

1340 W BROAD STREET
TRACT 4, HANK THOMAS SURVEY,
ABSTRACT NO. 644
NELLYE WALKER
VOL. 7211, PG. 0338, C.R.T.C.T.
ZONED: PR
USE: UNDEVELOPED

1301 W BROAD STREET
LOT 1, BLOCK 1,
SANDOVAL ADDITION
SANDOVAL NERIA L
SANDOVAL MELISSA
INSTR. NO. D211087126
ZONED: PR
USE: RESIDENTIAL - SFM

1157 & 1259 W BROAD STREET
TRACT 4 & 4B02, HANK THOMAS
SURVEY, ABSTRACT NO. 644
SANDOVAL-GARCIA NERIA LIZETH
PEREZ JOSE MANUEL GARCIA
INSTR. NO. D220157640
ZONED: PR
USE: RESIDENTIAL - SFM

1243 W BROAD STREET
TRACT 4A, HANK THOMAS
SURVEY, ABSTRACT NO. 644
TOAD & EVELYN LAWSON, ETAL
INSTR. NO. D209101388
ZONED: PR
USE: RESIDENTIAL - SFM

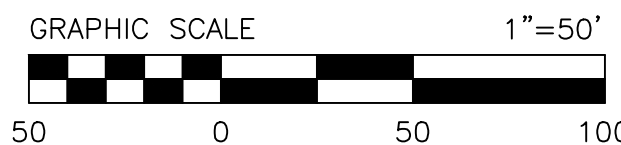
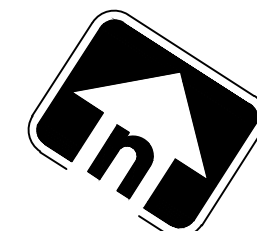
1197 W. BROAD STREET
LOT 1R, BLOCK 1,
PIONEER PLACE ADDITION
BETHLEHEM PIONEER PLACE LP
INSTR. NO. D219101556
ZONED: PD 2038-17
USE: RESIDENTIAL - RTR

1101 W BROAD STREET
TRACT 7, HANK THOMAS SURVEY,
ABSTRACT NO. 644
MARY ANN BROWN JOHNSTON
VOL. 8999, PG. 2110, C.R.T.C.T.
ZONED: PR
USE: UNDEVELOPED

OWNER/DEVELOPER
BETHLEHEM BAPTIST CHURCH
1188 WEST BROAD STREET
MANSFIELD, TX. 76063
MR. MICHAEL MAINER
michael.mainer@bbcmansfield.org
817.473.1263

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SHANKS ARCHITECTS
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MR. J. DAVID SHANKS
david@shanksarchitects.com
972.788.9300

ENGINEER
GRAHAM ASSOCIATES, INC
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TX. 76011
MR. MICHAEL PETERSON, PE
mpeterson@grahamcivil.com
817.640.8535



EXISTING WORSHIP SEATING COUNT: 560 SEATS
NEW WORSHIP SEATING COUNT: 1,074 SEATS (1,064 + 10 ACCESSIBLE)

SITE PARKING SUMMARY			
REQUIRED PARKING	EXISTING (RETAINED)	PHASE 1 (NEW)	TOTAL
CHURCH = (1 PER 4 SEATS)	117 SPACES	228 SPACES	345 SPACES
TOTAL REQUIRED	N/A	269 SPACES	269 SPACES
TOTAL PROVIDED	117 SPACES	228 SPACES	345 SPACES
ACCESSIBLE / VAN ACCESSIBLE REQUIRED	5 SPACES	7 SPACES (2 OF THE 7 - VAN ACCESS.)	8 SPACES - 2 VAN ACCESS.
ACCESSIBLE / VAN ACCESSIBLE PROVIDED	6 SPACES (1 OF THE 6 - VAN ACCESS.)	8 SPACES (2 OF THE 8 - VAN ACCESS.)	14 SPACES (3 OF THE 14 - VAN ACCESS.)

PARKING SHALL BE ADJUSTED FOR FUTURE MODIFICATIONS TO THE SEATING CAPACITY OF THE WORSHIP CENTER TO MAINTAIN COMPLIANCE WITH THE REQUIRED 1:4 PARKING RATIO.

PD DEVELOPMENT ZONING NOTES:

THE BASE ZONING OF THE PLANNED DEVELOPMENT IS PD, OFFICE PARK DISTRICT. PERMITTED USES IN THE BETHLEHEM BAPTIST CHURCH PLANNED DEVELOPMENT SHALL BE A CHURCH, AND OTHER CHURCH RELATED FACILITIES, A PRE-SCHOOL, DAY CARE, EDUCATION, COFFEE SHOP EATING PLACE WITHOUT DRIVE-THROUGH SERVICE AND OTHER OF USES AS ALLOWED. THE FOLLOWING MATERIALS AND FEATURES SHALL ALSO BE PERMITTED AS PART OF THE PLANNED DEVELOPMENT.

- SIGNAGE SHALL CONFORM TO EXHIBIT E, SIGN EXHIBIT. MONUMENT SIGN SHALL BE LOCATED ALONG THE W. BROAD STREET THOROUGHFARE AND AS APPROVED BY THE CITY ZONING ORDINANCE AND SIGN STANDARDS.
- A REFLECTION POOL AND FOUNTAIN SHALL BE ALLOWED ALONG THE ENTRY AXIS OF THE MAIN WORSHIP CENTER BUILDING ENTRANCE FRONTING ON W. BROAD STREET.
- BUILDING MATERIALS AND FEATURES SHALL BE ALLOWED AS SHOWN ON ARCHITECTURAL EXHIBIT "C", BUILDING ELEVATIONS.
- CHURCH WORSHIP CENTER BUILDING SHALL HAVE 1 DUMPSTER WITH MASONRY SCREENING TO MATCH THE BUILDING.
- NO BUILDING PERMIT MAY BE ISSUED, NOR CONSTRUCTION COMMENCED, WITHOUT FIRST OBTAINING APPROVAL OF A DETAILED SITE PLAN FOR THE FUTURE BUILDINGS. THE DIRECTOR OF PLANNING MAY APPROVE A DETAILED SITE PLAN ADMINISTRATIVELY OR MAY ELECT TO PRESENT THE DETAILED SITE PLAN TO THE CITY COUNCIL FOR APPROVAL. THE COUNCIL MAY APPROVE THE DETAILED SITE PLAN BY A MAJORITY VOTE AT ONE (1) MEETING.
- THIS DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.

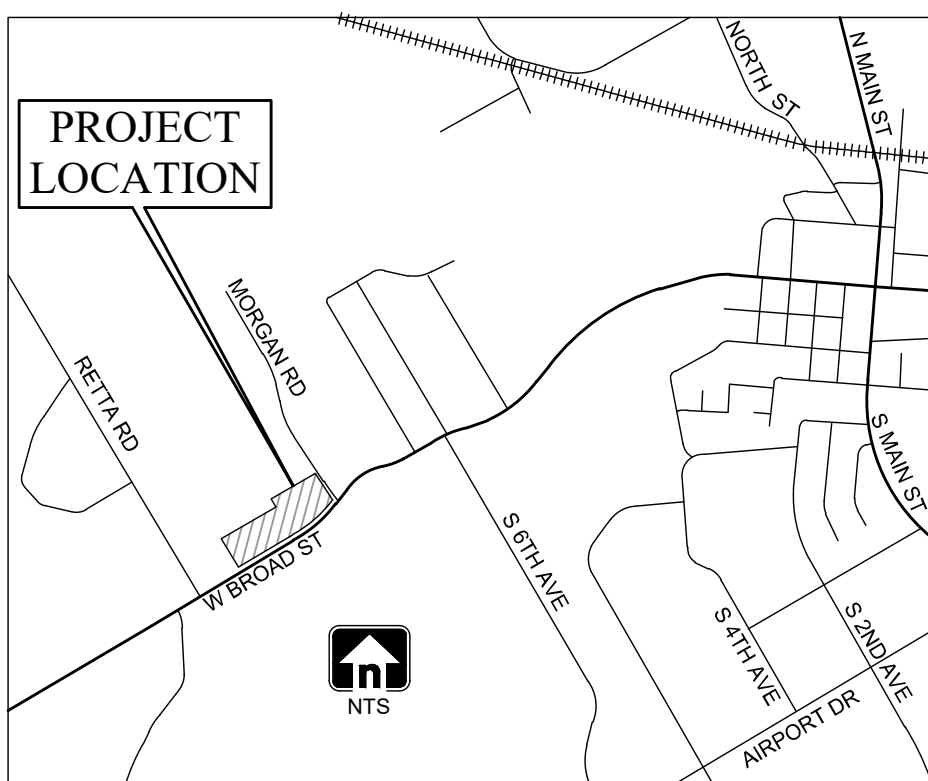
SITE DEVIATIONS - ZONING VARIANCES

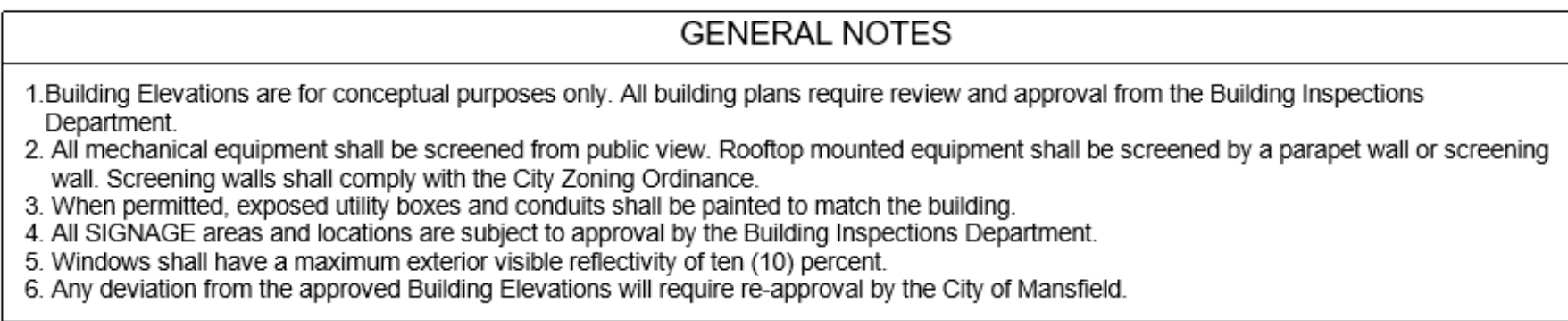
- MAXIMUM HEIGHT: ALLOW A MAXIMUM BUILDING HEIGHT FOR THE CHURCH - CURRENT AND FUTURE - OF 60'-0" TO THE TOP OF BUILDING PARAPETS, EXCLUDING THE STEEPLE WITH CROSS.
- MINIMUM SETBACK ABUTTING STREET: MINIMUM SETBACK FROM STREET IS 25 FEET.

PD DEVELOPMENT LANDSCAPE NOTES:

THE LANDSCAPE REQUIREMENTS FOR THE 10.97 ACRES SITE WILL BE IN SUBSTANTIAL CONFORMANCE WITH LANDSCAPE REQUIREMENTS SECTION 155.092 OF THE CITY OF MANSFIELD ZONING ORDINANCE.

SITE SUMMARY TABLE			
GENERAL SITE DATA	CURRENT (EXISTING)	PHASE 1 (PROPOSED)	TOTAL (COMBINED)
ZONING	SF-7.5/12	PD - PLANNED DEVELOPMENT	PD
LAND USE	CHURCH	CHURCH	CHURCH
LOT AREA	477,821 S.F. / 10.97 ACRES	477,821 S.F. / 10.97 ACRES	477,821 S.F. / 10.97 ACRES
TOTAL BLDG AREAS (EXISTING)	GYMNASIUM 17,571 S.F. EDUCATION 6,565 S.F. MISSION HSE 1,468 S.F. CHILDREN'S 4,751 S.F. STORAGE 635 S.F. TOTAL 30,990 S.F.	WORSHIP & EDUCATION TOTAL 54,985 S.F. FOOTPRINT 41,511 S.F.	85,975 S.F.
TOTAL BLDG AREAS (PHASE 1)	-----	WORSHIP & EDUCATION TOTAL 54,985 S.F. FOOTPRINT 41,511 S.F.	-----
BUILDING HTS.	AVG. HTS. VARY FROM 12 FT. TO 16 FT. (ALL 1-STORY)	PHASE 1: 40' (2-STORY)	-----
STEEPLE HT. (PHASE 1)	-----	105'	-----
FLOOR AREA RATIO	6.48%	8.68%	15.17%
LOT COVERAGE	0.06:1	0.11:1	0.18:1
SETBACKS	25' STREET FRONTAGE (FROM PROPERTY LINE)	SAME	-----





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BETHLEHEM BAPTIST CHURCH
New Worship Center / Chapel / Educational Wing

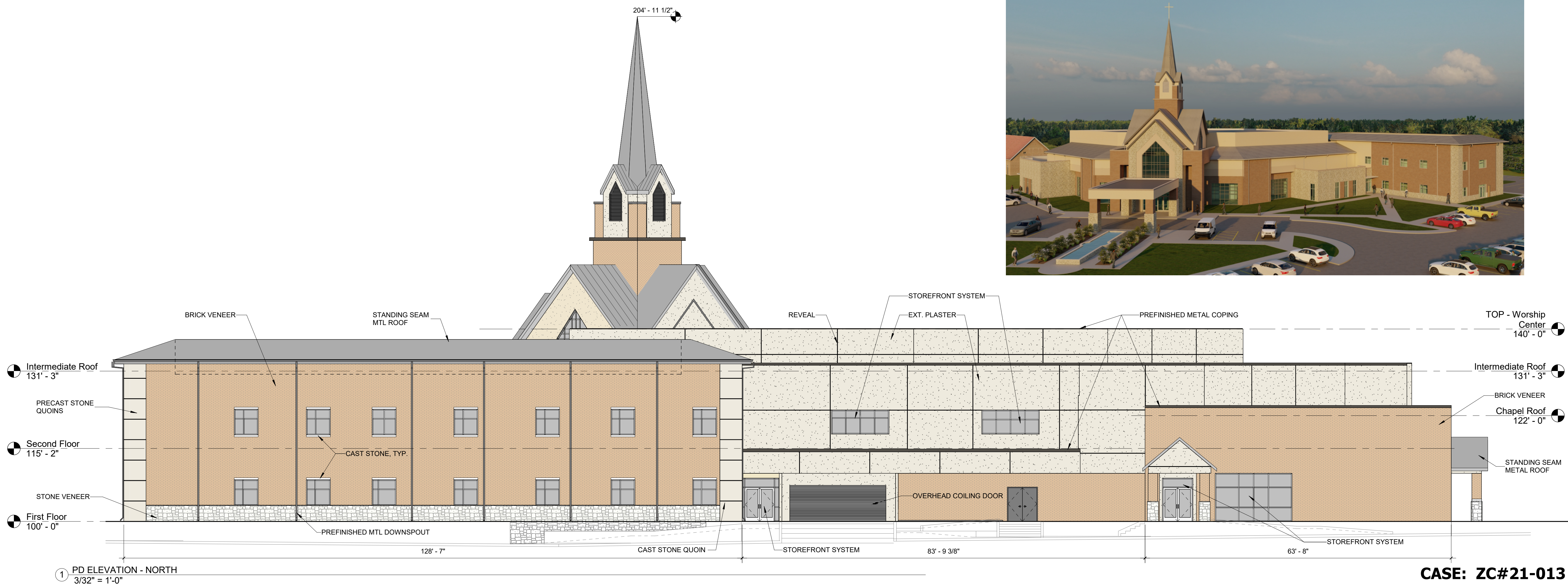
1188 West Broad Street
Mansfield, TX 76063
ZONING SUBMISSION

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DATE OF ISSUE:
08.19.2021

PLANNED
DEVELOPMENT
ELEVATIONS

C-1



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MATERIAL CALCULATIONS					
SOUTH ELEVATION	SURF. AREA	%	WEST ELEVATION	SURF. AREA	%
TOTAL SURFACE AREA	11522.11 S.F	100%	TOTAL SURFACE AREA	9818.48 S.F	100%
TOTAL PLASTER AREA	2553.78 S.F	22.1%	TOTAL PLASTER AREA	5013.73 S.F	51%
TOTAL GLASS AREA	1075.35 S.F	9.3%	TOTAL GLASS AREA	751.05 S.F	7.6%
TOTAL BRICK AREA	4208.39 S.F	36.5%	TOTAL BRICK AREA	2427.94 S.F	24.7%
TOTAL STONE AREA	1882.89 S.F	16.3%	TOTAL STONE AREA	502.03 S.F	6.1%
TOTAL METAL ROOF AREA	1768.28 S.F	15.3%	TOTAL METAL ROOF AREA	942.67 S.F	9.6%
NET SURFACE AREA	10446.76 S.F	90.7%	NET SURFACE AREA	9067.43 S.F	92.4%

ZONING REQUESTED VARIANCE - MASONRY:
ALLOW A MINIMUM OF 30% MASONRY MATERIAL TOTAL ON ALL EXTERIOR WALL SURFACES, AND ALLOW A MAXIMUM OF 40% OF MASONRY LIKE MATERIAL FOR A TOTAL OF 70% MASONRY AND MASONRY LIKE MATERIAL, EXCLUDING OPENINGS (GLAZING AND DOORS), IN LIEU OF THE 70% MINIMUM MASONRY MATERIAL IN THE ORDINANCE.

- GENERAL NOTES
1. Building Elevations are for conceptual purposes only. All building plans require review and approval from the Building Inspections Department.

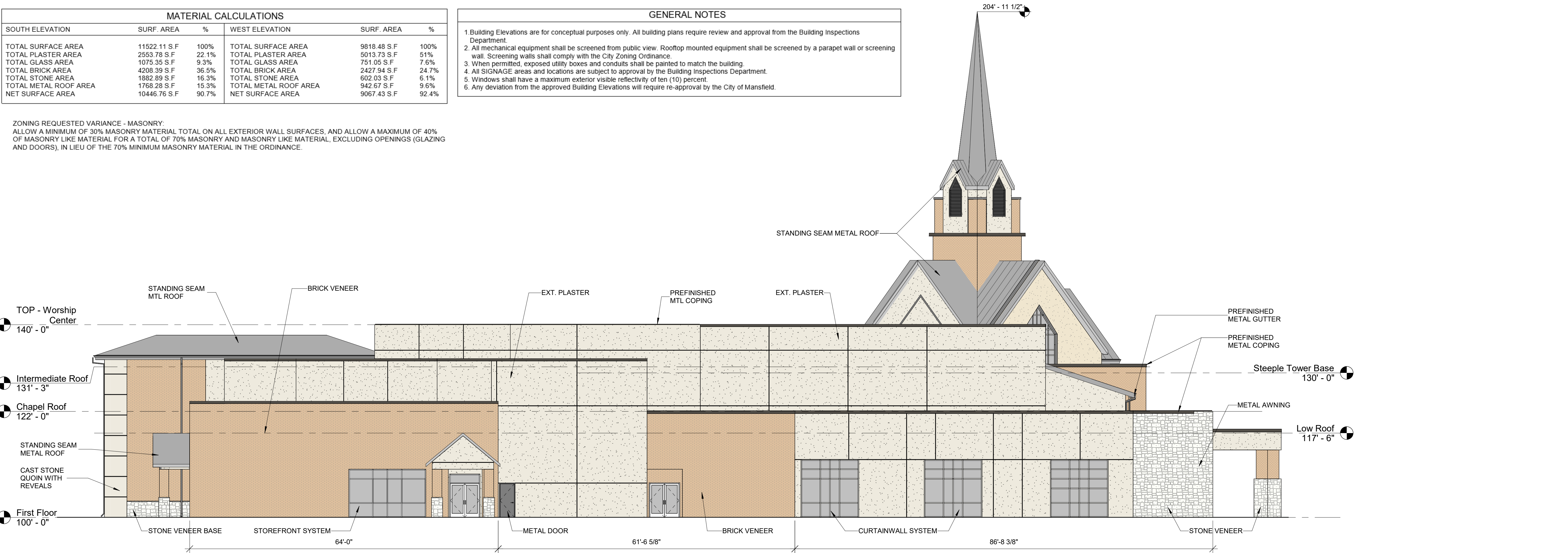
2. All mechanical equipment shall be screened from public view. Rooftop mounted equipment shall be screened by a parapet wall or screening wall. Screening walls shall comply with the City Zoning Ordinance.

3. When permitted, exposed utility boxes and conduits shall be painted to match the building.

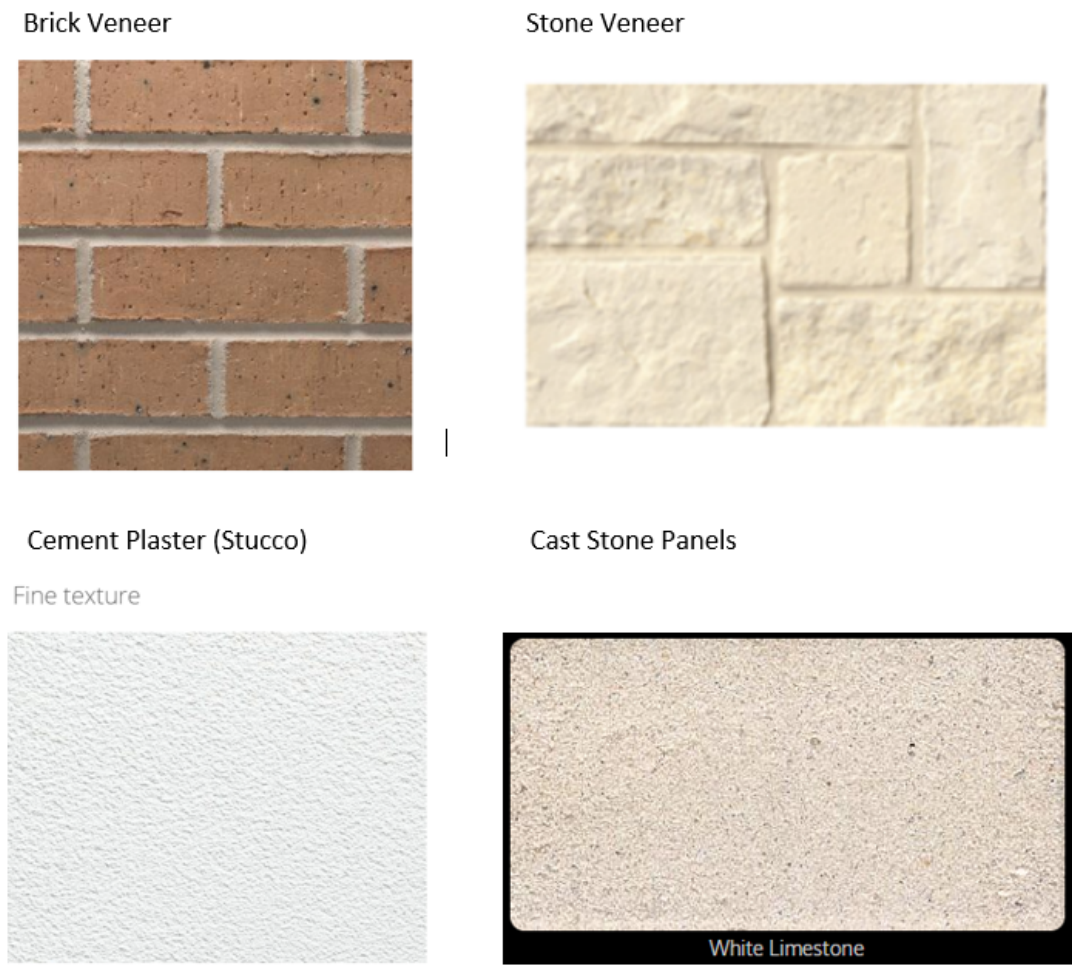
4. All SIGNAGE areas and locations are subject to approval by the Building Inspections Department.

5. Windows shall have a maximum exterior visible reflectivity of ten (10) percent.

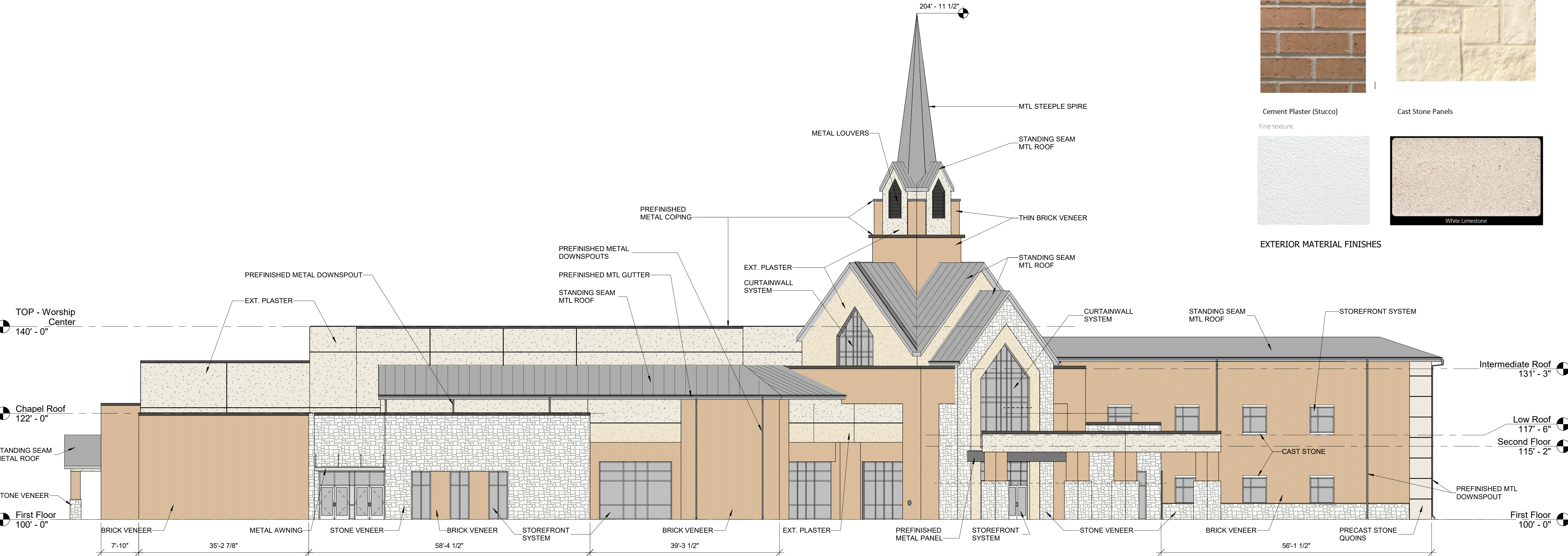
6. Any deviation from the approved Building Elevations will require re-approval by the City of Mansfield.



2 PD ELEVATION - WEST
3/32" = 1'-0"



EXTERIOR MATERIAL FINISHES



1 PD ELEVATION - SOUTH
3/32" = 1'-0"

CASE: ZC#21-013

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This Drawing is released under the authority of:
J. David Shanks
Texas Registration: #7058
This Drawing is incomplete and may not be used for Regulatory Approval, Permit or Construction.



BETHLEHEM BAPTIST CHURCH
New Worship Center / Chapel / Educational Wing
1188 West Broad Street
Mansfield, TX 76063
ZONING SUBMISSION

SA JOB #: 201902		
No.	Date	Revision

DATE OF ISSUE:
08.19.2021
PLANNED
DEVELOPMENT
ELEVATIONS
C-2

C MANSFIELD LANDSCAPE NOTES

Landscaping Maintenance: The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

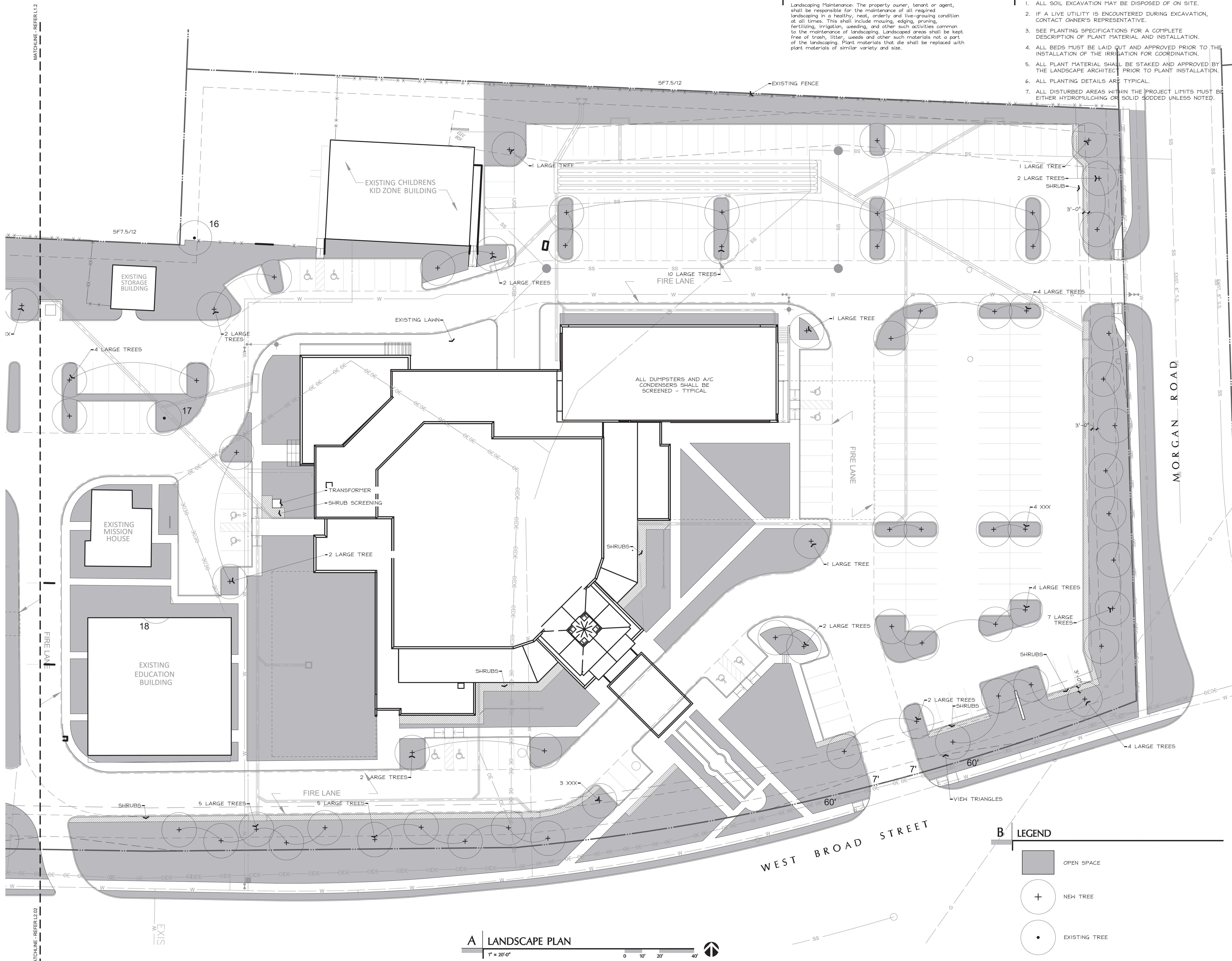
D PLANTING GENERAL NOTES

1. ALL SOIL EXCAVATION MAY BE DISPOSED OF ON SITE.
2. IF A LIVE UTILITY IS ENCOUNTERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE.
3. SEE PLANTING SPECIFICATIONS FOR A COMPLETE DESCRIPTION OF PLANT MATERIAL AND INSTALLATION.
4. ALL BEDS MUST BE LAID OUT AND APPROVED PRIOR TO THE INSTALLATION OF THE IRRIGATION FOR COORDINATION.
5. ALL PLANT MATERIAL SHALL BE STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANT INSTALLATION.
6. ALL PLANTING DETAILS ARE TYPICAL.
7. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS MUST BE EITHER HYDROMULCHING OR SOLID SODED UNLESS NOTED.



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BETHLEHEM BAPTIST CHURCH
1188 WEST BROAD STREET
MANSFIELD, TEXAS



A LANDSCAPE PLAN

1" = 20'-0"

0 10' 20' 40'



B LEGEND

- OPEN SPACE
- NEW TREE
- EXISTING TREE

Seal

Revisions

Issue Date

19 August 2021

Sheet Name

LANDSCAPE PLAN - EAST

Sheet Number

D1

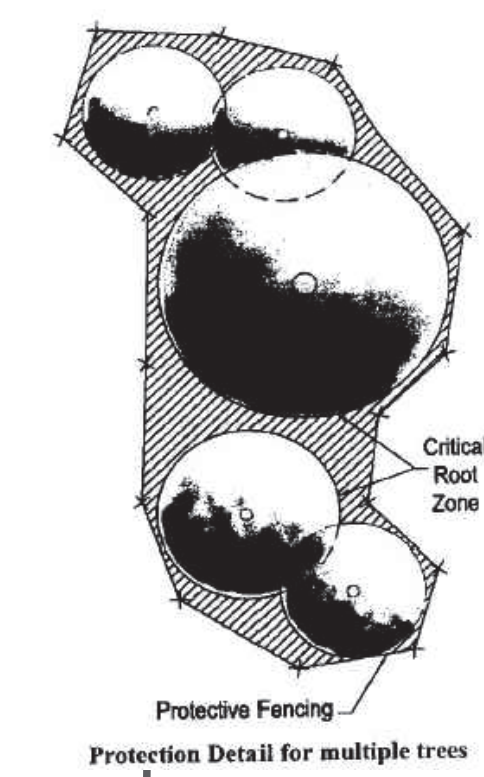
BETHLEHEM BAPTIST CHURCH
MANSFIELD, TEXAS

B LEGEND

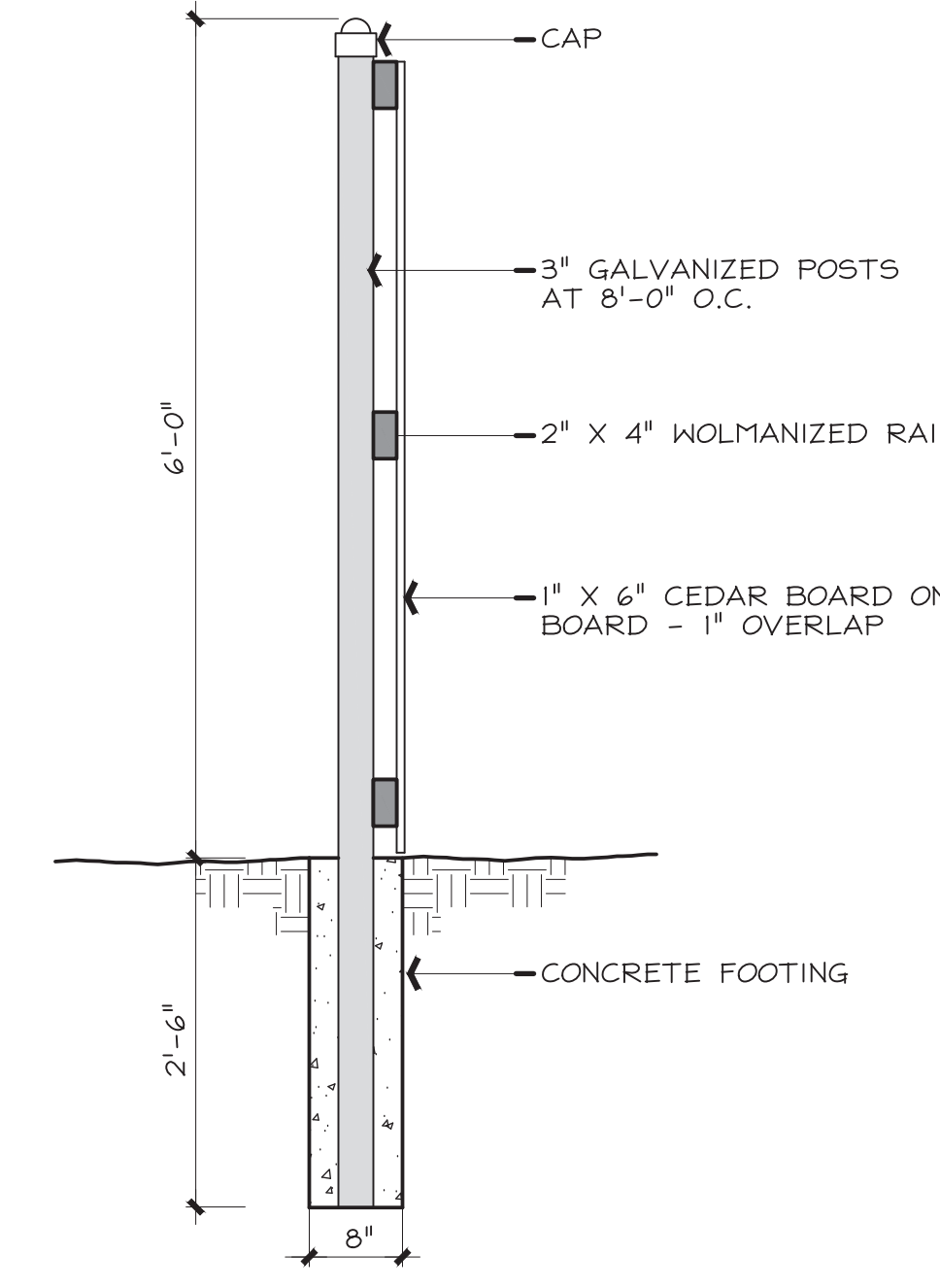
- OPEN SPACE
- NEW TREE
- EXISTING TREE



Protection Detail for a single tree

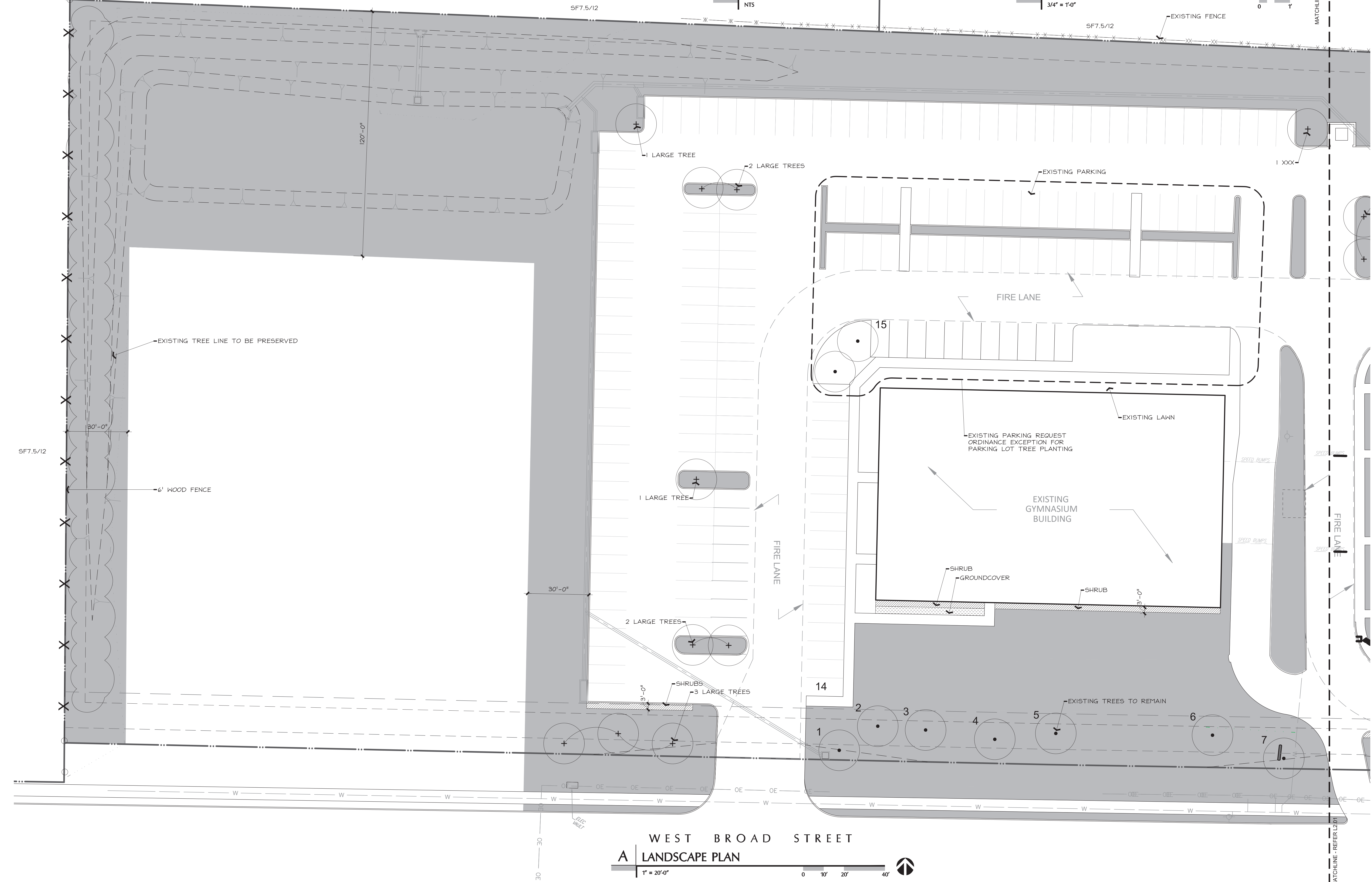


Protection Detail for multiple trees



D WOOD FENCING - SECTION

C TREE PROTECTION FENCING



A LANDSCAPE PLAN
WEST BROAD STREET

Seal
Revisions
Issue Date
19 August 2021
Sheet Name
LANDSCAPE PLAN - WEST
Sheet Number
D2



Monument sign is to have two faces back to back in accordance with 155.090 (C (2) 15 of the Sign Standards.

- SIGN DEVIATIONS:
- SIGN SIZE: Maximum Sign Area: 128 square feet
Maximum Height: 12 feet
Maximum Width: 17.5 feet

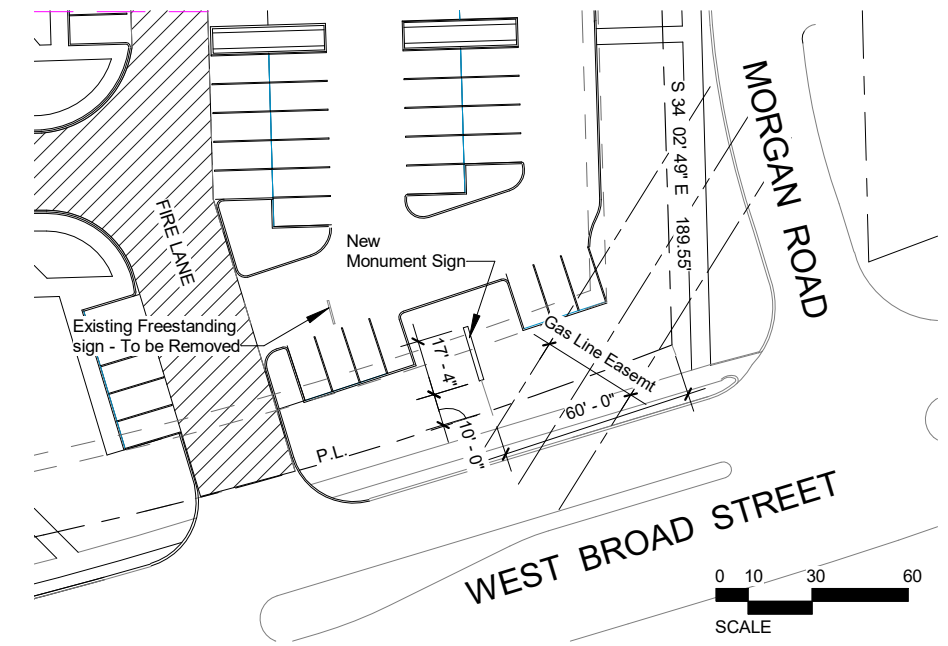
DIRECTORY WALL SIGNS MAY BE USED TO IDENTIFY EACH BUILDING / BLDG ENTRANCE SIMILAR TO WALL SIGNS CURRENTLY PRESENT ON EXISTING BUILDINGS.



WALL PLAQUE SIGN EXAMPLES



CURRENT BLDG WALL SIGN



SITE - SIGN LOCATION

CASE: ZC#21-013

This Drawing Is Released Under The Authority of:
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Texas Registration: #7058

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901 MAIN STREET #6250
DALLAS, TEXAS 75202

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BETHLEHEM BAPTIST CHURCH

New Worship Center / Chapel / Offices / Education Wing

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Fax: 817-477-4810

ZONING SUBMISSION

Monument Sign - Exhibit E

E-1