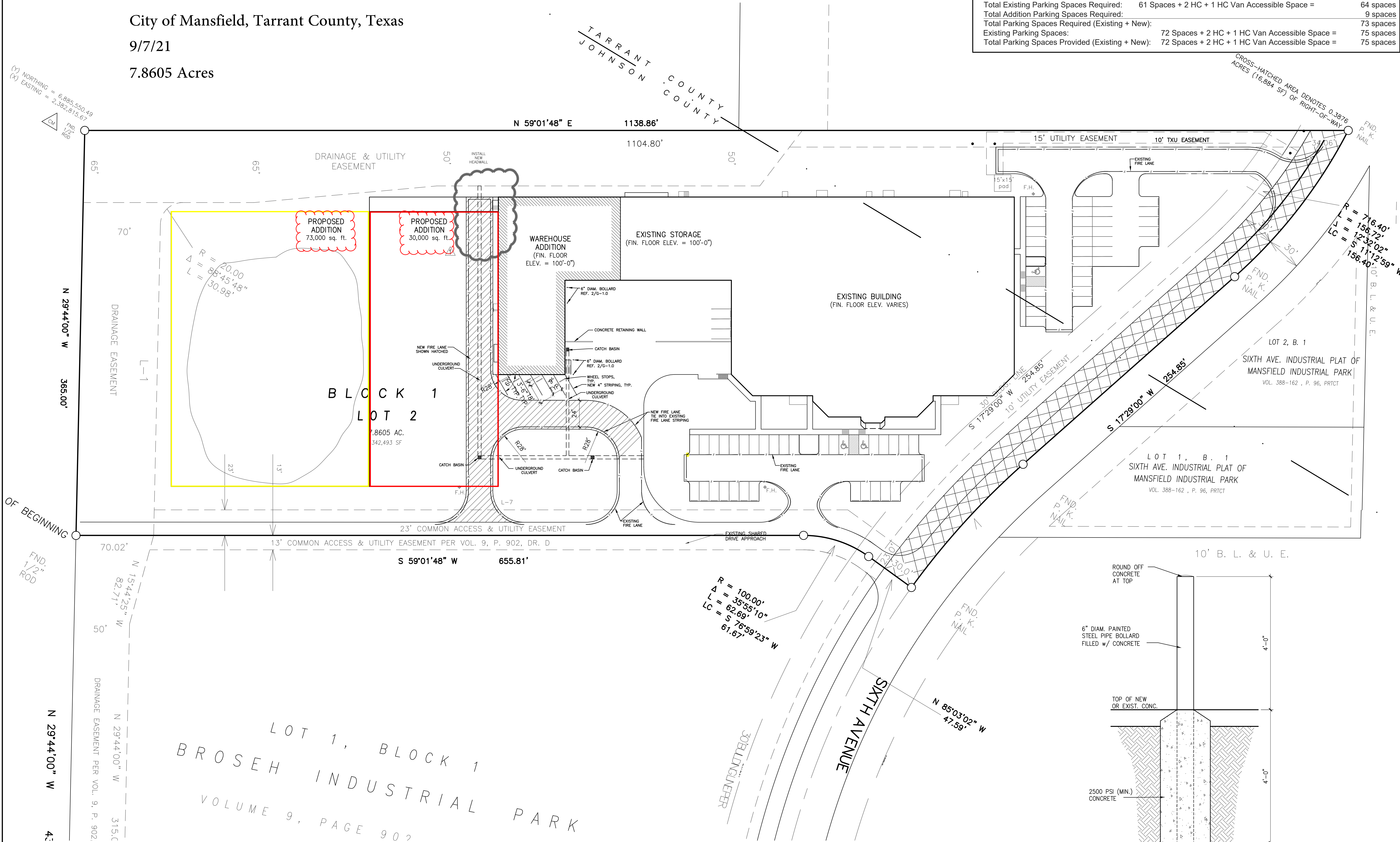


Site Plan for IUP
Next Gen Compounding
Lot 2, Block 1
Broseh Industrial Park
City of Mansfield, Tarrant County, Texas
9/7/21
7.8605 Acres

EXHIBIT "B-1"

PARKING CALCULATIONS:			
7200B PARKING GROUP TABLE:			
Existing:			
6.d. Office	- 1:300 sq. ft. Floor Area = (9,748 sq. ft./300) =	33 spaces	
8.c. Warehouse & Enclosed Storage	- 1:3,000 sq. ft. Floor Area = (24,733 sq. ft. / 3000) =	9 spaces	
8.f. Manufacturing Operations	- 1:1,000 sq. ft. Floor Area = (21,400 sq. ft. / 1,000) =	22 spaces	
NEW:			
8.c. Warehouse & Enclosed Storage	- 1:3,000 sq. ft. Floor Area = ((10,347 sq. ft. +10,529 sq. ft.)/3,000) =	7 spaces	
	+ 1:300 sq. ft. Office Area = (547 sq. ft. / 300 sq. ft.) =	2 spaces	
Total Existing Parking Spaces Required:		61 Spaces + 2 HC + 1 HC Van Accessible Space =	64 spaces
Total Addition Parking Spaces Required:			9 spaces
Total Parking Spaces Required (Existing + New):			73 spaces
Existing Parking Spaces:		72 Spaces + 2 HC + 1 HC Van Accessible Space =	75 spaces
Total Parking Spaces Provided (Existing + New):		72 Spaces + 2 HC + 1 HC Van Accessible Space =	75 spaces



Owner:
Broseh Industrial Properties LLC
800 S. 6th Avenue
Mansfield, TX 76063
817-233-5688

Applicant:
Next Gen Compounding, LLC
2901 Eagle Drive
Grand Prairie, TX 75052
972-602-9717
bchase@nextgencompounding.com

1 SITE PLAN
SCALE: 1" = 40'-0"



2 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"

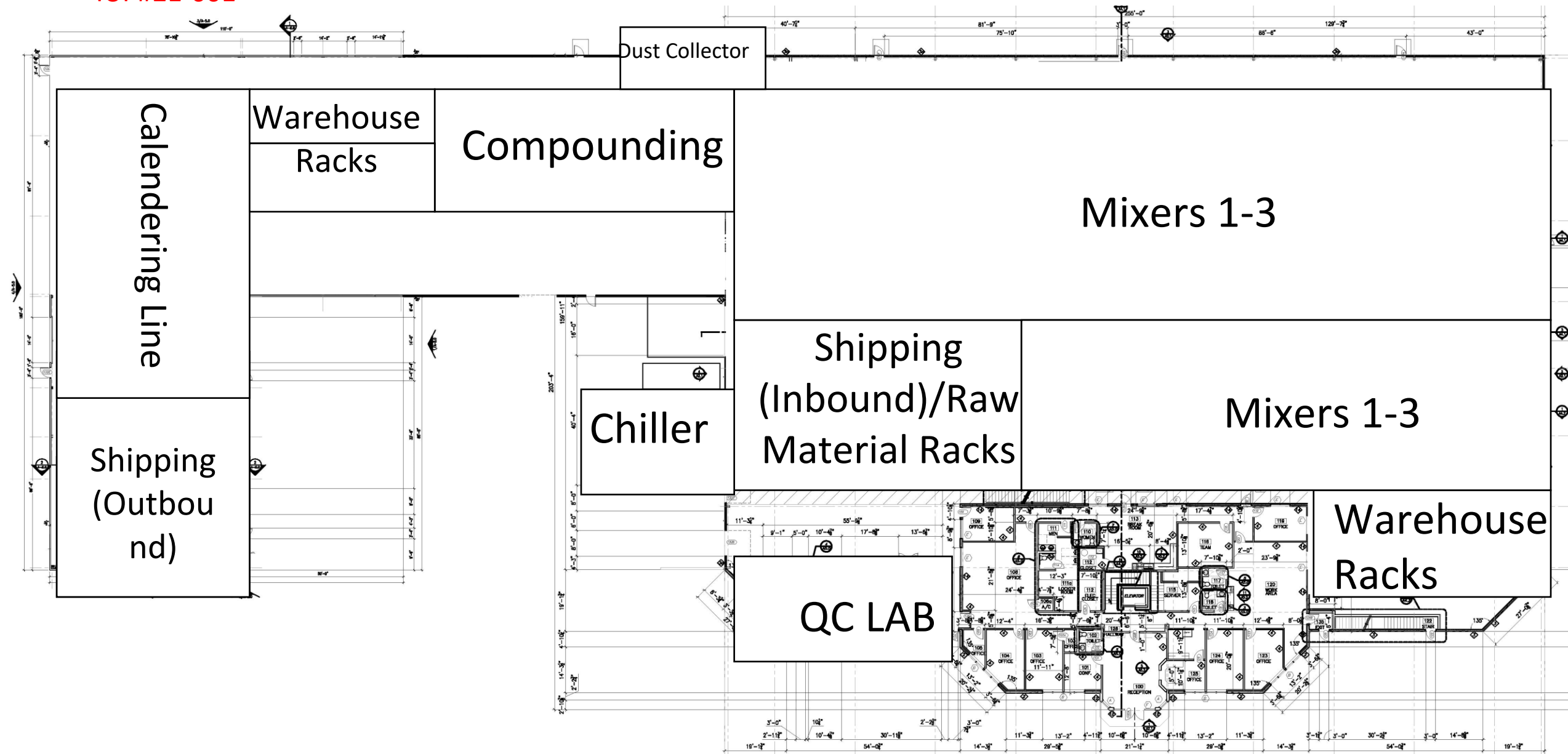


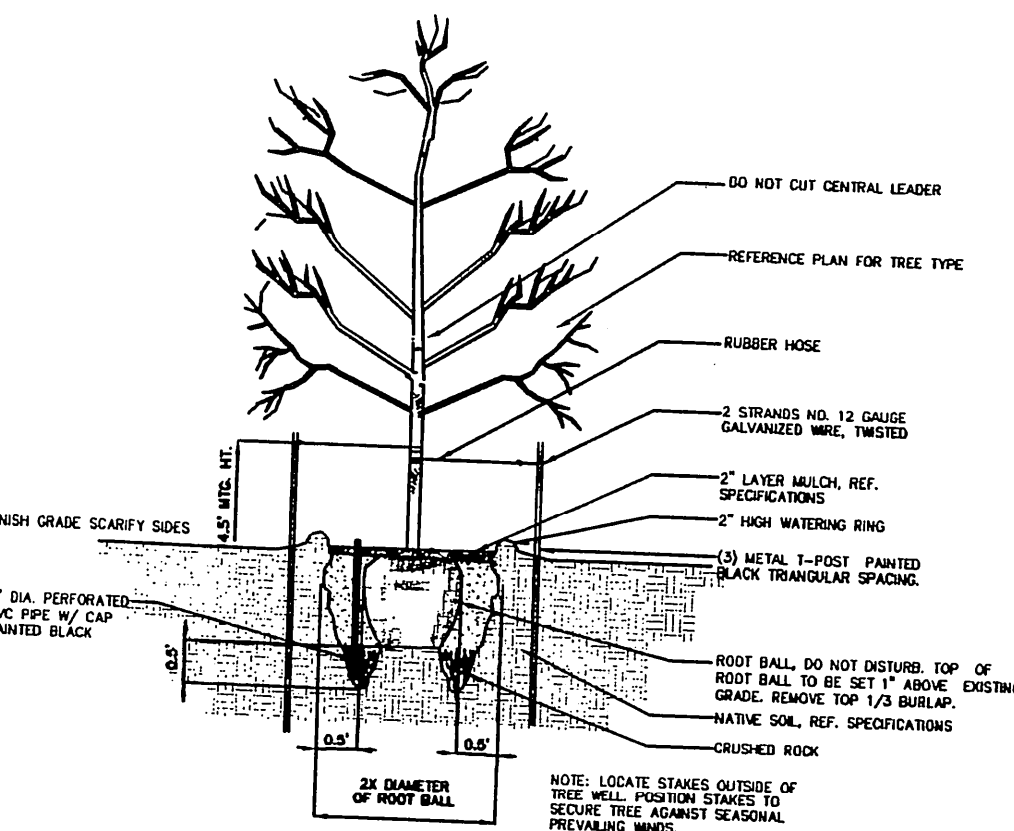
Exhibit C – IUP#21-001



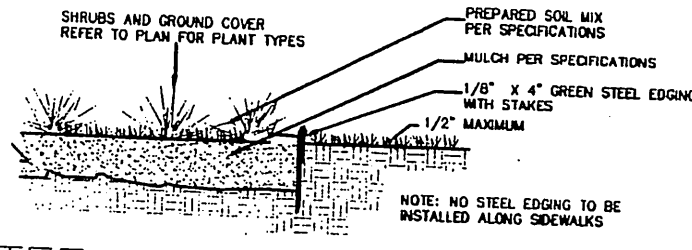




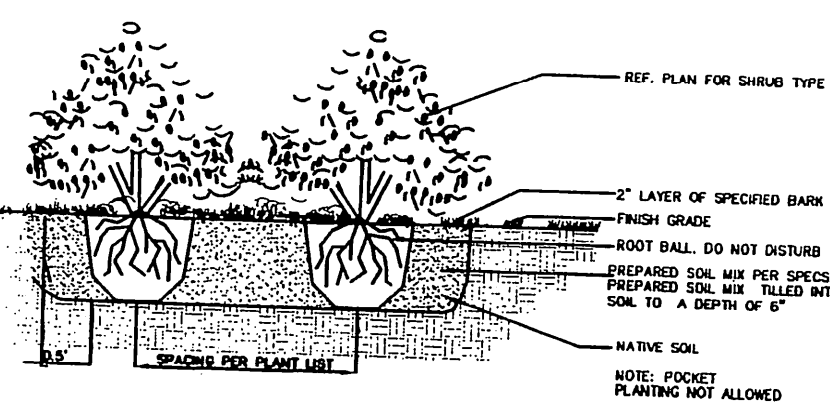




TREE PLANTING DETAIL
NOT TO SCALE



STEEL EDGING DETAIL
NOT TO SCALE



SHRUB/GROUNDCOVER DETAIL
NOT TO SCALE

4 TREE DETAILS

LANDSCAPE NOTES:

1. Contractor to coordinate planting work with irrigation work. Plant only when irrigation and work of other trades are completely installed and operational.
 2. No substitutes in specified materials or products shall be made without written approval by Owner.
 3. All hardscape layout and planting locations to be field approved by Owner's representative.
- Materials:**
1. Prepared soil shall be from approved source. Material to be a mixture of partially decomposed organic matter, sandy loam topsoil as prepared by Vital Earth, Soil Building Systems, Silver Creek, etc. A representative sample of material and literature on chemical and physical analysis of same shall be approved by Owner.
 2. All plant materials shall conform to specification requirements and be healthy, vigorous stock grown in a recognized nursery in accordance with sound horticultural practices, free of disease, insects and defects such as knots, sun scald, abrasions or disfigurements. Provide authenticity and characteristics. Materials may be reviewed at off site locations if schedules for same can be coordinated with Owner's representative.
 3. Fertilize all bed areas at 1 pound per 200 square feet with 21-21-21 mixture of approval base material.
 4. All bed areas to receive approved quantity and type pre-emergent in initial preparation operations.
 5. Topsoil, where required, shall be sandy loam as approved by Owner.
- Execution:**
1. All bed grades to be lowered or raised to required levels to accommodate prepared soil, plants and topdressing. Site base grades shall be responsibility of building contractor. Contractor shall clean all grades of construction debris and till base grades to 8 inch depths before back filling with topsoil and prepared soil materials.
 2. Deliver plants and planting products to project site when said plants or products are ready for application or installation. Deliver no plants that will remain unplanted for more than 24 hours. If plants are to remain on site for more than 24 hours, they shall be heeled in with approved materials and methods. Plant only under desirable environmental and horticultural conditions and use appropriate equipment for the specific planting or preparation task required.
- Maintenance:**
- Throughout scope of construction, Contractor shall maintain all landscape areas in a neat and orderly manner at all times. Maintenance shall include edging, pruning, fertilizing, watering, weeding and any other such activities common to the maintenance of landscaping. All areas shall be kept free of trash, litter, weeds and other such materials or plants not a part of the landscaping. All trash and maintenance debris from the entire project area shall be removed on a daily basis.
- Warranty:**
- Warranty period will commence upon "Final Acceptance" by Owner. Warranty all trees for one full year, shrubs for 6 months, ground covers for 3 months and sod/hydromulch areas for complete cover as approved by Owner. Any warranty replacements shall be warranted as per the original materials. Any damage to project components as a result of warranty work shall be remedied at no cost to owner.
- Landscaping Maintenance:** The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.
- 1) All disturbed grass area to receive hydromulched bermuda seed.
 - 2) All landscaping within the visibility triangles shall comply with the visibility triangle requirements as stated in chapter 1x of the city code.
 - 3) the property owner is responsible for regular weeding, mowing, irrigation, fertilizing, pruning and other maintenance of all plantings. The required landscaping must be maintained in a healthy growing conditions.
 - 4) Irrigation will be an automatic underground system with automatic controller, rain sensor and freeze sensor.

LANDSCAPE REQUIREMENT

	REQUIRED	PROVIDED
1) - PARKING LOT PERIMETER: SHRUBS @ 36" O.C. =	44 PLANTS	66 PLANTS
2) - PARKING LOT INTERNAL: 1 LANDSCAPE ISLAND / 12 SPACES	2 TREES	2 TREES

MK	TYPE	BOTANICAL NAME	SIZE	HEIGHT	QTY	REMARKS
T1	CEDAR ELM	ULMUS CRASSIFOLIA	3.0-3.5"	8-10'	21	CALIPER TO BE MEASURED 6" FROM THE GROUND UPON PLANTING, CONTAINER GROWN
T2	CREPE MYRTLE	LAGERSTROEMIA INDICA	1" TRUNK	6'-7"	7	MIN. OF 3-1" TRUNKS MEASURED 6" ABOVE THE GROUND AT PLANTING.
S1	DWARF BURFORDHOLLY	ILEX CORNUTA BUFORDI NANA	5 GAL	18-24"	66	36" O.C.
S2	DWARF YAUPO	ILEX VOMITORIA 'NANA'	5 GAL	18-24"	34	36" O.C.
S3	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	5 GAL	18-24"	26	36" O.C.
S4	KNOCK OUT ROSE	ROSA 'RADRAZZ'	5 GAL	18-24"	12	36" O.C.
G1	GRASS	CYNODON DACTYLON	4" POTS	6"-8"	—	HYDRO-MULCH BASE BID
G2	MONDO GRASS	OPHIPOGON JAPONICUS	4" POTS	6"-8"	—	12" O.C., GROUND COVER

3 PARKING LOT REQUIREMENTS

2 SCHEDULE AND REQUIREMENTS

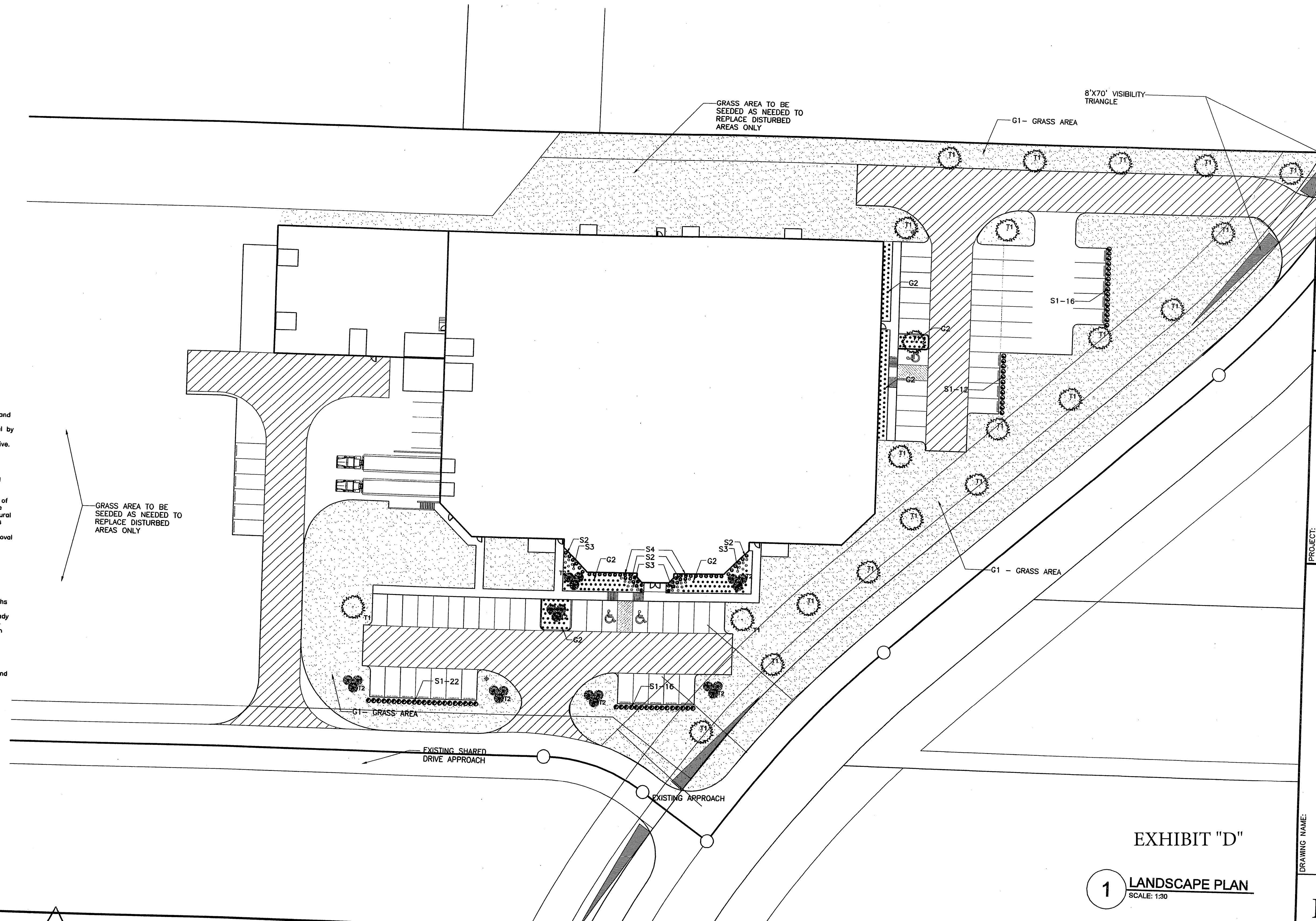
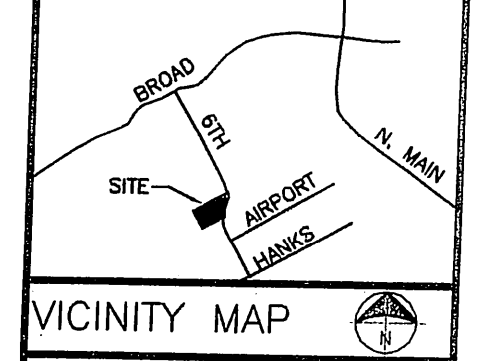


EXHIBIT "D"

1 LANDSCAPE PLAN
SCALE: 1:30

NATIONWIDE CONSTRUCTION
DESIGN-BUILD-SUPERVISION
2151 North Holland, Mansfield TX 76063
Phone (817) 473-0484 Fax (817) 473-0169
www.nationwideconstruction.us



I CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION AND CONTROL AND THEY COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODES.



PROJECT: Cam Tech
800 S. 6TH AVE
MANSFIELD, TX 76063
BY: Nationwide Construction

LANDSCAPE PLAN			
PROJECT NO.	8.18.11 revised layout	SCALE	1:30
DRAWN BY:	10.03.11	SCALE	1:30
CHECKED BY:		SCALE	1:30
ISSUE DATE:		SCALE	1:30

EXHIBIT "E"
SIGNAGE

IUP#21-001

