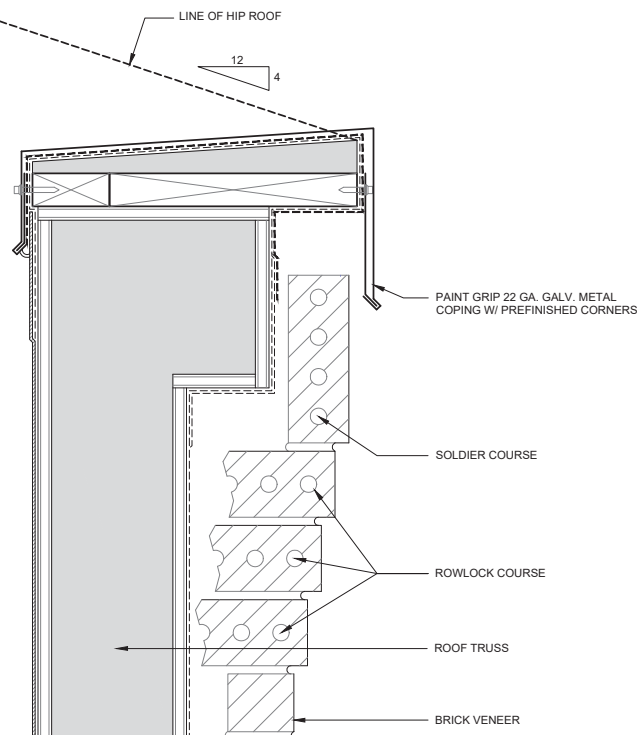


04 TRASH ENCLOSURE ELEVATIONS  
SCALE: 3/16" = 1'-0"

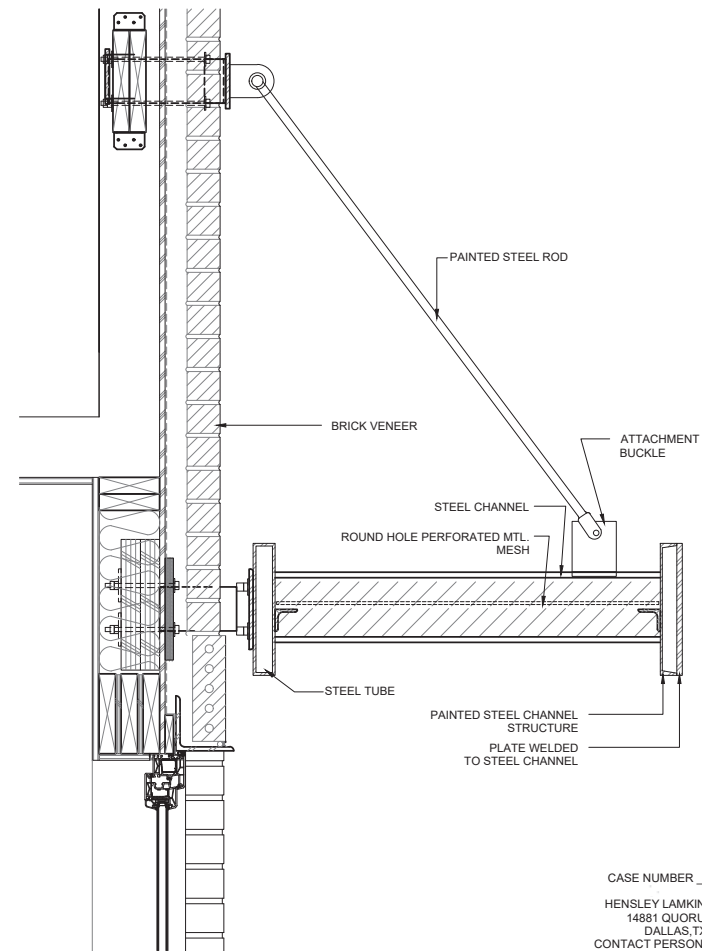


03 ARTICULATED PARAPET DETAIL  
SCALE: 3" = 1'-0"

Notes:  
1) All roof mounted equipment shall be fully screened with parapet or guardrail height at a minimum of 12" higher than tallest equipment.



02 ARTICULATED PARAPET DETAIL  
SCALE: 3" = 1'-0"



01 TYP. ROOF AWNING DETAIL  
SCALE: 1 1/2" = 1'-0"

CASE NUMBER \_SUP #21 - 001  
HENSLEY LAMKIN RACHEL, INC.  
14881 QUORUM DR#550  
DALLAS, TX-75254  
CONTACT PERSON - JUAN TORRES  
(sr.proj manager)  
EMAIL - juan@hlrinc.net





CONCEPT RENDER - BLDG 1 - INTERSECTION OF ROBERT ROAD AND RECENCY PARKWAY

Revisions

BRUCE W. RACHEL, AIA  
TX LICENCE NO. 14373  
PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION  
NOT FOR GOVERNMENTAL REVIEW

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LAMKIN RACHEL, INC.

Project Title:  
**NAHVI ROAD**  
  
EXHIBIT C  
  
MANSFIELD, TX.





CONCEPT RENDER - BLDG 2 - LEASING ALONG NAHVI RD

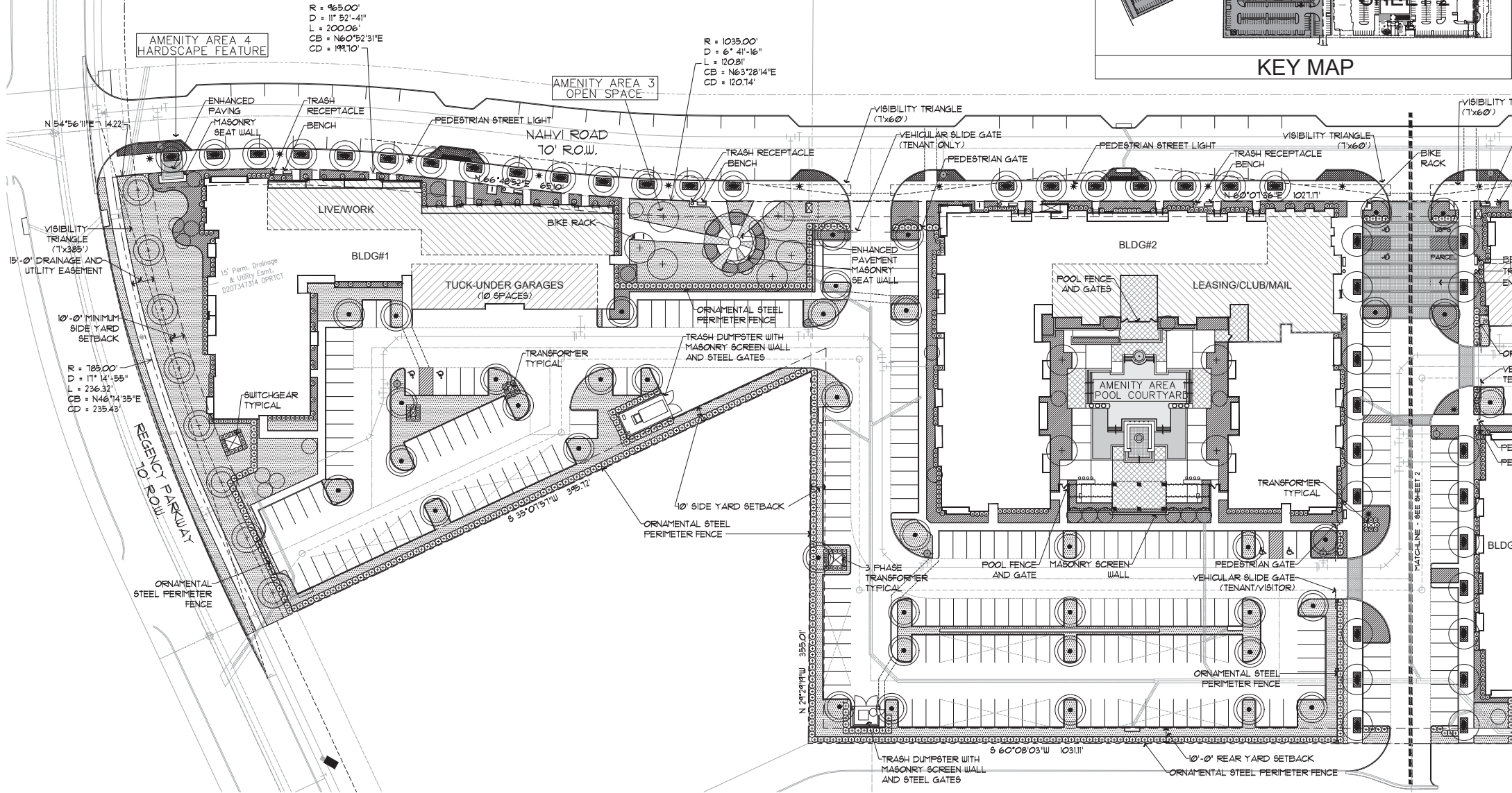
Revisions

BRUCE W. RACHEL, AIA  
TX LICENCE NO. 14373  
PRELIMINARY DRAWING  
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Project Title:  
**NAHVI ROAD**  
  
EXHIBIT C  
  
MANSFIELD, TX.





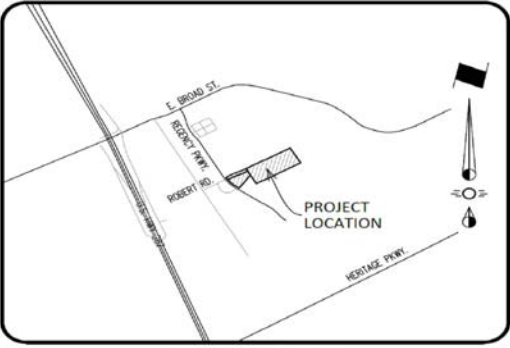
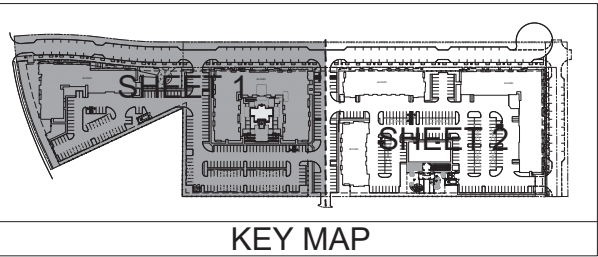
MATERIAL NOTES:

1. GATE AND FENCE LOCATIONS ARE SCHEMATIC AND SUBJECT TO CHANGE.
2. AMENITY AREA 1 - POOL COURTYARD (APPROX. 10500 SF)
  - CLUB AND FITNESS SPACES INTEGRATE WITH COURTYARD
  - COVERED OPEN-AIR LOUNGE SPACE
  - RESORT STYLE POOL WITH SUN SHELF AND WATER FEATURES
  - LOUNGE CHAIRS AND OUTDOOR FURNITURE
  - GRILLING STATION WITH BAR COUNTER
  - ENHANCED PAVEMENT POOL DECK
  - SYNTHETIC TURF LAWN AREAS
3. AMENITY AREA 2 - DOG PARK/RESIDENT ACTIVITY ZONE (APPROX. 13200 SF)
  - FENCED DOG PARK WITH PET STATIONS
  - LAWN AREA FOR RESIDENT STRUCTURED RECREATIONAL ACTIVITY
  - SHARED COVERED PAVILION BETWEEN THE TWO ADJACENT SPACES
  - OUTDOOR FURNITURE AND BENCH SEATING
  - FESTIVE STRING LIGHTING
  - SHADE TREES AND ENHANCED PLANTING
4. AMENITY AREA 3 - OPEN SPACE (APPROX. 45000 SF)
  - PASSIVE ZONE ADJACENT TO STREET FRONTAGE AND ACCESSIBLE TO THE PUBLIC
  - INTIMATE HARD SURFACE SITTING AREA
  - BENCH SEATING AND MASONRY SEAT WALL
  - SHADE TREES AND ENHANCED PLANTING
  - PEDESTRIAN SCALED LIGHT FIXTURES
  - ENHANCED PAVEMENT
5. AMENITY AREA 4 - HARDSCAPE FEATURE
  - MASONRY SEAT WALL WITH MEMORIAL PLAQUE
  - ENHANCED PAVEMENT
  - ENHANCED PLANTING
6. DETAILS SPECIFIC TO EACH AMENITY AREA TO BE PROVIDED WITH CONSTRUCTION PLANS.

GENERAL NOTES:

1. LANDSCAPING MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIAL THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE.
2. IRRIGATION: ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM THAT MAY INCLUDE A DRIP IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL BE DESIGNED, INSTALLED, MAINTAINED, ALTERED, REPAIRED, SERVICED AND OPERATED IN A MANNER THAT WILL PROMOTE WATER CONSERVATION.
3. FIRE APPARATUS CLEARANCE: FIRE DEPARTMENT RISER ROOM ACCESS SHALL REMAIN CLEAR OF SHRUBS OR OTHER LANDSCAPE MATERIAL THAT MAY CAUSE OBSTRUCTION. THREE (3) FOOT CLEARANCE SHALL BE MAINTAINED AROUND FIRE DEPARTMENT CONNECTIONS AND FIRE HYDRANT TYPICAL.
4. VISIBILITY TRIANGLE: NO TREES, SIGNS OR ANYTHING OVER TWO (2) FEET IN HEIGHT IS ALLOWED WITHIN THESE TRIANGLES.

scale: 1" = 40'-0"



CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

	STREET TREE (5' CALIFER MINIMUM/3.5' CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54
	PARKING LOT TREE (3.5' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11
	ADDITIONAL CANOPY TREE (3' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40
	SMALL TREE (2' CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angust-castus / Chase Tree	42
	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Elaeagnus ebbingei / Elaeagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica pusilla / Dwarf Wax Myrtle	600
	SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Juniperus sabina 'Tanaisifolia' / Tan Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spiraea sp. / Dwarf Spiraea	133
	PERENNIAL (1 GALLON MINIMUM)	484
	PLANTING AREA (INCLUDING SHRUBS, GROUNDCOVER AND/OR PERENNIALS)	17,140 sf
	TURF (SOLID 600)	51,140 sf
	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4320 sf

SUP #21-001  
LANDSCAPE PLAN - EXHIBIT D

JLB MANSFIELD

BLOCK A LOT 1

IN THE CITY OF MANSFIELD, TARRANT COUNTY,  
TEXAS

E. McANIER SURVEY, ABST. NO. 1005  
560584 Sq. Ft. (Gross) / 12.869 Acres (Gross)  
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict

LANDSCAPE ARCHITECT  
ENVIRO DESIGN  
1424 GREENVILLE AVENUE, SUITE 200  
DALLAS, TX 75231  
PHONE: (214) 981-3010  
CONTACT: STEVEN REDDY  
SREDDY@ENVIRODESIGN-DALLAS.COM

OWNER / APPLICANT  
JLB REALTY, LLC  
3890 W. NORTHWEST HIGHWAY, 11TH FLOOR  
DALLAS, TEXAS 75220  
CONTACT: BRITTON CHURCH  
BCHURCH@JLBPARTNERS.COM  
PHONE: (214) 271-8480

ENVIRO DESIGN  
LANDSCAPE ARCHITECTURE  
SITE PLANNING



7424 Greenville Ave. Suite 200 Dallas, TX 75231 (214) 987-5010

RICHARD B. ARTING

FOR  
PRELIMINARY  
REVIEW ONLY.  
NOT FOR  
PERMITTING  
OR  
CONSTRUCTION

REVISIONS  
03-04-2021  
03-18-2021  
03-26-2021  
04-04-2021

JLB MANSFIELD  
JLB PARTNERS, LLC  
MANSFIELD, TEXAS

SCALE

1" = 40'-0"

DATE

02-01-2021

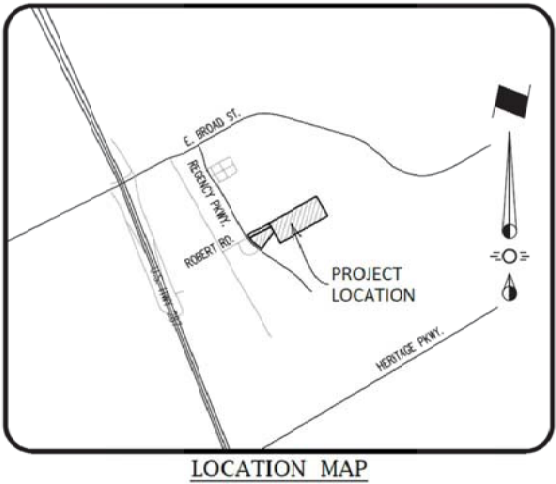
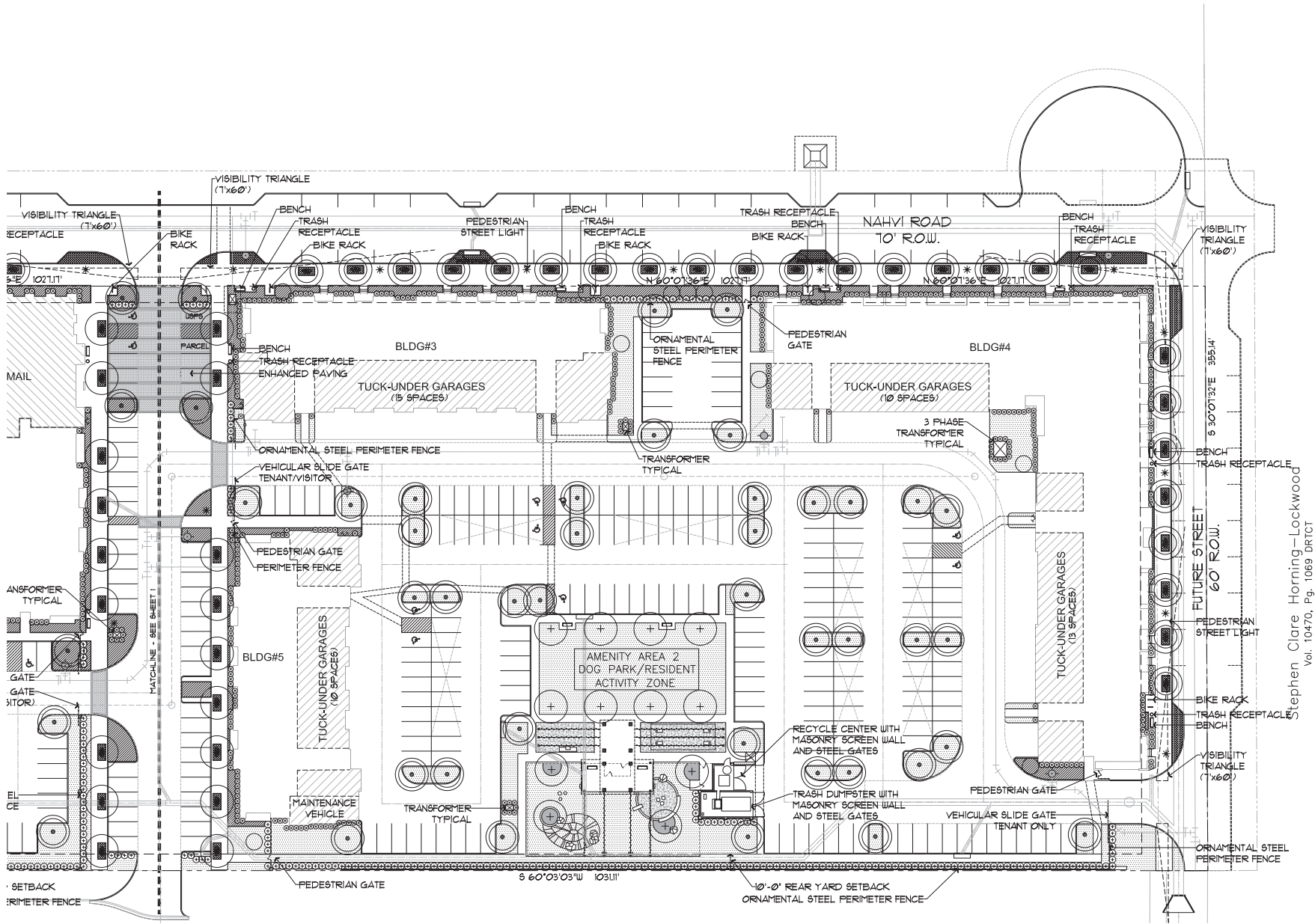
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LANDSCAPE  
PLAN

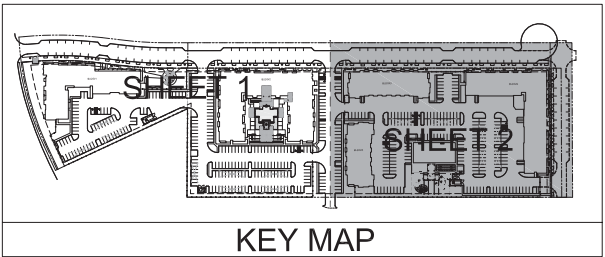
SHEET

EXHIBIT D  
1 OF 4





LOCATION MAP

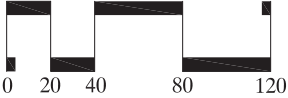


KEY MAP

CONCEPT PLANT SCHEDULE		MAY INCLUDE BUT NOT LIMITED TO
(+)	STREET TREE (5' CALIPER MINIMUM/35' CALIPER MINIMUM AT REGENCY PARKWAY) <i>Acer grandidentatum</i> / Bigtooth Maple <i>Ulmus crassifolia</i> / Cedar Elm <i>Quercus fusiformis</i> / Live Oak <i>Quercus shumardii</i> / Shumard Red Oak <i>Liquidambar styraciflua</i> / Sweet Gum <i>Taxodium distichum</i> / Bald Cypress <i>Ulmus americana</i> / American Elm <i>Ulmus parvifolia</i> / Lacebark Elm	54
(+)	PARKING LOT TREE (3.5' CALIPER MINIMUM) <i>Acer grandidentatum</i> / Bigtooth Maple <i>Ulmus crassifolia</i> / Cedar Elm <i>Quercus fusiformis</i> / Live Oak <i>Quercus shumardii</i> / Shumard Red Oak <i>Liquidambar styraciflua</i> / Sweet Gum <i>Taxodium distichum</i> / Bald Cypress <i>Ulmus americana</i> / American Elm <i>Ulmus parvifolia</i> / Lacebark Elm	11
(+)	ADDITIONAL CANOPY TREE (3' CALIPER MINIMUM) <i>Acer grandidentatum</i> / Bigtooth Maple <i>Ulmus crassifolia</i> / Cedar Elm <i>Quercus fusiformis</i> / Live Oak <i>Quercus shumardii</i> / Shumard Red Oak <i>Liquidambar styraciflua</i> / Sweet Gum <i>Taxodium distichum</i> / Bald Cypress <i>Ulmus americana</i> / American Elm <i>Ulmus parvifolia</i> / Lacebark Elm	40
(+)	SMALL TREE (2' CALIPER MINIMUM) <i>Cercis canadensis texensis</i> / Texas Redbud <i>Ilex decidua</i> / Possumhaw Holly <i>Ilex opaca 'savannah'</i> / Savannah Holly <i>Ilex vomitoria</i> / Yaupon Holly <i>Koeleruteria paniculata</i> / Golden Rain Tree <i>Lagerstroemia indica</i> / Crape Myrtle <i>Myrica cerifera</i> / Southern Wax Myrtle <i>Prunus caroliniana</i> / Carolina Laurel Cherry <i>Prunus mexicana</i> / Mexican Plum <i>Vitex angust-castus</i> / Chase Tree	42
(+)	DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) <i>Elaeagnus abnottii</i> / Elaeagnus <i>Ilex x attenuata 'Foster'</i> / Foster Holly <i>Ilex cornuta</i> / Chinese Holly <i>Ilex cornuta 'Burfordii Nana'</i> / Dwarf Burford Holly <i>Ilex x 'Nellie R. Stevens'</i> / Nellie R. Stevens Holly <i>Ilex vomitoria 'Nana'</i> / Dwarf Yaupon <i>Juniperus chinensis 'Seagreen'</i> / Seagreen Juniper <i>Myrica pusilla</i> / Dwarf Wax Myrtle	600
(+)	SHRUBS (3 GALLON MINIMUM) <i>Abelia x grandiflora</i> / Glossy Abelia <i>Heperaloe parviflora</i> / Red Yucca <i>Ilex cornuta 'Burfordii Nana'</i> / Dwarf Burford Holly <i>Juniperus sabina 'Tamariscifolia'</i> / Tam Juniper <i>Leucophyllum frutescens</i> / Texas Sage <i>Ligustrum sinense 'Variegata'</i> / Variegated Chinese Privet <i>Spiraea sp.</i> / Dwarf Spiraea	133
(+)	PERENNIAL (1 GALLON MINIMUM)	484
(+)	PLANTING AREA (INCLUDING SHRUBS, GROUNDCOVER AND/OR PERENNIALS)	17,140 sf
(+)	TURF (SOLID SOD)	57,140 sf
(+)	EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4,320 sf

NOTE: REFERENCE EXHIBIT D SHEET I FOR GENERAL NOTES AND MATERIAL NOTES.

scale: 1" = 40'-0"



LANDSCAPE ARCHITECT  
ENVIRO DESIGN  
1424 GREENVILLE AVENUE, SUITE 200  
DALLAS, TX 75231  
PHONE: (214) 987-3010  
CONTACT: STEVEN REDDY  
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DALLAS, TEXAS 75220  
CONTACT: BRITTON CHURCH  
BCHURCH@JLBPARTNERS.COM  
PHONE: (214) 271-8480



SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION	PD 1558 (THE RESERVE PLANNED DEVELOPMENT WORKPLACE SUB-DISTRICT)
TOTAL SITE AREA:	12,869 ACRES (GROSS) / 560,584 SF (GROSS) 10202 ACRES (NET) / 444,399 SF (NET)
PROPOSED USE:	MULTI-FAMILY APARTMENT
NO. UNITS/ NO. BEDROOMS (REFER TO ARCHITECTURALS)	356 UNITS/ 401 BEDROOMS
NO. PARKING SPACES REQUIRED (REFER TO ARCHITECTURALS)	1 PER BEDROOM + 401

LANDSCAPE REQUIREMENTS		
LANDSCAPE IMPROVEMENTS FOR THE PROPERTY SHALL CONFORM TO APPLICABLE SECTION (INCLUDED BELOW) OF "THE RESERVE PLANNED DEVELOPMENT DISTRICT STANDARD-WORKPLACE SUBDISTRICT" AS ADOPTED BY THE CITY OF MANSFIELD.		
SECTION 8 - PARKING AREAS		
8.4 SURFACE PARKING LANDSCAPING - PARKING LOTS THAT CONTAIN TEN (10) OR MORE PARKING SPACES SHALL PROVIDE LANDSCAPING AND SCREENING IN ACCORDANCE WITH SECTION 1300, LANDSCAPING AND SCREENING REQUIREMENTS OF THE MANSFIELD ZONING ORDINANCE.	PROVIDED	
8.6 SURFACE PARKING PERIMETER SCREENING - ALL SURFACE PARKING LOTS SHALL BE SCREENED FROM STREET VIEW SUCH SCREENING SHALL TAKE THE FORM OF THREE (3) FOOT PLANTING OF DENSE EVERGREEN HEDGE AT THE TIME OF INSTALLATION MEASURED ABOVE THE GRADE OF THE PARKING LOT.	PROVIDED	
SECTION 10 - SERVICE AND EQUIPMENT AREAS		
10.2 SERVICE AREA SCREENING - WHEN SERVICE AREAS ARE NOT ABLE TO BE PLACED WITHIN THE BUILDING ENVELOPE, THEY SHALL BE SCREENED BY MASONRY WALLS SIX (6) FEET IN HEIGHT WITH ADJACENT PLANTINGS OF DENSE EVERGREEN MATERIAL THREE (3) FEET IN HEIGHT AT INSTALLATION. TRANSFORMERS, SWITCHGEAR, AIR CONDITIONERS, AND OTHER GROUND MOUNTED EQUIPMENT OR UTILITY FUNCTIONS MUST BE SCREENED FROM VIEW WITH EVERGREEN PLANTINGS SIX (6) FEET IN HEIGHT AT INSTALLATION.	PROVIDED	
SECTION 13 - STREETSCAPE AND OPEN SPACE		
13.1 FRONT YARDS - SIDEWALKS AND LANDSCAPING SHALL BE PROVIDED BETWEEN THE STREET AND BUILDING FACADE TO OFFER AN INVITING WALKING EXPERIENCE. PLANT MATERIALS SHOULD CONSIST OF SHADE TREES, ORNAMENTAL TREES, SHRUBS, EVERGREEN GROUNDCOVERS, VINES, AND SEASONAL COLOR, AND MAY BE OMITTED AT BUILDING ENTRIES, SEATING AREAS, AND ADJACENT TO COMMERCIAL USES.	PROVIDED	
13.2 STREETSCAPES - STREET TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET ON CENTER ACROSS EACH BLOCK FACE AND THREE AND A HALF (3.5) FEET FROM THE BACK OF CURB. TREES TO HAVE A MINIMUM CALIPER OF FIVE (5) INCHES AT INSTALLATION, AND SHALL NOT BE CLOSER THAN TEN (10) FEET FROM A STREET LIGHT OR FIRE HYDRANT.	PROVIDED	
13.5 STREET TREES ALONG REGENCY PARKWAY - STREET TREES SHALL BE PLANTED AT AN AVERAGE FORTY (40) FEET ON CENTER. TREES SHALL HAVE A MINIMUM CALIPER OF THREE AND A HALF (3.5) INCHES AT INSTALLATION.	PROVIDED	
13.6 TREE PLANTERS - STREET TREES TO BE CENTERED WITHIN FIVE (5) FOOT BY TEN (10) FOOT PLANTERS AS LEAVE-OUTS WITHIN THE SIDEWALK AND SURROUNDED WITH EITHER A TWELVE (12) INCH HIGH ORNAMENTAL STEEL FENCE OR BRICK TURN-UP EDGE. THESE PLANTERS WILL ALSO CONSIST OF EVERGREEN GROUNDCOVER AND PERENNIAL PLANTINGS FOR AESTHETIC INTEREST. THE STREET-FACING EDGE OF ALL PLANTERS SHALL BE PLACED ONE AND A HALF (1.5) FEET FROM THE FACE OF THE CURB.	PROVIDED	
13.8 OPEN SPACE - THE PROVISIONS OF ADEQUATE AND APPROPRIATE OPEN SPACE AREAS ADD VALUE TO DEVELOPMENT AND ARE ENCOURAGED IN ALL DEVELOPMENT IN THE SUB-DISTRICT. THE OPEN SPACE PROVIDED SHOULD BE APPROPRIATELY DESIGNATED AND SCALED. OPEN SPACES MAY BE IN THE FORM OF POCKET PARKS, PLAZAS, SQUARES, LINEAR PARKS, ENVIRONMENTAL PRESERVES, PRIVATE OPEN SPACES, SIDEWALKS, ACTIVE SPORTS FIELDS, STRUCTURED RECREATIONAL ACTIVITY AREAS, ETC.	PROVIDED	
13.9 STREET BENCHES - STREET BENCHES SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT ALONG REGENCY PARKWAY. STREET BENCHES SHALL BE PLACED FACING THE SIDEWALK AND CURB, AND PARALLEL TO THE BUILDINGS.	PROVIDED	
13.10 STREET LIGHTS - STREET LIGHTS SHALL BE PROVIDED FOUR (4) FEET FROM FACE OF CURB AT AVERAGE INTERVALS OF NINETY (90) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY. LIGHT FIXTURE SHALL BE MOUNTED TEN (10) TO TWELVE (12) FEET FROM FINISH GRADE AND SHALL BE METAL HALIDE TYPE.	PROVIDED	
13.11 BICYCLE RACKS - BICYCLE RACKS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	PROVIDED	
13.12 LITTER CONTAINERS - LITTER CONTAINERS SHALL BE PROVIDED AT AVERAGE INTERVALS OF ONE HUNDRED AND FIFTY (150) FEET ALONG ALL BLOCK FACES EXCEPT REGENCY PARKWAY, AND CLUSTERED AT STREET LIGHT OR BUILDING ENTRY LOCATIONS.	PROVIDED	
SECTION 1300 - LANDSCAPING AND SCREENING REQUIREMENTS		
Q. PARKING LOT PERIMETER LANDSCAPING: (1) IN THE MF-1, MF-2, OP, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENED BY ONSITE BUILDINGS SHALL BE SCREENED FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:	PROVIDED	
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.	PROVIDED	
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING: 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS	SHRUBS	
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	N/A	
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.	N/A	
R. PARKING LOT INTERNAL LANDSCAPING: ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.	PROVIDED	
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT.	PROVIDED (510 SURFACE/ 10+51)	
(2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:		
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.	N/A	
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18') OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.	PROVIDED	
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.	PROVIDED	
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.	PROVIDED *(NORTH/SOUTH DRIVE TO INCORPORATE TREES IN TREE WELLS IN SIDEWALK IN LEIU OF TREES IN PARKING ISLANDS AS APPROVED BY CITY STAFF)	
S. PARKING END CAPS: ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO-HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.	PROVIDED	

SUMMARY CHART - BUFFER YARDS/ SETBACKS						
LOCATION OF BUFFER/YARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	ORNAMENTAL TREES	SCREENING WALL/ DEVICE HEIGHT AND MATERIAL
NORTH (NAHV ROAD)	REQUIRED (1 TREE/ 30 LF)	1404.26'	LOCAL STREET 10' ROW	41	N/A	N/A
	PROVIDED	1404.26'	LOCAL STREET 10' ROW	+38	N/A	N/A
EAST (FUTURE STREET)	REQUIRED (1 TREE/ 30 LF)	329.14'	LOCAL STREET 60' ROW	11	N/A	N/A
	PROVIDED	329.14'	LOCAL STREET 60' ROW	+8	N/A	N/A
SOUTH	REQUIRED	103.111'	10' REAR YARD SETBACK	N/A	N/A	N/A
	PROVIDED	103.111'	10' REAR YARD SETBACK	N/A	N/A	N/A
WEST (INSET)	REQUIRED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	355.01'	10' SIDE YARD SETBACK	N/A	N/A	N/A
SOUTH (INSET)	REQUIRED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
	PROVIDED	395.12'	10' SIDE YARD SETBACK	N/A	N/A	N/A
WEST (REGENCY PARKWAY)	REQUIRED (1 TREE/40 LF)	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
	PROVIDED	312.45'	10' MIN. SIDE YARD SETBACK	8	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						
* 91 STREET TREE QUANTITY REDUCED BY CITY STAFF TO ACCOMMODATE VISIBILITY TRIANGLE						

SUMMARY CHART - INTERIOR LANDSCAPE						
	LANDSCAPE AREA (SF)	% OF LANDSCAPE AREA	CANOPY TREES	ORNAMENTAL TREES	SHRUBS	GROUNDCOVER (SF)
REQUIRED	44,440 SF	10%	N/A	N/A	N/A	N/A
PROVIDED	44,440 SF	10%	N/A	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A						
OTHER COMMENTS: N/A						

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
NUMBER OF REQUIRED PARKING SPACES	401
NUMBER OF PROVIDED PARKING SPACES (INCLUDES TANDEM PARKING/EXCLUDES ON-STREET PARKING)	510
NUMBER OF TREES REQUIRED (1 TREE/ 10 SPACES)	51
NUMBER OF TREES PROVIDED	11
NOTE ANY CREDITS USED IN CALCULATIONS: N/A	
OTHER COMMENTS: N/A	

CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

	STREET TREE (5' CALIFER MINIMUM/3.5' CALIFER MINIMUM AT REGENCY PARKWAY) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	54		DENSE EVERGREEN SHRUBS (5 GALLON MINIMUM) Eleagnus ebbengil / Eleagnus Ilex x attenuata 'Foster' / Foster Holly Ilex cornuta / Chinese Holly Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Ilex x Nellie R. Stevens / Nellie R. Stevens Holly Ilex vomitoria 'Nana' / Dwarf Yaupon Juniperus chinensis 'Seagreen' Seagreen Juniper Myrica paullia / Dwarf Wax Myrtle	600
	PARKING LOT TREE (3.5' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	11		SHRUBS (3 GALLON MINIMUM) Abelia x grandiflora / Glossy Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Juniperus sabinia 'Tamariscifolia' / Tam Juniper Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegata' / Variegated Chinese Privet Spirea sp. / Dwarf Spiraea	133
	ADDITIONAL CANOPY TREE (3' CALIFER MINIMUM) Acer grandidentatum / Bigtooth Maple Ulmus crassifolia / Cedar Elm Quercus fusiformis / Live Oak Quercus shumardii / Shumard Red Oak Liquidambar styraciflua / Sweet Gum Taxodium distichum / Bald Cypress Ulmus americana / American Elm Ulmus parvifolia / Lacebark Elm	40		PERENNIAL (1 GALLON MINIMUM)	484
				PLANTING AREA (INCLUDES SHRUBS, GROUNDCOVERS AND/OR PERENNIALS)	11,140 sf
				TURF (SOLID SOD)	51,140 sf
				EVERGREEN GROUNDCOVER (1 GALLON MINIMUM)	4,320 sf
	SMALL TREE (2' CALIFER MINIMUM) Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Ilex opaca 'savannah' / Savannah Holly Ilex vomitoria / Yaupon Holly Koeleruteria paniculata / Golden Rain Tree Lagerstroemia indica / Crape Myrtle Myrica cerifera / Southern Wax Myrtle Prunus caroliniana / Carolina Laurel Cherry Prunus mexicana / Mexican Plum Vitex angus-castus / Chase Tree	42			

SUP #21-001  
LANDSCAPE REQUIREMENTS & SUMMARY TABLES - EXHIBIT D  
JLB MANSFIELD  
BLOCK A, LOT 1  
IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS  
E. McANIER SURVEY, ABST. NO. 1005  
560,584 Sq. Ft. (Gross) / 12,869 Acres (Gross)  
Current Zoning: PD-1558-The Reserve-Workplace Subdistrict  
LANDSCAPE ARCHITECT  
ENVIRO DESIGN  
7424 GREENVILLE AVENUE, SUITE 200  
DALLAS, TX 75231  
PHONE: (214) 981-3010  
CONTACT: STEVEN REDDY  
SREDDY@ENVIRODESIGN-DALLAS.COM  
OWNER / APPLICANT  
JLB REALTY, LLC  
38920 W. NORTHWEST HIGHWAY, 1TH FLOOR  
DALLAS, TEXAS 75220  
CONTACT: ERITTON CHURCH  
ECHURCH@JLBPARTNERS.COM  
PHONE: (214) 211-8480





OWNER / APPLICANT  
JLB REALTY, LLC  
0 W. NORTHWEST HIGHWAY, 11TH FLOOR  
DALLAS, TEXAS 75220  
CONTACT: BRITTON CHURCH  
BCHURCH@JLBPARTNERS.COM  
PHONE: (214) 271-8480

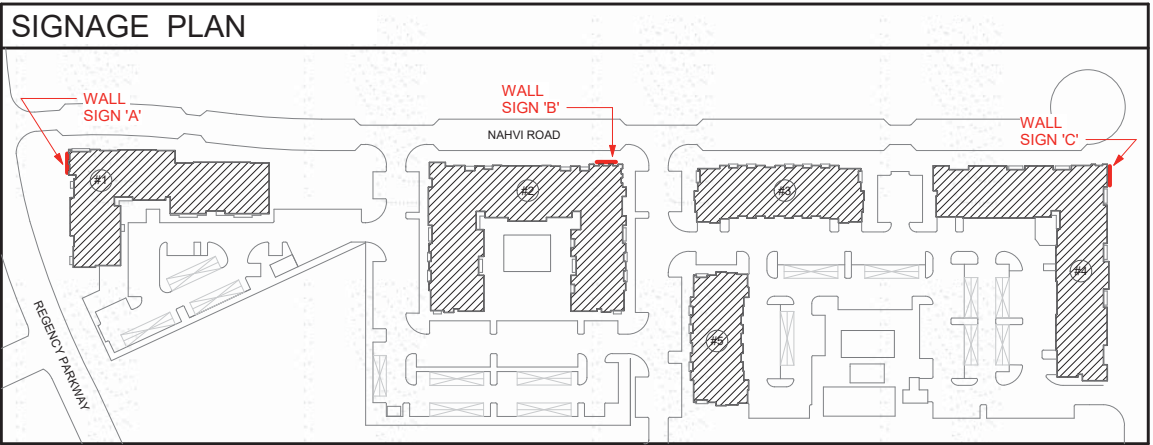
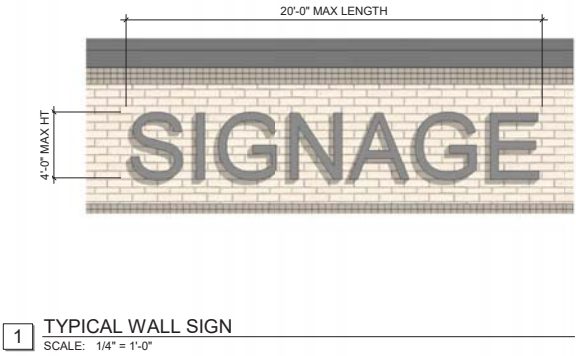
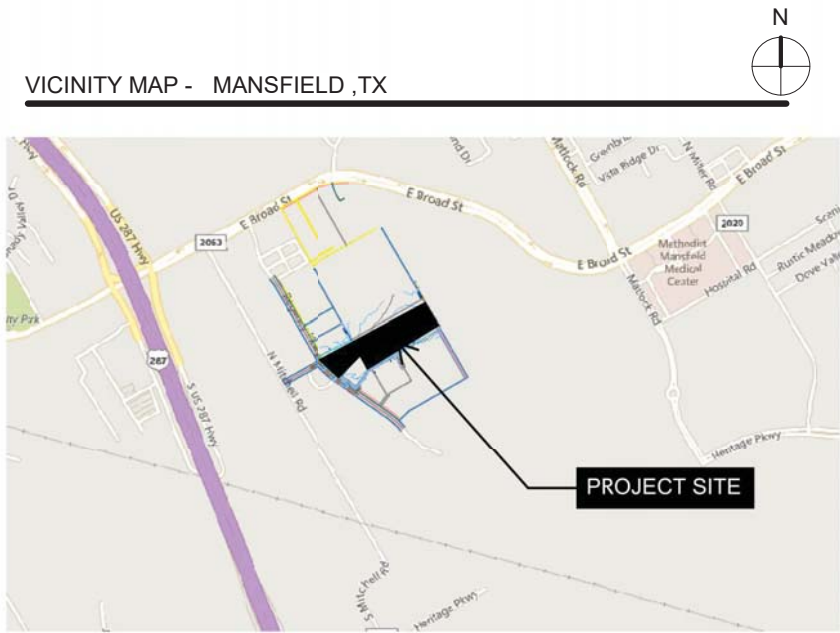




PROPOSED WALL SIGN 'A' FACING REGENCY PKWY



PROPOSED WALL SIGN 'B' FACING NAHVI RD



NOTES:  
ALL SIGNAGE TO COMPLY WITH SECTION 11  
OF THE WORKPLACE SUB-DISTRICT OF THE  
RESERVE PLANNED DEVELOPMENT DISTRICT  
DESIGN STANDARDS. SETBACKS FOR  
MONUMENT SIGNS SHALL COMPLY WITH 7100  
OF THE ZONING ORDINANCE. SIGN  
DIMENSIONS TO BE DETERMINED AT A LATER  
DATE.

**SIGNAGE AND MATERIALS PLAN - EXHIBIT E**  
CASE NUMBER \_SUP #21 - 001  
HENSLEY LAMKIN RACHEL, INC.  
14881 QUORUM DR#550  
DALLAS, TX 75254  
CONTACT PERSON - JUAN TORRES  
(sr. proj manager)  
EMAIL - [juan@hlrinc.net](mailto:juan@hlrinc.net)

Revisions

BRUCE W. RACHEL, AIA  
TX LICENSE NO. 14373  
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LAMKIN RACHEL, INC.

Project Title:  
**NAHVI ROAD**  
**EXHIBIT E**  
**MANSFIELD, TX.**