



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

Planning and Zoning Commission

Monday, May 15, 2023

6:00 PM

City Hall Council Chambers

1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **RECESS INTO EXECUTIVE SESSION**

Pursuant to Section 551.071, Texas Government Code, the Commission reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

Seek Advice from City Attorney Regarding Potential Revisions to Chapter 155, Zoning, of the Mansfield Code of Ordinances

6. **APPROVAL OF MINUTES**

[23-5353](#)

Minutes - Approval of the May 1, 2023 Planning and Zoning Commission Meeting Minutes

Attachments: [May 1, 2023 Draft Minutes](#)

7. **CITIZENS COMMENTS**

Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes.

In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.

8. **CONSENT AGENDA**

[23-5352](#)

Final Plat of Lot 1, Block 1 Mansfield Urban Living Phase 2; BGE, Inc., Engineer/Surveyor; Stillwater Capital, Developer (SD#23-007)

Attachments: [Location Map](#)

[Final Plat](#)

9. PUBLIC HEARINGS

[23-5351](#)

Public Hearing on a Change of Zoning from A, Agricultural District to PD, Planned Development District for Single-Family Residential Uses on Approximately 3.13 acres out of the William Warnell Survey, Abstract Number 1612, City of Mansfield, Tarrant County, Texas, located at 880 Turner Way; SPAPS, LLC, Owner, and HCE, Inc., Engineer (ZC#23-007)

Attachments: [Maps and Supporting Information](#)

[Exhibit A - Legal Description](#)

[Exhibit B – PD, Planned Development District Standards](#)

[Exhibit C – Development Plan](#)

[Exhibit D – Elevations](#)

[Exhibit E – Landscape Plan](#)

10. SUMMARY OF CITY COUNCIL ACTIONS

11. COMMISSION ANNOUNCEMENTS

12. STAFF ANNOUNCEMENTS

13. WORK SESSION

Discussion Regarding Potential New Special Purpose District: The T, Toll Road 360 Form-based Development District

14. ADJOURNMENT OF MEETING

15. NEXT MEETING DATE: Tuesday, June 13, 2023

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on May 11, 2023, prior to 5:00p.m. in accordance with Chapter 551 of the Texas Government Code.

Art Wright, Principal Planner

* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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STAFF REPORT

File Number: 23-5353

Agenda Date: 5/15/2023

Version: 1

Status: Approval of Minutes

In Control: Planning and Zoning Commission

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the May 1, 2023 Planning and Zoning Commission Meeting
Minutes

Description/History

The minutes of the May 1, 2023 Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Commission at this meeting.



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1200 E. Broad St.
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Meeting Minutes - Draft

Planning and Zoning Commission

Monday, May 1, 2023

6:00 PM

City Hall Council Chambers

1. CALL TO ORDER

Chair Axen called the meeting to order at 6:01 p.m.

Present 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

2. INVOCATION

Vice Chair Mainer gave the Invocation.

3. PLEDGE OF ALLEGIANCE

4. TEXAS PLEDGE

5. RECESS INTO EXECUTIVE SESSION

The Commission did not recess into executive session.

6. APPROVAL OF MINUTES

[23-5317](#)

Minutes - Approval of the April 17, 2023 Planning and Zoning Commission Meeting Minutes

A motion was made by Commissioner Goodwin to approve the minutes of the April 17, 2023 Planning and Zoning Commission Meeting as presented. Seconded by Commissioner Thompson. The motion CARRIED by the following vote:

Aye: 6 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer and Michael Bennett

Nay: 0

Abstain: 1 - Patrick Moses

7. CITIZENS COMMENTS

There were no citizen comments.

8. PUBLIC HEARINGS

23-5318

Public Hearing on a Replat to Create Lots 2R1A1 and 2R1B1, Block 1, THR RTC on 8.764 Acres Located at 265 and 267 N SH 360; Wier & Associates, Inc., Engineer/Surveyor; MCP 360 Land, LLC and Mansfield IRF, LLC, Owners (SD#23-010)

Assistant Director of Planning Arty Wheaton-Rodriguez presented the item.

Chair Axen opened the public hearing at 6:05 p.m. With no one wishing to speak, Chair Axen closed the public hearing at 6:06 p.m.

A motion was made by Vice Chair Mainer to approve the replat as presented. Seconded by Commissioner Shaw. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

23-5320

SD#23-001: Public hearing on a replat to create Lots 2R and 3, Block 2, Mansfield Industrial Park East on approximately 19.752 acres located at 221 Airport Dr.; Brittain & Crawford Land Surveying & Topographic Mapping., engineer/surveyor; BCB Transport Holdings Company, LLC., owner.

Arty Wheaton-Rodriguez presented the item.

Chair Axen opened the public hearing at 6:08 p.m. With no one wishing to speak, Chair Axen closed the public hearing at 6:08 p.m.

A motion was made by Commissioner Shaw to approve the replat as presented. Seconded by Commissioner Moses. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

23-5331

Public Hearing on a Change of Zoning from PD, Planned Development District to S, South Mansfield Form-Based Development District on Approximately 18.59 Acres in the Milton Gregg Survey, Abstract No. 555, City of Mansfield, Tarrant County, Texas Located at 2441 Heritage Parkway; City of Mansfield, Applicant (ZC#23-011)

Director of Planning and Development Services Jason Alexander presented the item and answered questions of the Commission regarding the concept plan and how the development aligns with The Reserve.

Chair Axen opened the public hearing at 6:17 p.m. With no one wishing to speak, Chair Axen closed the public hearing at 6:17 p.m.

A motion was made by Vice Chair Mainer to approve the change of zoning as presented. Seconded by Commissioner Goodwin. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[23-5291](#)

Public Hearing to Consider Amending Chapter 155 of the Code of Ordinances of the City of Mansfield, "Zoning" by Amending Special Purpose District Regulations and Creating a New Section 155.074 "T, Toll Road 360 Form-based Development District" (OA#23-002)

Staff requested this item be tabled indefinitely.

Chair Axen opened the public hearing at 6:26 p.m. With no one wishing to speak, Chair Axen closed the public hearing at 6:26 p.m.

A motion was made by Commissioner Shaw to table the item indefinitely. Seconded by Vice Chair Mainer. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

[23-5333](#)

Public Hearing on a Change of Zoning from PR, Pre-Development District to the T, Toll Road 360 Form-based Development District on approx. 216 acres, being tracts situated in the M. Gregg Survey, Abstract No. 358, H. Henderson Survey, Abstract No. 432, and the J. Lawrence Survey, Abstract No. 616; City of Mansfield, Ellis County, Texas, located east of State Highway 360, south of Lone Star Road, and south of Britton Road, excluding all of Lot 1-R, Block 1, Maranatha Ranch Addition, according to the plan filed in Document# 0903697, Cabinet H, Slide 640, Ellis County, Texas, Plat Records, and a 5.068 acre tract of land situated in the J. Lawrence Survey, Abstract No. 616, belonging to the Tarrant County Water Control and Improvement District #1. Located along the 3500 and 3600 blocks of Lone Star and 3800 block of Britton Roads; Arcadia, Developer (ZC#23-005)

Staff requested this item be tabled indefinitely.

Chair Axen opened the public hearing at 6:29 p.m. With no one wishing to speak, Chair Axen closed the public hearing at 6:29 p.m.

A motion was made by Vice Chair Mainer to table the item indefinitely. Seconded by Commissioner Shaw. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

9. SUMMARY OF CITY COUNCIL ACTIONS

Jason Alexander advised the Commission of City Council actions from the April 24, 2023 City Council meeting.

10. COMMISSION ANNOUNCEMENTS

Commissioner Thompson encouraged everyone to vote in the May 6, 2023 election.

Commissioner Goodwin stated he has stepped down as President of Downtown Mansfield, Inc., but he remains a member of the Board.

Vice Chair Mainer welcomed Commissioner Moses and thanked the City for the opportunity to go on an educational tour of the Norton Commons development.

Commissioner Shaw welcomed Commissioner Moses and also encouraged the public to vote.

Commissioner Moses stated he was excited to join the Planning and Zoning Commission.

Chair Axen welcomed Commissioner Moses and thanked Stephen Groll for his service to the Planning and Zoning Commission.

11. STAFF ANNOUNCEMENTS

Staff announced that May 15, 2023 would be the date of the next Planning and Zoning Commission meeting.

12. ADJOURNMENT OF MEETING

A motion was made by Vice Chair Mainer to adjourn the meeting at 6:37 p.m. Seconded by Commissioner Goodwin. The motion CARRIED by the following vote:

Aye: 7 - Blake Axen; Jennifer Thompson; Brandon Shaw; David Goodwin; Michael Mainer; Michael Bennett and Patrick Moses

Nay: 0

Abstain: 0

Blake Axen, Chair

Keera Seiger, Assistant City Secretary



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STAFF REPORT

File Number: 23-5352

Agenda Date: 5/15/2023

Version: 1

Status: Consent

In Control: Planning and Zoning Commission

File Type: Plat

Agenda Number:

Title

Final Plat of Lot 1, Block 1 Mansfield Urban Living Phase 2; BGE, Inc.,
Engineer/Surveyor; Stillwater Capital, Developer (SD#23-007)

Recommendation

Staff recommends approval.

Description/History

The purpose of the plat is to create an 11.148 acre lot for a multifamily/apartment development within The Reserve. With this plat, the applicant is dedicating rights-of-way for the following:

- 70 feet for Reserve Way
- 70 feet for Nahvi Road
- 30 feet for Cross Creek Drive

Although the digital copy of the plat in the Commission's packet has no signatures, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

Attachments

Location Map
Replat

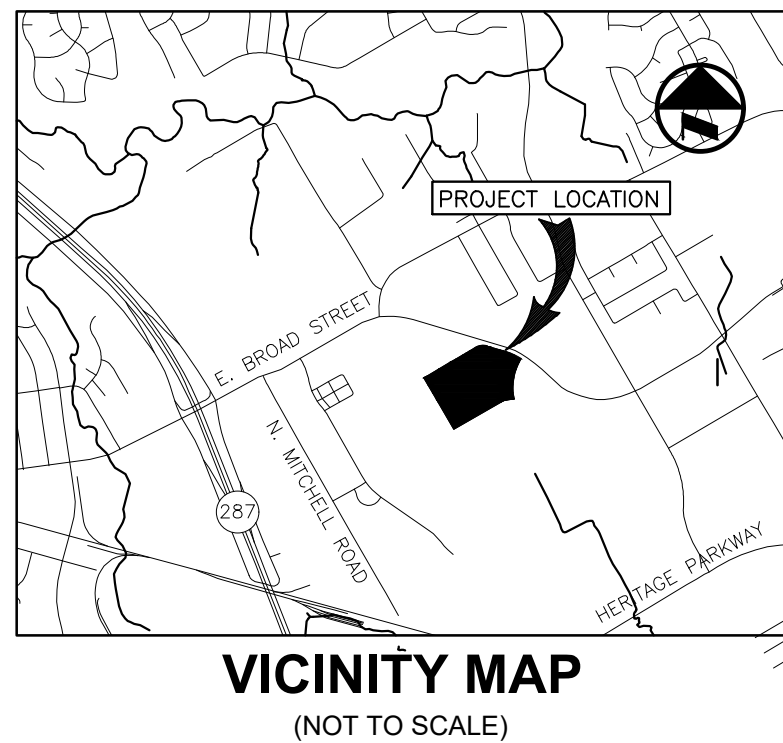
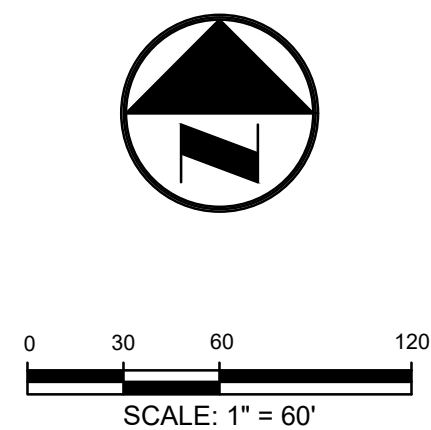
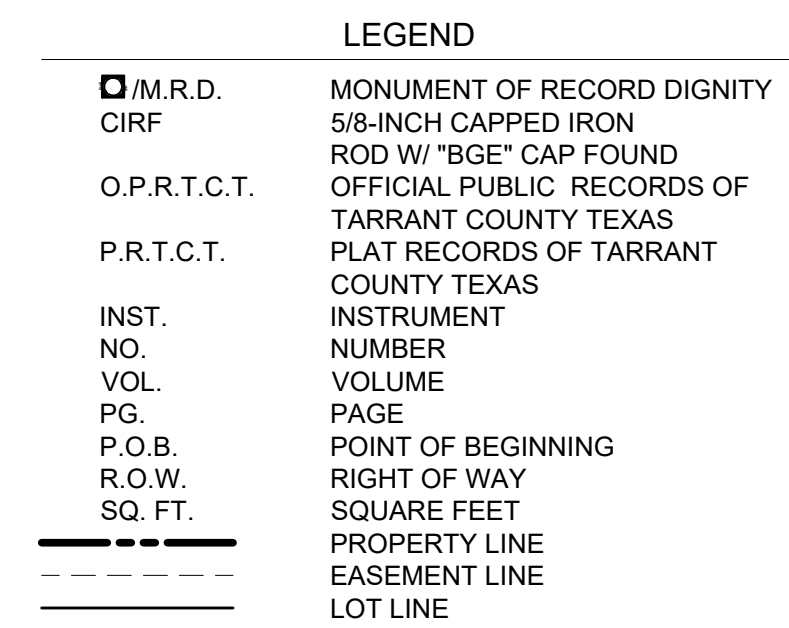


Subject Property

0 250 500 1,000
Feet



SD#23-007 Urban Living Phase 2, FP



- GENERAL NOTES:**
1. Bearing system for this survey is based on the North American Datum of 1983, NA2011 (Epoch 2010.00), Texas State Plane Coordinate System, North Central Zone (4202) with an applied combined scale factor of 1.00012. Distances and areas shown are surface values in U.S. Survey Feet.
 2. The floodplain boundaries shown hereon are approximate and are not depicted as a result of an on-the-ground survey. The subject tract lies with Zone X as delineated on Flood Insurance Rate Map for Tarrant County, Texas and Incorporated Areas, Map Number 48439C0480K with Map Revised September 25, 2009.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain
 3. Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

This plat is proposed by the owners of properties described herein (hereinafter referred to as "property owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns.

No obstruction to the flow of stormwater run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by the City of Mansfield. Provided, however, it is understood that in the event it becomes necessary for the City of Mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The property owners will be responsible for maintaining said drainage easement. The property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. The City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the property owners. If at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, the City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing.

Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the failure of any facilities within said drainage easement. Further, the City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

LINE TABLE		
NUMBER	BEARING	DISTANCE
L1	S 28°27'50" W	35.97'
L2	S 80°55'57" W	84.06'
L3	S 17°46'57" E	20.75'
L4	S 28°27'50" W	21.37'
L5	S 38°06'22" W	22.00'
L6	S 74°59'44" E	5.2126'
L7	S 14°43'41" W	21.27'

CURVE TABLE					
NUMBER	DELTA	RADIUS	CHORD BEARING	CHORD DISTANCE	ARC LENGTH
C1	46°33'10"	145.00'	N 82°50'53" E	114.60'	117.81'
C2	14°56'32"	785.37'	S 66°04'21" E	204.24'	204.82'
C3	40°50'40"	540.00'	S 08°02'32" W	376.85'	384.95'
C4	20°48'21"	140.00'	S 70°31'46" W	50.56'	50.94'
C5	8°44'21"	785.37'	S 69°10'27" E	119.67'	118.79'
C6	6°12'12"	785.37'	S 61°42'11" E	84.99'	85.03'
C7	32°28'35"	610.00'	S 12°13'34" W	341.05'	345.76'
C8	20°38'28"	210.00'	S 70°26'50" W	75.25'	75.65'

FINAL PLAT

MANSFIELD URBAN LIVING PHASE 2
LOT 1, BLOCK 1

11.148 ACRES
BEING SITUATED IN THE
ELIZABETH MCANIER SURVEY, ABSTRACT NO. 1005,
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

FEBRUARY 2023
SHEET 1 of 2

DEVELOPER
STILLWATER CAPITAL
4145 Travis Street
Dallas, Texas 75204

SURVEYOR

BGE, Inc.
777 Main Street, Suite 1900, Fort Worth, TX 76102
Tel: 817-887-6130 • www.bgeinc.com
TBPELS Registration No. 10194416

Contact: René Silvas, R.P.L.S.
Telephone: 817-752-4183 • Email: rsilvas@bqeinc.com

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF TARRANT §

WHEREAS, Stillwater Capital, acting by and through the undersigned, its duly authorized agent, is the sole owner of an 11.148 acre tract of land situated in the Elizabeth McAnier Survey, Abstract No. 1005, in the City of Mansfield, Tarrant County, Texas; being part of that tract of land described in Special Warranty Deed to Stephen Clare Horning-Lockwood as recorded in Volume 10470, Page 1069 of the Deed Records of Tarrant County, Texas; said 11.148 acre tract of land being more particularly described by metes and bounds as follows:

BEGINNING, at a 5/8-inch iron rod with "BGE" cap found for corner in the west line of said Horning-Lockwood tract; said point being in the east line of that tract of land described in Warranty Deed with Vendor's Lien to First Baptist Church of Mansfield as recorded in Volume 7667, Page 1119 of said Deed Records; said point being in the south right-of-way line of Domain Drive (60-foot right-of-way) as dedicated by plat of The Reserve at Mansfield, an addition to the City of Mansfield as recorded in Instrument No. D220091906 of the Plat Records of Tarrant County, Texas;

THENCE, with the south line of said Domain Drive, the following four (4) courses and distances:

North 59 degrees 34 minutes 19 seconds East, a distance of 602.39 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the beginning of a tangent curve to the right;

In a northeasterly direction, along said curve to the right, an arc length of 117.81 feet, having a radius of 145.00 feet, a central angle of 46 degrees 33 minutes 10 seconds, and a chord which bears North 82 degrees 50 minutes 53 seconds East, 114.60 feet to a 5/8-inch iron rod with "BGE" cap found for corner;

South 73 degrees 44 minutes 12 seconds East, a distance of 164.49 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the beginning of a non-tangent curve to the right;

In a southeasterly direction, along said curve to the right, an arc length of 204.82 feet, having a radius of 785.37 feet, a central angle of 14 degrees 56 minutes 32 seconds, and a chord which bears South 66 degrees 04 minutes 21 seconds East, 204.24 feet to a 5/8-inch iron rod with "BGE" cap found for corner;

THENCE, South 28 degrees 27 minutes 50 seconds West, departing the south line of said Domain Drive, a distance of 35.97 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the beginning of a tangent curve to the left;

THENCE, in a southwesterly direction, along said curve to the left, an arc length of 384.95 feet, having a radius of 540.00 feet, a central angle of 40 degrees 50 minutes 41 seconds, and a chord which bears South 08 degrees 02 minutes 32 seconds West, 376.85 feet to a 5/8-inch iron rod with "BGE" cap found for corner;

THENCE, South 80 degrees 55 minutes 57 seconds West, a distance of 84.06 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the beginning of a tangent curve to the left;

THENCE, in a southwesterly direction, along said curve to the left, an arc length of 50.84 feet, having a radius of 140.00 feet, a central angle of 20 degrees 48 minutes 21 seconds, and a chord which bears South 70 degrees 31 minutes 46 seconds West, 50.56 feet to a 5/8-inch iron rod with "BGE" cap found for corner;

THENCE, South 60 degrees 07 minutes 36 seconds West, a distance of 549.62 feet to a 5/8-inch iron rod with "BGE" cap found for corner in the west line of said Horning-Lockwood tract; said point being in the east right-of-way line of Cross Creek Drive (30-foot right-of-way) as dedicated by plat of JLB Mansfield, an addition to the City of Mansfield as recorded in Instrument No. D221317609 of said Plat Records;

THENCE, North 30 degrees 07 minutes 05 seconds West, with the west line of said Horning-Lockwood tract, a distance of 599.04 feet to the POINT OF BEGINNING and containing an area of 11.148 acres or 485,626 square feet of land, more or less.

OWNER'S DEDICATION

STATE OF TEXAS §
COUNTY OF §

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Stillwater Capital is the owner of the above described parcels, acting by and through the undersigned, its duly authorized agents, do hereby adopt the herein above described property as Lot 1, Block 1, Mansfield Urban Living, Phase 2, an addition to the City of Mansfield, Tarrant County, Texas, and do dedicate to the public use the streets and easements as shown thereon.

STILLWATER CAPITAL

a Texas limited liability company

By: Stillwater Capital
a Texas limited liability company,

Owner

STATE OF TEXAS §
COUNTY OF §

BEFORE ME, the undersigned a Notary Public, in and for The State of Texas, on this day personally appeared Tommy Hicks, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the day of , 2023.

Notary Public, State of Texas

My Commission Expires On: Date

SURVEYOR'S CERTIFICATE

This is to certify that I, René Silvas, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Dated this the day of , 2023.

René Silvas
Registered Professional Land Surveyor, No. 5921

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned a Notary Public, in and for The State of Texas, on this day personally appeared René Silvas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the day of , 2023.

Notary Public, State of Texas

My Commission Expires On: Date



Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

APPROVED BY THE CITY OF MANSFIELD	
APPROVED BY: , 20	P & Z COMMISSION CHAIRMAN
ATTEST: , 20	PLANNING & ZONING SECRETARY

FINAL PLAT

MANSFIELD URBAN LIVING PHASE 2
LOT 1, BLOCK 1

11.148 ACRES
BEING SITUATED IN THE
ELIZABETH MCANIER SURVEY, ABSTRACT NO. 1005,
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

FEBRUARY 2023
SHEET 2 of 2

DEVELOPER
STILLWATER CAPITAL
4145 Travis Street
Dallas, Texas 75204

SURVEYOR
BGE, Inc.
777 Main Street, Suite 1900, Fort Worth, TX 76102
Tel: 817-887-6130 • www.bgeinc.com
TBPELS Registration No. 10194416
Contact: René Silvas, R.P.L.S.
Telephone: 817-752-4183 • Email: rsilvas@bgeinc.com
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CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5351

Agenda Date: 5/15/2023

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

Agenda Number:

Title

Public Hearing on a Change of Zoning from A, Agricultural District to PD, Planned Development District for Single-Family Residential Uses on Approximately 3.13 acres out of the William Warnell Survey, Abstract Number 1612, City of Mansfield, Tarrant County, Texas, located at 880 Turner Way; SPAPS, LLC, Owner, and HCE, Inc., Engineer (ZC#23-007)

Requested Action

To consider and indefinitely table the proposed zoning change.

Recommendation

While detached single-family residences are compatible with the surrounding properties and consistent with development patterns in the area, there are opportunities to continue the same in a manner that achieves the community's vision for sustainable growth and prosperity.

The applicant wishes to table their request for a change in zoning indefinitely in order to address connectivity and to elevate other urban design considerations that are consistent with the vision for the future. The Department of Planning and Development Services recommends that the change in zoning request be tabled indefinitely as requested by the applicant.

Description/History

Existing Use: Single-family residence

Existing Zoning: A, Agricultural District

Land Use Plan: Sub-Area 5

Surrounding Land Use & Zoning:

North - City of Arlington, church and single-family residential

South - Vacant, PR, Pre-Development District

East - Single-family residential, SF-12/22, Single-family Residential District

West - Agricultural, A, Agricultural District

Thoroughfare Plan Specification:

Turner Way - Two-lane local street

Turner Warnell Road - Six-lane divided arterial street

Synopsis

The applicant is requesting a zoning change from the A, Agricultural District to PD, Planned Development District for single-family residential uses, with a base zoning of SF-8.4/16, Single-Family Residential District. The development is a single-loaded cul-de-sac with seven (7) residential lots and one (1) open space lot.

Staff Analysis

The subject property consists of approximately 3.13 acres of land located on the northern municipal limits of Mansfield. The site is surrounded by lots or tracts with an area of 12,000 square feet or larger to the east, west and south. Across Turner Way is a church in Arlington.

Development Standards

The development standards propose lots with a minimum area of 9,100 square feet and houses with a minimum of 2,000 square feet of living area. The minimum lot width is 70 feet, and minimum lot depth is 110 feet.

With respect to garage orientation, the development standards propose required side or rear entry garages, although the total percentage of garage doors facing the front yard cannot exceed 20 percent of the total number of lots developed on the property, which is one lot. Garage doors must be metal, wood, or composite wood.

The development standards also contain some architectural standards taken from Section 155.056, Community Design Standards, of the Mansfield Code of Ordinances, with an additional provision that the house have significant variations in principal building façade designs, including rooflines with apparent design variations. The standards do not address building materials.

The development standards provide landscaping requirements for the residential lots. These are similar to the standards in Section 155.092 of the Code of Ordinances.

The development standards are shown in Exhibit B.

Site Plan

The development is oriented north-south with the entrance on Turner Way. The cul-de-sac is along the west side of the property with seven residential lots running perpendicular to the road. As depicted, the street terminates at Lot 8X, an open space lot that generally runs along the south side of the development and up the west side of the cul-de-sac.

All the lots are encumbered by a 30-foot width gas easement at the rear of the lots. There are also utility and drainage easements on Lots 6 and 7. These easements reduce the usable area of the lots for accessory structures, swimming pools and similar amenities.

The site plan is shown in Exhibit C.

Elevations

Elevations have been provided for three (3) house models as examples. The models are

predominantly clad in stucco or siding. It should be noted that the development standards in Exhibit B require an 8:12 roof pitch for the predominant roof. The three models have a roof pitch of 4:12 or less.

The elevations are shown in Exhibit D.

Landscape Plan

The landscape plan shows the proposed landscaping for the subdivision. The applicant is proposing a divided median with landscaping and pavers for the enhanced entryway at Turner Way. Additional tree plantings are shown on Lot 8X at the south end of the subdivision. A 6-foot masonry screening wall is proposed along Turner Way and Turner Warnell Road to buffer the residential lots from the streets.

The landscape plan is shown in Exhibit E.

Summary

There are a number of opportunities to elevate the proposed development pursuant to PD, Planned Development District standards and to ensure development patterns that are well-integrated into the urban fabric while advancing the City's goals for quality housing and connectivity.

Attachment

Maps and Supporting Information

Exhibit A - Legal Description

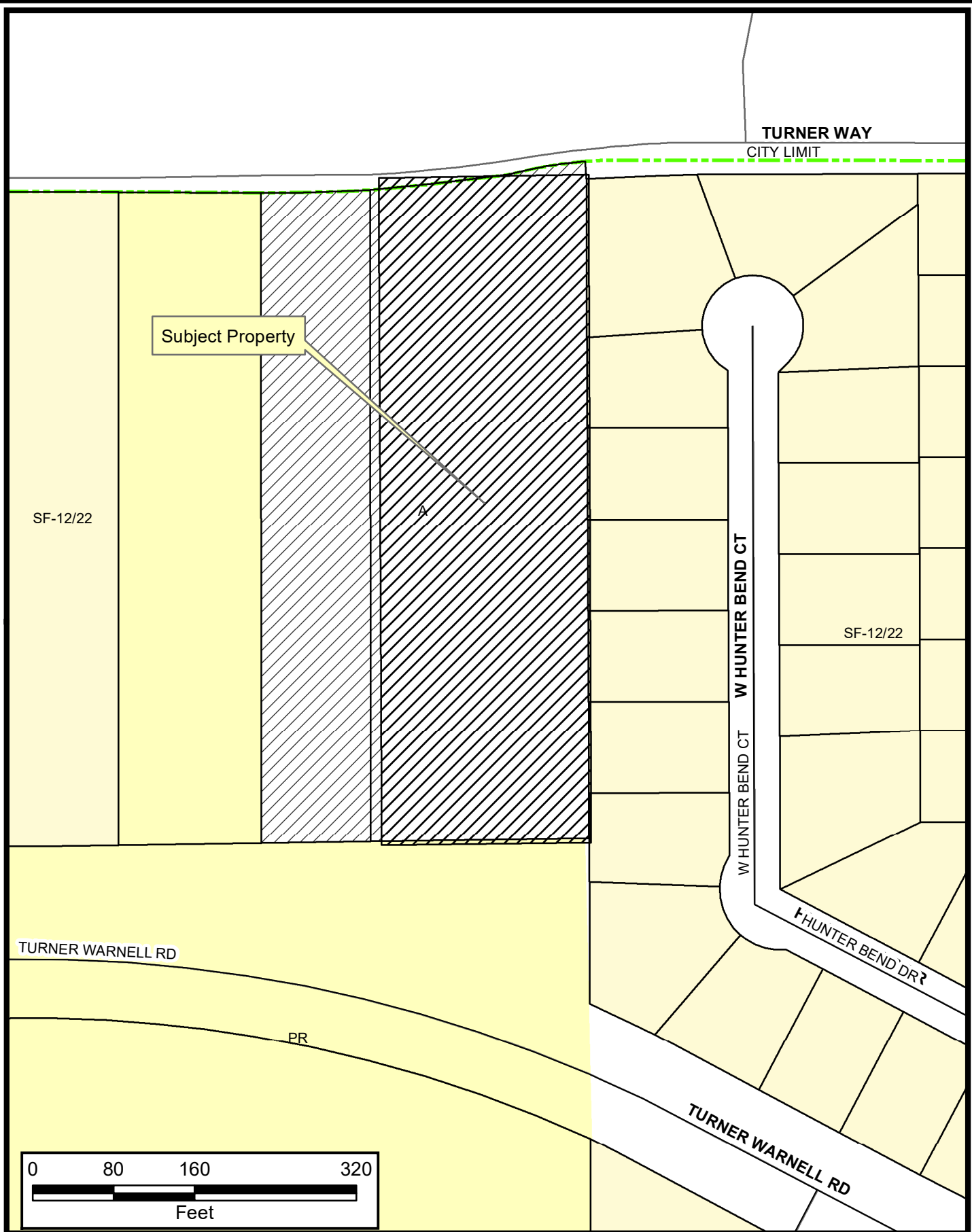
Exhibit B - PD, Planned Development District Standards

Exhibit C - Site Plan

Exhibit D - Elevations

Exhibit E - Landscape Plan





ZC#23-007

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

4/25/2023

Property Owner Notification for ZC#23-007

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HUNTER OAKS ESTATES	BLK 3	GRANTGES, LOUIS	3403 HUNTER BEND CT	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	CONLEY, JOE	3401 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	SASEDOR, MARY G	509 HUNTER BEND DR	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	HART, WARREN L	506 HUNTER BEND DR	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	NORTON, CARA C	PO BOX 1928	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	JORDAN, DENNIS	3405 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	SCOTT, KAREN JEAN	3402 W HUNTER BEND CT	MANSFIELD, TX	76063-8815
HUNTER OAKS ESTATES	BLK 3	SEEDERS, MARY L	3413 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	HENNIGAN, BARI	3411 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	NOVELL, MARK A	3409 W HUNTER BEND CT	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	SHARP, KENT	3407 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	PFAU, ZENO J	3415 W HUNTER BEND CT	MANSFIELD, TX	76063-8816
HUNTER OAKS ESTATES	BLK 3	JOHNSON, ANNA	3412 W HUNTER BEND CT	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	KEOMAXAY, VON	3410 W HUNTER BEND CT	MANSFIELD, TX	76063
HUNTER OAKS ESTATES	BLK 3	HARRISON FAMILY TRUST	3408 W HUNTER BEND CT	MANSFIELD, TX	76063-8815
HUNTER OAKS ESTATES	BLK 3	NGUYEN, TRANG M	3406 W HUNTER BEND CT	MANSFIELD, TX	76063-8815
HUNTER OAKS ESTATES	BLK 3	HAMDAN, AMER	3404 W HUNTER BEND CT	MANSFIELD, TX	76063
WARNELL, WM W SURVEY	A 1612	SPAPS	4541 STONEWOOD CIR	MIDLOTHIAN, TX	76065
WARNELL, WM W SURVEY	A 1612	NGUYEN, NGAN	900 SUNRISE DR	KENNEDALE, TX	76060

Tuesday, April 25, 2023

Page 1 of 2

Property Owner Notification for ZC#23-007

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
WARNELL, WM W SURVEY	A 1612	MURILLIO, LINDA	2909 TURNER WARNELL RD STE 101	ARLINGTON, TX	76001

EXHIBIT A

Legal Description

BEING a tract of land situated in the William W. Warnell Survey, Abstract No. 91, City of Mansfield, Tarrant County, Texas, being that same tract of land described in Warranty Deed with Vendors Lien (Vendor's Lien Reserved and Assigned to Third Party Lender) to SPAPS Limited Liability Company recorded in Document Number D222125927, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

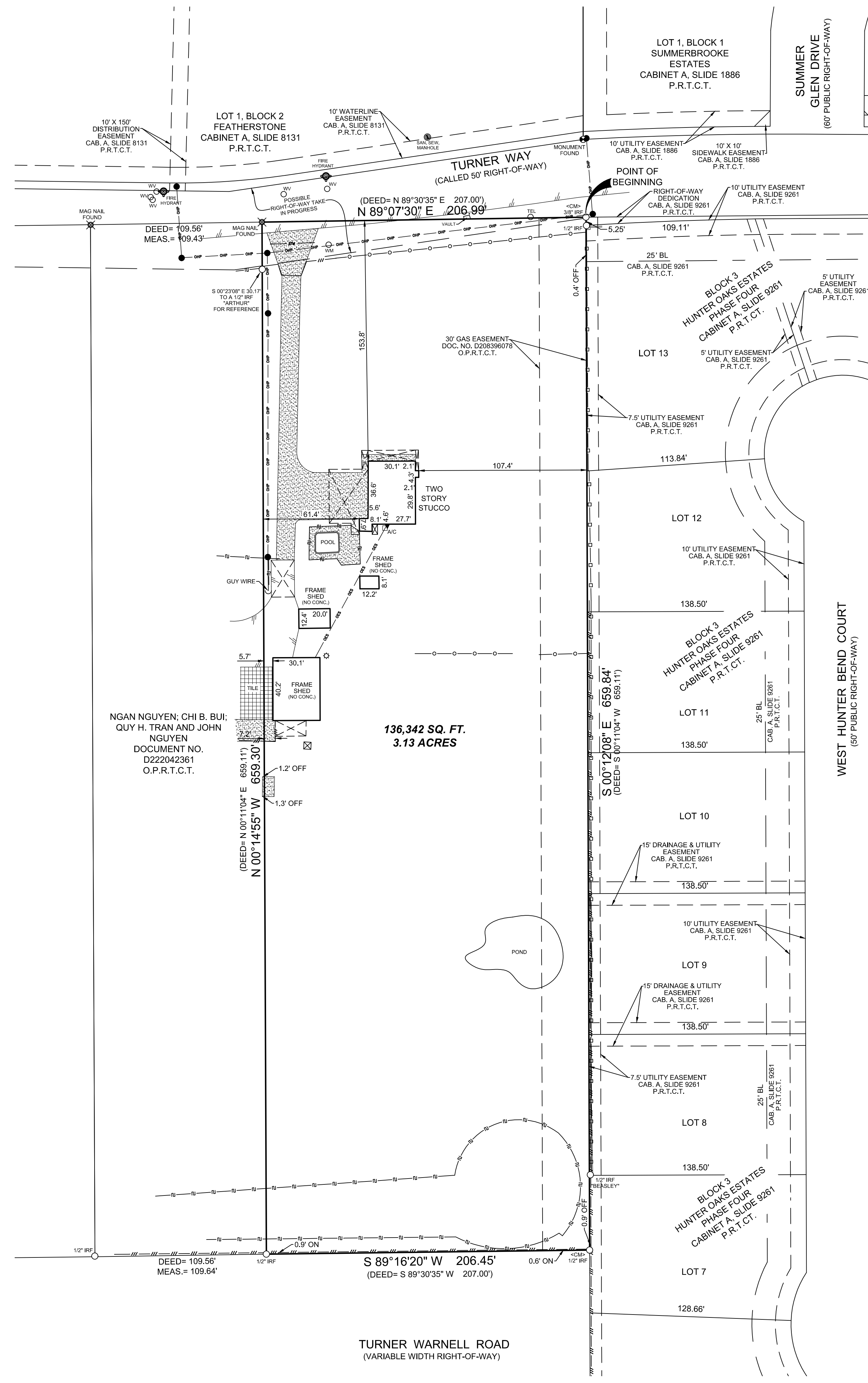
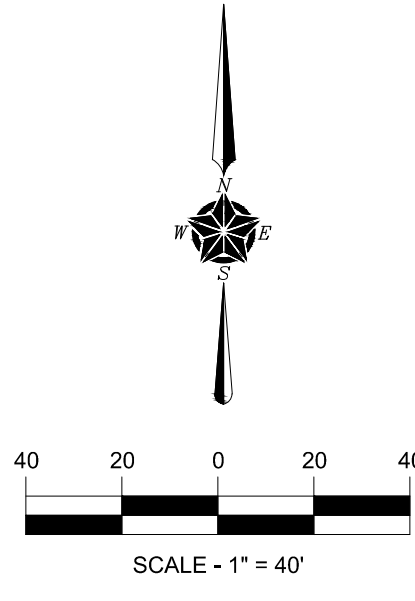
BEGINNING at a found 3/8 inch iron rod for corner, said point being the northwest corner of Hunter Oaks Estates, an addition to the of Mansfield, Tarrant County, Texas, according to the plat thereof recorded in Cabinet A, Slide 9261, Plat Records, Tarrant County, Texas, also being the northwest corner of right-of-way dedication as reflected on said Hunter Oaks Estates, lying on the south right-of-way line of Turner Way (called 50' right-of-way);

THENCE South 00 degrees 12 minutes 08 seconds East, departing the south right-of-way line of said Turner Way, along the west line of said Hunter Oaks Estates, passing a found 1/2 inch iron rod at a distance of 5.25 feet, said point being the southwest corner of said right-of-way dedication, and the northwest corner of Block 3 of said Hunter Oaks Estates, continuing along the west line of said Block 3 for a total distance of 659.84 feet to a found 1/2 inch iron for corner, said point being the southeast corner of the herein described tract, lying on the north right-of-way line of Turner Warnell Road (variable width right-of-way);

THENCE South 89 degrees 16 minutes 20 seconds West, departing the said west line of Hunter Oaks Estates, along the north right-of-way line of said Turner Warnell Road, a distance of 206.45 feet to a found 1/2 inch iron rod for corner, said point being the southeast corner of that same tract of land described in Warranty Deed with Vendor's Lien to Ngan Nguyen; Chi B. Bui; Quy H. Tran and John Nguyen recorded in Document Number D222042361, Official Public Records, Tarrant County, Texas;

THENCE North 00 degrees 14 minutes 55 seconds West, departing the north right-of-way line of said Turner Warnell Road, along the east line of said Nguyen, Bui, Tran, Nguyen tract, a distance of 659.30 feet to a mag nail found in the asphalt road, said point being the northeast corner of said Nguyen, Bui, Tran, Nguyen tract, on the said south right-of-way line of Turner Way;

THENCE North 89 degrees 07 minutes 30 seconds East, along the south right-of-way line of Turner Way, a distance of 206.99 feet to the POINT OF BEGINNING and containing 136,342 square feet or 3.13 acre of land.



PROPERTY DESCRIPTION

BEING a tract of land situated in the William W. Warnell Survey, Abstract No. 91, City of Mansfield, Tarrant County, Texas, being that same tract of land described in Warranty Deed with Vendors Lien (Vendor's Lien Reserved and Assigned to Third Party Lender) to SPAPS Limited Liability Company recorded in Document Number D222125927, Official Public Records, Tarrant County, Texas, and being more particularly described by metes and bounds as follows:

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THENCE North 89 degrees 07 minutes 30 seconds East, along the south right-of-way line of Turner Way, a distance of 206.99 feet to the POINT OF BEGINNING and containing 136,342 square feet or 3.13 acre of land.

LEGEND

- | | |
|------------------------------------|------------------------------|
| <CM> CONTROL MONUMENT | SANITARY SEWER MANHOLE COVER |
| IRON ROD FOUND | LIGHT POLE |
| IRON ROD SET "TXHS" | POWER POLE |
| IRON PIPE FOUND | BRICK COLUMN |
| FENCE POST CORNER | AC AIR CONDITIONING |
| "X" FOUND / SET | FIRE HYDRANT |
| GAS METER | ELECTRIC METER |
| ASPHALT PAVING | CHAIN LINK FENCE |
| WOOD FENCE (CENTER POST) | BRICK |
| WIRE FENCE | STONE |
| IRON FENCE | GRAVEL/ROCK ROAD OR DRIVE |
| PIPE FENCE | |
| OES OVERHEAD ELECTRIC SERVICE | |
| OHP OVERHEAD POWER LINE | |
| COVERED PORCH, DECK OR CARPORT | |
| CONCRETE PAVING | |

GENERAL NOTES

- 1) According to the F.I.R.M. No. 48439C0460K, the subject property lies in Zone X, and does not lie within a Special Flood Hazard Area.
- 2) All bearings, easements and building lines are by recorded plat and as furnished in referenced commitment for title insurance *unless* otherwise noted.
- 3) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983, (2011).

TEXAS HERITAGE
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com Firm No. 10169300

METES & BOUNDS SURVEY
880 TURNER WAY
A 3.13 ACRES TRACT OUT OF
WILLIAM W. WARNELL SURVEY, A-1612
MANSFIELD, TARRANT COUNTY, TEXAS

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to SPAPS Limited Liability Company; Title Resources Guaranty Company and Independence Title, in connection with the transaction described in G.F. No. 2216368-STDF that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Task No.
2201478-1

Drawn By
JAM

Date
09/26/2022

Scale
1"=40'

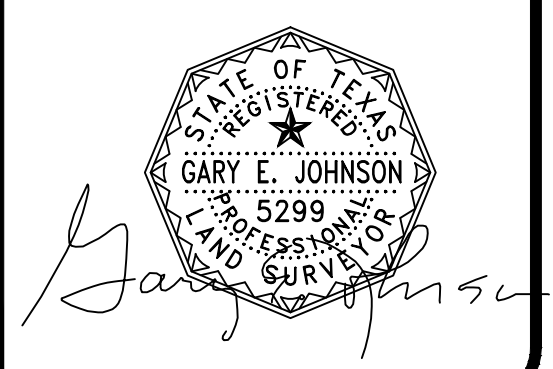


EXHIBIT B FOR ZC#23-007

MYMERLA ESTATES DEVELOPMENT PLANNED DEVELOPMENT DISTRICT STANDARDS

Mymerla Estates is a three (3) acre development in Mansfield bordered to the east by Hunter Glen Drive. The development consists of 8 single-family residential lots with designated zoning as a PD, Planned Development District with a base zoning district of SF-8.4/16, Single-family Residential District (this PD, Planned Development District). The purpose of this Planned Development District Standards is to produce a new community of housing, to outline the development standards regarding the Mymerla Estates Development. Lot restrictions, building materials, or any other design standards not outlined in this document shall default to the City of Mansfield Code of Ordinances.

General Standards:

1. The proposed development will be in the complete accordance with provisions of the approved Planned Development District and all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors or assigns, and shall limit and control all building permits.
2. A mandatory Homeowners Association will be responsible for the maintenance of the lots owned by the (HOA), entryway features, screening walls, fences, canopy trees, landscaping.
3. The Homeowners Association and associated documents shall be filed in accordance with the City of Mansfield policies. The documents shall be filed with the final plat at Tarrant County.

Permitted Uses:

Permitted uses within the Mymerla Estates Planned Development District shall be restricted to all of those uses permitted in the SF-8.4/16 Single-Family Residential District as set forth in the City of Mansfield Code of Ordinances.

Development Standards:

1. All lots shall be a minimum of 9,100 square feet.
 - A. Maximum Lot Coverage is 45%
 - B. Maximum Height is 35 feet
 - C. Minimum lot width is 70 feet

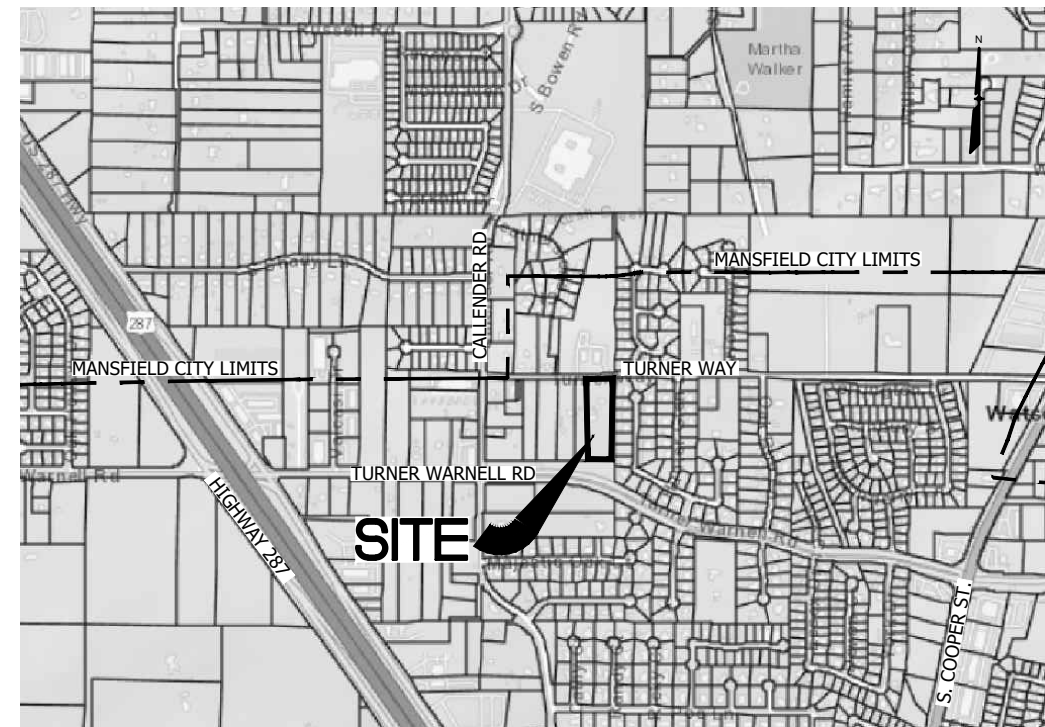
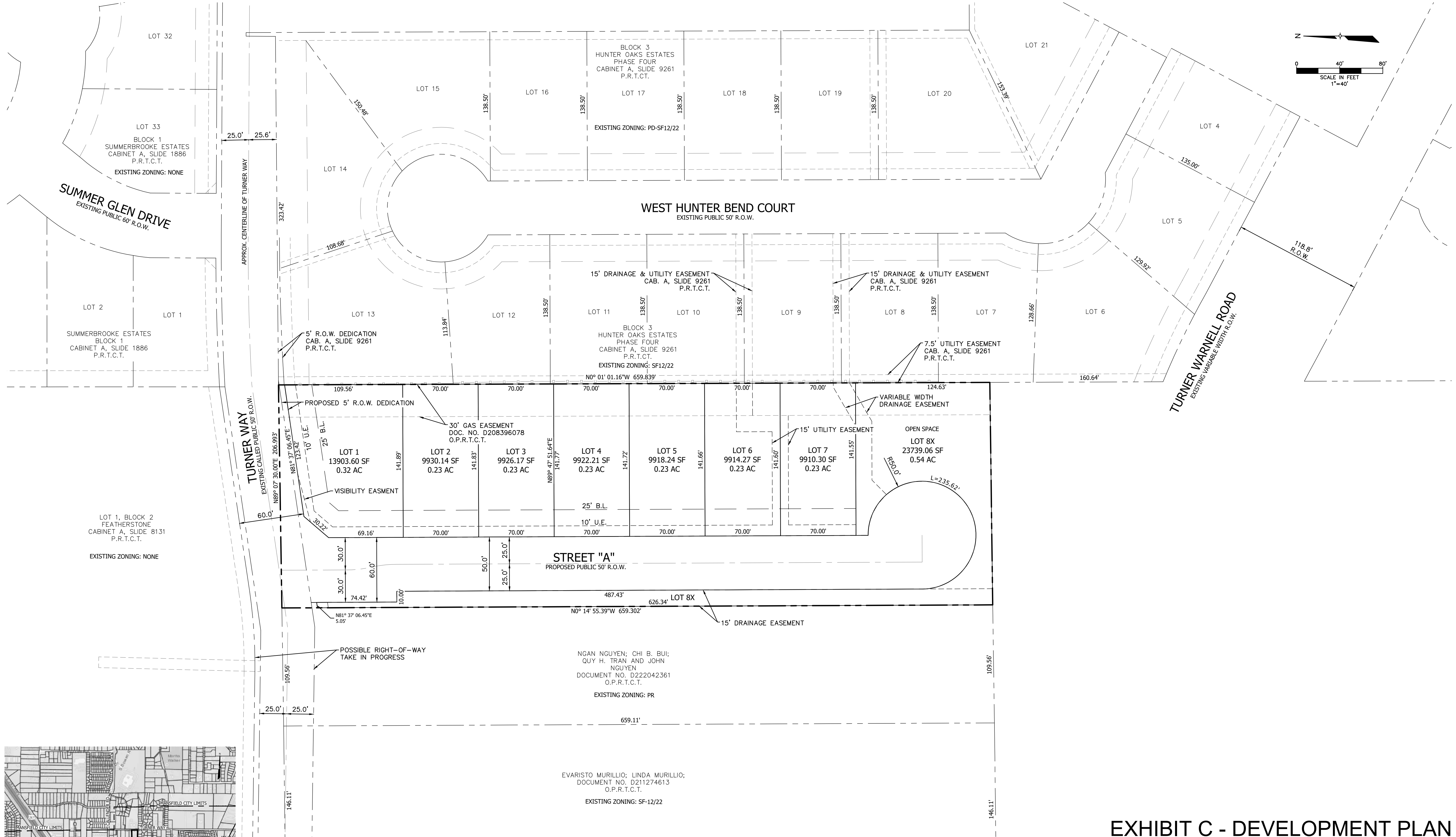
- D. Minimum lot depth is 110 feet
- E. Minimum Floor Area is 2,000 square feet
- 2. Yard setback requirements:
 - A. Minimum Front Yard is 25 feet
 - B. Minimum Side Yard is 7.5 feet
 - C. Minimum Rear Yard is 15 feet
- 3. Garage Structure:
 - A. Each home shall have a minimum of two (2) covered parking spaces located within a garage. The required garage must be side or rear entry. The total percentage of garage doors facing the front yard shall not exceed 20% of the total number of lots developed on the property. Garage doors shall be of metal, wood, or composite wood.
- 4. Architectural Standards:
 - A. Homes shall have significant variations in principal building façade designs, including rooflines with apparent design variations. Homes shall have changes in the locations and openings for doors and windows that change the overall external elevation.
 - B. Windows shall be made of painted aluminum, wood, or vinyl, and shall have clear glass. Windows shall be single-, double-, or triple-hung or operable casements.
 - C. Specialty windows such as box windows or circular windows may be flush mounted to the exterior face of the building, all other windows are to be inset to create relief on the elevations.
 - D. Facades shall avoid large expanses of interrupted, single exterior materials and must be broken up by changes in plane, window replacement, window trim, or color changes.
 - E. Gutters, if provided, shall be copper, galvanized steel, aluminum or painted is exposed to the street.
- 5. Roofing Systems:
 - A. A minimum roof pitch of 8:12 (inches of rise per inches of run) from side to side shall apply to the predominant roof, except a time or slate roof may have a minimum roof pitch of 5:12 (inches of rise per inches of run) from side to side. A

variety of roof pitches may be incorporated into the roof design provided that the predominant roof meets the minimum roof pitch.

- B. All asphalt roof shingles shall be laminated architectural shingles with a three-dimensional appearance and warranted for at least thirty (30) years.

6. Landscaping:

- A. Required trees are encouraged to be placed along the south and west sides of any residential property to provide seasonal shade, sun, and temperature regulation.
- B. Required trees shall not be less than three (3) per lot.
- C. Shrubs shall be planted for at least 25% of the length of the foundation fronting a thoroughfare or a civic space or other required open space for all single-family residential (detached).
- D. Required shrubs shall not be less than two (2) feet in height.
- E. Front and rear yards shall be covered with sod except for areas with planting beds and flatwork; and
- F. An automatic irrigation system shall be provided for all landscaped areas.



VICINITY MAP
N.T.S.

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hceetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV / DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



Texas Registered Engineering Firm F-21173

EXHIBIT C - DEVELOPMENT PLAN
MYMERLA ESTATES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 6, 2023
7 RESIDENTIAL LOTS AND 1 OPEN SPACE LOT
3.13 TOTAL ACRES
ZC#23-007



WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3'-0"	7'-0"	FIXED	8'-0"
B	3'-0"	1'-6"	FIXED	9'-6"
C	3'-0"	5'-0"	FIXED	7'-0"
D	7'-0"	2'-0"	FIXED	8'-0"
E	4'-0"	7'-0"	FIXED	8'-0"
F	4'-0"	1'-6"	FIXED	10'-0"
G	3'-0"	6'-0"	SINGLE-HUNG	8'-0"
H	5'-0"	5'-0"	FIXED	8'-0"
I	3'-6"	1'-6"	FIXED	8'-0"
J	3'-0"	4'-0"	FIXED	8'-0"
K	4'-0"	1'-6"	FIXED	8'-0"

NOTE:
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-
VALUE TO MEET CODE.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3'-0"	8'-0"	RIGHT	EXT. FULL LITE
2	16'-0"	8'-0"	OVERHEAD	GARAGE
3	3'-0"	6'-8"	LEFT	EXT. SOLID CORE
4	2'-4"	8'-0"	RIGHT	SOLID CORE
5	2'-8"	8'-0"	RIGHT	SOLID CORE
6	2'-8"	8'-0"	RIGHT	SOLID CORE
7	6'-0"	8'-0"	SLIDER	EXT. FULL LITE
8	2'-8"	8'-0"	RIGHT	EXT. FULL LITE
9	2'-8"	8'-0"	LEFT	SOLID CORE
10	2'-4"	8'-0"	RIGHT	SOLID CORE
11	3'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
12	2'-4"	8'-0"	LEFT	SOLID CORE
13	2'-4"	8'-0"	LEFT	SOLID CORE
14	6'-0"	8'-0"	SLIDER	EXT. FULL LITE
15	2'-4"	8'-0"	LEFT	SOLID CORE
16	2'-4"	8'-0"	RIGHT	SOLID CORE
17	2'-8"	8'-0"	RIGHT	SOLID CORE
18	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
19	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
20	2'-8"	8'-0"	RIGHT	SOLID CORE
21	2'-4"	8'-0"	LEFT	SOLID CORE
22	2'-8"	8'-0"	RIGHT	SOLID CORE
23	4'-0"	8'-0"	RIGHT/LEFT	SOLID CORE DOUBLE
24	2'-4"	8'-0"	POCKET	SOLID CORE
25	2'-4"	8'-0"	POCKET	SOLID CORE
26	2'-4"	8'-0"	POCKET	SOLID CORE
AA	3'-0"	8'-0"		CASED OPENING
BB	2'-8"	0'-0"		CASED OPENING
CC	2'-8"	0'-0"		CASED OPENING
DD	3'-0"	8'-0"		CASED OPENING

ABBREVIATIONS:
DW, EB ARCH - DRY WALL EYEBROW ARCH.
EXT - EXTERIOR

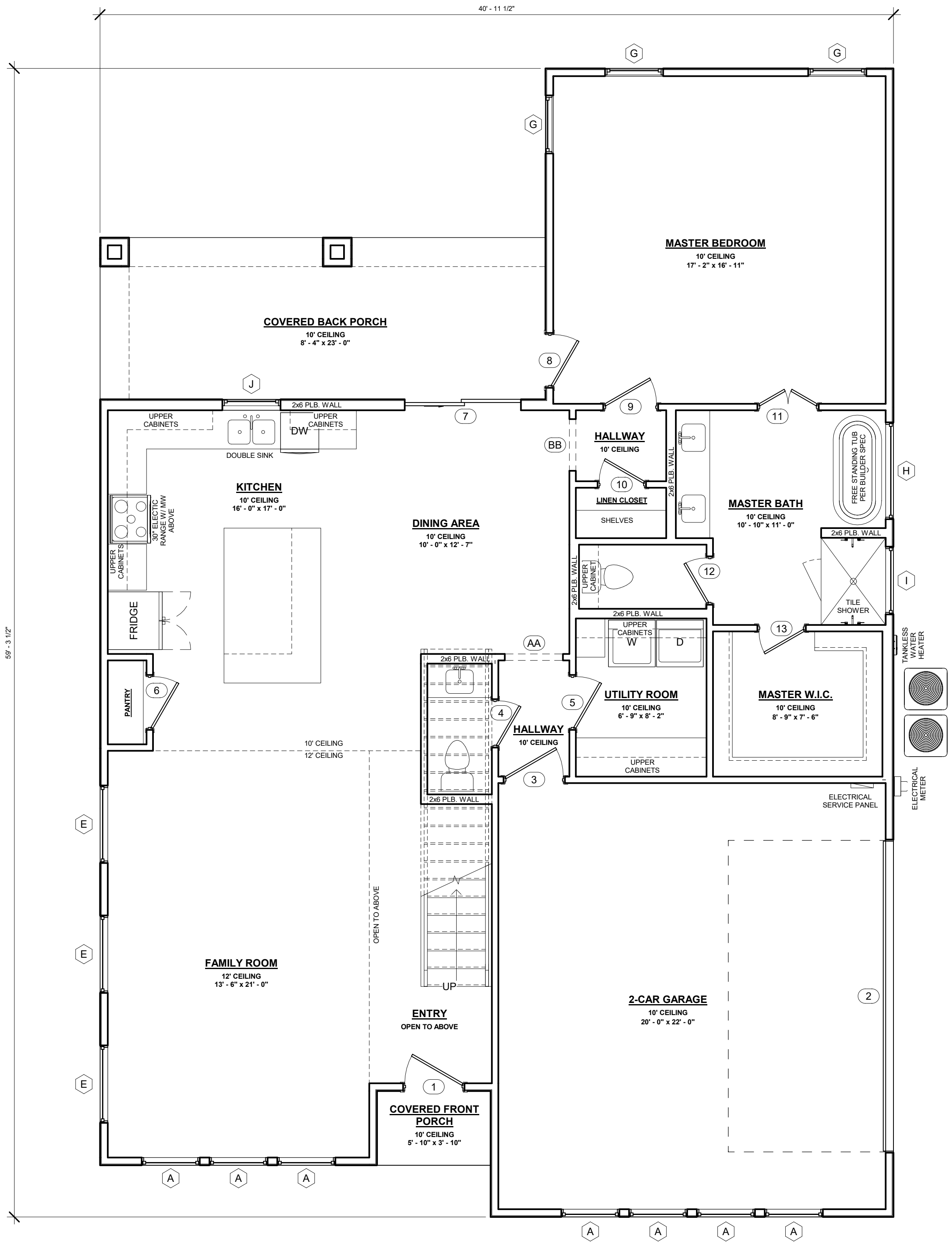
GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION E608.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8.) CLOSET SHELVES PER OWNER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED 4" NOMINAL, BRICK 5", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- 14.) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

GENERAL NOTES:

- 1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
- 2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
- 3.) Contractor must verify all dimensions and scale drawings.

AREA TOTALS	
FIRST FLOOR PLAN	1487 SF
SECOND FLOOR PLAN	1318 SF
2-CAR GARAGE	2805 SF
COVERED FRONT PORCH	473 SF
COVERED BACK PORCH	22 SF
COVERED BALCONY	192 SF
FOUNDATION	196 SF
FOUNDATION	410 SF
FOUNDATION	2175 SF
FOUNDATION	2175 SF
TOTAL UNDER ROOF: 3,688 SF	



1 FIRST FLOOR PLAN
1/4" = 1'-0"

EXHIBIT D

ALMAGUER
EXHIBIT D
PAGE 1 OF 11
ZC#23-007

Mymarla Estates
880 Turner Way
Warnell WM W Survey
Mansfield, Texas 76063
Plan A

PRELIM.
REVIEW
April 06, 2023

PROGRESS SET FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR
DESIGN REVIEW AND NOT
INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
THEY WERE PREPARED BY OR
UNDER SUPERVISION OF:

Title
FIRST FLOOR
PLAN

Sheet

A-101

Copyright © 2023
DC TEXAS ARCHITECTURE



WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	3' - 0"	7' - 0"	FIXED	8' - 0"
B	3' - 0"	1' - 6"	FIXED	9' - 6"
C	3' - 0"	5' - 0"	FIXED	7' - 0"
D	7' - 0"	2' - 0"	FIXED	8' - 0"
E	4' - 0"	7' - 0"	FIXED	8' - 0"
F	4' - 0"	1' - 6"	FIXED	10' - 0"
G	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"
H	5' - 0"	5' - 0"	FIXED	8' - 0"
I	3' - 6"	1' - 6"	FIXED	8' - 0"
J	3' - 0"	4' - 0"	FIXED	8' - 0"
K	4' - 0"	1' - 6"	FIXED	8' - 0"

NOTE:
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-
VALUE TO MEET CODE.

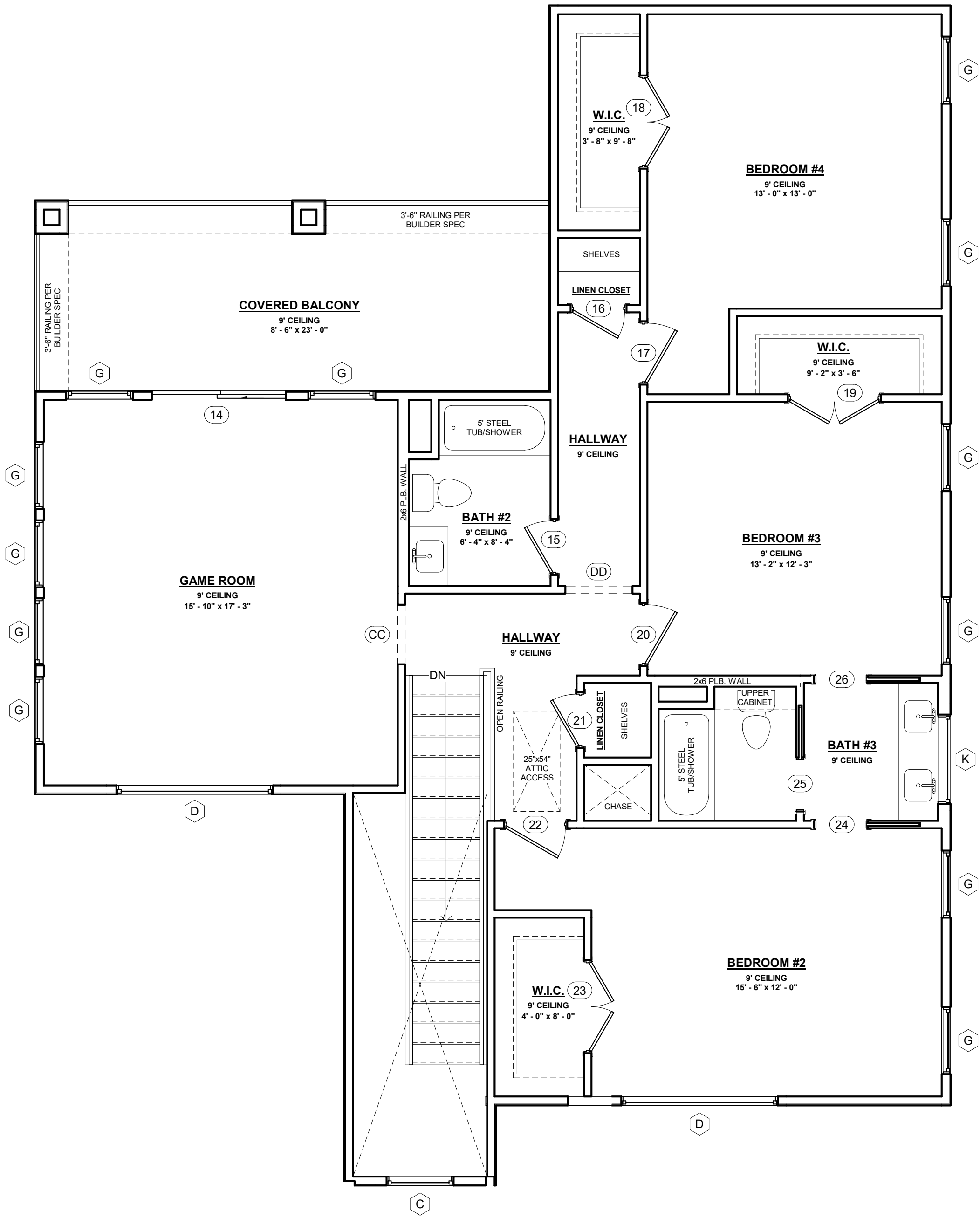
DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE
3	3' - 0"	6' - 8"	LEFT	EXT. SOLID CORE
4	2' - 4"	8' - 0"	RIGHT	SOLID CORE
5	2' - 8"	8' - 0"	RIGHT	SOLID CORE
6	2' - 8"	8' - 0"	RIGHT	SOLID CORE
7	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE
8	2' - 8"	8' - 0"	RIGHT	EXT. FULL LITE
9	2' - 8"	8' - 0"	LEFT	SOLID CORE
10	2' - 4"	8' - 0"	RIGHT	SOLID CORE
11	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
12	2' - 4"	8' - 0"	LEFT	SOLID CORE
13	2' - 4"	8' - 0"	LEFT	SOLID CORE
14	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE
15	2' - 4"	8' - 0"	LEFT	SOLID CORE
16	2' - 4"	8' - 0"	RIGHT	SOLID CORE
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE
18	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
19	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
20	2' - 8"	8' - 0"	RIGHT	SOLID CORE
21	2' - 4"	8' - 0"	LEFT	SOLID CORE
22	2' - 8"	8' - 0"	RIGHT	SOLID CORE
23	4' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE
24	2' - 4"	8' - 0"	POCKET	SOLID CORE
25	2' - 4"	8' - 0"	POCKET	SOLID CORE
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AA	3' - 0"	8' - 0"		CASED OPENING
BB	2' - 8"	0' - 0"		CASED OPENING
CC	2' - 8"	0' - 0"		CASED OPENING
DD	3' - 0"	8' - 0"		CASED OPENING

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- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8.) CLOSET SHELVES PER OWNER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED 4" NOMINAL, BRICK 5", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- 14.) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

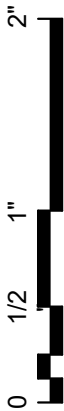
AREA TOTALS	
FIRST FLOOR PLAN	1487 SF
SECOND FLOOR PLAN	1318 SF
	2805 SF
2-CAR GARAGE	473 SF
	473 SF
COVERED FRONT PORCH	22 SF
COVERED BACK PORCH	192 SF
COVERED BALCONY	196 SF
	410 SF
FOUNDATION	2175 SF
	2175 SF
TOTAL UNDER ROOF: 3,688 SF	



1 SECOND FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:
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2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
3.) Contractor must verify all dimensions and scale drawings.

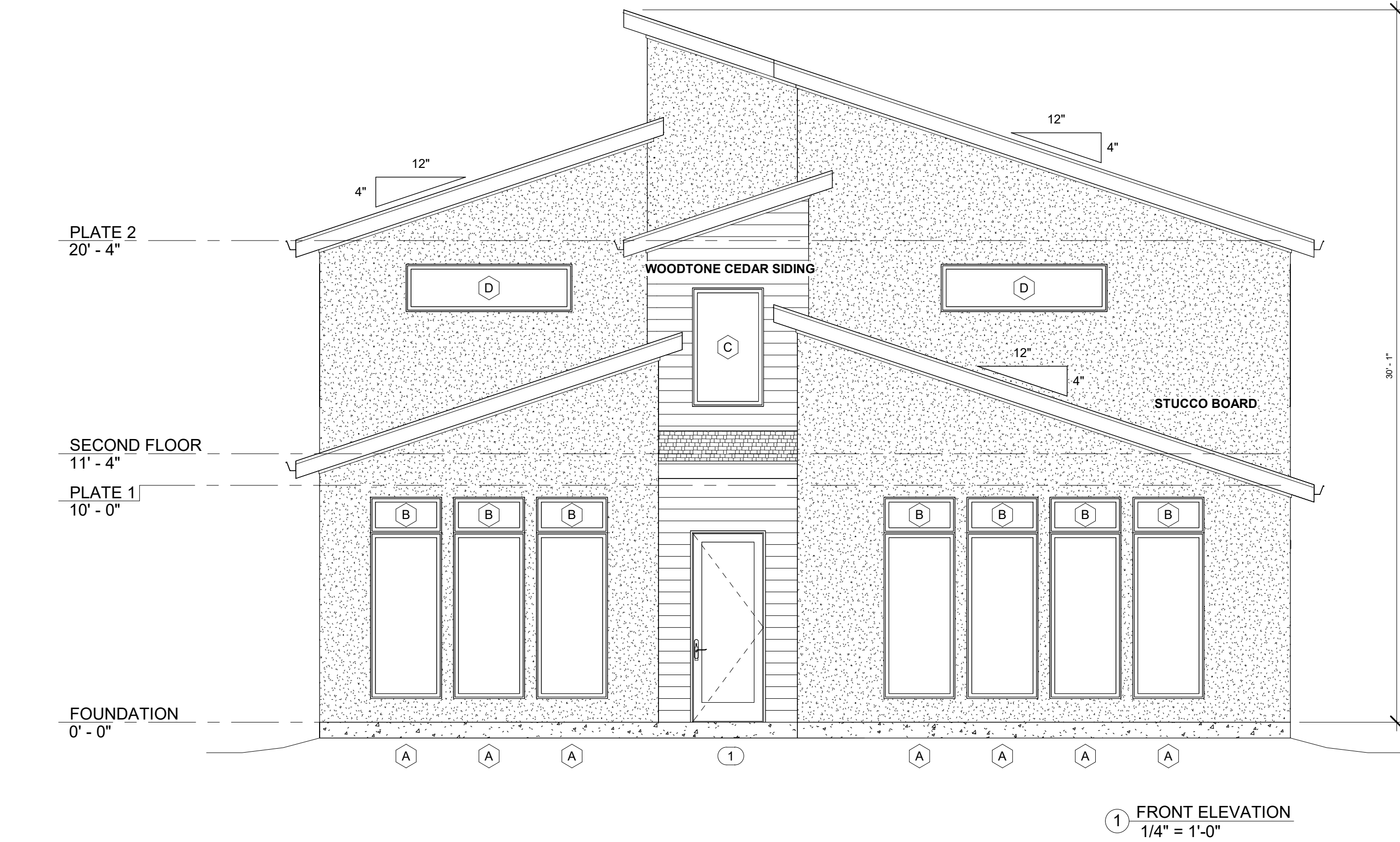
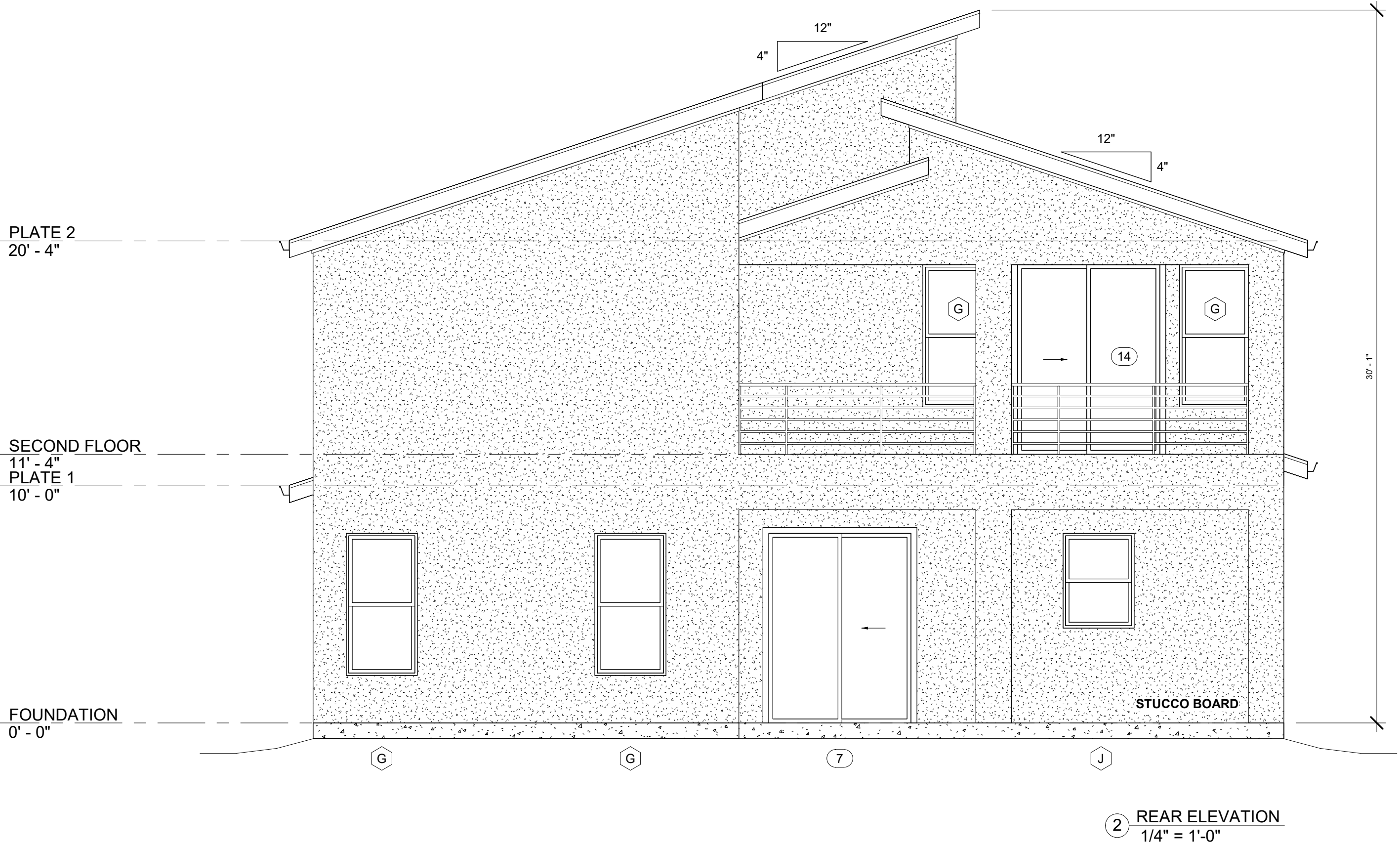
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THEY WERE PREPARED BY OR
UNDER SUPERVISION OF:



GENERAL NOTES:
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

REAR MATERIAL PERCENTAGE:
STUCCO BOARD: 100%

FRONT MATERIAL PERCENTAGE:
STUCCO BOARD: 80%
WOODTONE CEDAR SIDING: 20%



GENERAL NOTES:
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3.) Contractor must verify all dimensions and scale drawings.



GENERAL NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

RIGHT MATERIAL PERCENTAGE:

STUCCO BOARD: 95%
WOODTONE CEDAR SIDING: 5%

FRONT MATERIAL PERCENTAGE:

STUCCO BOARD: 90%
WOODTONE CEDAR SIDING: 10%

GENERAL NOTES:

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3.) Contractor must verify all dimensions and scale drawings.



**Mymerla Estates
880 Turner Way
Warnell WM W Survey
Mansfield, Texas 76063
Plan B**

PROGRESS SET FOR REVIEW ONLY
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THEY WERE PREPARED BY OR
UNDER SUPERVISION OF:

Title

A-101

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DC TEXAS ARCHITECTURE

NOTE:
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-
VALUE TO MEET CODE.

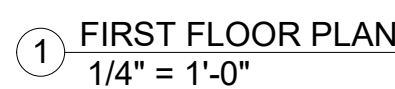
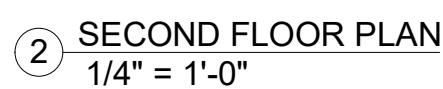
TOTAL UNDER ROOF: 3,079 SF

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER BUILDER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER BUILDER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER BUILDER SPEC.
- 8.) CLOSET SHELVES PER BUILDER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED "X" NOMINAL BRICK "S", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 1/4" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN 2018 INTERNATIONAL RESIDENTIAL CODE BOOK.
- 14.) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15.) CHECK PLANS FOR LEVEL, CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

14	2' - 8"	6' - 8"	LEFT	HOLLOW CORE
15	2' - 4"	6' - 8"	LEFT	HOLLOW CORE

DD	3' - 0"	0' - 0"	
EE	3' - 0"	6' - 8"	

ABBREVIATIONS:
 DW EB ARCH - DRY WALL EYEBROW ARCH
 EXT - EXTERIOR



GENERAL NOTES:

- 1) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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3.) Contractor must verify all dimensions and scale drawings.

GENERAL NOTES:
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

REAR MATERIAL PERCENTAGE:
FIBER CEMENT LAP SIDING: 85%
WOODTONE CEDAR SIDING: 15%

FRONT MATERIAL PERCENTAGE:
STUCCO BOARD: 45%
BRICK VENEER: 35%
WOODTONE CEDAR SIDING: 20%

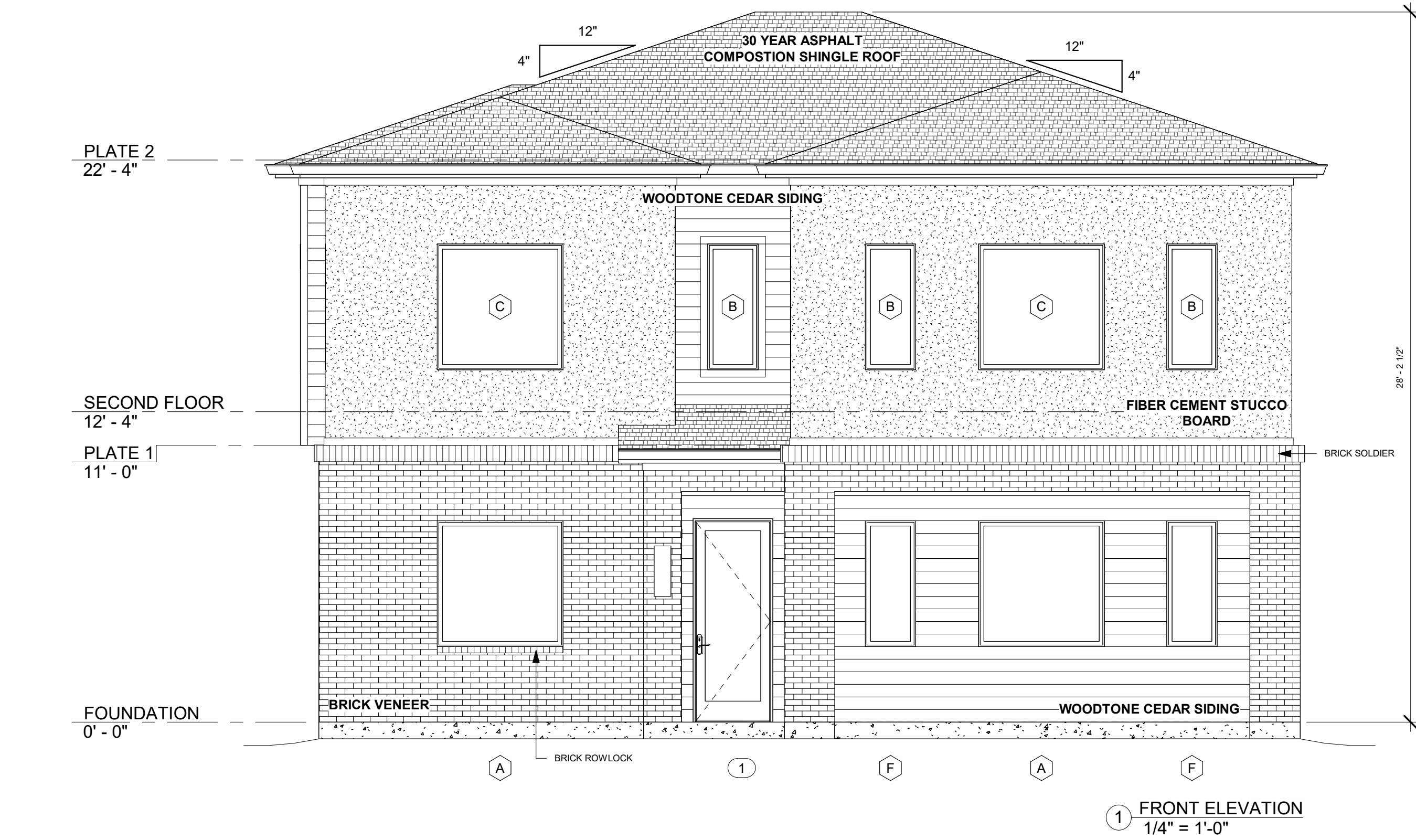
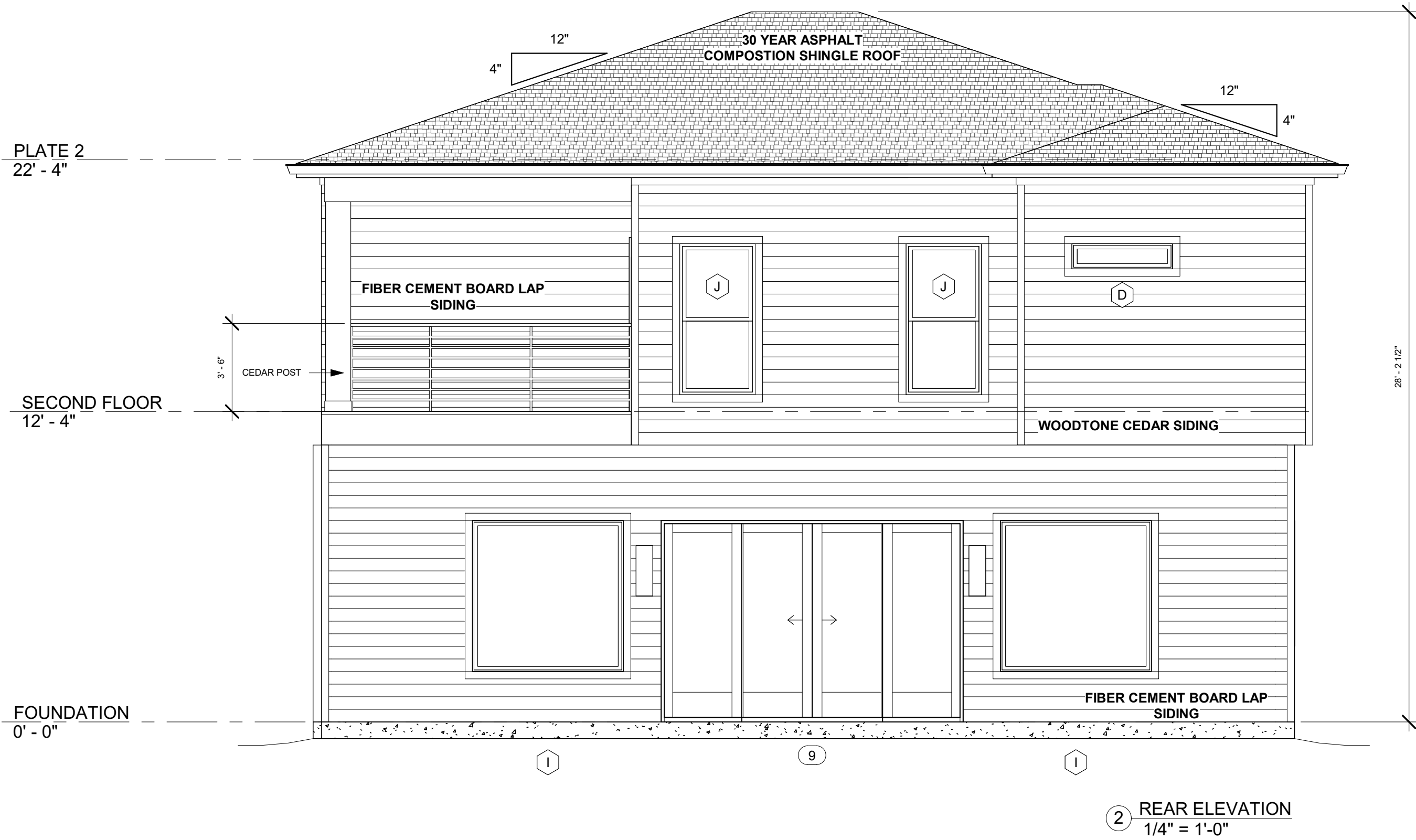


EXHIBIT D



GENERAL NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

LEFT MATERIAL PERCENTAGE:

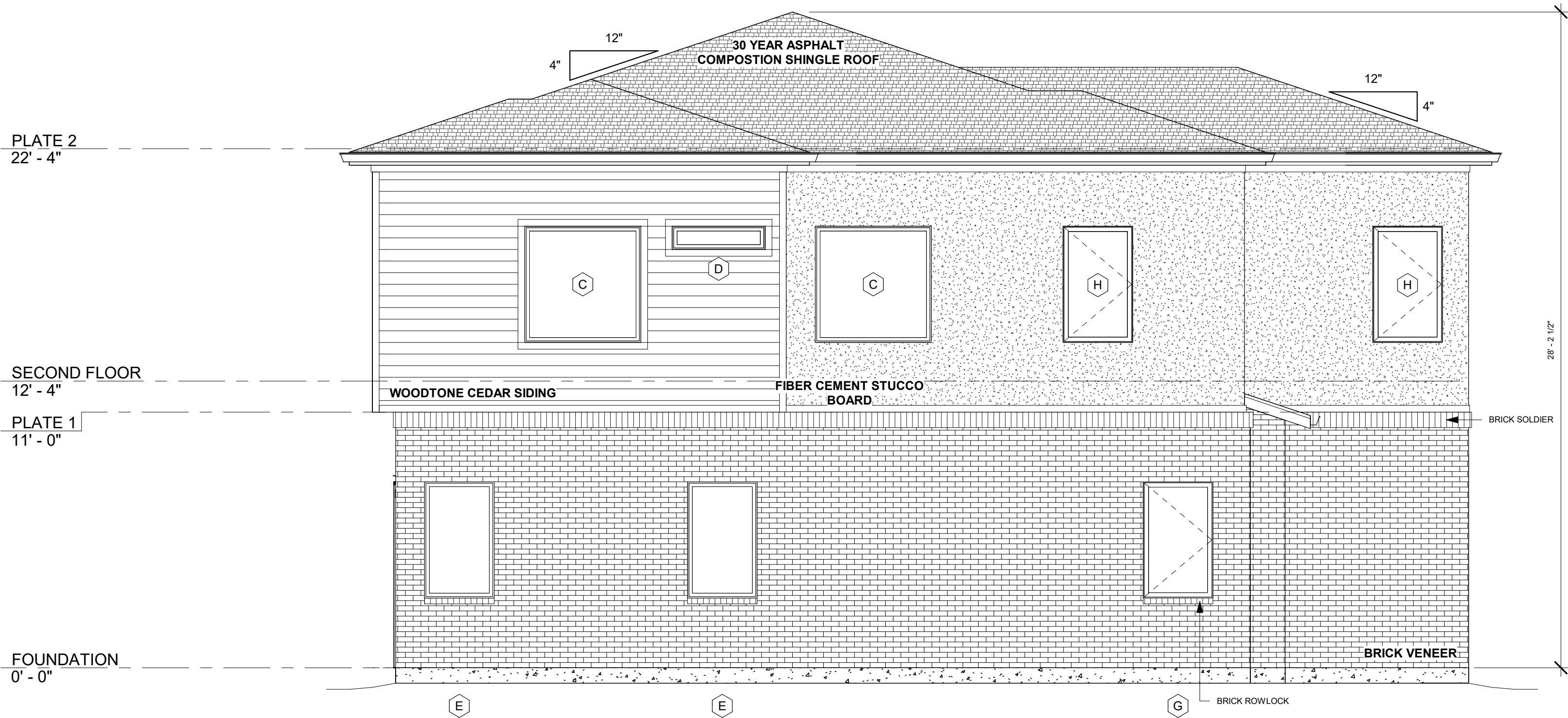
STUCCO BOARD: 35%
WOODTONE CEDAR SIDING: 15%
BRICK VENEER: 50%

RIGHT MATERIAL PERCENTAGE:

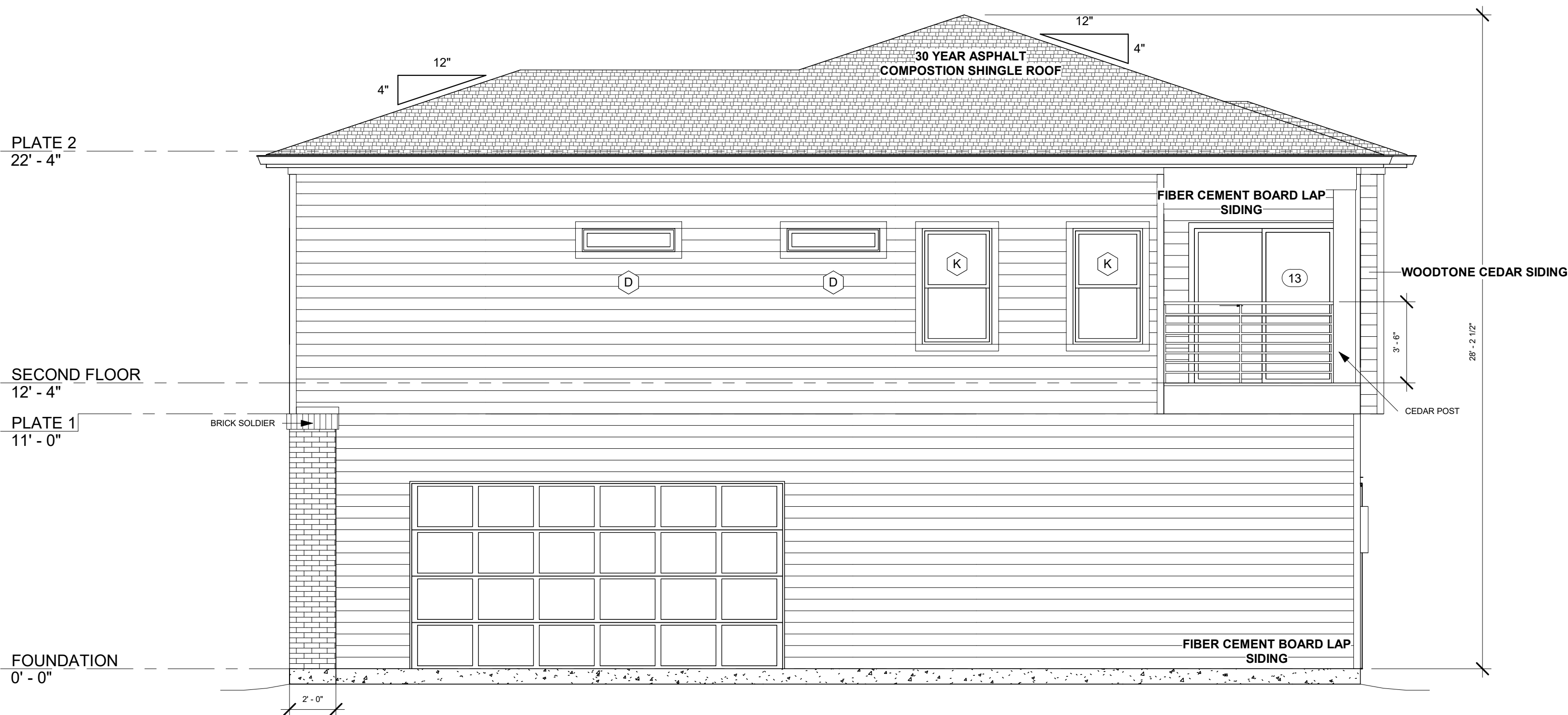
FIBER CEMENT LAP SIDING: 93%
BRICK VENEER: 5%
WOODTONE CEDAR SIDING: 2%

GENERAL NOTES:

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3.) Contractor must verify all dimensions and scale drawings.

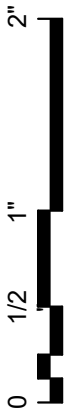


② LEFT ELEVATION
1/4" = 1'-0"



① RIGHT ELEVATION
1/4" = 1'-0"

EXHIBIT D



AREA TOTALS	
FIRST FLOOR LIVING	1745 SF
SECOND FLOOR LIVING	1049 SF
TOTAL LIVING	2794 SF
COVERED FRONT PORCH	30 SF
COVERED BACK PORCH	259 SF
COVERED BALCONY	129 SF
	419 SF
2-CAR GARAGE	426 SF
	426 SF
FOUNDATION	2460 SF
	2460 SF
TOTAL UNDER ROOF: 3,638 SF	

WINDOW SCHEDULE					
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT	
A	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"	
B	3' - 0"	1' - 6"	FIXED	9' - 6"	
C	2' - 0"	2' - 0"	FIXED	8' - 0"	
D	4' - 0"	4' - 0"	FIXED	8' - 0"	
E	4' - 0"	1' - 0"	FIXED	8' - 0"	
F	3' - 0"	6' - 0"	FIXED	8' - 0"	
G	2' - 0"	4' - 0"	SINGLE-HUNG	8' - 0"	
NOTE: ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-VALUE TO MEET CODE.					

DOOR SCHEDULE					
NUMBER	WIDTH	HEIGHT	HINGE	TYPE	
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE 5-PANEL	
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE	
3	2' - 8"	8' - 0"	LEFT	EXT. SOLID CORE	
4	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
5	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
6	2' - 8"	8' - 0"	LEFT	SOLID CORE	
7	2' - 4"	8' - 0"	LEFT	SOLID CORE	
8	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
9	12' - 0"	8' - 0"	SLIDER	EXT. FULL LITE DOUBLE	
10	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
11	2' - 4"	8' - 0"	LEFT	SOLID CORE	
12	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
13	2' - 4"	8' - 0"	RIGHT	SHOWER	
14	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
15	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE	
16	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
18	2' - 4"	8' - 0"	POCKET	SOLID CORE	
19	2' - 4"	8' - 0"	LEFT	SOLID CORE	
20	2' - 4"	8' - 0"	LEFT	SOLID CORE	
21	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
22	2' - 4"	8' - 0"	POCKET	SOLID CORE	
23	2' - 8"	8' - 0"	LEFT	SOLID CORE	
24	2' - 4"	8' - 0"	LEFT	SOLID CORE	
25	2' - 0"	6' - 8"	RIGHT	ATTIC DOOR	
27	4' - 0"	6' - 8"	RIGHT/LEFT	SOLID CORE DOUBLE	
28	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
29	2' - 0"	6' - 8"	LEFT	ATTIC DOOR	
AA	3' - 0"	8' - 0"		DW OPENING	
BB	4' - 6"	8' - 0"		DW OPENING	
CC	3' - 0"	8' - 0"		DW OPENING	
DD	2' - 4"	7' - 0"		CABINET FRONT	
EE	3' - 0"	8' - 0"		DW OPENING	
FF	3' - 0"	8' - 0"		DW OPENING	

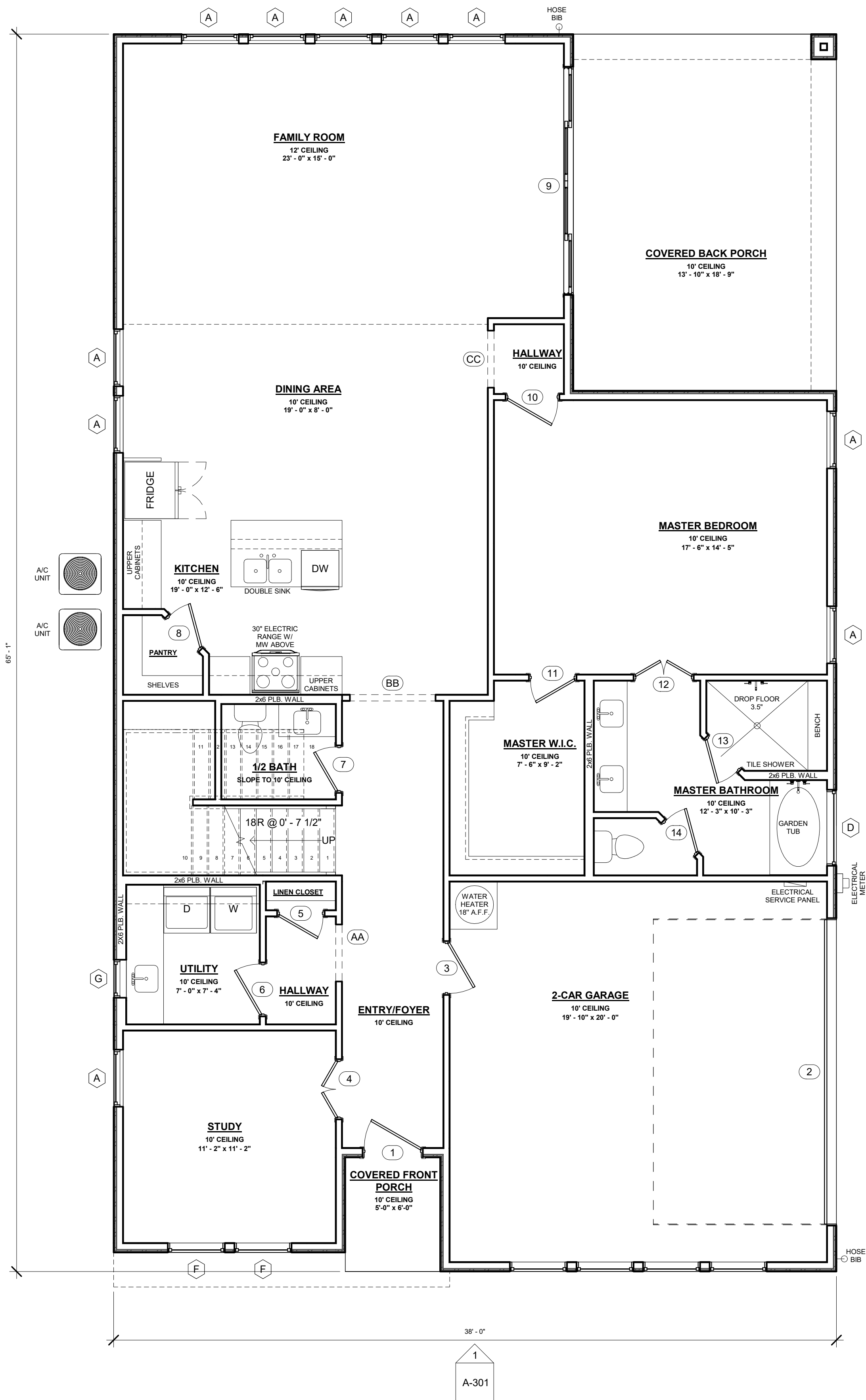
ABBREVIATIONS:
DW EB ARCH - DRY WALL EYEBROW ARCH.
EXT - EXTERIOR

GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R602.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3.) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4.) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5.) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6.) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7.) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8.) CLOSET SHELVES PER OWNER SPEC.
- 9.) ALL WALLS ARE DIMENSIONED 4" NOMINAL BRICK 5", NOMINAL.
- 10.) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11.) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12.) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
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- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.
- 16.) WATER HEATER TO BE LOCATED IN ATTIC.

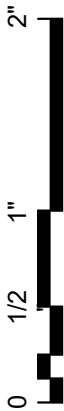
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1 FIRST FLOOR PLAN
1/4" = 1'-0"

PROGRESS SET FOR REVIEW ONLY
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THEY WERE PREPARED BY OR
UNDER SUPERVISION OF:



AREA TOTALS		
FIRST FLOOR LIVING	1745 SF	
SECOND FLOOR LIVING	1049 SF	
TOTAL LIVING	2794 SF	
COVERED FRONT PORCH	30 SF	
COVERED BACK PORCH	259 SF	
COVERED BALCONY	129 SF	
2-CAR GARAGE	419 SF	
	426 SF	
FOUNDATION	2460 SF	
	2460 SF	
TOTAL UNDER ROOF: 3,638 SF		

WINDOW SCHEDULE					
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT	
A	3' - 0"	6' - 0"	SINGLE-HUNG	8' - 0"	
B	3' - 0"	1' - 6"	FIXED	9' - 6"	
C	2' - 0"	2' - 0"	FIXED	8' - 0"	
D	4' - 0"	4' - 0"	FIXED	8' - 0"	
E	4' - 0"	1' - 0"	FIXED	8' - 0"	
F	3' - 0"	6' - 0"	FIXED	8' - 0"	
G	2' - 0"	4' - 0"	SINGLE-HUNG	8' - 0"	

NOTE:
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED. R-
VALUE TO MEET CODE.

DOOR SCHEDULE					
NUMBER	WIDTH	HEIGHT	HINGE	TYPE	
1	3' - 0"	8' - 0"	RIGHT	EXT. FULL LITE 5-PANEL	
2	16' - 0"	8' - 0"	OVERHEAD	GARAGE	
3	2' - 8"	8' - 0"	LEFT	EXT. SOLID CORE	
4	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
5	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
6	2' - 8"	8' - 0"	LEFT	SOLID CORE	
7	2' - 4"	8' - 0"	LEFT	SOLID CORE	
8	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
9	12' - 0"	8' - 0"	SLIDER	EXT. FULL LITE DOUBLE	
10	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
11	2' - 4"	8' - 0"	LEFT	SOLID CORE	
12	3' - 0"	8' - 0"	RIGHT/LEFT	SOLID CORE DOUBLE	
13	2' - 4"	8' - 0"	RIGHT	SHOWER	
14	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
15	6' - 0"	8' - 0"	SLIDER	EXT. FULL LITE	
16	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
17	2' - 8"	8' - 0"	RIGHT	SOLID CORE	
18	2' - 4"	8' - 0"	POCKET	SOLID CORE	
19	2' - 4"	8' - 0"	LEFT	SOLID CORE	
20	2' - 4"	8' - 0"	LEFT	SOLID CORE	
21	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
22	2' - 4"	8' - 0"	POCKET	SOLID CORE	
23	2' - 8"	8' - 0"	LEFT	SOLID CORE	
24	2' - 4"	8' - 0"	LEFT	SOLID CORE	
25	2' - 0"	6' - 8"	RIGHT	ATTIC DOOR	
27	4' - 0"	6' - 8"	RIGHT/LEFT	SOLID CORE DOUBLE	
28	2' - 4"	8' - 0"	RIGHT	SOLID CORE	
29	2' - 0"	6' - 8"	LEFT	ATTIC DOOR	
AA	3' - 0"	8' - 0"		DW OPENING	
BB	4' - 6"	8' - 0"		DW OPENING	
CC	3' - 0"	8' - 0"		DW OPENING	
DD	2' - 4"	7' - 0"		CABINET FRONT	
EE	3' - 0"	8' - 0"		DW OPENING	
FF	3' - 0"	8' - 0"		DW OPENING	

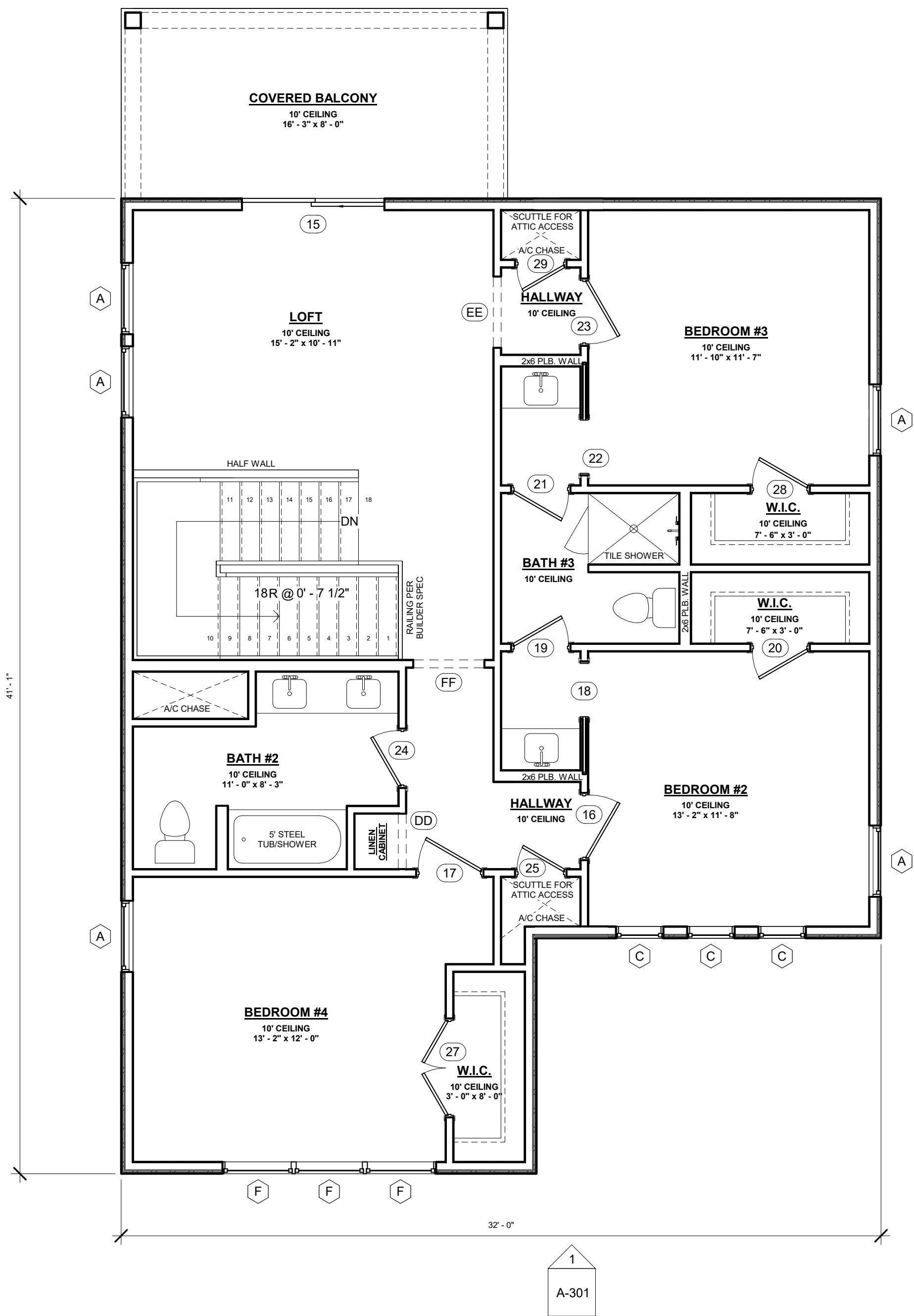
ABBREVIATIONS:
DW EB ARCH - DRY WALL EYEBROW ARCH.
EXT - EXTERIOR

GENERAL PLAN NOTES:

- 1.) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2.) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
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- 13.) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
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- 15.) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.
- 16.) WATER HEATER TO BE LOCATED IN ATTIC.

GENERAL NOTES:

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- 3.) Contractor must verify all dimensions and scale drawings.



1 SECOND FLOOR PLAN
1/4" = 1'-0"

EXHIBIT D

ALMAGUER
EXHIBIT D
PAGE 9 OF 11
ZC#23-007

Mymerla Estates
880 Tuner Way
Warnell WM W Survey
Mansfield, Texas 76063
Plan C

PRELIM.
REVIEW
April 06, 2023

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Title
SECOND FLOOR
PLAN

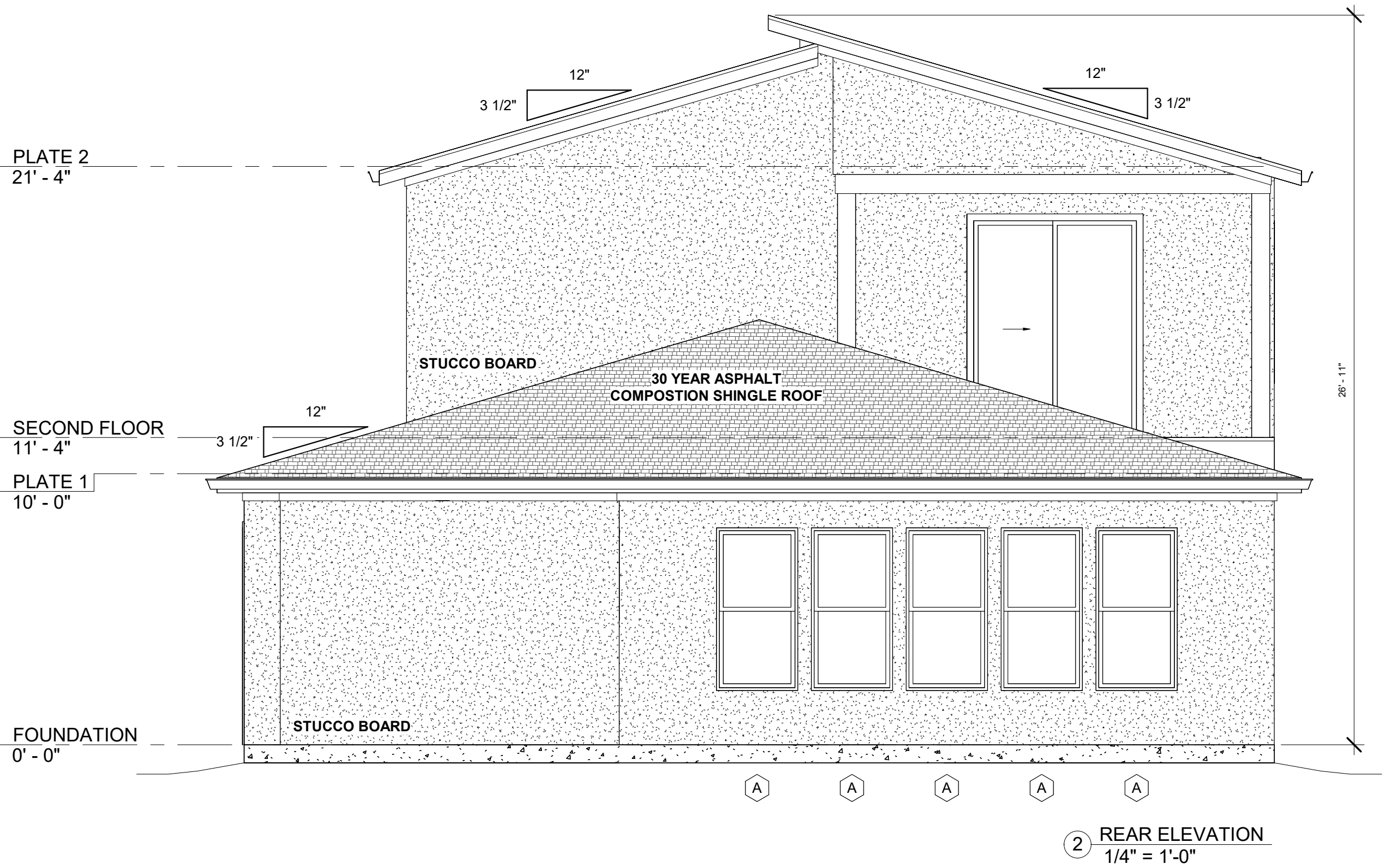
Sheet
A-102



GENERAL NOTES:
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

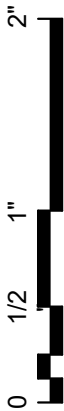
REAR MATERIAL PERCENTAGE:
STUCCO BOARD 100%

FRONT MATERIAL PERCENTAGE:
STUCCO BOARD: 100%



GENERAL NOTES:
1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
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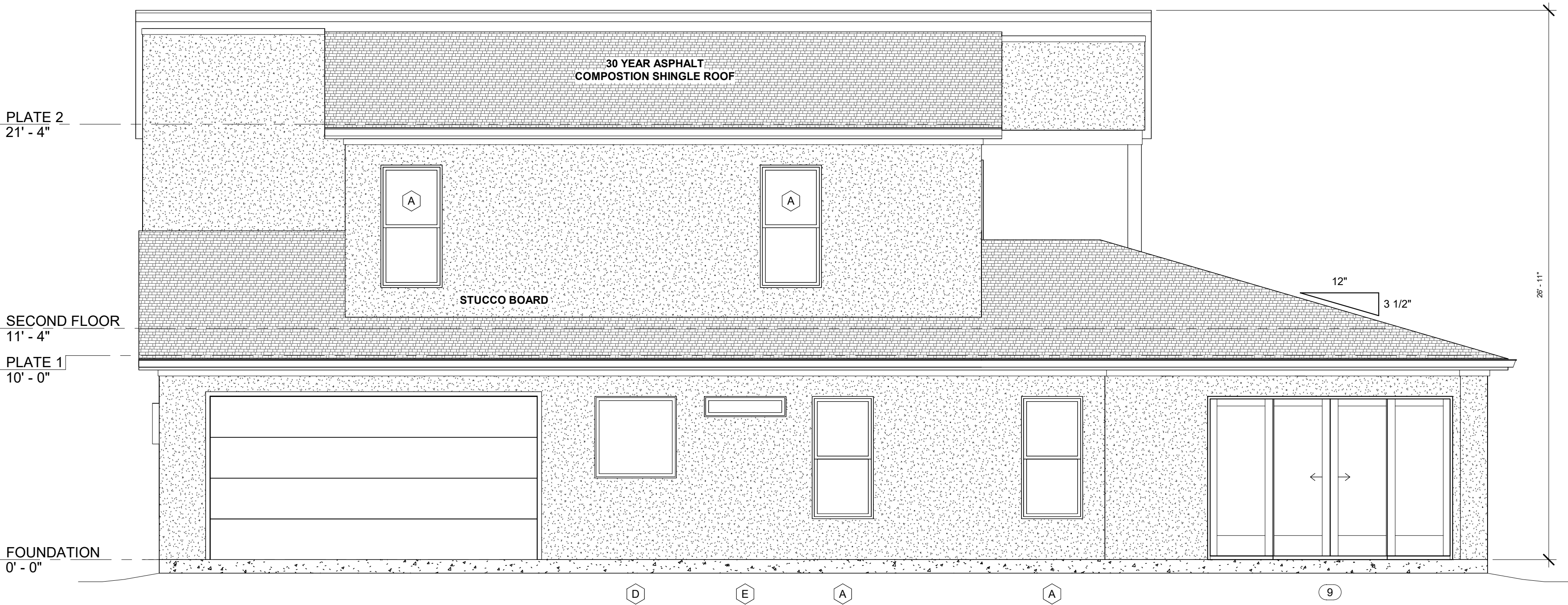


GENERAL NOTES:
1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.

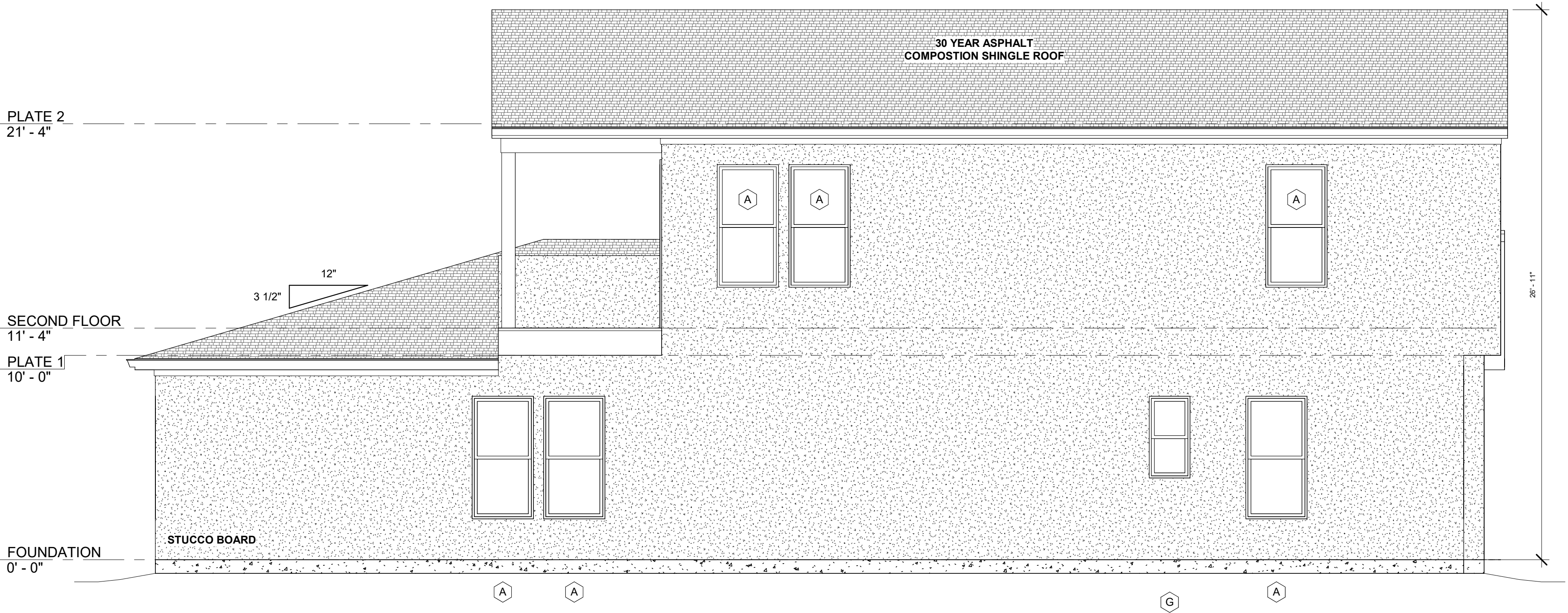
RIGHT MATERIAL PERCENTAGE:
STUCCO BOARD: 100%

LEFT MATERIAL PERCENTAGE:
STUCCO BOARD: 100%

GENERAL NOTES:
1.) These plans are intended to provide the basic construction information necessary to substantially complete this structure. These plans must be verified and checked completely by the builder. Any discrepancy, error, and/or omission found is to be brought to the attention of the designer before any construction work or purchases have been made.
2.) These plans are designed to be in substantial compliance with current city adopted International Residential Code. The construction shall conform to all national, state, and local building codes and ordinances. These codes shall take precedence over anything noted in these drawings.
3.) Contractor must verify all dimensions and scale drawings.



① RIGHT ELEVATION
1/4" = 1'-0"



② LEFT ELEVATION
1/4" = 1'-0"

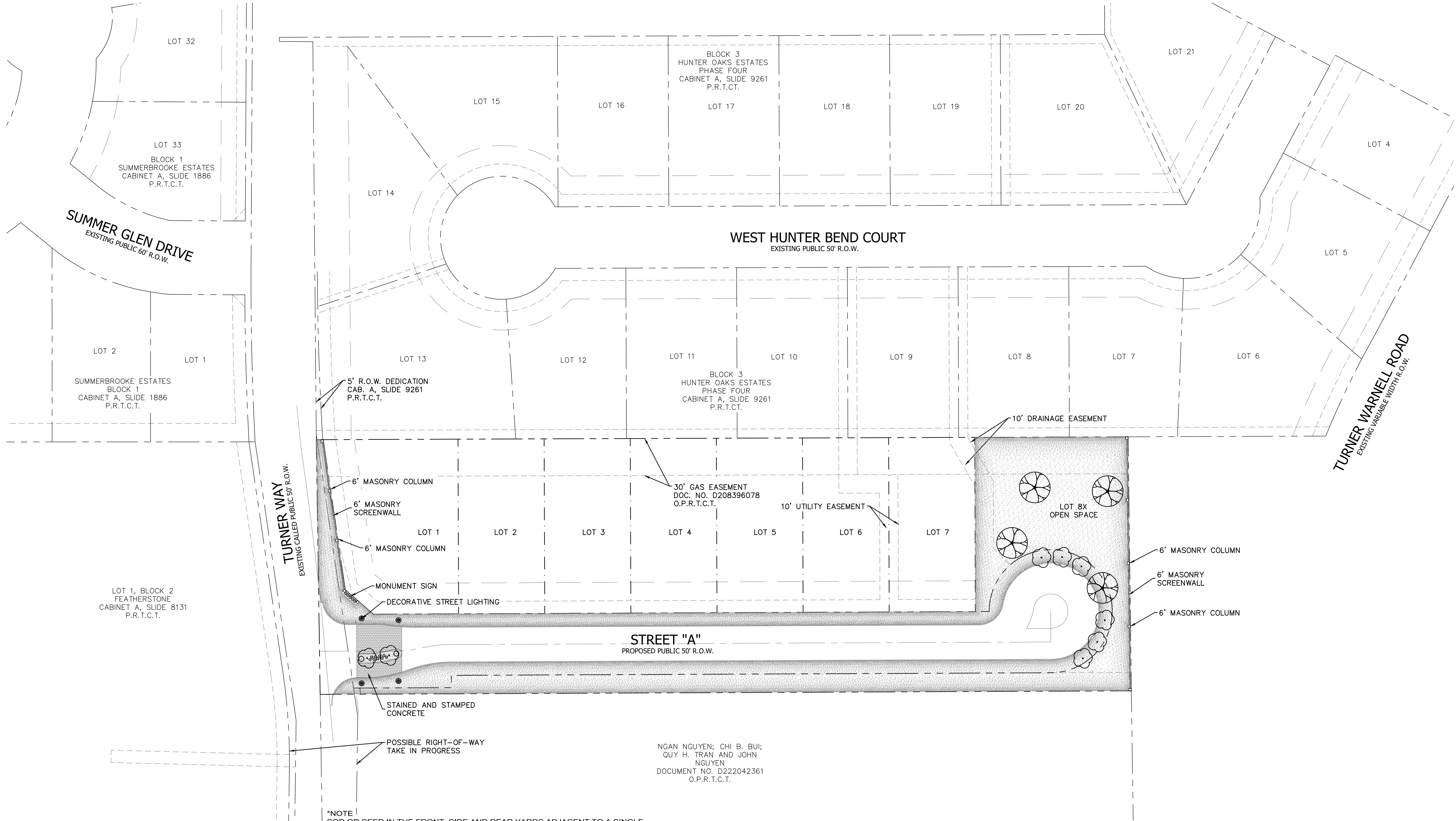
EXHIBIT D

PROGRESS SET FOR REVIEW ONLY
THESE DOCUMENTS ARE FOR
DESIGN REVIEW AND NOT
INTENDED FOR CONSTRUCTION,
BIDDING, OR PERMIT PURPOSES.
THEY WERE PREPARED BY OR
UNDER SUPERVISION OF:

Title
ELEVATIONS

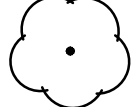
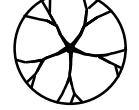




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DC TEXAS ARCHITECTURE



NGAN NGUYEN; CHI B. BUI;
QUY H. TRAN AND JOHN
NGUYEN
DOCUMENT NO. D222042361
O.P.R.T.C.T.

*NOTE:
SOD OR SEED IN THE FRONT, SIDE AND REAR YARDS ADJACENT TO A SINGLE
FAMILY RESIDENTIAL DWELLING, THAT IS OUTSIDE OF ANY REAR YARD FENCING.

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	CAL.	NOTES
	LI	8	Lagerstroemia indica / Crape Myrtle	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	QV	4	Quercus virginiana / Southern Live Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	SPACING	NOTES
	MC	14	Muhlenbergia capillaris / Pink Muhly Grass	24" HT.	1 gal.		FULL, MATCHING, SYMMETRICAL
	YP	2	Yucca parviflora / Red Yucca	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	Cynodon dactylon 'Tif 419' / Tif 419 Bermudagrass	SOD OR SEED			
	RR	PER PLAN	RIVER ROCK / RIVER ROCK	3" DEPTH COVERED WITH PERMEABLE WEED MAT STAKED TO GRADE			

Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hceetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
SPAPS, LLC
Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

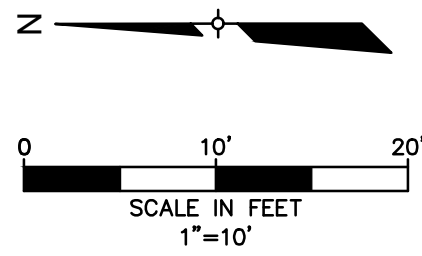
CIVIL & ENVIRONMENTAL
RGV 1 DFW

3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063

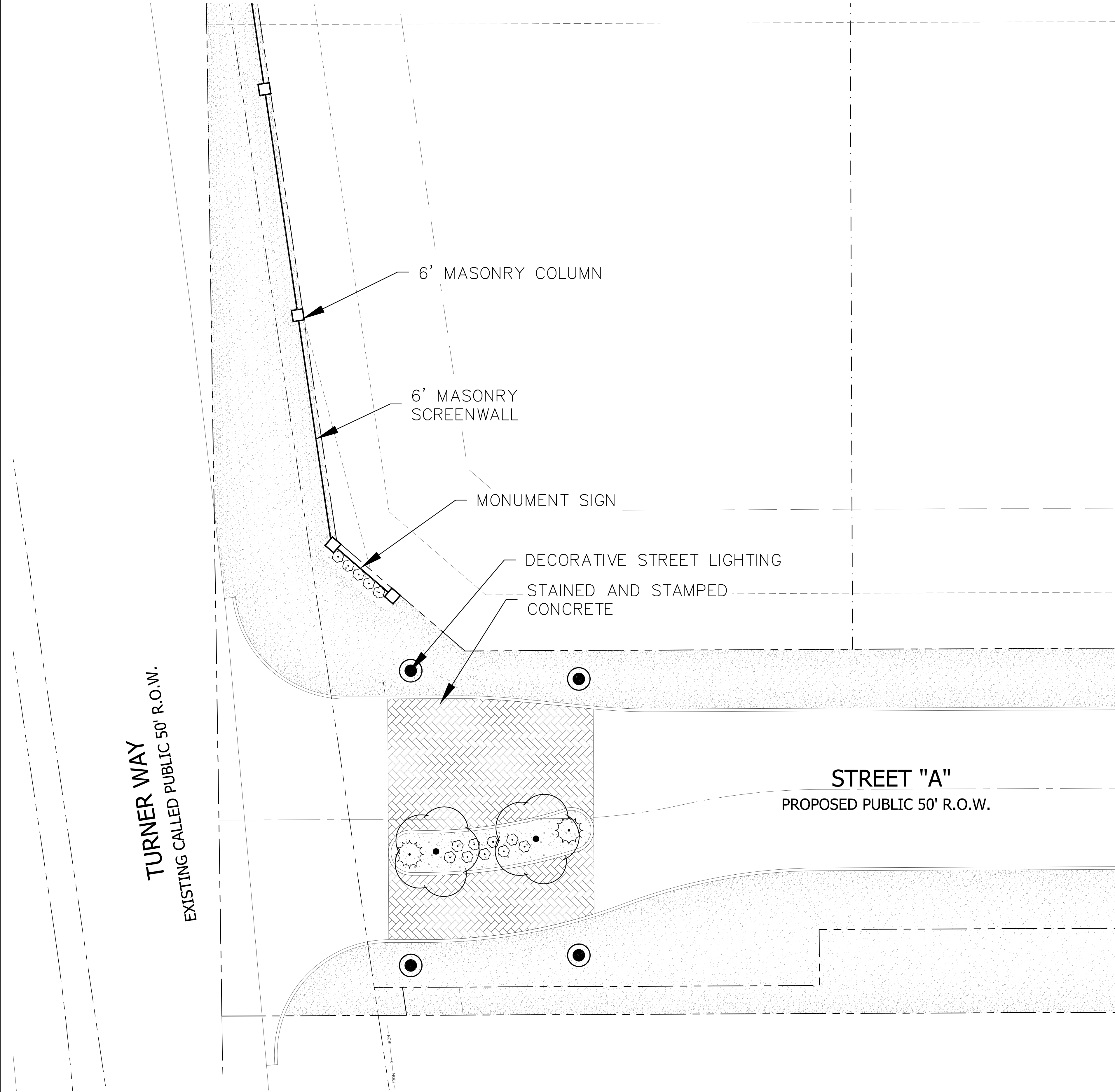


Texas Registered Engineering Firm F-21173

EXHIBIT E - LANDSCAPE PLAN
MYMERLA ESTATES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 6, 2023
7 RESIDENTIAL LOTS AND 1 OPEN SPACE LOT
3.13 TOTAL ACRES
ZC#23-007



PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	CAL.	NOTES
	LI	8	Lagerstroemia indica / Crape Myrtle	8'-10'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
	QV	4	Quercus virginiana / Southern Live Oak	10'-12'	30 gal.	3"	FULL, MATCHING, SYMMETRICAL
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONT.	SPACING	NOTES
	MC	14	Muhlenbergia capillaris / Pink Muhly Grass	24" HT.	1 gal.		FULL, MATCHING, SYMMETRICAL
	YP	2	Yucca parviflora / Red Yucca	18"-24" HT.	3 gal.	30" O.C.	FULL, MATCHING, SYMMETRICAL
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	CT	PER PLAN	Cynodon dactylon 'Tif 419' / Tif 419 Bermudagrass	SOD OR SEED			
	RR	PER PLAN	RIVER ROCK / RIVER ROCK	3" DEPTH COVERED WITH PERMEABLE WEED MAT STAKED TO GRADE			



Engineer:
HCE, Inc.
Contact: Jared Stroebel
Phone: 254.485.8101
Email: jared@hceetex.com
3540 E. Broad Street, Ste 120-251
Mansfield, TX 76063

Owner/Developer:
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Contact: Daniel Almaguer
4541 Stonewood Cir.
Midlothian, Texas 76065

CIVIL & ENVIRONMENTAL
RGV | DFW

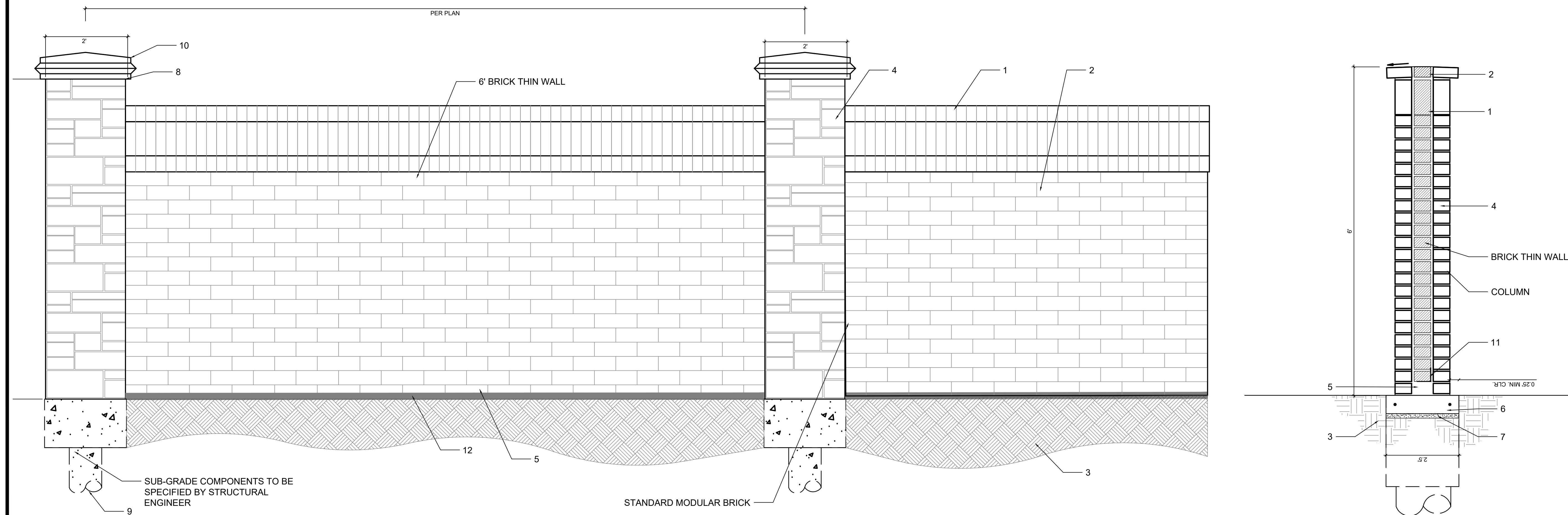
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



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EXHIBIT E1 - ENHANCED ENTRY PLAN

MYMERLA ESTATES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 6, 2023
7 RESIDENTIAL LOTS AND 1 OPEN SPACE LOT
3.13 TOTAL ACRES
ZC#23-007



1. SOLDIER COURSE @ TOP OF WALL (SEE ELEVATION)
2. STANDARD RUNNING BOND BRICK FACING W/ STANDARD MASONRY H-REINFORCING. BRICK SELECTION BY OWNER. REINFORCED W/ 1-NO. 9 GAUGE WIRE HORIZONTAL AT EACH COURSE. PROVIDE SLIGHT SLOPE @ TOP AS SHOWN TO FACILITATE DRAINAGE.
3. COMPACTED SUBGRADE TO 95% OF ASH TO T-99 DENSITY.
4. STANDARD 16" WIDE BRICK SUPPORT @ O.C. PER PLAN
5. BOTTOM COURSE WITH WEEP OPENINGS
6. CONCRETE MOW-STRIP W. (2) #4 BARS CONTINUOUS, 8" O.C. MIN.
7. 1" SAND SETTING BED
8. STANDARD 18"x18" COLUMN @ O.C. PER PLAN
9. 12"- PIER X DEPTH TO 8' MIN. BELOW EXISTING GRADE @ 12' O.C. MAX. (O.C. TO MATCH COLUMNS & BRICK SUPPORTS)
10. CAST STONE COLUMN CAP
11. 3"x3"x GALVANIZED ANGLE IRON
12. 4" OPENING

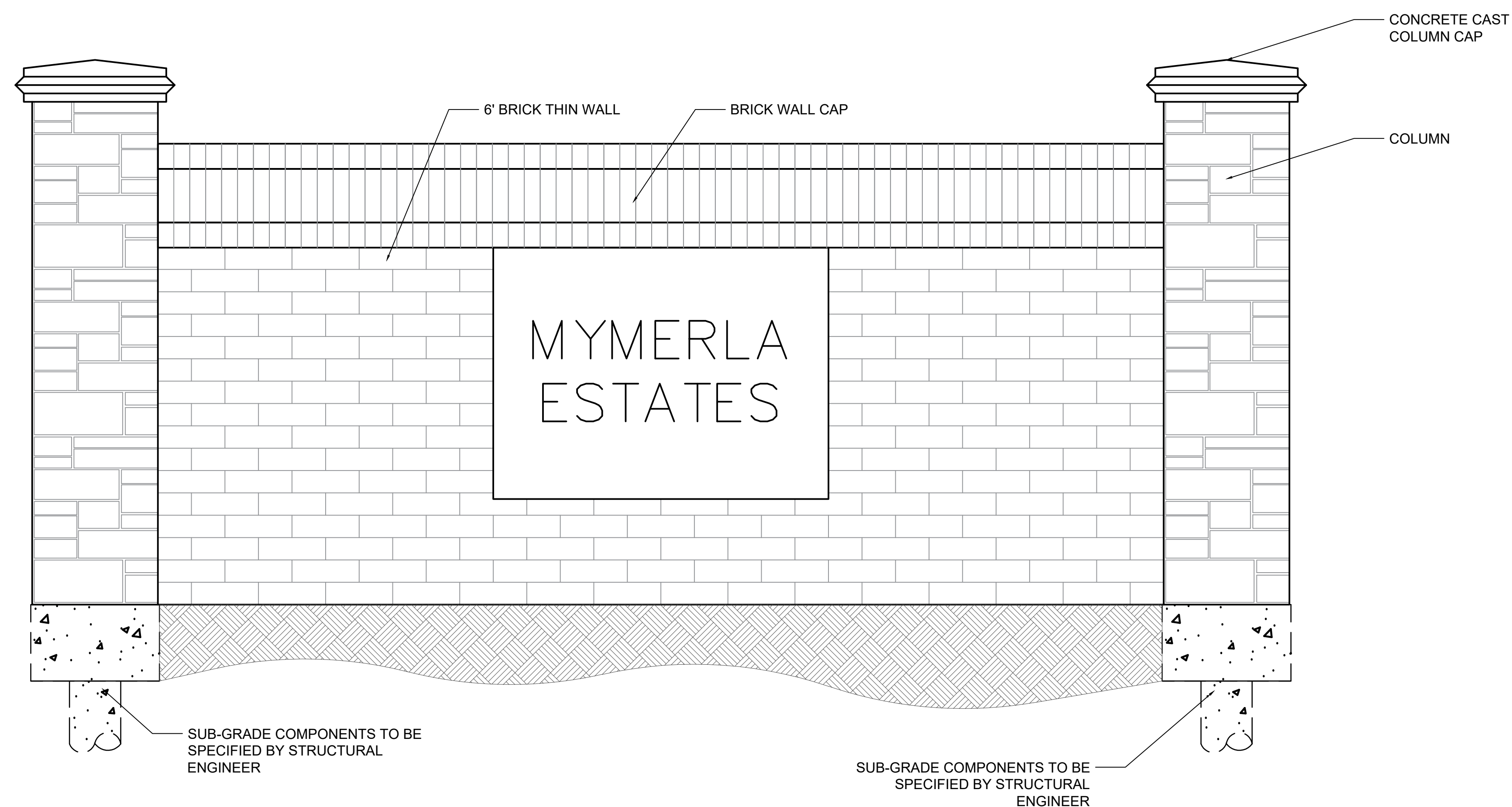


EXHIBIT E2 - ENTRY FEATURE PLAN

MYMERLA ESTATES
S.S. CALLENDER SURVEY, ABSTRACT NO. 359
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS
DATE OF PREPARATION: APRIL 6, 2023
7 RESIDENTIAL LOTS AND 1 OPEN SPACE LOT
3.13 TOTAL ACRES
ZC#23-007

CIVIL & ENVIRONMENTAL
RGV I DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



Texas Registered Engineering Firm F-21173