

To: Whom it may concern,

We are requesting to build an accessory building on the property of 8 Woodland Drive at the residence of Todd & Shelley Cleveland. The building is a 50' x 100' (5000 sq. ft.) steel constructed bolt up structure standing 20' 6" from ground to the peak including a 6" concrete foundation with 2' 6" grade beams on 10' centers. The building sits on a 7+ acre lot 65' from the west property line, 39' from the rear of property, and 80 yards from the closest structure.

Using R-panel siding, we would like the side walls at the eaves to be 18' in height to have a 1:12 roof pitch. The ONLY intent on this building is for personal storage, gardening prep, and equipment/camper storage.

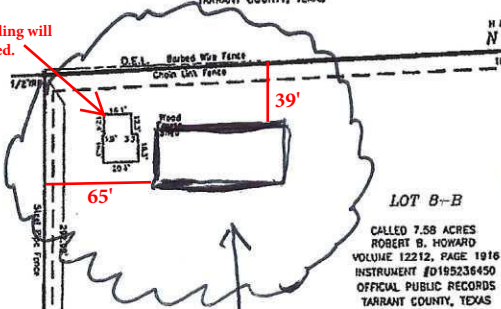
Thank you,

Todd & Shelley Cleveland

CALLED 30.367 ACRES
STEPHEN CLARE MORRIS-LOCKWOOD
ET U X, SALLY BOLTON MORRIS-LOCKWOOD, CPROS
INSTRUMENT #0199178215
OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

CALLED 3.57 ACRES
MOUSER FAMILY LIMITED PARTNERSHIP #1
ET U X, SALLY BOLTON MORRIS-LOCKWOOD, CPROS
INSTRUMENT #0204207317
OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

This building will
be removed.



LOT 8-B

CALLLED 7.58 ACRES
ROBERT B. HOWARD
VOLUME 12212, PAGE 1916
INSTRUMENT #0195236450
OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

EASEMENT AND RIGHT-OF-WAY
TEXAS ELECTRIC SERVICE COMPANY
VOLUME 8416, PAGE 2191
OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS

NOTE:
The location of said easement as depicted on this survey
is for the deed only of said easement. The surveyor
takes no responsibility for the accuracy or location of said
easement.

BORROWER: MICHAEL N. WOOD and
CINDY A. WOOD
ADDRESS: 8 WOODLAND DRIVE
MANSFIELD, TEXAS
TITLE CO.: REUNION TITLE
G/F NO.: 10R18101

NOTES:

1. This Surveyor was not contracted to prepare a title search or an abstract of title and this survey plot does not constitute such. This survey plot reflects only the easements and rights-of-way which have been reported to this Surveyor by the Title Commitment Schedule B, File No. 10R18101, issued June 24, 2010, from Reunion Title.
2. The property shown hereon appears to be located in Zone "X" (areas determined to be outside the 500-Year Flood Plain), according to the Flood Insurance Rate Map, Map No. 49439C0460 K, Map Revised: September 25, 2009. This Surveyor will not accept the responsibility for the accuracy of said map, nor will this Surveyor accept the responsibility for the local surface drainage affecting the property shown hereon.
3. The Agreement and Easement for Underground Service Lateral as recorded in Volume 8377, Page 2078 of the Official Public Records of Tarrant County, Texas is a blanket easement and affects the hereon described tract of land. The location of said easement cannot be determined by said document.

LEGEND

CRT = CAPPED IRON ROD FOUND
CWS = CAPPED IRON ROD SET
BPT = IRON ROD FOUND
O.E.L. = OVERHEAD ELECTRIC LINE
P.P. = POWER POLE
WAL = WATER METER
T.P. = TELEPHONE PEDESTAL
RVS = RIVER STONE
CONC = CONCRETE
PPR = REGISTERED PROFESSIONAL LAND SURVEYOR

SURVEYOR'S CERTIFICATION

I, Joe Davis Ballard, Registered Professional Land Surveyor number 5614, do hereby certify that a survey was made on the ground, under my supervision, in July 2010, of the property hereon described, and do declare there are no conflicts of overlapping of improvements or possession known to me except as shown

PRELIMINARY, THIS DOCUMENT
SHOULD NOT BE
RECORDED FOR ANY PURPOSE

REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5614



Property Description

Being Lot 8B, of
WOODLANDS ADDITION,
an Addition to the City of Mansfield,
Tarrant County, Texas, according to the
Map thereof recorded in
Volume 395-186, Page 55,
of the Map Records of Tarrant County, Texas

Scale: 1"=50'	Drawn by: dmb	Approved by: JDB
Job No. 10310	Date drawn: 7/21/10	Date App'd: 7/21/10

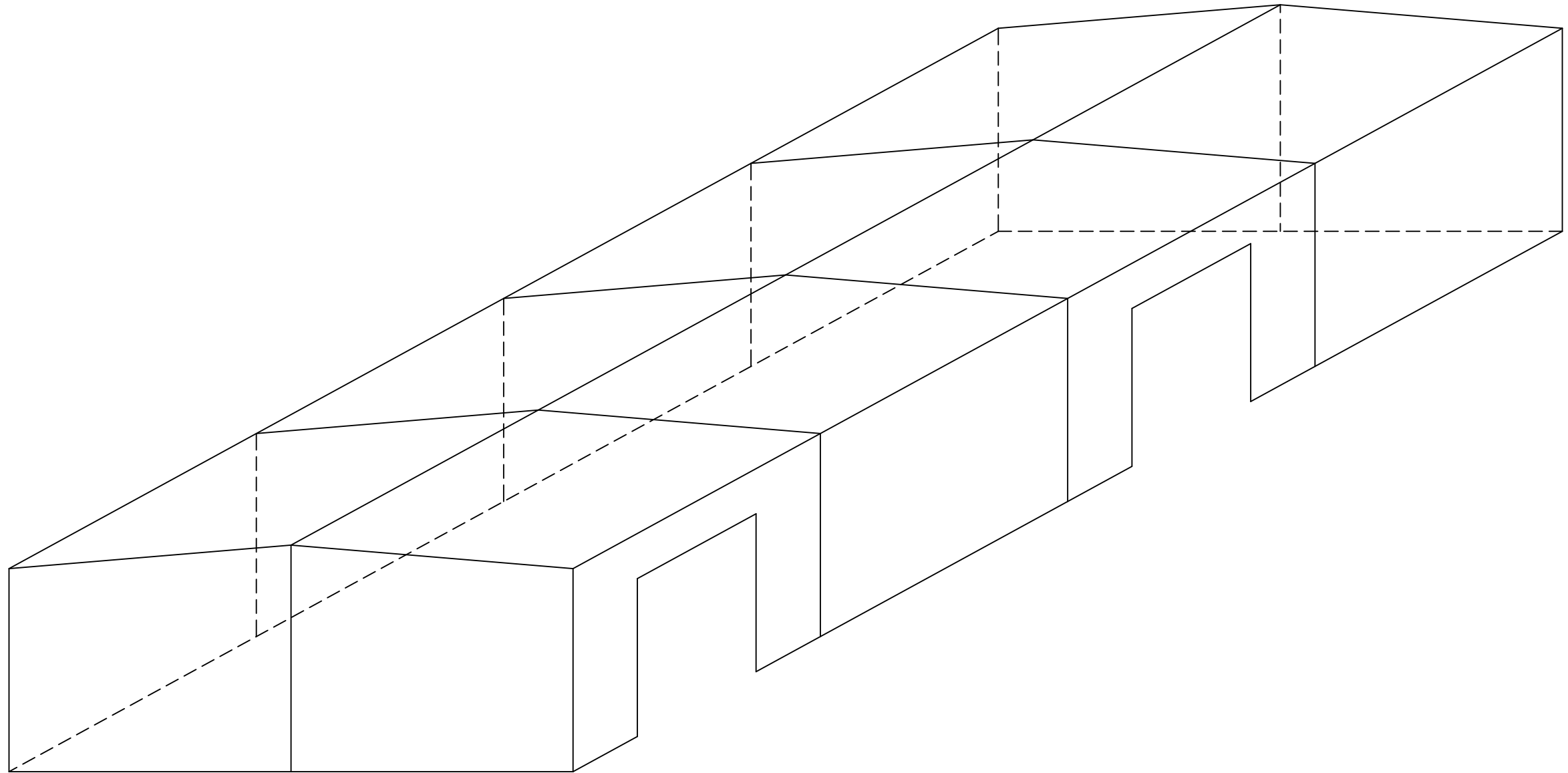
Sheet 1 of 2

BUFFALO CREEK SURVEYOR, LLC

709 S Walnut Street, P.O. Box 1143
Cleburne, Texas 76033
Phone 817-774-3338
Fax 817-774-3339
Email: surveying@exland.com or sbcglobal.net

D.B.A.
SURVEYING TEXAS LAND





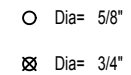
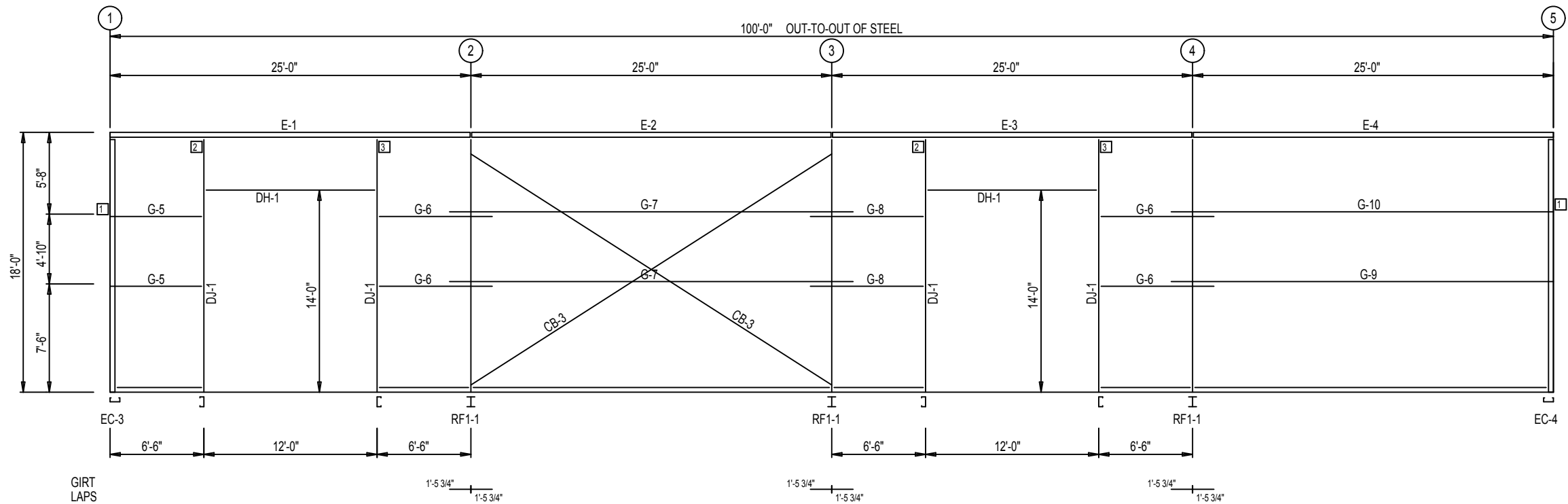


Diagram illustrating a panel recess (hold) with dimensions and labels:

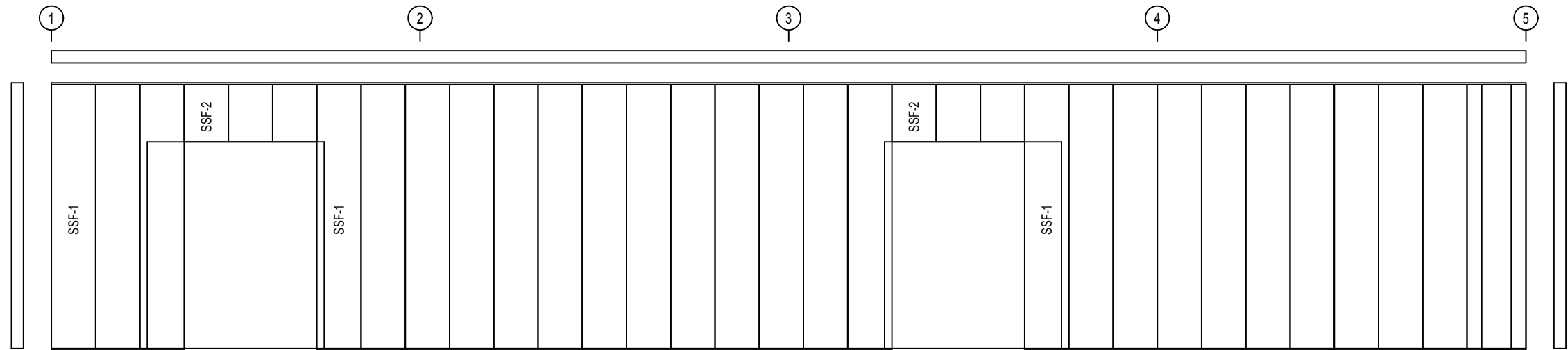
- STEEL LINE**: Indicated by a horizontal line at the top.
- FIN. FLOOR**: Indicated by a horizontal line below the steel line.
- 1 1/2**: Dimension indicating the depth of the recess from the steel line to the finish floor.
- PANEL RECESS 1 1/2 (HOLD)**: Label indicating the depth of the recess and its function.

Diagram of a vertical pipe section. The pipe has a diameter of 8 inches, indicated by a dimension line and the number 8. The pipe is labeled with a circled 'A' at the top and a circled '5' at the bottom. The distance from the top of the pipe to the centerline of the pipe is 1 1/2 inches. The distance from the centerline of the pipe to the bottom of the pipe is 1 1/2 inches. The pipe is shown in a cross-section view.

CONNECTION PLATES	
FRAME LINE A	
ID	MARK/PART
1	SC-5
2	SC584_L
3	SC584_R



SIDEWALL FRAMING: FRAME LINE A

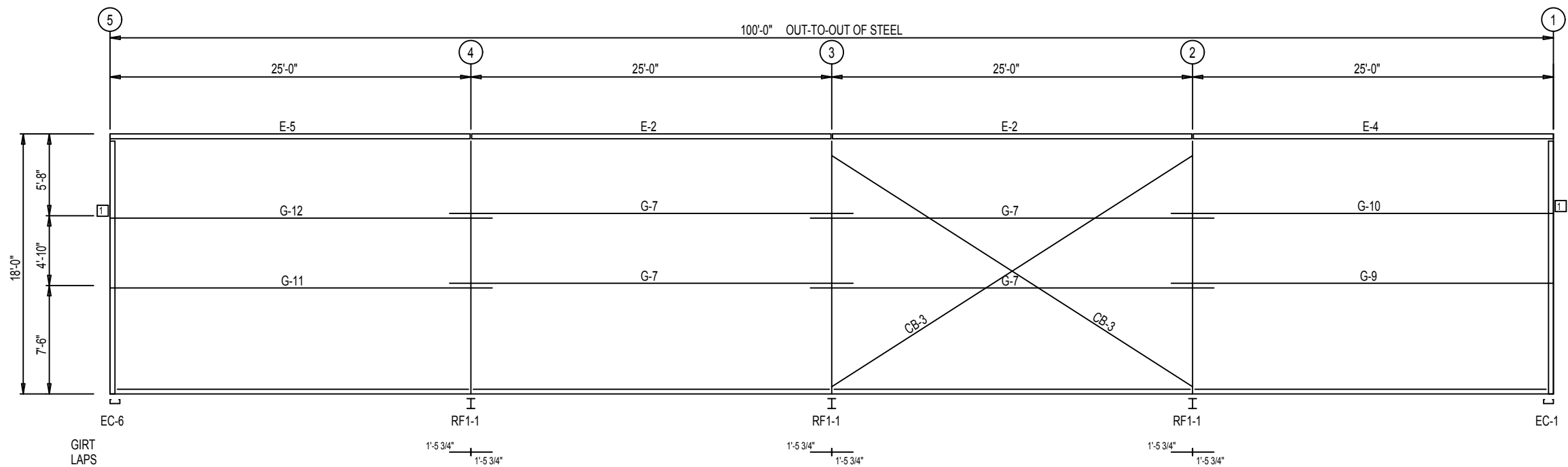


SIDEWALL SHEETING & TRIM: FRAME LINE A

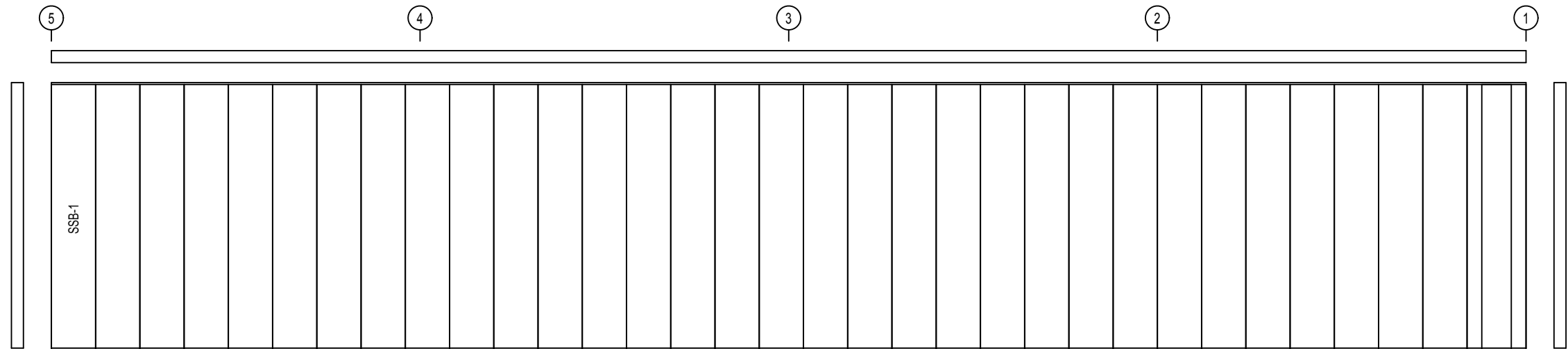
PANELS: 26 Gauge PBR - Ash Gray

NOT FOR CONSTRUCTION

CONNECTION PLATES	
FRAME LINE C	
ID	MARK/PART
1	SC-5



SIDEWALL FRAMING: FRAME LINE C



SIDEWALL SHEETING & TRIM: FRAME LINE C
PANELS: 26 Gauge PBR - Ash Gray

NOT FOR CONSTRUCTION

Standard Features & Specifications

Free (Initial) Certified Building Plans for ALL 50 states.

- Letter of Certification
- 2 sets of certified stamped erection plans
- 2 sets of certified stamped anchor bolt plans

Key Features Included

- *40 Yr. Warranty on Colored Walls and Trim*
- *Solid I-Beam Construction*
- *Clear span design (no interior columns)*
- *Lifetime Structural Warranty*
- *Complete Trim Package for walls, roof and doors (base angles and base closures in lieu of base trim)*
- *Framed Openings Fully Flashed*
- *25 Yr. Warranty Galvalume Plus Roof Finish or 40 Yr. Warranty on Colored Roof*
- *26 Gauge sheeting -80,000 p.s.i. tensile strength*
- *1 1/4" sheeting profile*
- *Purlin bearing rib (PBR panels – larger overlap than R panels- All panels incorporate the purlin bearing profile*
- *Lifetime warranty roof fasteners | All bolts, screws, closures, weather stripping, sealants, fasteners as required to erect structure*
- *The pre-punched connecting clips for the structural members, including endwall columns, are welded in place and then primed during fabrication*
- *All structural elements for the specified framed openings (jamb, girts and headers) are pre-cut and pre-punched and the necessary clips are welded on during fabrication*
- *Anchor bolts and erection services by other. Manufacturer is an AISC (American Institute of Steel Construction) certified plant as well as an MBMA (Metal Building Manufacturer Association) member.*

PRIMARY FRAMING

(Mainframes)

SOLID I-BEAM CONSTRUCTION Material used is 34,000 and 55,000 p.s.i. yield strength. (Some manufacturers use only 34,000 p.s.i. yield strength material). Frames are single bead, continuous submerged arc welded by automatic welding machines to help ensure quality. A factory-applied rust