

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	84.54'	250.00'	19° 22' 27"	S 49°43'33" W	84.13'
C2	84.54'	250.00'	19° 22' 27"	N 49°43'33" E	84.13'
C3	51.41'	39.00'	75° 31' 36"	S 21°19'56" W	47.77'
C4	179.76'	1658.29'	6° 12' 39"	N 19°32'11" W	179.67'
C5	66.89'	39.00'	98° 15' 46"	S 71°46'23" E	58.98'

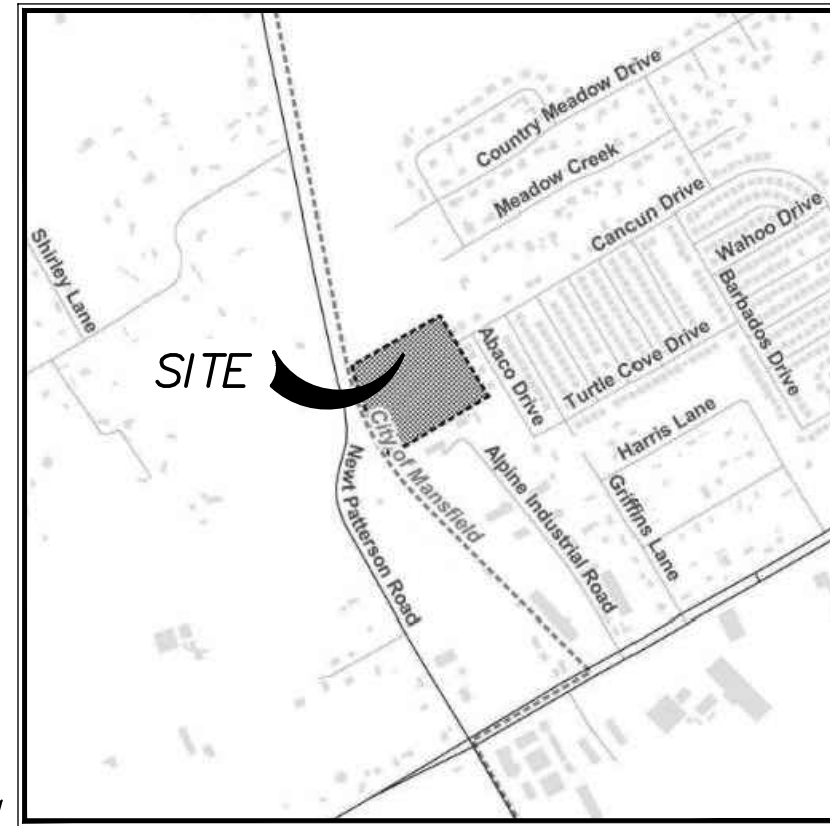
TRACT 2
69.289 ACRES
BISBEE RANCH, LLC
CC# D217247689
OPRTCT

PRE-DEVELOPMENT DISTRICT
PR
UNDEVELOPED



PLANNED DEVELOPMENT REGULATIONS:

1. THE BASE ZONING DISTRICT FOR THIS PLANNED DEVELOPMENT SHALL BE SF-6/12.
2. ARCHITECTURAL REQUIREMENTS:
EXCEPT AS PROVIDED BELOW, THE PROVISIONS FOR ARCHITECTURE IN SECTION 155.056 SHALL APPLY TO THE CONSTRUCTION OF ALL STRUCTURES WITHIN THIS DISTRICT. THE PROVISIONS FOR ARCHITECTURE PROVIDED BELOW, WHEN IN CONFLICT WITH THOSE EXISTING IN SECTION 155.056, SHALL TAKE PRECEDENCE.
 - A. THE EXTERIOR FINISH MATERIAL ON ALL ELEVATIONS, EXCEPT FOR OPENINGS FOR DOORS AND WINDOWS, SHALL BE LIMITED TO ANY COMBINATION OF BRICK, WOOD, CEMENTITIOUS FIBER BOARD, STONE, AND STUCCO.
 1. ALL STONE SHALL BE DETAILED AND LAID TO RESEMBLE STRUCTURAL STONE WALLS (I.E. STONE SHALL BE CHOPPED OR SAW CUT).
 2. ALL STUCCO SHALL BE CEMENT PLASTER MADE OF CEMENT SAND AND LIME AND SHALL BE APPLIED TO ELEVATIONS USING A THREE-STEP PROCESS WITH A SMOOTH OR SAND-FINISH EXTERIOR INSULATED FINISHING SYSTEMS (EIFS) OR OTHER SYNTHETIC STUCCO AS DEFINED BY THE INTERNATIONAL BUILDING CODE SHALL BE PROHIBITED ON ALL ELEVATIONS.
 - B. PITCHED ROOFS SHALL BE PROVIDED FOR EACH DWELLING. ALL PITCHED ROOFS SHALL BE SYMMETRICALLY SLOPED NO LESS THAN 6:12, EXCEPT THAT PITCHED ROOFS FOR PORCHES AND OTHER SIMILAR ARCHITECTURAL FEATURES MAY BE NO LESS THAN 3:12.
 1. ALL ROOFS SHALL BE ASPHALT, METAL, SLATE, OR WOOD SHAKES.
 - C. DWELLINGS WITH THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION ON THE SAME STREET MUST BE SEPARATED BY AT LEAST THREE (3) LOTS ON THE SAME SIDE OF THE STREET OR OPPOSITE SIDE OF THE STREET TO CREATE A MOVING BLOCK OF SIX (6) LOTS THAT CANNOT HAVE THE SAME OR SUBSTANTIALLY THE SAME STREET ELEVATION. THE TERM "SUBSTANTIALLY THE SAME" SHALL MEAN ANY OF THE FOLLOWING CONDITIONS: (I) IDENTICAL ROOF LINES AND GABLES FACING THE STREET; (II) THE SAME COLOR AND / OR COMBINATION OF EXTERIOR FINISH MATERIAL; OR (III) IDENTICAL PLACEMENT OF OPENINGS FOR DOORS AND WINDOWS.
 - D. AT LEAST DWELLINGS BUILT ON A CORNER LOT SHALL HAVE A SIDE-ENTRY GARAGE, EXCEPT WHERE A DRIVEWAY CANNOT BE PROVIDED IN ACCORDANCE WITH THE CITY'S REGULATIONS.
 - E. AT LEAST TWENTY-ONE (21) OF THE HOMES SHALL BE BUILT WITH A FRONT PORCH. WHERE PROVIDED, ALL FRONT PORCHES SHALL BE CONSTRUCTED AS FOLLOWS:
 1. FRONT PORCHES SHALL BE LOCATED AT THE FRONT DOOR OF THE DWELLING AND, ON CORNER LOTS, SHALL WRAP AROUND THE DWELLING, EXCEPT WHERE REQUIRED OTHERWISE AS PROVIDED IN BELOW.
 2. FRONT PORCHES SHALL BE AT LEAST FIVE (5) FEET DEEP AND SHALL PROVIDE ROOM FOR FURNITURE AND OTHER INFORMAL OUTDOOR SOCIAL ACTIVITIES.
 3. FRONT PORCHES SHALL BE COVERED WITH A PITCHED ROOF AND SHALL BE OPEN TO THE AIR ON AT LEAST TWO (2) SIDES.
 4. FRONT PORCH FLOORS SHALL BE CONCRETE SLAB, STONE, OR WOOD PLANK. SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF CONCRETE, STONE, OR WOOD.
 5. FRONT PORCHES, INCLUDING WRAP-AROUND FRONT PORCHES, MAY ENCRoACH INTO THE REQUIRED SETBACKS A MAXIMUM OF FIVE (5) FEET.
 - F. AT LEAST FIFTY (50) PERCENT OF THE HOMES BUILT WITH A SIDE-ENTRY GARAGE SHALL HAVE A WRAP-AROUND FRONT PORCH.
 - G. WHERE PROVIDED, POSTS SHALL BE A MINIMUM OF SIX (6) INCHES BY SIX (6) INCHES IN DIMENSION; AND, WHERE PROVIDED, COLUMNS SHALL BE A MINIMUM OF EIGHT (8) INCHES BY EIGHT (8) INCHES IN DIMENSION. THE MATERIALS FOR POSTS AND COLUMNS SHALL BE AS PROVIDED BELOW:
 1. ALL POSTS SHALL BE MADE OF CEDAR; AND POSTS MAY HAVE PIERS CONSTRUCTED OF BRICK OR STONE. PIERS SHALL BE A MINIMUM OF TWELVE (12) INCHES BY TWELVE (12) INCHES IN DIMENSION.
 2. ALL COLUMNS SHALL BE MADE OF BRICK, CONCRETE, OR STONE.
 3. ALL SPACES BETWEEN POSTS AND COLUMNS SHALL BE VERTICALLY PROPORTIONED.
 - H. ALL EXPOSED EXTERIOR WOOD SURFACES WILL BE EITHER PAINTED OR STAINED.
 - I. FLUSH-MOUNTED WINDOWS SHALL BE PROHIBITED. ALL WINDOWS IN ELEVATIONS OF BRICK, STONE, OR STUCCO SHALL BE RECESSED A MINIMUM OF THREE (3) INCHES FROM THE EXTERIOR WALL. ALL WINDOWS FACING STREETS OR REQUIRED OPEN SPACE SHALL HAVE DIVIDED LIGHT AND NOT LIMITED TO FENCING BETWEEN CRESTWOOD AND THE INDUSTRIAL PROPERTY; SUBDIVISIONS LANDSCAPING ON COMMON LOTS; AND ENTRYWAY FEATURES INCLUDING LANDSCAPING, MONUMENTS, SIGNAGE, AND ANY NON-STANDARD PAVEMENT.
 - J. FRONT DOORS, ON THE HOMES WITH SIDE-ENTRY GARAGES SHALL BE DIRECTLY CONNECTED TO THE PUBLIC SIDEWALK ALONG THE ADJACENT STREET WITH A WALKWAY NO WIDER THAN FIVE (5) FEET.
 - K. ALL ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE SHALL BE NO LESS THAN FIFTEEN (15) PERCENT AND NO MORE THAN THIRTY (30) PERCENT GLAZED IN GLASS.
 - L. ALL DOOR AND WINDOW HEIGHTS SHALL BE CONSISTENT ON ELEVATIONS FACING A STREET OR REQUIRED OPEN SPACE.
 - M. WHERE PROVIDED, EXTERIOR SHUTTERS SHALL BE SIZED AND SHAPED TO MATCH THE ASSOCIATED OPENINGS AND SHALL HAVE HINGES AND TIEBACKS AS IF OPERABLE. ALL EXTERIOR SHUTTERS SHALL BE WOOD; AND SYNTHETIC MATERIALS ARE PERMITTED PROVIDED THEY HAVE THE APPEARANCE OF WOOD.
3. STREETLIGHTS SHALL BE ENHANCED (AND CONFORM WITH ONCOR AND CITY STANDARDS) WITH DECORATIVE BASE, POLE AND LIGHT STANDARDS.
4. STREET SIGNS SHALL BE ENHANCED WITH DECORATIVE POLE AND MOUNTS WITH STANDARD STREET SIGNS ATTACHABLE AND SHALL BE MAINTAINED BY THE H.O.A.
5. A MANDATORY HOMEOWNERS ASSOCIATE WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, OPEN SPACES AND COMMON AREAS, INCLUDING BUT NOT LIMITED TO FENCING BETWEEN CRESTWOOD AND THE INDUSTRIAL PROPERTY; SUBDIVISIONS LANDSCAPING ON COMMON LOTS; AND ENTRYWAY FEATURES INCLUDING LANDSCAPING, MONUMENTS, SIGNAGE, AND ANY NON-STANDARD PAVEMENT.
6. THIS PROPOSED PLANNED DEVELOPMENT WILL BE IN COMPLETE ACCORDANCE WITH PROVISIONS OF THE APPROVED DEVELOPMENT DISTRICT AND THAT ALL DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
7. ALL INTERNAL REAR AND SIDE YARD WOOD AND ORNAMENTAL IRON FENCES SHALL BE INSTALLED BY THE BUILDER AND MAINTAINED BY THE HOMEOWNER.
8. WOOD FENCES SHALL BE PRIVACY FENCES, WITH CAP, ON METAL POLES, AND STAINED WITH NATURAL WOOD STAIN. WOOD FENCING SHALL BE A MINIMUM OF 6' IN HEIGHT AND A MAXIMUM OF 8' IN HEIGHT.
9. THE DEVELOPMENT WILL BE CONSTRUCTED IN ONE PHASE.
10. THE MINIMUM LOT FRONTAGE ON A PUBLIC STREET SHALL BE 45 FEET WITH THE EXCEPTION OF LOTS 3, 4, 13 & 14, BLOCK 1 WHICH SHALL HAVE A LOT MINIMUM FRONTAGE OF 34 FEET.
11. CORNER LOTS SHALL ACCOMMODATE SIDE ENTRY GARAGES.
12. THIS DEVELOPMENT WILL CONNECT THE EXISTING CONCRETE PORTION OF GRIFFIN LANE WITH THE ASPHALT PORTION OF GRIFFIN LANE. THE CITY WILL PARTICIPATE IN THE COST OF THE ASPHALT OVERLAY AS THE FULL DEPTH REPAIR AND OVERLAY IS REQUIRED.



VICINITY MAP
NO SCALE

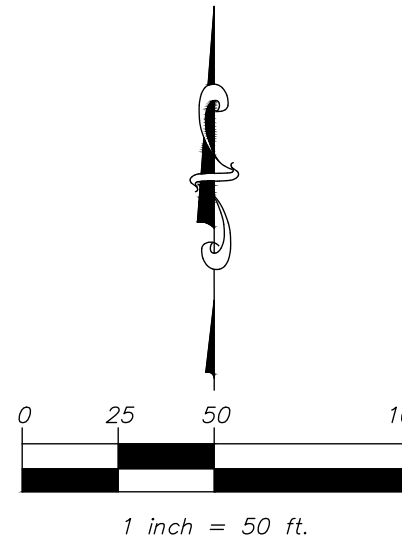


EXHIBIT "B"
DEVELOPMENT PLAN
CRESTWOOD
Being Approximately 11.76 Acres of land
situated in the James McDonald 1/4 League Survey,
Abstract No. 997
City of Mansfield, Tarrant County, TX
51 Single Family Lots, 4 Open Space Lots

zc#21-008
July 2021

OWNER:

TESTUDO LAND, LLC
101 W GLADE RD, STE 109
EULESS, TX 76039
CONTACT: BAILEY BREWER
BAILEY@AHCMANAGEMENT.COM

DEVELOPER:

BAYLEY YANDELL DEVELOPMENT LTD.
1105 GLADE ROAD, SUITE 100
COLLEYVILLE, TX 7634
CONTACT: SHAWN GOFF
SHAWN.GOFF@GRAHAMHART.COM

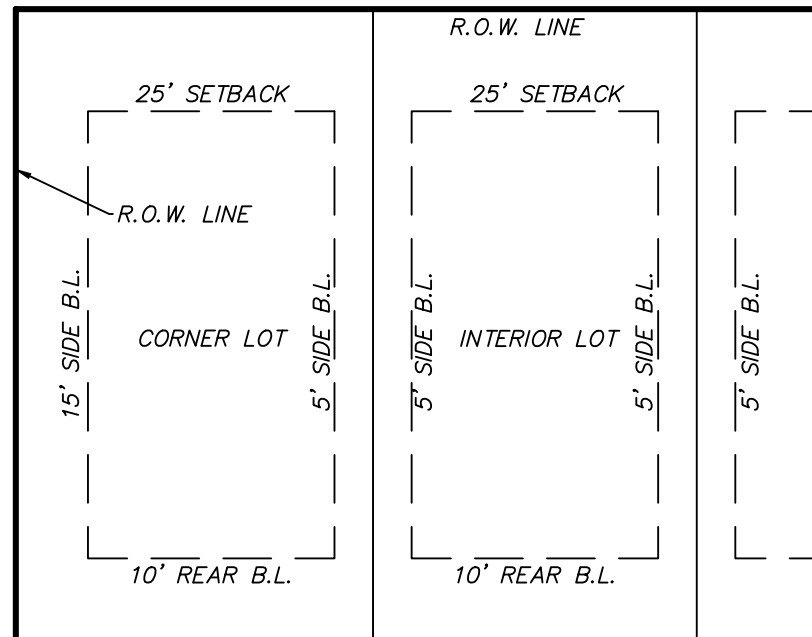
ENGINEER & LANDSCAPE ARCHITECT



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LAND USE SUMMARY TABLE	
LOT TYPE	PROPOSED LOT COUNT
50' X 100'	45
60' X 100'	6
OPEN SPACE LOT	4
TOTAL ACREAGE	11.76
GROSS DENSITY	4.3 UNIT/AC



DEVELOPMENT STANDARDS	50' LOTS	60' LOTS
MINIMUM FLOOR AREA (SF)	1,800	2000
MAXIMUM LOT COVERAGE	45%	45%
MINIMUM LOT AREA (SF)	5000	6000
MINIMUM LOT WIDTH	50'	60'
MINIMUM LOT DEPTH	100'	100'
MINIMUM FRONT SETBACK	25'	25'
MINIMUM REAR SETBACK	10'	10'
MINIMUM INTERIOR SIDE YARD SETBACK	5'	5'
MINIMUM EXTERIOR SIDE YARD SETBACK	15'	15'

CORNER LOTS MUST BE A LEAST 10' WIDER THAN THE MINIMUM LOT WIDTH.