



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Agenda

City Council

Monday, May 8, 2023

3:00 PM

Council Chambers

REGULAR MEETING

1. **3:00 P.M. - CALL MEETING TO ORDER**

2. **PROCLAMATIONS**

[23-5328](#) National Police Week

Attachments: [Proclamation](#)

[23-5329](#) National Correctional Officers and Employees Week

Attachments: [Proclamation](#)

3. **RECOGNITION**

High School Interns

4. **WORK SESSION**

Discussion Regarding Financial Reports

Discussion Regarding Changes to the Provisions for Accessory Dwelling Units

Discussion Regarding a Comprehensive Economic Development Policy

Discussion Regarding June 2023 Council Meetings

Discussion Regarding the May 8, 2023 Consent Agenda Items

5. **RECESS INTO EXECUTIVE SESSION**

Pursuant to Section 551.071, Texas Government Code, the Council reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.

A. **Pending or Contemplated Litigation or to Seek the Advice of the City Attorney
Pursuant to Section 551.071**

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 3:20-CV-2061-N-BK

Seek Advice of City Attorney Regarding Pending Litigation - Cause No. 348-325719-21

Seek Advice of City Attorney Regarding Commemorative Lighting Request

Seek Advice of City Attorney Regarding Vexatious Requestors Ordinance Implications

Seek Advice of City Attorney Regarding Certain Zoning Standards

Seek Advice of City Attorney Regarding Franchise Agreements

Seek Advice of City Attorney Regarding Legal Issues Pertaining to Economic Development Projects Listed in Section 3.D of the Agenda

B. Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

C. Personnel Matters Pursuant to Section 551.074

D. Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #22-23

Economic Development Project #23-02

6. 6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

7. 7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

8. INVOCATION

9. PLEDGE OF ALLEGIANCE

10. TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

11. RECOGNITION

Ben Barber Innovation Academy Students: Drew Lindsey and Johnny Wells

12. CITIZEN COMMENTS

Citizens wishing to address the Council on non-public hearing agenda items and items not on the agenda may do so at this time. Due to regulations of the Texas Open Meetings Act, please do not expect a response from the Council as they are not able to do so. THIS WILL BE YOUR ONLY OPPORTUNITY TO SPEAK UNLESS YOU ARE SPEAKING ON A SCHEDULED PUBLIC HEARING ITEM. After the close of the citizen comments portion of the meeting only comments related to public hearings will be heard. All comments are limited to five (5) minutes.

In order to be recognized during the "Citizen Comments" or during a Public Hearing (applicants included), please complete a blue or yellow card located at the entrance of the Council Chambers. Please present the card to the Assistant City Secretary prior to the start of the meeting.

13. COUNCIL ANNOUNCEMENTS

14. SUB-COMMITTEE REPORTS

[23-5310](#) Minutes - Approval of the April 10, 2023 TIF Reinvestment Zone #1 Board Meeting Minutes (vote will be only by members of the sub-committee: Broseh (Chair), Bounds, Tonore, and Evans)

Presenters: Susana Marin

Attachments: [DRAFT Meeting Minutes](#)

15. STAFF COMMENTS

In addition to matters specifically listed below, Staff comments may include updates on ongoing or proposed projects and address of posted agenda items.

A. City Manager Report or Authorized Representative

Current/Future Agenda Items

B. Financial Services Department Report

[23-5340](#) Presentation of the Monthly Financial Report for the Period Ending March 31, 2023

Presenters: Troy Lestina

Attachments: [Monthly Financial Report](#)

16. TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION**17. CONSENT AGENDA**

All matters listed under consent agenda have been previously discussed, require little or no deliberation, or are considered to be routine by the council. If discussion is desired, then an item will be removed from the consent agenda and considered separately. Otherwise, approval of the consent agenda authorizes the City Manager to implement each item in accordance with staff's recommendation.

ITEMS TO BE REMOVED FROM THE CONSENT AGENDA[23-5319](#)

Resolution - A Resolution Authorizing the City Manager and the Police Department to Make Application, Receive and Expend Grant Funding From the Texas Department of Motor Vehicle Crime Prevention Authority to Continue a Multi-Agency Task Force

Presenters: Tracy Aaron

Attachments: [Resolution](#)

[23-5334](#)

Resolution – A Resolution Authorizing the Purchase of Property Located at 620 W. Broad Street for the Walnut Creek Linear Park Trail System

Presenters: Matt Young

Attachments: [Resolution](#)

[23-5336](#)

Resolution - A Resolution Supporting the City of Mansfield's Application to the Texas Department of Transportation's 2023 Transportation Alternatives Set-Asides (TA) Call for Projects

Presenters: David Boski

Attachments: [Resolution](#)

[23-5338](#)

Resolution - A Resolution to Establish a Date for the Public Hearing to Consider the Proposed Amendment and Imposition of Updated Roadway Impact Fees

Presenters: Raymond Coffman

Attachments: [Resolution](#)

[Exhibit](#)

[23-5339](#)

Minutes - Approval of the April 24, 2023 Regular City Council Meeting Minutes

Presenters: Susana Marin

Attachments: [DRAFT Meeting Minutes](#)

END OF CONSENT AGENDA**18. PUBLIC HEARING**[23-5335](#)

Ordinance - Public Hearing and First and Final Reading on an Ordinance

of the City Council of the City of Mansfield, Texas, Amending the Boundaries of Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas; Approving an Amended and Restated Final Project and Finance Plan for Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas; Making Certain Findings; Providing a Severability Clause; and Providing for an Immediate Effective Date

Presenters: Matt Jones

Attachments: [Ordinance](#)

[Amended and Restated Final Project and Finance Plan](#)

[23-5344](#)

Ordinance - Public Hearing and First and Final Reading on an Ordinance of the City Council of the City of Mansfield, Texas, Designating a Certain Area as a Tax Abatement Reinvestment Zone for Commercial Industrial Tax Abatement within the City of Mansfield, Texas; Establishing the Boundaries thereof and Other Matters Related Thereto; Providing a Severability Clause; Providing a Repealer Clause; and Providing for an Immediate Effective Date

Presenters: Jason Moore

Attachments: [Ordinance](#)

[23-5341](#)

Public Hearing and Consideration of a Specific Use Permit for the Storage of Recreational Vehicles on Approximately 6.009 Acres Being Lot 1, Block 1, Guzman Addition, According to the Plat Recorded in Instrument No. D212042307 Located at 845 S. Holland Road; Eagle Storage Holland Rd LLC, Owner; HCE, Inc., Applicant (SUP#23-001)

Presenters: Jason Alexander

Attachments: [Maps and Supporting Information](#)

[Exhibit A - Legal Description](#)

[Exhibit B - Site Plan](#)

[Exhibit C - Elevations](#)

[Exhibit D - Landscape Plan](#)

19. NEW BUSINESS

[23-5346](#)

Ordinance - First and Final Reading on an Ordinance Approving, Abandoning and Vacating Certain Portions of a 30 foot Easement for Railroad Spur on Property Owned by the City of Mansfield and Identified as Lot 1, Blk 50, Hillcrest Addition, Ninth Installment, in the City of Mansfield, Tarrant County, Texas; Declaring that such Easement Is Unnecessary for use by the Public; Authorizing this Ordinance to be Filed in the Official Public Deed Records of Tarrant County, Texas; Providing a Severability Clause; and Providing for an Effective Date

Presenters: Jason Moore

Attachments: [Ordinance](#)

[Exhibit A](#)

- [23-5342](#) Review and Consideration of a Request to Approve Modifications to the Trike Investors Planned Development (PD) District and Development Plan; Winstead PC, Applicant, Lonestar Striker, LLC, Owner (ZC#17-009A)

Presenters: Jason Alexander

Attachments: [Location Map](#)

[Approved Trike Investors Planned Development Standards and Plans](#)

[Revised Development Plan, Landscape Plan and Elevations for Area B](#)

- [23-5345](#) Resolution - A Resolution by the City Council of the City of Mansfield, Texas Affirming the Casting of Votes for Candidates to Serve on the Board of Directors for the Tarrant Appraisal District for the Calendar Years 2022 and 2023

Presenters: Troy Lestina

Attachments: [Resolution](#)

20. OLD BUSINESS

- [22-4885](#) Ordinance - Consideration of an Ordinance to Amend Chapter 155, "Zoning" to Revise the Definition of an Accessory Dwelling in Section 155.012; To Repeal Section 155.082(E)(7) in its Entirety; and to Revise Regulations Related to Accessory Dwellings in Section 155.099(B)(35); (OA#22-007)

Presenters: Jason Alexander

Attachments: [Ordinance](#)

21. ADJOURN

CERTIFICATION

THIS IS TO CERTIFY THAT A COPY OF THE NOTICE OF the May 8, 2023 Regular City Council Agenda was posted on the City Hall bulletin board, a place convenient and readily accessible to the general public at all times, and to the City's website, mansfieldtexas.gov, on Thursday, May 4, 2023 prior to 5:00 p.m., in compliance with Chapter 551, Texas Government Code.

Susana Marin, City Secretary

Approved as to form:

City Attorney

This facility is ADA compliant. If you plan to attend this public meeting and have a disability that requires special arrangements, please call (817) 473-0211 at least 48 hours in advance. Reasonable accommodation will be made to assist your needs. PLEASE SILENCE CELL PHONES WHILE THE CITY COUNCIL MEETING IS IN SESSION.



CITY OF MANSFIELD

1200 E. Broad St.
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STAFF REPORT

File Number: 23-5328

Agenda Date: 5/8/2023

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Proclamation

Agenda Number:

Title

National Police Week

WHEREAS, there are more than 800,000 law enforcement officers serving in communities across the United States, including the dedicated members of the Mansfield Police Department; and

WHEREAS, since the first recorded death in 1791, more than 22,000 law enforcement officers in the United States have made the ultimate sacrifice and been killed in the line of duty, including one member of the Mansfield Police Department; and

WHEREAS, over 1400 fallen heroes gave their lives in service from Jan. 2021 to April 2023; and

WHEREAS, the service and sacrifice of all officers killed in the line of duty will be honored during the 35th Annual Candlelight Vigil on May 13, 2023, as part of National Police Week; and

WHEREAS, May 15 is designated as Peace Officers Memorial Day in honor of all fallen officers and their families and U.S. flags will be flown at half-staff in remembrance,

NOW, THEREFORE, I, Michael Evans, Mayor of the City of Mansfield, Texas, join with members of the City Council to proclaim May 14-20, 2023, as

NATIONAL POLICE WEEK

in Mansfield and encourage residents of our community to show their appreciation and gratitude to the Mansfield Police Department for their dedication to our city and the safety of our citizens.

IN WITNESS WHEREOF, I do hereby set my hand and cause the official seal of the City of Mansfield to be affixed this 8th day of May, 2023.



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STAFF REPORT

File Number: 23-5329

Agenda Date: 5/8/2023

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Proclamation

Agenda Number:

Title

National Correctional Officers and Employees Week

WHEREAS, thousands of men and women across the country work in jails and community correctional facilities each and every day; and

WHEREAS, correctional officers and employees safeguard the citizens of their communities by providing safe, secure and humane incarceration of offenders within their custody; and

WHEREAS, these dedicated correctional facility personnel provide a critical service, sometimes in hazardous conditions and dangerous situations; and

WHEREAS, National Correctional Officers and Employees Week was created by President Ronald Reagan in 1984 to recognize the service of these important public safety officials; and

WHEREAS, the men and women who work each day at the Mansfield Law Enforcement Center Jail Division provide a vital public service to the citizens of Mansfield and do so with honor and integrity;

NOW, THEREFORE, I, Michael Evans, Mayor of the City of Mansfield, Texas, join with members of the City Council to proclaim May 7-13, 2023,

NATIONAL CORRECTIONAL OFFICERS AND EMPLOYEES WEEK

in Mansfield and encourage residents of our community to show their appreciation and gratitude to the officers and employees of the Mansfield Law Enforcement Center Jail Division for their dedication to our city and the safety of our citizens.

IN WITNESS WHEREOF, I do hereby set my hand and cause the official seal of the City of Mansfield to be affixed this 8th day of May, 2023.



CITY OF MANSFIELD

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STAFF REPORT

File Number: 23-5310

Agenda Date: 5/8/2023

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Title

Minutes - Approval of the April 10, 2023 TIF Reinvestment Zone #1 Board Meeting Minutes (vote will be only by members of the sub-committee: Broseh (Chair), Bounds, Tonore, and Evans)

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the April 10, 2023 TIF Reinvestment Zone #1 Board Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary
817-276-4203



CITY OF MANSFIELD

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Meeting Minutes - Draft

TIF Reinvestment Zone Number One Board of Directors

Monday, April 10, 2023

1:30 PM

City Hall

CALL TO ORDER

Chair Broseh called the meeting to order at 1:31 p.m.

Staff present: City Manager Joe Smolinski, Deputy City Manager Troy Lestina, Assistant City Manager Matt Jones, Assistant City Manager Vanessa Ramirez, Executive Director of Economic Development Jason Moore, Assistant City Secretary Keera Seiger

Present 6 - Alberto Mares; Larry Broseh; Michael Evans; Todd Tonore; Alisa Simmons and Tamera Bounds

CITIZEN COMMENTS

There were no citizen comments.

NEW BUSINESS

Discussion, Consideration, and Possible Action on an Amended Project and Finance Plan, its Extension of Both its Boundary and Duration

Assistant City Manager Matt Jones presented the proposed TIRZ #1 boundary and timeline extensions and answered questions.

A motion was made by Board Member Bounds to approve the boundary extension of TIRZ #1 to include McKnight Parks East and West. Seconded by Board Member Tonore. The motion was approved unanimously 6-0.

Matt presented the proposed 15 year TIRZ #1 duration extension and spoke on the decreasing city and Tarrant County participation rate proposals, which are the following:

- The City participation rate drops from the existing 65% to 50% years 2037 through 2051.*
- The Tarrant County participation rate drops from the existing 30% to 25% years 2032 through 2051.*

A motion was made by Board Member Bounds to approve the TIRZ #1 duration extension with the decreasing participation rates. Seconded by Board Member Evans. The motion was approved 4-0, with Board Member Simmons and Board Member Mares abstaining.

Finally, Matt presented the amended TIRZ #1 project and finance plan to include the addition of Wisteria Hall to the project plan.

A motion was made by Board Member Bounds to approve the amended TIRZ #1 project and finance plan. Seconded by Board Member Tonore. The motion was approved unanimously 6-0.

ADJOURNMENT

Chair Broseh adjourned the meeting at 1:55 p.m.

ATTEST: Larry Broseh, Chair

Susana Marin, City Secretary



CITY OF MANSFIELD

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STAFF REPORT

File Number: 23-5340

Agenda Date: 5/8/2023

Version: 1

Status: To Be Presented

In Control: City Council

File Type: Consideration Item

Agenda Number:

Title

Presentation of the Monthly Financial Report for the Period Ending March 31, 2023

Requested Action

Attached is the Monthly Financial Report for the period ending March 31, 2023 for Council's review.

Recommendation

Review the Financial Statement for the period ending March 31, 2023.

Description/History

Monthly Financial Report

Justification

To advise the Council of the city's financial condition.

Funding Source

N/A

Prepared By

Latifia Coleman, Director of Finance
817-276-4265

INTERIM DISCUSSION OF THE CITY'S FINANCIAL CONDITION

Statement of Financial Condition

The City of Mansfield, Texas is in solid financial condition as of and through the six months ending March 31, 2023, of the fiscal year ending September 30, 2023.

Significant Financial Activity through the Period

- Capital Improvements –
 - Equipment replaced, \$2,085,594
 - Police Station, \$3,258,127, current year - \$1,477,380
 - Library Expansion, \$2,408,913, current year \$167,993
- Issued –
 - \$49.2 million Combination Tax and Revenue Certification of Obligation, Series 2022A for construction of PD headquarters, Street Improvements, Animal Control, and Service Center Design.
 - \$13.365 million General Obligation Refunding and Improvement Bonds, Series 2022 to refund previously issued debt and for the Mansfield Linear Park Trail Network as approved by voters. The refunding resulted in an economic gain of \$258,061.
 - \$4.925 million Combination Tax and Revenue Certification of Obligation, Series 2023 for construction of public infrastructure.

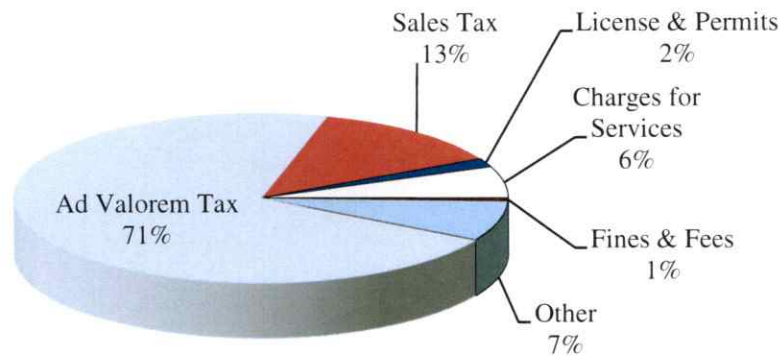
General Fund Financial Activity

Overall general fund revenue collected as of March 31, 2023, is 78.56% of anticipated collections. Expenditures as of March 31, 2023, are above-budgeted expectations or 68.60% of expected expenditures, the difference is due to unbudgeted property purchases for future economic development. As of March 31, 2023, the City's current net assets are at estimated results.

City of Mansfield, Texas interim unaudited financial report for the month and six (6) month period ended March, 2023

2023

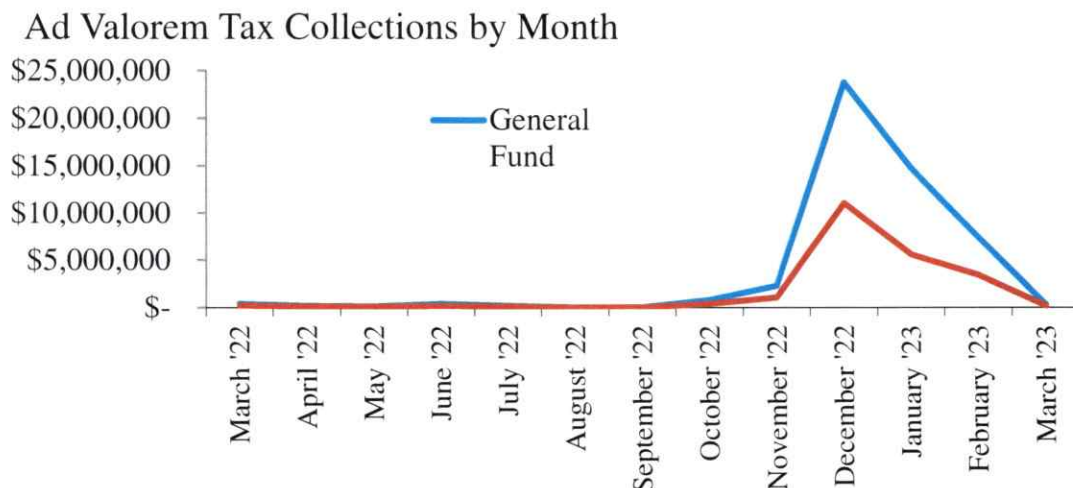
General Fund Revenues Allocation of Receipts as of March 31, 2023



Property Tax Collections

Most of the City's property tax is collected in the first four or six months of the fiscal year as property tax bills are generally due within the first four months of the City's fiscal year. Property tax collections through March 31, 2023 are \$46,372,472. Last year's M&O collections were \$38,135,159 for the same period, a 21.60% increase over the prior year.

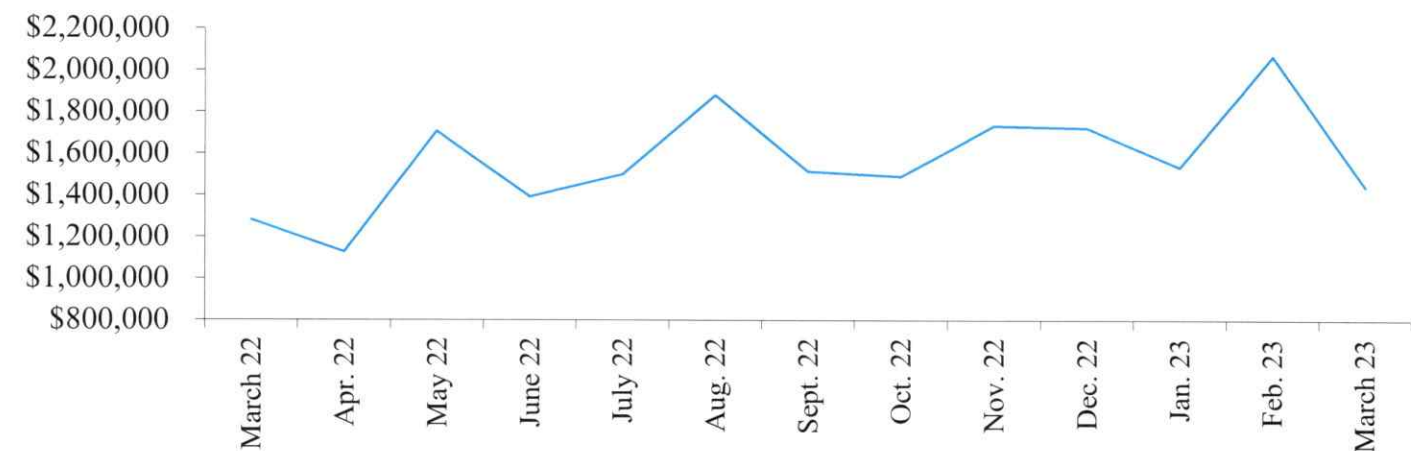
As of March 31, 2023, actual debt service property tax collections were \$20,356,724. For the same period last year, I&S property tax collections were \$18,257,586 an increase of 11.50%.



Sales Tax

Sales tax per capita is \$234 as budgeted. Sales Tax collections for the period March 1, 2023 through March 31, 2023, total \$1,442,598 as compared to \$1,281,261 for the same period last year. This is an increase of 12.59% over the same period as last year.

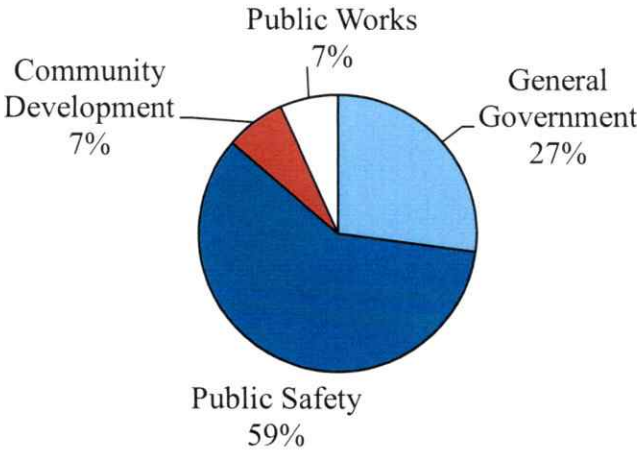
Sales Tax Collections



Expenditure/Uses

The City has spent \$38,307,575 of its expected expenditures of \$81,120,402 or 47.22% of the City total operating budget. The majority of the City’s General Operating Fund is for the purposes of servicing the needs of the public’s safety. A total of \$46,383,810 will be spent on the policing needs and fire needs of the City. Expenditures are at expectations as of March 31, 2023.

Actual Expenses



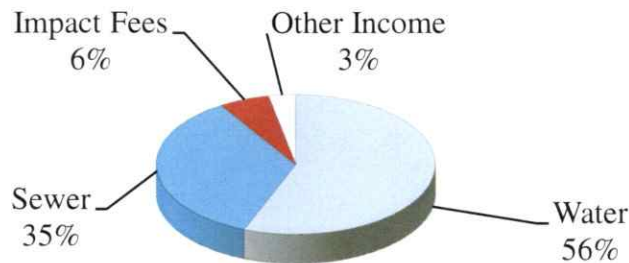
City of Mansfield, Texas interim unaudited financial report for the month and six (6) month period ended March, 2023

2023

Water & Sewer Financial Activity

Currently, the Fund has collected 47.15% of its Budgeted Revenue to date or \$20,751,373 of \$44,013,662 in Budgeted Revenue.

Revenues



The Department's expenses are at anticipated levels to date. The overall expenditure activity of the fund (excluding depreciation) indicates 52.02% of the budgeted expenses to date. The costs of raw water and sewer treatment are within budgeted estimates.

INVESTMENT SCHEDULE:

A schedule of investments is included in your packet for the period ending on March 31, 2023.

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GENERAL FUND

The General Fund is used to account for resources traditionally associated with government which are not legally required to be accounted for in another fund.

City of Mansfield, Texas

**Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)**

General Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash and Investments	\$ 39,597,188	\$ 44,716,115
Receivables:		
Current Year Taxes	1,090,201	707,656
Delinquent Taxes (Net of Allowance of \$1,414,455)	-	-
Accounts (Net of Allowance of \$249,600)	401,507	1,742,170
Ambulance	1,992,106	1,569,584
Municipal Court	78,174	42,342
Due From Other Funds	1,791,139	1,791,139
Capital Assets (net of accumulated depreciation)	510,415,281 *	483,749,129
Total Assets	\$ 555,365,596	\$ 534,318,136
<u>DEFERRED OUTFLOW OF RESOURCES</u>		
Total Deferred Outflows of Resources	17,469,778	14,281,116
Total Assets and Deferred Outflows of Resources	572,835,374	548,599,252
<u>LIABILITIES, DEFERRED INFLOWS OF RESOURCES, AND FUND BALANCES</u>		
<u>LIABILITIES:</u>		
Accrued Liabilities	\$ 1,397,175	\$ 1,076,847
Deferred Revenue	2,101,583	2,319,581
Noncurrent liabilities:		
Due within one year	17,254,199 *	16,071,071
Due in more than one year	177,265,109 *	184,342,253
Total Liabilities	198,018,066	203,809,752
<u>DEFERRED INFLOWS OF RESOURCES</u>		
Total Deferred Inflows of Resources	23,001,516	25,420,164
<u>FUND BALANCES:</u>		
Invested in capital assets, net of related debt	315,895,973 *	283,335,805
Assigned for deferred outflows/inflows	(5,531,738)	(11,139,048)
Unassigned	41,451,557	47,172,579
Total Fund Balances	351,815,792	319,369,336
Total Liabilities, Deferred Inflows of Resources, and Fund Balances	\$ 572,835,374	\$ 548,599,252

* Current year presentation only, does not include current year depreciation expense.

* Does not conform with Generally Accepted Accounting Principals or Governmental Accounting Standards

*For presentation purposes the capital assets and outstanding debt of the Governmental Funds have been consolidated into the General Operating Fund of the City.

City of Mansfield, Texas

Summary Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

General Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
REVENUES:							
Taxes	\$ 4,337,733	\$ 4,051,358	\$ 58,638,680	\$ 49,054,986	\$ 71,431,764	\$ (12,793,084)	82.09%
License And Permits	218,163	337,248	1,087,510	1,956,080	2,765,675	(1,678,165)	39.32%
Grant Revenue	12,896	-	129,353	159,223	200,000	(70,647)	64.68%
Charges For Services	603,364	681,148	3,938,049	3,244,429	6,669,557	(2,731,508)	59.05%
Fines And Fees	22,292	109,997	358,077	591,084	1,586,638	(1,228,561)	22.57%
Interest Earnings	81,699	359	413,924	3,218	30,000	383,924	1379.75%
Miscellaneous	120,055	83,867	967,741	767,858	733,645	234,096	131.91%
Total Revenues	5,396,202	5,263,978	65,533,334	55,776,878	83,417,279	(17,883,946)	78.56%
EXPENDITURES:							
General Government	1,859,798	1,393,965	10,362,138	9,099,592	22,081,462	11,719,321	46.93%
Public Safety	4,775,658	3,288,395	22,681,646	20,517,550	46,383,810	23,702,162	48.90%
Public Works	530,314	659,061	2,593,311	2,389,459	6,270,919	3,677,608	41.35%
Community Development	566,066	351,282	2,670,480	2,302,302	6,384,211	3,713,731	41.83%
Total Expenditures	7,731,836	5,692,703	38,307,575	34,308,903	81,120,402	42,812,822	47.22%
EXCESS REVENUES OVER(UNDER) EXPENDITURES	(2,335,634)	(428,726)	27,225,759	21,467,975	2,296,877		
OTHER FINANCING SOURCES (USES)							
Reserve/Contingency	-	-	-	-	(855,667)	(855,667)	0.00%
Sale of Capital Assets, net	-	-	-	-	-	-	0.00%
Financing, net	-	-	-	-	-	-	0.00%
Sources	-	-	-	-	4,107,689	4,107,689	0.00%
(Uses)	(541)	(111,383)	(17,512,943)	(1,689,301)	(5,548,899)	(5,378,530)	315.61%
Total Other Financing Sources (Uses)	(541)	(111,383)	(17,512,943)	(1,689,301)	(2,296,877)	(2,126,508)	762.47%
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	(2,336,175)	(540,109)	9,712,816	19,778,674	-		
FUND BALANCE							
BEGINNING	43,787,732	47,712,688	31,738,741	27,393,905	21,934,063		
ENDING	\$ 41,451,557	\$ 47,172,579	\$ 41,451,557	\$ 47,172,579	\$ 21,934,063		

City of Mansfield, Texas

Statement of Activites - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

General Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
<u>REVENUES:</u>							
Taxes-Current	\$ 324,253	\$ 366,310	\$ 45,983,028	\$ 37,938,090	\$ 48,578,197	\$ (2,595,169)	94.66%
Taxes-Prior	-	13,781	389,444	197,069	174,144	215,300	223.63%
Gas Royalty Income	11,250	1,607	416,250	430,818	435,476	(19,226)	95.59%
Franchise Taxes	2,491,908	2,331,042	2,992,331	2,681,789	3,758,658	(766,327)	79.61%
Sales Taxes	1,445,701	1,284,670	8,535,470	7,552,554	18,037,274	(9,501,804)	47.32%
Mix Drink Taxes	27,797	22,845	133,509	141,335	247,749	(114,240)	53.89%
Delinquent P& I	36,824	31,103	188,648	113,331	200,266	(11,618)	94.20%
Total Taxes	4,337,733	4,051,358	58,638,680	49,054,986	71,431,764	(12,793,084)	82.09%
<u>LICENSE & PERMITS</u>							
Building Permits	201,408	242,963	943,675	1,447,254	2,099,706	(1,156,031)	44.94%
Other Lic/Permits	16,755	94,285	143,835	508,826	665,969	(522,134)	21.60%
Total License & Permits	218,163	337,248	1,087,510	1,956,080	2,765,675	(1,678,165)	39.32%
GRANT REVENUE	12,896	-	129,353	159,223	200,000	(70,647)	64.68%
<u>CHARGES FOR SERVICES</u>							
Sanitation	377,100	358,018	2,157,755	2,060,937	4,241,222	(2,083,467)	50.88%
Ambulance Services	113,013	163,547	762,050	876,212	1,888,335	(1,126,285)	40.36%
Fines & Fees-Engineering	113,251	159,583	1,018,244	307,280	540,000	478,244	188.56%
Total Charges For Services	603,364	681,148	3,938,049	3,244,429	6,669,557	(2,731,508)	59.05%
<u>FINES & FEES</u>							
Fines & Fees-Court	3,495	96,356	207,060	442,773	843,873	(636,813)	24.54%
Fines & Fees-Other	18,797	13,641	151,017	148,311	742,765	(591,748)	20.33%
Total Fines & Fees	22,292	109,997	358,077	591,084	1,586,638	(1,228,561)	22.57%
INTEREST EARNINGS	81,699	359	413,924	3,218	30,000	383,924	1379.75%
<u>MISCELLANEOUS</u>							
Jail Contract Housing	0	0	162,146	154,425	324,293	(162,147)	50.00%
Certificate Of Occupancy	1,950	1,620	5,535	6,960	14,400	(8,865)	38.44%
Mowing	8,153	150	42,345	10,415	-	42,345	0.00%
Sale Of Property	0	1,883	13,757	12,383	15,000	(1,243)	91.71%
Zoning Fees	8,100	10,800	43,100	50,058	78,000	(34,900)	55.26%
Health & Rent Inspection Fees	52,460	32,500	243,603	120,435	239,991	3,612	101.51%
Miscellaneous	49,392	36,914	457,255	413,182	61,961	395,294	737.97%
Total Miscellaneous	120,055	83,867	967,741	767,858	733,645	234,096	131.91%
Total Revenues	\$ 5,396,202	\$ 5,263,977	\$ 65,533,334	\$ 55,776,878	\$ 83,417,279	\$ (17,883,946)	78.56%

City of Mansfield, Texas

Statement of Activites - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

General Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
EXPENDITURES:							
GENERAL GOVERNMENT							
Non-departmental	\$ 27,035	\$ 107,858	\$ 1,005,218	\$ 1,285,043	\$ 3,404,728	\$ 2,399,510	29.52%
City Council	37,038	41,853	160,941	124,833	374,372	213,431	42.99%
Intern Program	10,445	2,112	30,678	2,112	42,781	12,103	71.71%
Administration	224,286	118,168	1,227,561	826,292	1,806,672	579,111	67.95%
Legal	-	61,699	114,359	119,453	332,500	218,141	34.39%
Human Resources	174,653	56,506	643,652	496,362	1,238,326	594,674	51.98%
Finance & Accounting	81,957	79,226	792,620	535,331	1,395,889	603,269	56.78%
Budget & Purchasing	31,062	27,693	161,411	363,937	397,568	236,157	40.60%
Tax Collection	25,202	19,706	402,438	353,651	400,832	(1,606)	100.40%
Information Technology	112,180	78,140	647,500	571,162	1,250,723	603,223	51.77%
Sanitation	298,695	288,408	1,481,473	1,448,857	3,468,064	1,986,591	42.72%
Public Records	39,482	21,913	196,819	114,611	415,656	218,837	47.35%
City Secretary	47,665	28,990	242,408	212,124	512,963	270,555	47.26%
Planning Administration	212,220	94,266	670,626	579,287	1,310,730	640,104	51.16%
Construction Codes Boards	-	-	-	305	23,179	23,179	0.00%
Planning/Zoning Comm	389	687	3,165	3,907	21,836	18,671	14.49%
Engineering	101,239	50,232	449,704	314,133	477,347	27,643	94.21%
Development Services	2,136	16,334	228,867	234,846	367,505	138,638	62.28%
Building Inspection	190,924	82,363	700,825	535,697	2,136,892	1,436,067	32.80%
Code Compliance	71,314	42,464	304,569	267,978	790,627	486,058	38.52%
Rental & Health Inspection	42,810	48,157	207,199	144,558	549,810	342,611	37.69%
Building Maintenance	129,066	127,190	690,105	565,061	1,362,462	672,357	50.65%
Total	1,859,798	1,393,965	10,362,138	9,099,592	22,081,462	11,719,321	46.93%
PUBLIC SAFETY							
Police Administration	179,682	122,424	892,108	1,090,027	1,916,803	1,024,695	46.54%
Communications	302,090	299,265	2,054,724	1,717,252	3,949,971	1,895,247	52.02%
Patrol	1,113,506	719,479	5,044,792	4,327,881	11,247,178	6,202,386	44.85%
CID And Narcotics	526,493	257,959	2,042,528	1,577,547	3,791,902	1,749,374	53.87%
Jail Operations	143,040	196,624	837,288	806,075	1,471,820	634,532	56.89%
Animal Control	83,236	61,107	416,927	390,332	875,715	458,788	47.61%
CVE Traffic Enforcement	36,827	27,388	171,692	158,367	470,195	298,503	36.52%
Traffic Enforcement	81,944	42,744	332,379	302,947	673,878	341,499	49.32%
K-9 Patrol	15,886	10,754	76,040	64,378	169,524	93,484	44.86%
COPS	108,729	71,799	456,596	474,153	700,493	243,897	65.18%
Municipal Court	45,455	33,834	294,703	242,937	697,215	402,512	42.27%
Training	64,930	45,644	379,517	458,191	835,342	455,825	45.43%
Police Grant Expenditures	49,013	29,581	252,973	252,649	430,074	177,101	58.82%
Fire Administration	238,223	150,774	1,112,834	1,117,484	2,186,443	1,073,609	50.90%
Fire Prevention	86,645	63,374	413,341	378,216	873,148	459,807	47.34%
Emergency Management	71,743	120,045	455,484	502,772	1,174,245	718,761	38.79%
Fire Operations	1,628,216	1,035,600	7,447,720	6,656,342	14,919,864	7,472,144	49.92%
Total	4,775,658	3,288,395	22,681,646	20,517,550	46,383,810	23,702,162	48.90%

City of Mansfield, Texas

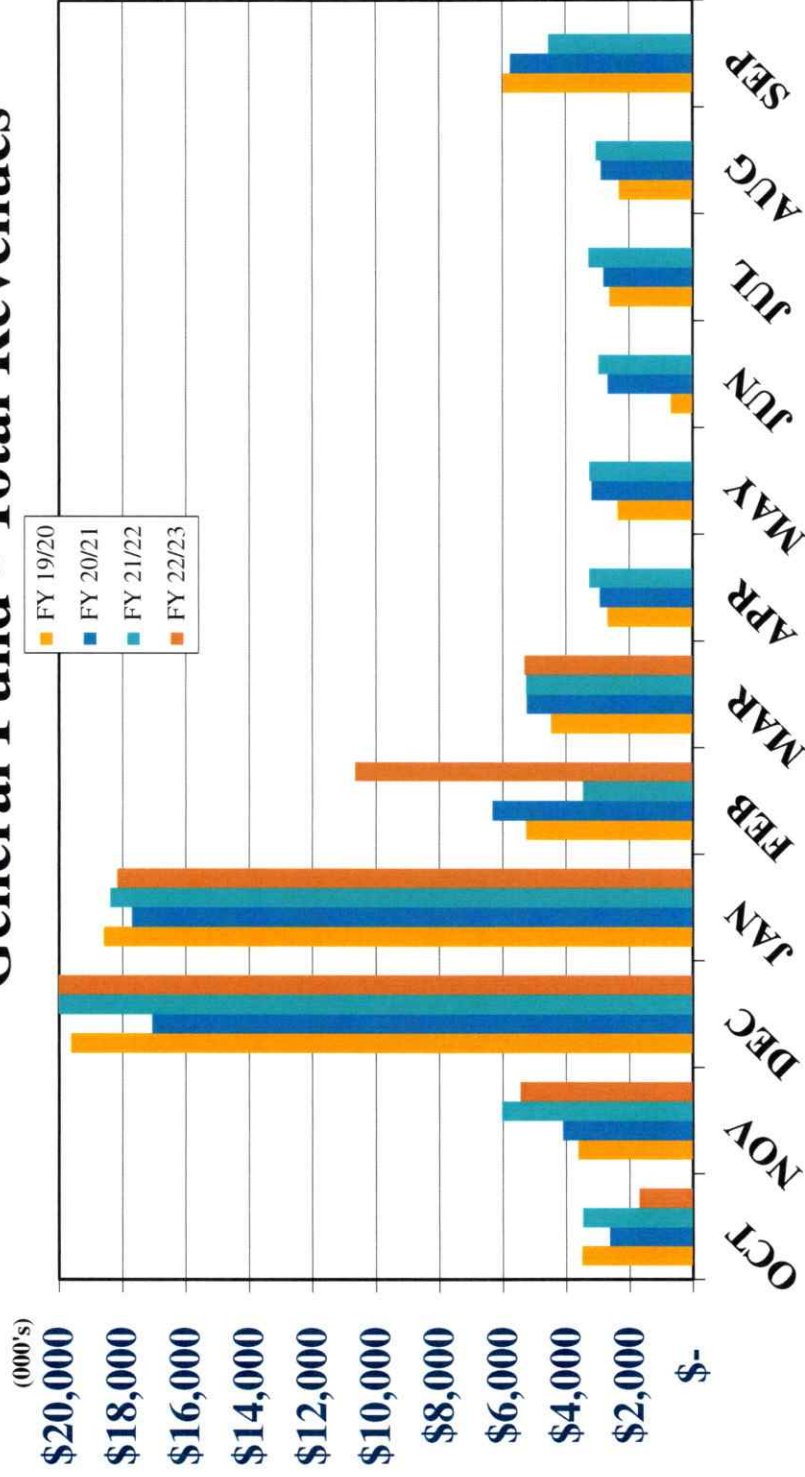
Statement of Activities - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

General Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
PUBLIC WORKS							
Street Maintenance	530,314	659,061	2,593,311	2,389,459	6,270,919	3,677,608	41.35%
Traffic Control	-	-	-	-	-	-	0.00%
Total	530,314	659,061	2,593,311	2,389,459	6,270,919	3,677,608	41.35%
COMMUNITY SERVICES							
Parks & Recreation Operations	246,893	136,716	908,665	859,504	2,547,837	1,639,172	35.66%
Communications & Marketing	87,282	43,133	431,667	314,850	917,531	485,864	47.05%
Downtown Parking	-	16	-	16	-	-	0.00%
Senior Citizens	28,045	25,195	164,398	152,610	361,436	197,038	45.48%
Cultural Services	45,526	34,443	412,870	311,453	798,314	385,444	51.72%
Library	158,320	111,779	752,880	663,869	1,759,093	1,006,213	42.80%
Total	566,066	351,282	2,670,480	2,302,302	6,384,211	3,713,731	41.83%
TOTAL EXPENDITURES	\$ 7,731,836	\$ 5,692,703	\$ 38,307,575	\$ 34,308,903	\$ 81,120,402	\$ 42,812,822	47.22%
EXCESS REVENUES OVER(UNDER) EXPENDITURES	(2,335,634)	(428,726)	27,225,759	21,467,975	2,296,877		
OTHER FINANCING SOURCES (USES)							
SOURCES:							
Utility Fund-Transfer	-	-	-	-	2,444,687	2,444,687	0.00%
MEDC - Transfer	-	-	-	-	241,400	241,400	0.00%
Transfer	-	-	-	-	1,421,602	1,421,602	0.00%
Bond Proceeds	-	-	-	-	-	-	0.00%
Premiums on Bond Issuance	-	-	-	-	-	-	0.00%
Sale of Capital Assets, net	-	-	-	-	-	-	0.00%
Total Other Financing Sources	-	-	-	-	4,107,689	4,107,689	0.00%
(USES):							
Land	-	-	(17,342,574)	-	-	-	0.00%
MPFDC	-	-	-	-	(321,132)	(321,132)	0.00%
Transfers	-	-	-	-	(2,662,245)	(2,662,245)	0.00%
PFA Insurance	-	(89,993)	-	(870,859)	(1,094,365)	(1,094,365)	109.99%
Economic Incentives	(541)	(21,390)	(170,369)	(818,442)	(1,471,157)	(1,300,788)	3.38%
Discount on Bond Issuance	-	-	-	-	-	-	0.00%
Bond Issuance Costs	-	-	-	-	-	-	0.00%
Reserve/Contingency	-	-	-	-	(855,667)	(855,667)	575.52%
Total Other Financing Uses	(541)	(111,383)	(17,512,943)	(1,689,301)	(6,404,566)	(6,234,197)	28.99%
Total Other Financing Sources (Uses)	(541)	(111,383)	(17,512,943)	(1,689,301)	(2,296,877)	(2,126,508)	
EXCESS OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	(2,336,175)	(540,109)	9,712,816	19,778,674	-		
UNRESERVED FUND BALANCE							
BEGINNING	43,787,732	47,712,688	31,738,741	27,393,905	21,934,063		
ENDING	<u>\$ 41,451,557</u>	<u>\$ 47,172,579</u>	<u>\$ 41,451,557</u>	<u>\$ 47,172,579</u>	<u>\$ 21,934,063</u>		



CITY OF MANSFIELD

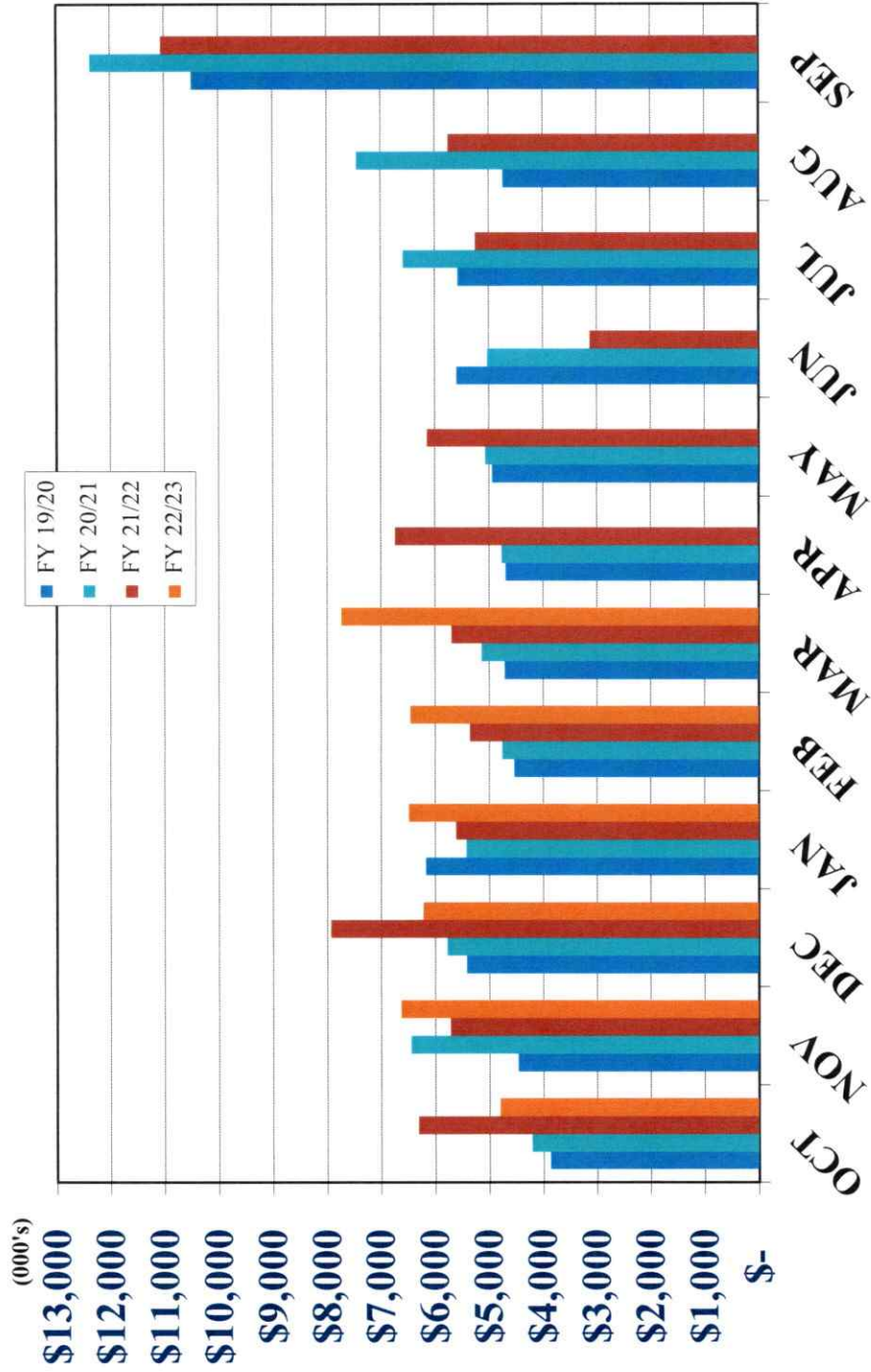
General Fund - Total Revenues





CITY OF MANSFIELD

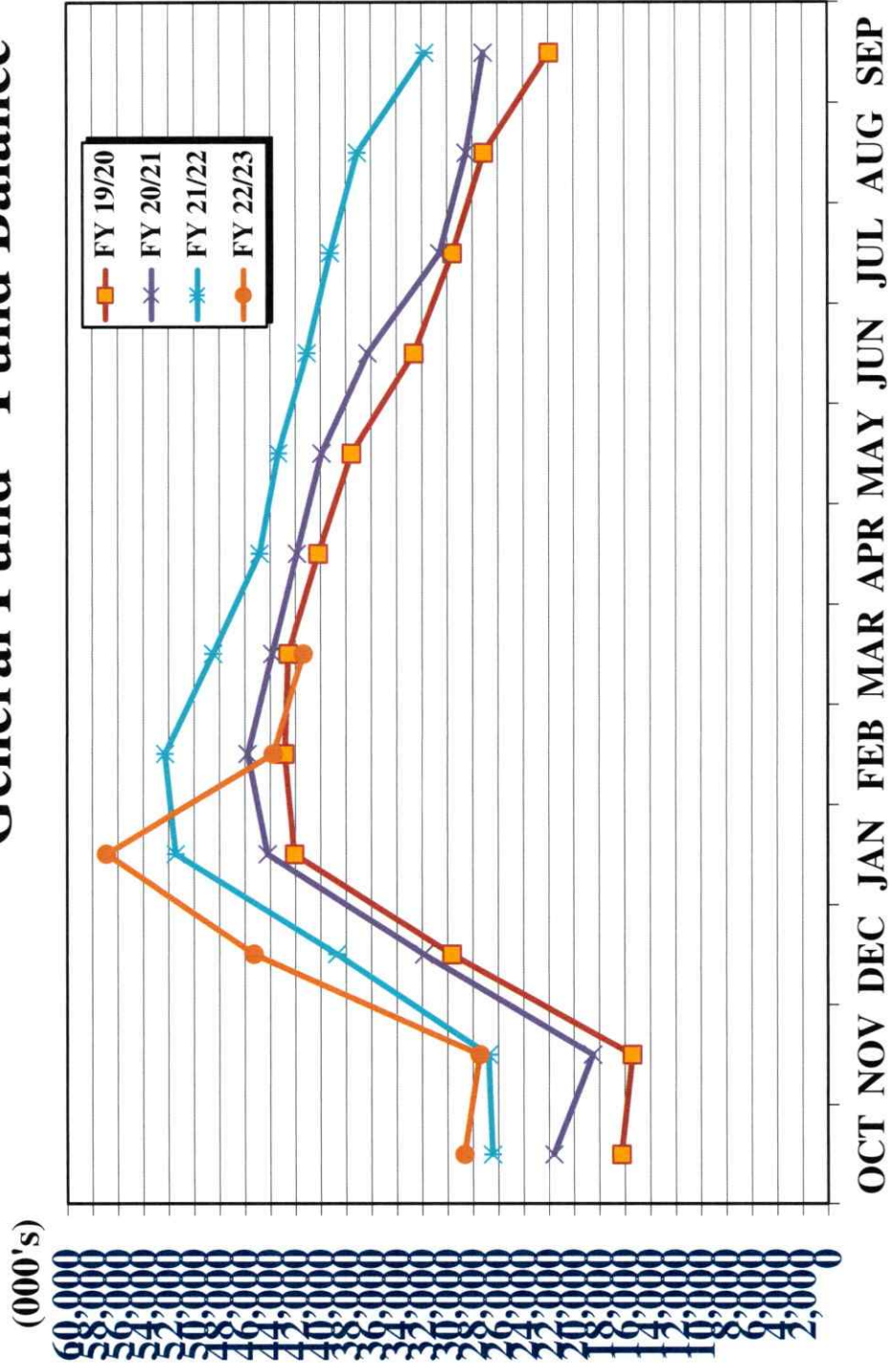
General Fund - Total Expenditures





CITY OF MANSFIELD

General Fund - Fund Balance



SPECIAL REVENUE FUNDS

The Special Revenue Funds are used to account for specific revenues that are legally restricted to expenditure for particular purposes defined by the City.

The TIF Number One Fund or Tax Incremental Financing Fund Number One is used to account for taxes generated in the designated TIF Zone. These taxes will be used to reimburse developers for infrastructure costs.

The TIF Number Two Fund or Tax Incremental Financing Fund Number Two is used to account for taxes generated in the designated TIF Zone. These taxes will be used to revitalize the downtown area of Mansfield. The revitalization will come through the use of public funds for public improvements in the area.

The Hotel/Motel Fund is used to account for the occupancy taxes generated from the local hotels that are used to promote the City of Mansfield and events in the City that further promote hotel stays.

The Mansfield Parks Facility Development Corporation Fund – This fund is used to account for the construction and development of sports and recreation facilities, equipment, and miscellaneous improvements to the City's Park System. These projects will be financed through sales tax supported bonds.

The Mansfield Economic Development Corporation Fund – This fund is used to account for the ½ cent Sales Tax used for the promotion of Economic Development within the City.

The South Pointe Public Improvement District (PID) Fund – This fund is used to account for the improvement or maintenance within a defined area.

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Tax Increment Reinvestment Zone Fund One	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 4,900,129	\$ 7,920,993
Due From Other Funds	24,581	24,581
	<hr/>	<hr/>
Total Assets	<u>\$ 4,924,710</u>	<u>\$ 7,945,574</u>
<u>LIABILITIES & FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ 444,421	\$ 524,769
Retainage Payable	-	-
	<hr/>	<hr/>
Total Liabilities	<u>444,421</u>	<u>524,769</u>
FUND BALANCES:		
Fund Balance	7,128,201	5,252,236
Excess Revenues Over Expenditures	(2,647,912)	2,168,569
	<hr/>	<hr/>
Total Fund Balances	<u>4,480,289</u>	<u>7,420,805</u>
	<hr/>	<hr/>
Total Liabilities And Fund Balances	<u>\$ 4,924,710</u>	<u>\$ 7,945,574</u>

City of Mansfield, Texas

Comparative Statement of Activites
For the Month and Six Months Ended March 31, 2023 and 2023 (Unaudited)

Tax Increment Reinvestment Zone Fund Number One	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
<u>REVENUES:</u>				
Taxes, Penalties, And Interest	\$ -	\$ -	-	2,651,754
Interest Income	-	-	75,565	67
Total Revenues	-	-	75,565	2,651,821
<u>EXPENDITURES:</u>				
General Government	77	-	7,728,402	483,252
Debt Service -				
Principal Retirement	-	-	-	-
Interest	-	-	-	-
Lease Payments	-	-	-	-
Bond Issuance Cost	-	-	108,770	-
Fiscal Charges	-	-	-	-
Total Expenditures	77	-	7,837,172	483,252
Excess Of Revenues Over (Under) Expenditures	(77)	-	(7,761,607)	2,168,569
<u>OTHER FINANCING SOURCES (USES)</u>				
Transfers Out	-	-	-	-
Bonds Issued	-	-	4,925,000	-
Premium on Bonds Issued	-	-	188,695	-
Discounts on Bonds Issued	-	-	-	-
Payment to Refunded Bond Escrow Agent	-	-	-	-
Total Other Financing Sources (Uses)	-	-	5,113,695	-
Net Change in Fund Balances	(77)	-	(2,647,912)	2,168,569
FUND BALANCE, BEGINNING	4,480,366	7,420,805	7,128,201	5,252,236
FUND BALANCE, ENDING	\$ 4,480,289	\$ 7,420,805	\$ 4,480,289	\$ 7,420,805

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Tax Increment Reinvestment Zone Fund Two	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ -	\$ 439,229
Receivable	700,000	700,000
	<hr/>	<hr/>
Total Assets	<u>\$ 700,000</u>	<u>\$ 1,139,229</u>
<u>LIABILITIES & FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ 1,899,967	\$ -
Due To Other Funds	1,791,139	1,791,139
Retainage Payable	-	-
	<hr/>	<hr/>
Total Liabilities	<u>3,691,106</u>	<u>1,791,139</u>
FUND BALANCES:		
Fund Balance	(519,518)	(814,140)
Excess Revenues Over Expenditures	(2,471,588)	162,230
	<hr/>	<hr/>
Total Fund Balances	<u>(2,991,106)</u>	<u>(651,910)</u>
Total Liabilities And Fund Balances	<u>\$ 700,000</u>	<u>\$ 1,139,229</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2023 (Unaudited)

Tax Increment Reinvestment Zone Fund Number Two	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
<u>REVENUES:</u>				
Taxes, Penalties, And Interest	\$ -	\$ -	\$ -	\$ 587,068
Interest Income	-	-	-	-
Total Revenues	-	-	-	587,068
<u>EXPENDITURES:</u>				
General Government	-	-	2,471,588	424,838
Debt Service -				
Principal Retirement	-	-	-	-
Interest	-	-	-	-
Lease Payments	-	-	-	-
Bond Issuance Cost	-	-	-	-
Fiscal Charges	-	-	-	-
Total Expenditures	-	-	2,471,588	424,838
Excess Of Revenues Over (Under) Expenditures	-	-	(2,471,588)	162,230
<u>OTHER FINANCING SOURCES (USES)</u>				
Transfers In / (Out)	-	-	-	-
Premium on Bonds Issued	-	-	-	-
Discounts on Bonds Issued	-	-	-	-
Payment to Refunded Bond Escrow Agent	-	-	-	-
Total Other Financing Sources (Uses)	-	-	-	-
Net Change in Fund Balances	-	-	(2,471,588)	162,230
FUND BALANCE, BEGINNING	(2,991,106)	(651,910)	(519,518)	(814,140)
FUND BALANCE, ENDING	<u>\$ (2,991,106)</u>	<u>\$ (651,910)</u>	<u>\$ (2,991,106)</u>	<u>\$ (651,910)</u>

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Hotel/Motel Occupancy Tax Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 2,076,453	\$ 1,668,466
Accounts Receivable	<u>1,576</u>	<u>2,577</u>
Total Assets	<u><u>\$ 2,078,029</u></u>	<u><u>\$ 1,671,043</u></u>
<u>LIABILITIES & FUND BALANCES</u>		
LIABILITIES:		
Accrued Liabilities	<u>\$ 17,997</u>	<u>\$ 17,760</u>
Total Liabilities	<u>17,997</u>	<u>17,760</u>
FUND BALANCES:		
Fund Balance	1,960,047	1,492,876
Excess Revenues Over Expenditures	<u>99,985</u>	<u>160,407</u>
Total Fund Balances	<u>2,060,032</u>	<u>1,653,283</u>
Total Liabilities And Fund Balances	<u><u>\$ 2,078,029</u></u>	<u><u>\$ 1,671,043</u></u>

City of Mansfield, Texas

Statement of Activities - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Hotel/Motel Occupancy Tax Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
REVENUES:							
Hotel Occupancy Tax	\$ 57,911	\$ 88,291	\$ 357,703	\$ 363,986	\$ 956,000	\$ (598,297)	37.42%
Miscellaneous Income	2,813	6,059	15,191	16,478	-	15,191	0.00%
Total Revenues	60,724	94,350	372,894	380,464	956,000	(583,106)	39.01%
EXPENDITURES:							
Mansfield Historical Society	-	-	-	-	250,000	250,000	0.00%
Mansfield Invitational	-	-	-	-	-	-	0.00%
The LOT	-	-	-	-	150,000	150,000	0.00%
Mansfield Rotary Club	-	-	-	-	-	-	0.00%
Farr Best Theater	118	315	3,727	2,365	-	(3,727)	0.00%
Discover Historic Mansfield	-	-	-	-	-	-	0.00%
Mansfield Tourism	65,083	51,297	251,682	188,596	425,700	174,018	59.12%
Pickled Mansfield Society	-	-	-	-	73,200	73,200	0.00%
Mansfield Commission for the Arts	-	14,238	-	16,252	47,100	47,100	0.00%
Historic Landmark Commission	-	-	-	-	-	-	0.00%
Man House Museum	-	-	-	-	-	-	0.00%
Tommy King Foundation	-	-	-	-	-	-	0.00%
Sister Cities Celebration	-	-	-	-	-	-	0.00%
Friends of the Library	-	-	-	-	-	-	0.00%
Championship Basketball	-	-	10,000	-	10,000	-	100.00%
Wayfinding Program	-	-	-	4,844	-	-	0.00%
Reserve	-	-	7,500	8,000	-	(7,500)	0.00%
Total Expenditures	65,201	65,850	272,909	220,057	956,000	683,091	28.55%
Excess Of Revenues Over (Under) Expenditures	(4,477)	28,500	99,985	160,407			
FUND BALANCE, BEGINNING	2,064,509	1,624,783	1,960,047	1,492,876			
FUND BALANCE, ENDING	\$ 2,060,032	\$ 1,653,283	\$ 2,060,032	\$ 1,653,283			

City of Mansfield, Texas

**Comparative Budget and Cash Analysis
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)**

Hotel/Motel Occupancy Tax Fund	Budgeted Request	FY23 Amount To Date	Available Budget	FY23 PERCENT COLLECTED TO BUDGET
<u>REVENUES:</u>				
Hotel Occupancy Tax	\$ 956,000	\$ 357,703	\$ (598,297)	37.42%
Rental of Facilities	-	3,540	3,540	0.00%
Interest Income	-	11,651	11,651	-
Total Revenues	956,000	372,894	(583,106)	39.01%
<u>EXPENDITURES:</u>				
Mansfield Historical Society	250,000	-	250,000	0.00%
Mansfield Invitational	-	-	-	0.00%
The LOT	150,000	-	150,000	0.00%
Discover Historic Mansfield - Farr Best Concerts	-	3,727	(3,727)	0.00%
Mansfield Tourism	425,700	251,682	174,018	59.12%
Pickled Mansfield Society	73,200	-	73,200	0.00%
Manfield Police Dept.	-	-	-	0.00%
Mansfield Commission for the Arts	47,100	-	47,100	0.00%
Historic Landmark Commission	-	-	-	0.00%
Desert Love Film Festival	-	-	-	0.00%
Man House Museum	-	-	-	0.00%
Tommy King Foundation	-	-	-	0.00%
Sister Cities Celebration	-	-	-	0.00%
Wayfinding Program	-	-	-	0.00%
Friends of the Library	-	-	-	0.00%
Championship Basketball	10,000	10,000	-	100.00%
Reserve	-	7,500	(7,500)	0.00%
Total Expenditures	956,000	272,909	683,091	28.55%
Revenues / (Expenditures)	-	99,985	99,985	

SUPPLEMENTAL INFORMATION: CASH ANALYSIS

Beginning Cash Balance for Fiscal Year 2023	1,976,468
Plus: FY2023 Cash Collections	372,894
Less: FY2023 Cash Expenditures	(272,909)
Cash Balance as of March 31, 2023	2,076,453
Remaining Hotel/Motel Occupancy Funds to Collect	(598,297)
Remaining Hotel/Motel Occupancy Funds to Expend	683,091
Projected Cash Balance at September 30, 2023	2,161,247

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Mansfield Parks Facility Development Corp	Fiscal 2023	Fiscal 2022
<u>ASSETS:</u>		
Cash And Investments	\$ 9,208,440	\$ 7,213,918
Restricted Cash and Investments	6,517,529	5,998,568
Receivables:		
Accounts	23,144,913	771,994
Total Assets	<u>\$ 38,870,882</u>	<u>\$ 13,984,480</u>
<u>LIABILITIES & FUND BALANCES:</u>		
LIABILITIES:		
Accounts Payable	\$ 162,511	\$ 166,278
Other Liabilities	1,000,000	1,000,000
Deferred Revenue	23,920,433	1,421,395
Total Liabilities	<u>25,082,944</u>	<u>2,587,673</u>
FUND BALANCES:		
Fund Balance	12,222,104	9,776,667
Excess Revenues Over (Under)		
Expenditures	1,565,834	1,620,140
Total Fund Balances	<u>13,787,938</u>	<u>11,396,807</u>
Total Liabilities And Fund Balances	<u>\$ 38,870,882</u>	<u>\$ 13,984,480</u>

City of Mansfield, Texas

Statement of Activities - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Mansfield Parks Facility Development Corporation	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
REVENUES:							
Sales Tax Revenue	\$ 458,322	\$ 378,042	\$ 2,680,971	\$ 2,191,132	\$ 5,860,790	\$ (3,179,819)	45.74%
Contributions	-	-	-	3,084	2,500	(2,500)	0.00%
Interest Earnings	23,894	-	120,308	410	1,000	119,308	12030.80%
Other Income	-	646	-	4,428	300	(300)	0.00%
MAC Revenue	186,690	112,730	921,116	1,139,508	2,212,200	(1,291,084)	41.64%
Lease Royalties	21,130	19,497	110,422	91,456	125,000	(14,578)	88.34%
Park Land Dedication Revenue	87,250	64,500	449,250	801,500	-	449,250	0.00%
Total Revenues	777,286	575,415	4,282,067	4,231,518	8,201,790	(3,919,723)	52.21%
EXPENDITURES:							
Administration	154,429	218,572	608,896	877,193	1,978,145	1,369,249	30.78%
Field Operations	70,935	52,949	411,355	323,409	895,287	483,932	45.95%
Community Park Operations	75,023	85,524	507,975	493,167	1,273,434	765,459	39.89%
Nature Education Operations	20,114	8,105	86,633	51,013	244,876	158,243	35.38%
Recreational Center	83,109	63,909	402,610	391,776	1,064,473	661,863	37.82%
Neighborhood Park Operations	38,911	14,251	137,721	94,119	486,756	349,035	28.29%
Quadrants	-	-	301,500	282,000	-	(301,500)	0.00%
Non-Departmental	107,582	16,715	259,543	98,701	2,579,951	2,320,408	10.06%
Total Expenditures	550,103	460,025	2,716,233	2,611,378	8,522,922	5,806,689	31.87%
EXCESS (DEFICIENCY) OF REVENUES OVER EXPENDITURES	227,183	115,390	1,565,834	1,620,140	(321,132)	1,886,966	-487.60%
OTHER FINANCING SOURCES (USES):							
Operating Transfers In	-	-	-	-	321,132	(321,132)	0.00%
Operating Transfers (Out)	-	-	-	-	-	-	0.00%
Cash Reserves	-	-	-	-	-	-	0.00%
Bond Proceeds	-	-	-	-	-	-	0.00%
Premium on Bonds issued	-	-	-	-	-	-	0.00%
Discounts on Bond issued	-	-	-	-	-	-	0.00%
Total Other Financing Sources (Uses)	-	-	-	-	321,132	(321,132)	0.00%
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER EXPENDITURES AND OTHER FINANCING USES	227,183	115,390	1,565,834	1,620,140			
FUND BALANCE, BEGINNING	13,560,755	11,281,417	12,222,104	9,776,667			
FUND BALANCE, ENDING	<u>\$ 13,787,938</u>	<u>\$ 11,396,807</u>	<u>\$ 13,787,938</u>	<u>\$ 11,396,807</u>			

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Mansfield Economic Development Corporation	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 15,236,104	\$ 9,522,239
Accounts Receivable	3,184	660,152
Restricted Assets:		
Cash and Investments, Projects	1,114,451	1,128,674
Fixed Assets (net of accumulated depreciation)	29,944,718	36,758,068
Total Assets	<u>\$ 46,298,457</u>	<u>\$ 48,069,133</u>
<u>LIABILITIES AND NET ASSETS</u>		
LIABILITIES:		
Accounts Payable	\$ -	\$ 7,989
Accrued Liabilities	3,240	3,240
Retainage Payable	-	20,133
Bonds Payable	19,785,000	21,635,000
Unamortized Discounts on Bonds	(125,291)	(138,685)
Unamortized Premiums	897,449	964,103
Deferred Amount on Refunding	(37,041)	(64,821)
Contract Commitments	35,052,843 *	34,014,146
Total Liabilities	<u>55,576,200</u>	<u>56,441,105</u>
NET ASSETS:		
Restricted	1,114,451	1,128,674
Unassigned	(10,392,194)	(9,500,646)
Total Net Assets	<u>(9,277,743)</u>	<u>(8,371,972)</u>
Total Liabilities & Net Assets	<u>\$ 46,298,457</u>	<u>\$ 48,069,133</u>

*Does not conform with Generally Accepted Accounting Principals or Governmental Accounting Standards
This is the GASB 34 presentation and is different from the fund level presentation per GAAP.

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Mansfield Economic Development Corp.	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
OPERATING REVENUES:				
Sales Tax Revenue	\$ 722,851	\$ 642,335	\$ 4,267,734	\$ 3,776,277
Gas Royalties	-	-	-	-
Miscellaneous	-	-	-	10,608
Rental Of Facilities	-	-	-	-
Total Operating Revenues	722,851	642,335	4,267,734	3,786,885
OPERATING EXPENDITURES:				
Administration	116,513	76,811	741,515	461,513
Promotions	(35,000)	4,389	18,622	31,432
Retention	-	41	-	75
Development Plan	-	-	-	32
Projects	-	304,067	164,129	1,385,091
Non-Departmental	1,498	15,301	8,987	49,643
Depreciation	-	-	-	-
Total Operating Expenditures	83,011	400,609	933,253	1,927,786
OPERATING INCOME	639,840	241,726	3,334,481	1,859,099
NONOPERATING REVENUES (EXPENSES):				
Interest Revenue	33,728	-	171,271	186
Gain or (loss) on sale of property	-	-	388,613	-
Bonds issued	-	-	-	-
Premiums on bonds issued	-	-	-	-
Discounts on bonds issued	-	-	-	-
Amortization	-	-	-	-
Interest and fiscal charges	(500)	-	(377,198)	(405,428)
Total Nonoperating Revenue	33,228	-	182,686	(405,242)
INCOME BEFORE OPERATING TRANSFERS	673,068	241,726	3,517,167	1,453,857
OPERATING TRANSFERS:				
Operating Transfers In (Out)	-	-	-	-
CHANGE IN NET ASSETS	673,068	241,726	3,517,167	1,453,857
NET ASSETS, BEGINNING	(9,950,811)	(8,613,698)	(12,794,910)	(9,825,829)
NET ASSETS, PROJECTS	- **	-	-	- **
NET ASSETS, ENDING	\$ (9,277,743)	\$ (8,371,972)	\$ (9,277,743)	\$ (8,371,972)

**Project Fund Balance represents funds that have been contractually obligated by the City Council and MEDC. These expenses will be recognized upon realization of the expense.

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

South Pointe PID	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 312,412	\$ 275,535
Receivables:		
Current Year PID Assessment	<u>-</u>	<u>-</u>
Total Assets	<u>\$ 312,412</u>	<u>\$ 275,535</u>
<u>LIABILITIES & FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ 24,582	\$ 24,582
Deferred Revenue	<u>-</u>	<u>-</u>
Total Liabilities	<u>24,582</u>	<u>24,582</u>
FUND BALANCES:		
Fund Balance	(34,275)	(23,582)
Excess Revenues Over		
Expenditures	<u>322,105</u>	<u>274,535</u>
Total Fund Balances	<u>287,830</u>	<u>250,953</u>
Total Liabilities And Fund Balances	<u>\$ 312,412</u>	<u>\$ 275,535</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

South Pointe PID	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
<u>REVENUES:</u>				
PID Assessment	\$ 6,029	\$ 8,720	\$ 582,364	\$ 444,064
Penalties & Interest	450	-	2,885	2,440
Total Revenues	6,479	8,720	585,249	446,504
<u>EXPENDITURES:</u>				
General government	99,684	52,501	263,144	171,969
Public safety	-	-	-	-
Public works	-	-	-	-
Culture and recreation	-	-	-	-
Total Expenditures	99,684	52,501	263,144	171,969
Excess Of Revenues Over (Under) Expenditures	(93,205)	(43,781)	322,105	274,535
Net Change in Fund Balances	(93,205)	(43,781)	322,105	274,535
FUND BALANCE, BEGINNING	381,035	294,734	(34,275)	(23,582)
FUND BALANCE, ENDING	\$ 287,830	\$ 250,953	\$ 287,830	\$ 250,953

DEBT SERVICE FUNDS

The Debt Service Funds are used to account for the accumulation of resources and payment of general obligation debt principal and interest from governmental resources and special revenue bond principal and interest from a sales tax levy when the City is obligated in some manner for the payment.

The General Debt Service Fund – The purpose of this fund is to account for the accumulation of resources for and the payment of, principal and interest on the City's general obligation debt payable from a property tax levy with the exception of the MPFDC debt.

The Mansfield Parks Facilities Development Corporation Debt Service Fund – The purpose of this fund is to account for the accumulation of resources for and the payment of, principal and interest on the MPFDC long-term debt from a sales tax levy.

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

General Obligation Debt	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 9,343,035	\$ 7,392,829
Receivables:		
Current Year Taxes	515,093	346,510
Delinquent Taxes (Net of Allowance of \$699,811)	-	-
Total Assets	<u>\$ 9,858,128</u>	<u>\$ 7,739,339</u>
<u>LIABILITIES & FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ -	\$ -
Deferred Revenue	<u>515,093</u>	<u>346,510</u>
Total Liabilities	<u>515,093</u>	<u>346,510</u>
FUND BALANCES:		
Fund Balance	5,222,453	5,365,013
Excess Revenues Over Expenditures	<u>4,120,582</u>	<u>2,027,816</u>
Total Fund Balances	<u>9,343,035</u>	<u>7,392,829</u>
Total Liabilities And Fund Balances	<u>\$ 9,858,128</u>	<u>\$ 7,739,339</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

	FY23	FY22	FY23	FY22	FY23	FY23	FY23
General Obligation Debt	MONTH TO	MONTH TO	YEAR TO	YEAR TO	ORIGINAL	OVER (UNDER)	PERCENT
	DATE	DATE	DATE	DATE	BUDGET	BUDGET	BUDGET
<u>REVENUES:</u>							
Taxes, Penalties, And Interest	\$ 164,708	\$ 198,267	\$ 20,356,724	\$ 18,257,586	\$ 16,110,269	\$ 4,246,455	126.36%
Miscellaneous	-	-	200	76	-	200	0.00%
Interest Income	1,732	-	8,802	49	-	8,802	0.00%
Total Revenues	166,440	198,267	20,365,726	18,257,711	16,110,269	4,255,456	126.41%
<u>EXPENDITURES:</u>							
Debt Service -							
Principal Retirement	-	2,500,000	13,215,000	13,310,000	16,110,269	(2,895,269)	82.03%
Interest	-	4,008	2,630,948	2,909,819	-	2,630,948	0.00%
Lease Payments	-	-	-	-	-	-	0.00%
Bond Issuance Cost	-	-	141,829	-	-	141,829	0.00%
Fiscal Charges	1,500	1,900	9,526	10,077	-	9,526	0.00%
Total Expenditures	1,500	2,505,908	15,997,303	16,229,896	16,110,269	(112,966)	99.30%
Excess Of Revenues Over (Under) Expenditures	164,940	(2,307,641)	4,368,423	2,027,815			
<u>OTHER FINANCING SOURCES (USES)</u>							
Refunding Bonds Issued	-	-	8,350,000	-			
Premium on Bonds Issued	-	-	816,162	-			
Discounts on Bonds Issued	-	-	-	-			
Payment to Refunded Bond	-	-	(9,414,003)	-			
Total Other Financing Sources (Uses)	-	-	(247,841)	-			
Net Change in Fund Balances	164,940	(2,307,641)	4,120,582	2,027,815			
FUND BALANCE, BEGINNING	9,178,095	9,700,470	5,222,453	5,365,014			
FUND BALANCE, ENDING	\$ 9,343,035	\$ 7,392,829	\$ 9,343,035	\$ 7,392,829			

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Mansfield Parks Facility Development Corp. Debt Service	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 1,499,575	\$ 1,478,570
Total Assets	<u>\$ 1,499,575</u>	<u>\$ 1,478,570</u>
<u>LIABILITIES AND FUND BALANCES</u>		
LIABILITIES:		
Accrued Interest Payable	\$ 4,650	\$ 4,650
Total Liabilities	<u>4,650</u>	<u>4,650</u>
FUND BALANCES:		
Fund Balance	515,416	521,660
Excess Revenues Over (Under) Expenditures	<u>979,509</u>	<u>952,260</u>
Total Fund Balances	<u>1,494,925</u>	<u>1,473,920</u>
Total Liabilities And Fund Balances	<u>\$ 1,499,575</u>	<u>\$ 1,478,570</u>

City of Mansfield, Texas

Statement of Activities - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Mansfield Parks Facility Development Corp. Debt Service	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
<u>REVENUES:</u>							
Taxes, Penalties, And Interest	\$ 263,154	\$ 263,155	\$ 1,578,924	\$ 1,578,930	\$ 3,157,847	\$ (1,578,923)	50.00%
Other Income	-	-	-	-	-	-	0.00%
Total Revenues	263,154	263,155	1,578,924	1,578,930	3,157,847	(1,578,923)	50.00%
<u>EXPENDITURES:</u>							
Debt Service							
Principal Retirement	-	-	-	-	1,965,000	1,965,000	0.00%
Interest And Fiscal Charges	1,000	1,350	599,415	626,670	1,192,847	593,432	50.25%
Non-departmental	-	-	-	-	-	-	0.00%
Total Expenditures	1,000	1,350	599,415	626,670	3,157,847	2,558,432	18.98%
Excess Of Revenues Over (Under) Expenditures	262,154	261,805	979,509	952,260			
<u>OTHER FINANCING SOURCES (USES):</u>							
Bond Proceeds	-	-	-	-			
Total Other Financing Sources (Uses)	-	-	-	-			
FUND BALANCE, BEGINNING	1,232,771	1,212,115	515,416	521,660			
FUND BALANCE, ENDING	\$ 1,494,925	\$ 1,473,920	\$ 1,494,925	\$ 1,473,920			

CAPITAL PROJECTS FUNDS

The Capital Projects Funds are used to account for the acquisition and construction of major capital facilities other than those financed by proprietary funds and trust funds.

The Street Construction Fund – The purpose of this fund is to account for the construction and improvement of various streets in the City. General Obligation Bonds, Certificates of Obligation, and Street Assessments are used to finance the construction.

The Building Construction Fund – The purpose of this fund is to account for the construction of City facilities funded by General Obligation Bonds and Certificates of Obligation.

The Equipment Replacement Fund – The purpose of this fund is used to account for the purchase of capital equipment funded from the issuance of notes through the City of Mansfield Property Finance Authority Corporation or other sources.

The Park Construction Fund – The purpose of this fund is to account for the construction of City facilities funded by Mansfield Park Facilities Development Corporation Sales Tax Revenue Bonds.

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Street Construction Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	45,576,619	\$ 22,654,615
Receivables	-	-
Projects In Process		
Current Year	1,159	2,001,894
Prior Year		12,689,757
Total Assets	<u>\$ 45,577,778</u>	<u>\$ 37,346,266</u>
<u>LIABILITIES AND FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ 187,588	\$ 55,418
Deposits	343,573	538,694
Retainage Payable	169,139	151,201
Other Liabilities	-	-
Total Liabilities	<u>700,300</u>	<u>745,313</u>
FUND BALANCES:		
Fund Balance	28,874,189	34,875,197
Excess Revenues Over (Under)		
Expenditures	<u>16,003,289</u>	<u>1,725,756</u>
Total Fund Balance	<u>44,877,478</u>	<u>36,600,953</u>
Total Liabilities And Fund Balance	<u>\$ 45,577,778</u>	<u>\$ 37,346,266</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Street Construction Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
REVENUES:				
Recoveries	\$ -	\$ -	\$ -	\$ -
Contributions	-	-	-	-
Intergovernmental	-	-	-	-
Roadway Impact Fees	135,896	311,729	718,861	2,003,245
Interest Income	122,650	-	493,876	893
Total Revenues	258,546	311,729	1,212,737	2,004,138
EXPENDITURES:				
Administrative	187,114	39,777	2,767,447	278,382
Street Improvements	-	-	-	-
Total Expenditures	187,114	39,777	2,767,447	278,382
EXCESS OF REVENUES OVER(UNDER) EXPENDITURES	71,432	271,952	(1,554,710)	1,725,756
OTHER FINANCING SOURCES (USES):				
Transfers	-	-	-	-
Bond Proceeds	-	-	16,612,569	-
Bond Issuance Costs	-	-	(179,611)	-
Premiums on Bond Issuance	-	-	1,125,041	-
Discounts on Bond Issuance	-	-	-	-
Total Other Financing Sources (Uses)	-	-	17,557,999	-
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER USES	71,432	271,952	16,003,289	1,725,756
FUND BALANCE, BEGINNING	44,806,046	36,329,001	28,874,189	34,875,197
FUND BALANCE, ENDING	\$ 44,877,478	\$ 36,600,953	\$ 44,877,478	\$ 36,600,953

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Building Construction Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 40,826,073	\$ 16,061,256
Construction in Progress	-	-
Total Assets	<u>\$ 40,826,073</u>	<u>\$ 16,061,256</u>
<u>LIABILITIES AND FUND BALANCE</u>		
LIABILITIES:		
Accounts Payable	\$ 852,770	\$ 1,532
Due to Other Funds	-	-
Retainage Payable	<u>333,527</u>	<u>344,003</u>
Total Liabilities	<u>1,186,297</u>	<u>345,535</u>
FUND BALANCE:	6,766,122	17,693,965
Excess Revenues Over (Under)		
Expenditures	<u>32,873,654</u>	<u>(1,978,244)</u>
Total Fund Balance	<u>39,639,776</u>	<u>15,715,721</u>
Total Liabilities And Fund Balance	<u>\$ 40,826,073</u>	<u>\$ 16,061,256</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Building Construction Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
REVENUES:				
Interest Income	\$ 148,065	\$ -	\$ 503,687	\$ 174
Rental Of Facilities	-	-	-	-
Contributions	-	-	-	-
Miscellaneous Income	-	7,909	-	7,909
Grant Revenue	-	-	-	-
Total Revenues	148,065	7,909	503,687	8,083
EXPENDITURES:				
Administration	-	-	779	-
Library	-	195,679	167,993	634,942
Fire Station #5	-	7,200	-	70,398
Man House	-	-	-	4,679
Wayfinding	-	26,694	157,734	84,328
Police Station	865,111	66,750	1,477,380	381,300
Tactical Training Facility	-	174,638	268,143	810,680
Total Expenditures	865,111	470,961	2,072,029	1,986,327
Excess Revenues Over (Under)				
Expenditures	(717,046)	(463,052)	(1,568,342)	(1,978,244)
OTHER FINANCING SOURCES (USES):				
Bond Proceeds	-	-	32,587,429	-
Bond Issuance Costs	-	-	(352,327)	-
Premiums on Bond Issuance	-	-	2,206,894	-
Discounts on Bond Issuance	-	-	-	-
Operating Transfer In (Out)	-	-	-	-
Total Other Financing Sources (Uses)	-	-	34,441,996	-
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	(717,046)	(463,052)	32,873,654	(1,978,244)
FUND BALANCE, BEGINNING	40,356,822	16,178,773	6,766,122	17,693,965
FUND BALANCE, ENDING	\$ 39,639,776	\$ 15,715,721	\$ 39,639,776	\$ 15,715,721

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Equipment Replacement Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 189,328	\$ 428,131
Total Assets	<u>\$ 189,328</u>	<u>\$ 428,131</u>
<u>LIABILITIES AND FUND BALANCES</u>		
LIABILITIES:		
Accounts Payable	\$ 1,258	\$ -
Retainage Payable	<u>11,226</u>	<u>-</u>
Total Liabilities	<u>\$ 12,484</u>	<u>\$ -</u>
FUND BALANCE:	2,241,714	2,338,999
Excess Revenues Over Expenditures	<u>(2,064,870)</u>	<u>(1,910,868)</u>
Total Fund Balance	<u>176,844</u>	<u>428,131</u>
Total Liabilities And Fund Balance	<u>\$ 189,328</u>	<u>\$ 428,131</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Equipment Replacement Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
REVENUES:				
Contributions	\$ -	\$ -	\$ -	\$ -
Grants	-	-	-	-
Other Income	-	22,186	-	55,832
Interest Income	20	-	97	-
Total Revenues	20	22,186	97	55,832
EXPENDITURES:				
Administration	20,898	-	130,555	-
Information Services	750	562	92,850	67,945
Code Enforcement	3,897	-	3,897	-
Planning	-	60,545	95,867	224,167
Streets	-	-	72,052	10,446
Animal Control	-	-	-	-
City Hall	-	-	-	-
Parks Department	-	-	-	31,818
Library	-	-	-	-
Fire	415,796	5,043	876,666	1,359,159
Police Department	309,678	78,250	813,707	273,165
Total Expenditures	751,019	144,400	2,085,594	1,966,700
EXCESS (DEFICIENCY) OF REVENUES OVER (UNDER) EXPENDITURES	(750,999)	(122,214)	(2,085,497)	(1,910,868)
OTHER FINANCING SOURCES (USES):				
Bond Proceeds	-	-	-	-
Bond Issuance Costs	-	-	-	-
Premium on Bond Issuance	-	-	-	-
Discounts on Bond Issuance	-	-	-	-
Sale of city property	-	-	20,627	-
Transfer In (Out)	-	-	-	-
Total Other Financing Sources (Uses)	-	-	20,627	-
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	(750,999)	(122,214)	(2,064,870)	(1,910,868)
FUND BALANCE, BEGINNING	927,843	550,345	2,241,714	2,338,999
FUND BALANCE, ENDING	\$ 176,844	\$ 428,131	\$ 176,844	\$ 428,131

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Parks Construction Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 1,146,197	\$ -
Total Assets	<u>\$ 1,146,197</u>	<u>\$ -</u>
<u>LIABILITIES AND FUND BALANCE</u>		
LIABILITIES:		
Accounts Payable	\$ 20,699	\$ 226,795
Retainage Payable	<u>162,954</u>	<u>-</u>
Total Liabilities	<u>183,653</u>	<u>226,795</u>
FUND BALANCE:	2,568,442	(116,948)
Excess Revenues Over Expenditures	<u>(1,605,898)</u>	<u>(109,847)</u>
Total Fund Balance	<u>962,544</u>	<u>(226,795)</u>
Total Liabilities And Fund Balance	<u>\$ 1,146,197</u>	<u>\$ -</u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Parks Construction Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
REVENUES:				
Contributions	\$ -	\$ -	\$ -	\$ -
Recoveries	-	-	-	-
Interest Income	-	-	-	-
	<hr/>	<hr/>	<hr/>	<hr/>
Total Revenues	-	-	-	-
	<hr/>	<hr/>	<hr/>	<hr/>
EXPENDITURES:				
Parks Projects	277,112	58,317	1,605,898	109,847
Others	-	-	-	-
	<hr/>	<hr/>	<hr/>	<hr/>
Total Expenditures	277,112	58,317	1,605,898	109,847
	<hr/>	<hr/>	<hr/>	<hr/>
EXCESS (DEFICIENCY) OF REVENUES OVER (UNDER) EXPENDITURES	(277,112)	(58,317)	(1,605,898)	(109,847)
	<hr/>	<hr/>	<hr/>	<hr/>
OTHER FINANCING SOURCES (USES):				
Bond Proceeds	-	-	-	-
Bond Issuance Costs	-	-	-	-
Premiums on Bond Issuance	-	-	-	-
Discounts on Bond Issuance	-	-	-	-
Transfer In (out)	-	-	-	-
	<hr/>	<hr/>	<hr/>	<hr/>
Total Other Financing Sources (Uses)	-	-	-	-
	<hr/>	<hr/>	<hr/>	<hr/>
EXCESS (DEFICIENCY) OF REVENUES AND OTHER FINANCING SOURCES OVER (UNDER) EXPENDITURES AND OTHER FINANCING USES	(277,112)	(58,317)	(1,605,898)	(109,847)
	<hr/>	<hr/>	<hr/>	<hr/>
FUND BALANCE, BEGINNING	1,239,656	(168,478)	2,568,442	(116,948)
	<hr/>	<hr/>	<hr/>	<hr/>
FUND BALANCE, ENDING	\$ 962,544	\$ (226,795)	\$ 962,544	\$ (226,795)
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ENTERPRISE FUNDS

The Enterprise Funds are used to account for the operations that are financed and operated in a manner similar to private business enterprises. The intent is that the cost of providing goods or services to the general public be financed or recovered primarily through user charges.

The Utility Fund – The purpose of this fund is to account for the activities of providing water and sewer services to the citizens of Mansfield, Texas.

The Drainage Utility Fund – The purpose of this fund is used to account for the revenues and expenditures for services related to the preparing of a master drainage plan.

City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Utility Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 37,639,842	\$ 29,613,874
Receivables:		
Accounts (net of allowance of \$1,403,401)	3,297,598	3,218,410
Inventory	1,037,715	496,893
Restricted Assets:		
Cash and Investments	10,076,907	16,065,647
Fixed Assets (net of accumulated depreciation)	<u>237,526,336</u>	<u>223,101,753</u>
Total Assets	<u>289,578,398</u>	<u>272,496,577</u>
<u>DEFERRED OUTFLOWS OF RESOURCES</u>		
Total deferred outflows of resources	<u>3,900,941</u>	<u>3,719,871</u>
Total Assets and Deferred Outflows of Resources	<u>\$ 293,479,339</u>	<u>\$ 276,216,448</u>
<u>LIABILITIES</u>		
Accounts Payable	\$ 2,035,227	\$ 48,820
Accrued Liabilities	326,106	193,447
Payable From Restricted Assets:		
Deposits	1,837,629	1,751,057
Accrued Interest	166,875	188,481
Retainage Payable	463,112	499,793
From Unrestricted Assets:		
Current	3,411,836	3,806,836
Long-Term, Net	23,881,403	27,293,240
Compensated Absences	546,268	639,041
Net OPEB liability	2,106,245	1,681,547
Total OPEB liability	179,335	165,767
Net pension liability	<u>1,210,265</u>	<u>1,941,335</u>
Total Liabilities	<u>36,164,301</u>	<u>38,209,364</u>
<u>DEFERRED INFLOWS OF RESOURCES</u>		
Total deferred inflows of resources	<u>2,834,939</u>	<u>3,095,403</u>
<u>NET POSTION</u>		
Invested In Capital Assets (net of related debt)	209,187,155	194,267,012
Reserved for Debt Service	5,244,007	5,456,936
Reserved for Capital Projects	4,832,900	10,608,710
Unreserved	<u>35,216,037</u>	<u>24,579,023</u>
Total Net Positon	<u>254,480,099</u>	<u>234,911,681</u>
Total Liabilities, Deferred Inflows of Resources, and Net Position	<u>\$ 293,479,339</u>	<u>\$ 276,216,448</u>

City of Mansfield, Texas

Statement of Activities - Budget and Actual
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Utility Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE	FY23 ORIGINAL BUDGET	FY23 POSITIVE (NEGATIVE) BUDGET	FY23 PERCENT COLLECTED TO BUDGET
OPERATING REVENUES:							
Water Service	\$ 1,550,173	\$ 1,577,809	\$ 11,628,448	\$ 11,763,582	\$ 25,801,147	\$ (14,172,699)	45.07%
Sewer Service	1,080,217	1,011,205	7,260,118	6,900,975	14,943,641	(7,683,523)	48.58%
Water Penalties	37,981	50,599	283,431	126,626	250,000	33,431	113.37%
Water Taps	-	-	-	-	18,811	(18,811)	0.00%
Meter Set Fee	15,000	54,140	74,530	198,270	98,940	(24,410)	75.33%
Utility Miscellaneous	5,034	3,020	32,596	29,949	60,000	(27,404)	54.33%
Restore Service Fee	9,395	8,347	63,990	20,085	90,000	(26,010)	71.10%
Sewer Tap	-	-	-	-	2,000	(2,000)	0.00%
Water Impact Fees	174,200	411,000	851,300	2,173,480	1,500,000	(648,700)	56.75%
Sewer Impact Fees	91,650	202,950	364,207	1,047,020	1,000,000	(635,793)	36.42%
Pretreatment Fees	-	41,249	-	203,076	60,000	(60,000)	0.00%
Other Income	20,755	7,795	192,753	97,667	189,123	3,630	101.92%
Contribution	-	-	-	-	-	-	0.00%
Total Revenues	\$ 2,984,405	\$ 3,368,114	\$ 20,751,373	\$ 22,560,730	\$ 44,013,662	\$ (23,262,289)	47.15%
OPERATING EXPENSES:							
Administration	140,556	95,528	812,597	658,392	1,461,964	649,367	55.58%
Billing And Collection	76,641	77,944	411,657	405,909	962,162	550,505	42.78%
Meter Reading/Repairs	107,342	100,758	526,665	572,813	1,353,076	826,411	38.92%
Water Distribution	156,879	87,950	683,619	482,744	1,181,420	497,801	57.86%
Wastewater Collection	2,437,845	1,285,679	5,877,910	5,148,415	9,978,603	4,100,693	58.91%
Water Treatment	1,953,524	928,255	5,879,707	5,223,723	12,270,854	6,391,147	47.92%
Water Quality	73,169	49,571	320,521	282,215	661,634	341,113	48.44%
Water Demand Management	19,160	10,817	70,464	71,136	164,293	93,829	42.89%
Depreciation	361,619	324,696	2,121,848	1,908,209	-	(2,121,848)	0.00%
Total Operating Expenses	5,326,735	2,961,198	16,704,988	14,753,556	28,034,006	11,329,018	59.59%
OPERATING INCOME (LOSS)	(2,342,330)	406,916	4,046,385	7,807,174	15,979,656	(11,933,271)	
NONOPERATING REVENUES (EXPENSES):							
Non-Departmental	(84,352)	(96,103)	(484,755)	(662,514)	(10,440,969)	9,956,214	4.64%
Interest Revenue	127,062	-	639,507	1,054	24,000	615,507	2664.61%
Debt Service	(83,438)	(94,241)	(500,626)	(565,445)	(3,070,000)	2,569,374	16.31%
Bad Debt Expense	-	-	-	-	(48,000)	48,000	0.00%
Net Nonoperating Revenues (Expenses)	(40,728)	(190,344)	(345,874)	(1,226,905)	(13,534,969)	13,189,095	2.56%
INCOME (LOSS) BEFORE OPERATING TRANSFERS	(2,383,058)	216,572	3,700,511	6,580,269	2,444,687	1,255,824	151.37%
OPERATING TRANSFERS:							
Transfers In (Out)	-	-	-	-	(2,444,687)	2,444,687	0.00%
Net Operating Transfers	-	-	-	-	(2,444,687)	2,444,687	0.00%
CHANGE IN NET POSITION	(2,383,058)	216,572	3,700,511	6,580,269	-	3,700,511	
NET POSITION, BEGINNING	256,863,157	234,695,109	250,779,588	228,331,412	250,779,588	-	
NET POSITON, ENDING	\$ 254,480,099	\$ 234,911,681	\$ 254,480,099	\$ 234,911,681	\$ 250,779,588	\$ 3,700,511	

CITY OF MANSFIELD
UTILITY FUND
REVENUE BOND COVERAGE

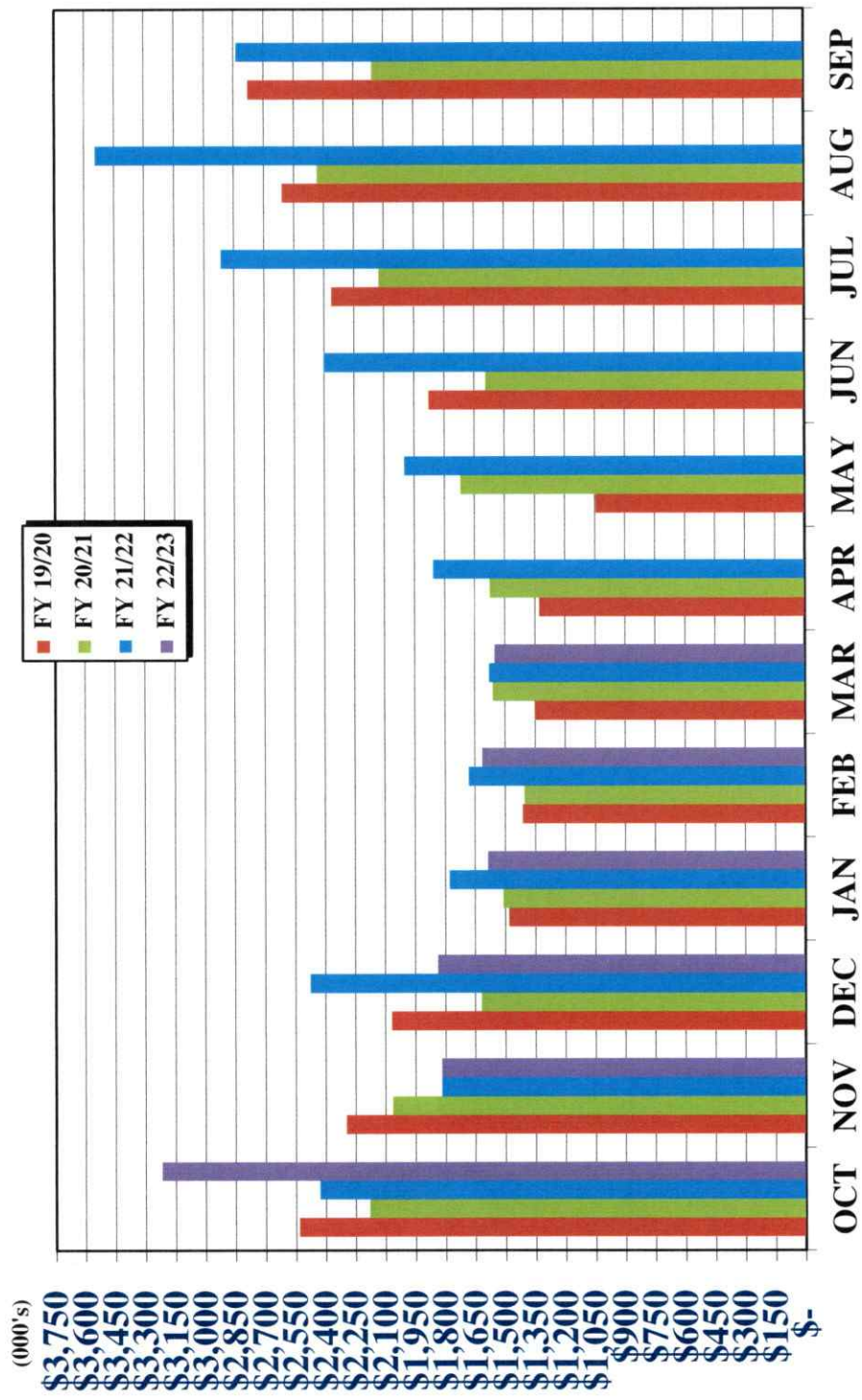
Definition of Bond Coverage:

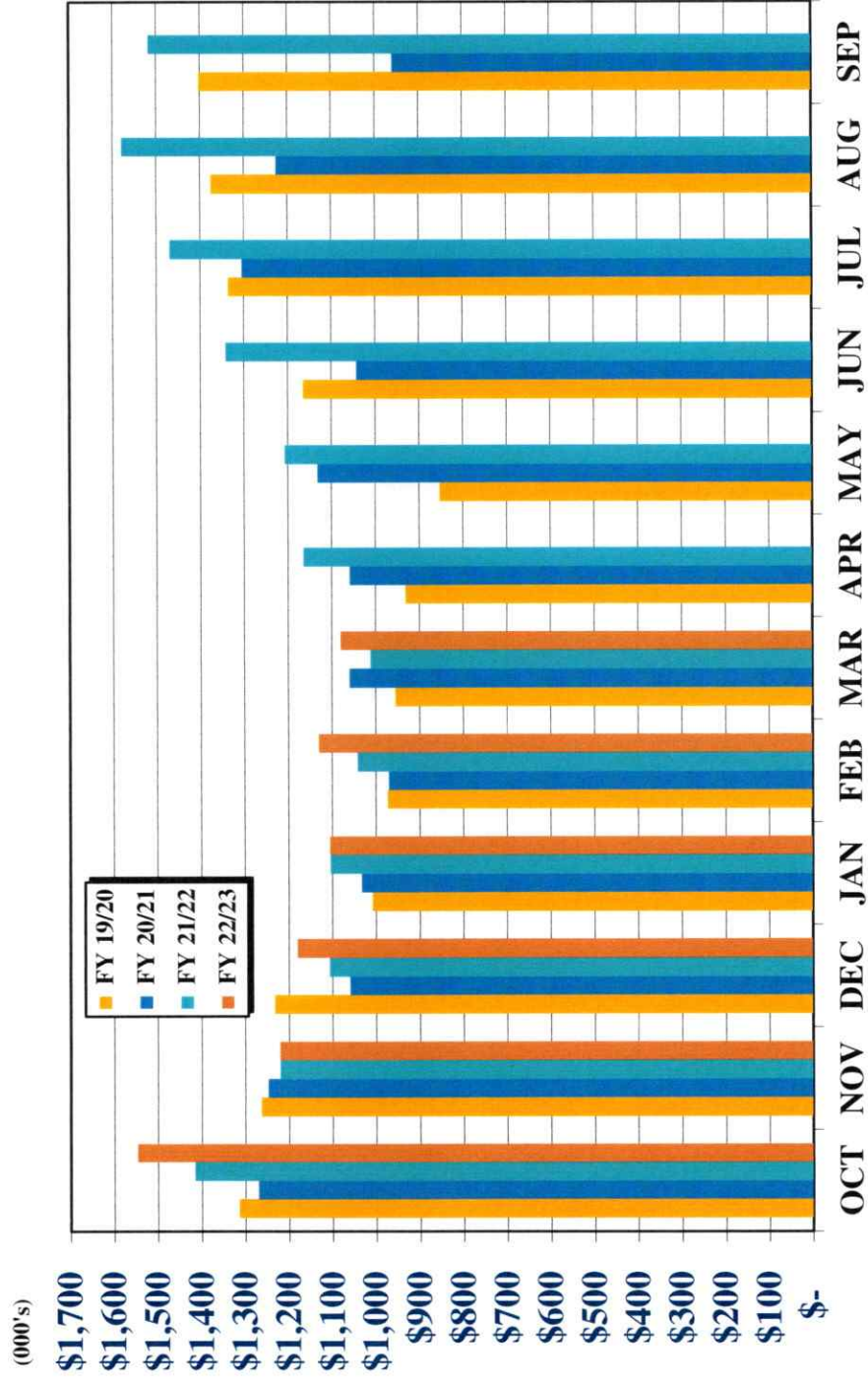
The ordinance authorizing the issuance of Water and Sewer System revenue bonds requires that the City establish a sinking fund (Revenue Bond Sinking and Reserve Fund) in an amount not less than the average annual requirement for the payment of principal and interest on all the revenue bonds. At September 30, 2022, the sinking fund balance was sufficient to satisfy such bond ordinance requirements. The bond ordinance also contains provisions which, among other items, restricts the issuance of additional revenue bonds unless the special funds noted above contain the required amounts and the pledged revenues are equal to or greater than 1.25 times the average annual debt service requirements after giving effect to the proposed additional bonds and any proposed rate increases. The bond ordinance also requires that the annual gross revenues of the Water and Sewer System, less annual operation and maintenance expenses (excluding depreciation and amortization expense), be at least 1.10 times the annual principal and interest requirements of all then outstanding revenue bonds. The governing body has adopted a resolution stating that they want a coverage factor in excess of 1.30. During 2022, the City achieved a 5.32 bond coverage ratio which exceeded the 1.10 required by the bond ordinance. For fiscal year 2023, the bond coverage ratio is projected at 3.93.



CITY OF MANSFIELD

UTILITY FUND - WATER SALES

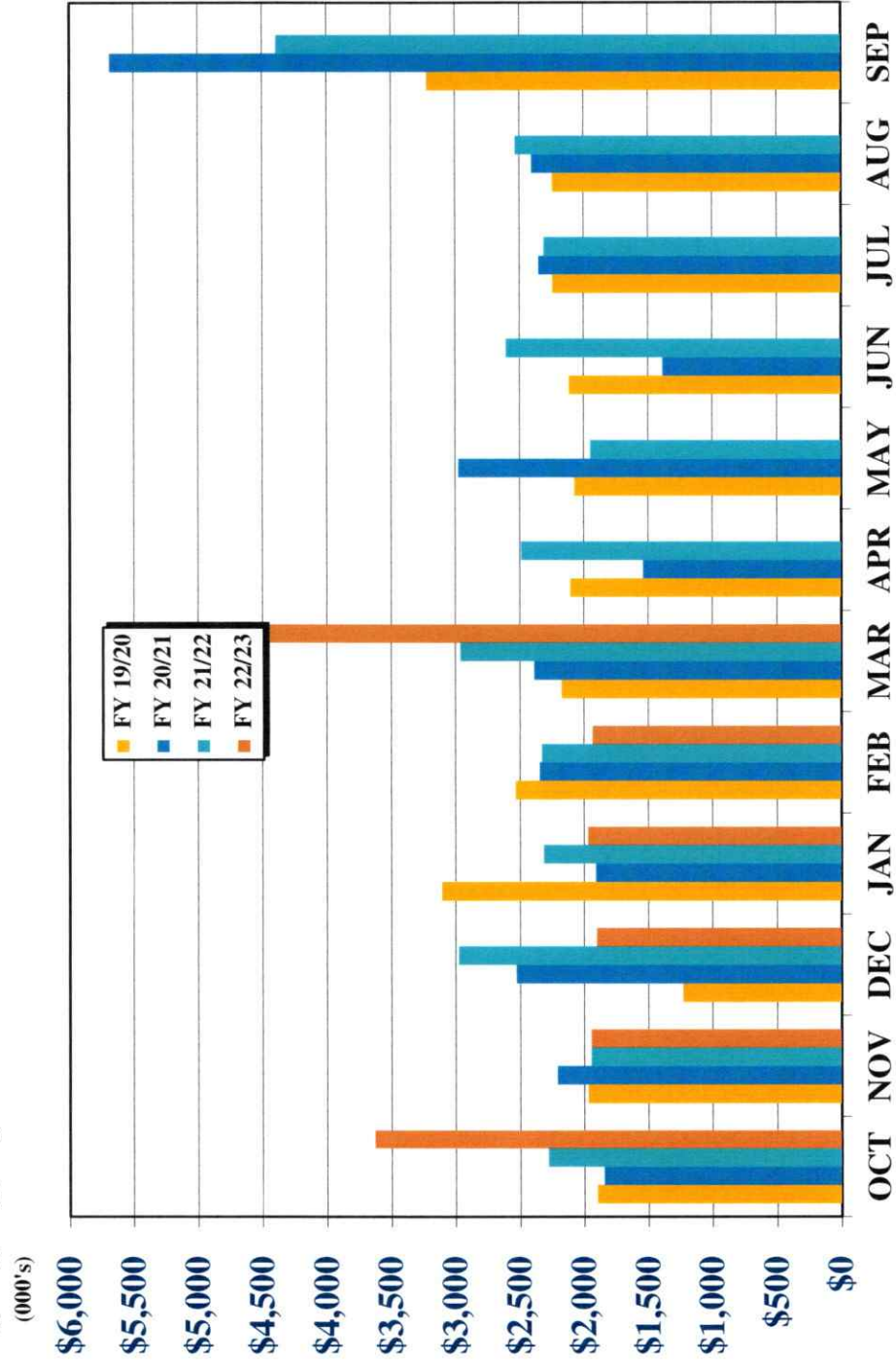




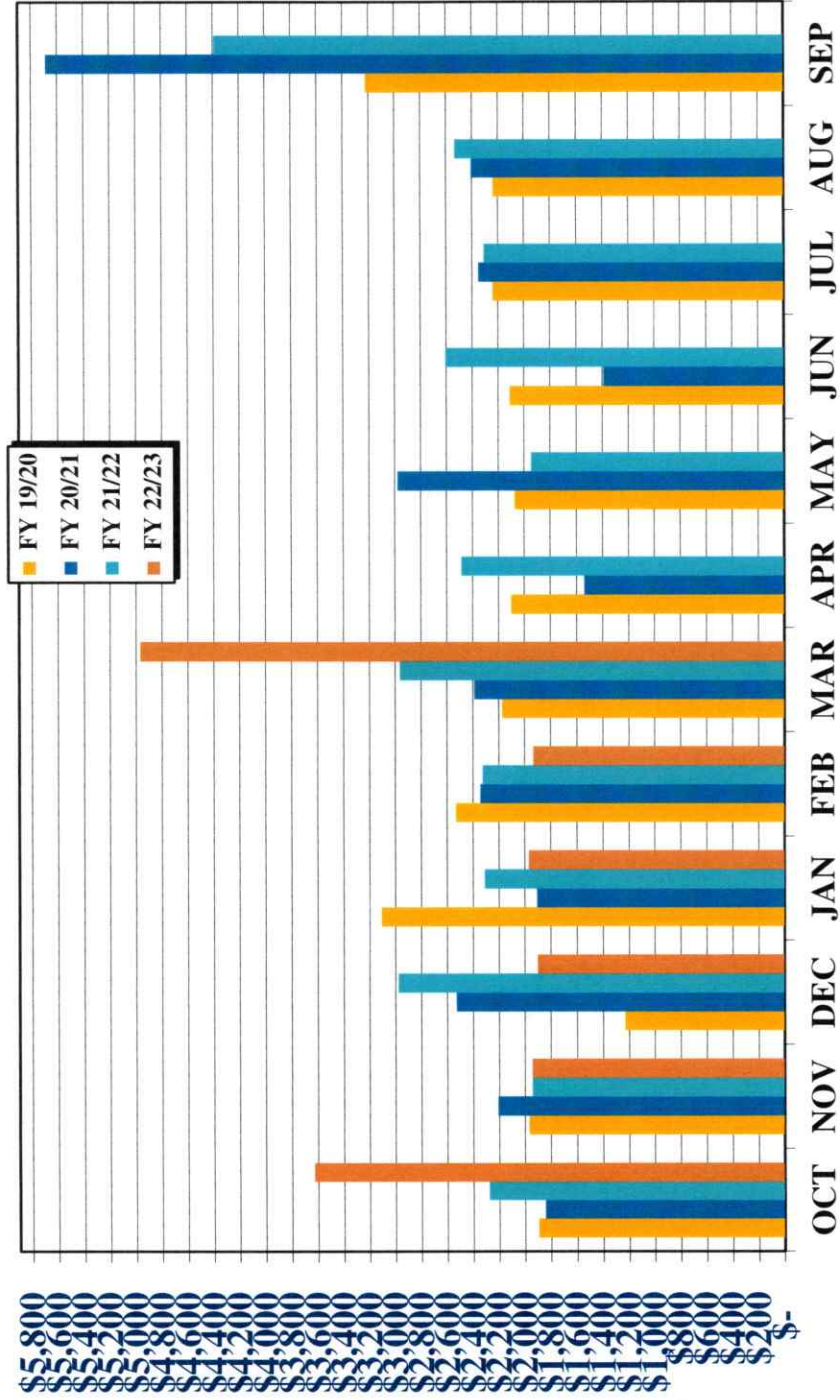


CITY OF MANSFIELD

UTILITY FUND - TOTAL REVENUES



CITY OF MANSFIELD
UTILITY OPERATING EXPENDITURES



City of Mansfield, Texas

Comparative Statement of Net Position
March 31, 2023 and 2022 (Unaudited)

Drainage Utility Fund	Fiscal 2023	Fiscal 2022
<u>ASSETS</u>		
Cash And Investments	\$ 6,268,465	\$ 5,528,440
Accounts Receivable	216,641	228,713
Restricted Assets:		
Cash and Investments	302,315	299,929
Fixed Assets (Net of accumulated depreciation)	<u>8,671,920</u>	<u>8,633,947</u>
Total Assets	<u>15,459,341</u>	<u>14,691,029</u>
<u>DEFERRED OUTFLOWS OF RESOURCES</u>		
Total deferred outflows of resources	<u>269,227</u>	<u>251,735</u>
Total Assets and Deferred Outflows of Resources	<u><u>\$ 15,728,568</u></u>	<u><u>\$ 14,942,764</u></u>
<u>LIABILITIES</u>		
Accounts Payable	\$ 11,631	\$ 4,460
Accrued Liabilities	87,418	78,935
Retainage Payable	5,126	9,261
Bond Payable	1,414,999	1,875,000
Accrued Interest Payable	8,695	11,118
Unamortized Discounts on Bonds	(10,393)	(14,363)
Unamortized Premiums on Bonds	10,189	16,662
Total OPEB liability	22,683	19,781
Net OPEB liability	233,142	217,226
Net pension liability	<u>153,120</u>	<u>230,794</u>
Total Liabilities	<u>1,936,610</u>	<u>2,448,874</u>
<u>DEFERRED INFLOWS OF RESOURCES</u>		
Total deferred inflows of resources	<u>321,355</u>	<u>394,178</u>
<u>NET POSITION</u>		
Invested in Capital Assets (net of related debt)	6,646,861	6,521,461
Reserved for Debt Service	311,010	311,047
Unrestricted	<u>6,512,732</u>	<u>5,267,204</u>
Total Net Position	<u>13,470,603</u>	<u>12,099,712</u>
Total Liabilities, Deferred Inflows of Resources, and Net Position	<u><u>\$ 15,728,568</u></u>	<u><u>\$ 14,942,764</u></u>

City of Mansfield, Texas

Comparative Statement of Activities
For the Month and Six Months Ended March 31, 2023 and 2022 (Unaudited)

Drainage Utility Fund	FY23 MONTH TO DATE	FY22 MONTH TO DATE	FY23 YEAR TO DATE	FY22 YEAR TO DATE
OPERATING REVENUES:				
Contributions	\$ -	\$ -	\$ -	\$ -
Licenses Fee-Gaswells/Pipelines	-	-	-	-
Drainage Fee	<u>237,781</u>	<u>231,364</u>	<u>1,406,710</u>	<u>1,379,265</u>
Total Operating Revenues	<u>237,781</u>	<u>231,364</u>	<u>1,406,710</u>	<u>1,379,265</u>
OPERATING EXPENSES:				
Administration	83,864	74,322	214,298	455,675
General Maintenance	43,867	35,720	387,344	142,870
Depreciation	<u>19,262</u>	<u>18,179</u>	<u>112,831</u>	<u>105,928</u>
Total Operating Expenses	<u>146,993</u>	<u>128,221</u>	<u>714,473</u>	<u>704,473</u>
OPERATING INCOME (LOSS)	90,788	103,143	692,237	674,792
NONOPERATING REVENUES (EXPENSES):				
Interest Revenue	3,989	-	19,918	45
Other Income	-	8,650	11,238	8,997
Amortization	-	-	-	-
Interest and fiscal charges	<u>(4,348)</u>	<u>(5,559)</u>	<u>(27,778)</u>	<u>(35,046)</u>
Net Nonoperating Revenue	(359)	3,091	3,378	(26,004)
INCOME (LOSS) BEFORE OPERATING TRANSFERS	90,429	106,234	695,615	648,788
OPERATING TRANSFERS				
Operating Transfers In	-	-	-	-
Operating Transfers Out	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
Net Operating Transfers	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
CHANGE IN NET POSITION	90,429	106,234	695,615	648,788
NET POSITION, BEGINNING	<u>13,380,174</u>	<u>11,993,479</u>	<u>12,774,988</u>	<u>11,450,924</u>
NET POSITION, ENDING	<u>\$ 13,470,603</u>	<u>\$ 12,099,712</u>	<u>\$ 13,470,603</u>	<u>\$ 12,099,712</u>

CITY OF MANSFIELD, TEXAS
SALES TAX COMPARISON
INFORMATION

**GENERAL FUND
YEAR TO DATE SALES TAX COMPARISON
OCTOBER 2022 TO SEPTEMBER 2023**

MONTH	FY22	FY23	DOLLAR VALUE INCREASE (DECREASE) FY 2022/2023	PERCENTAGE INCREASE (DECREASE) FY 2022/2023
OCTOBER	1,316,776	1,491,129	174,353	13.24%
NOVEMBER	1,635,390	1,735,774	100,383	6.14%
DECEMBER	1,341,435	1,726,542	385,107	28.71%
JANUARY	1,433,584	1,537,214	103,630	7.23%
FEBRUARY	1,842,128	2,073,305	231,177	12.55%
MARCH	1,281,261	1,442,598	161,337	12.59%
APRIL				
MAY				
JUNE				
JULY				
AUGUST				
SEPTEMBER				
YTD TOTAL	8,850,575	10,006,562	1,155,987	13.06%
BUDGET		18,005,274.00		
OVER/(UNDER) BUDGET		(7,998,711.89)		

MANSFIELD PARKS FACILITIES DEVELOPMENT CORP.
YEAR TO DATE SALES TAX COMPARISON
OCTOBER 2022
TO SEPTEMBER 2023

MONTH	FY22	FY23	DOLLAR VALUE INCREASE (DECREASE) FY 2022/2023	PERCENTAGE INCREASE (DECREASE) FY 2022/2023
OCTOBER	658,388	745,564	87,176	13.24%
NOVEMBER	817,695	867,887	50,192	6.14%
DECEMBER	670,718	863,271	192,553	28.71%
JANUARY	716,792	768,607	51,815	7.23%
FEBRUARY	921,064	1,036,653	115,589	12.55%
MARCH	640,631	721,299	80,669	12.59%
APRIL				
MAY				
JUNE				
JULY				
AUGUST				
SEPTEMBER				
YTD TOTAL	4,425,287	5,003,281	577,994	13.06%

**MANSFIELD ECONOMIC DEVELOPMENT CORP.
YEAR TO DATE SALES TAX COMPARISON
OCTOBER 2021 TO SEPTEMBER 2022**

MONTH	FY22	FY23	DOLLAR VALUE INCREASE (DECREASE) FY 2022/2023	PERCENTAGE INCREASE (DECREASE) FY 2022/2023
OCTOBER	658,388	745,564	87,176	13.24%
NOVEMBER	817,695	867,887	50,192	6.14%
DECEMBER	670,718	863,271	192,553	28.71%
JANUARY	716,792	768,607	51,815	7.23%
FEBRUARY	921,064	1,036,653	115,589	12.55%
MARCH	640,631	721,299	80,669	12.59%
APRIL				
MAY				
JUNE				
JULY				
AUGUST				
SEPTEMBER				
YTD TOTAL	4,425,287	5,003,281	577,994	13.06%

**GENERAL FUND
MANSFIELD PARKS DEVELOPMENT CORP.
AND
MANSFIELD ECONOMIC DEVELOPMENT CORP.
COMBINED TOTAL YEAR TO DATE SALES TAX COMPARISON
OCTOBER 2022 TO SEPTEMBER 2023**

MONTH	FY22	FY23	DOLLAR VALUE INCREASE (DECREASE) FY 2022/2023	PERCENTAGE INCREASE (DECREASE) FY 2022/2023
OCTOBER	2,633,552	2,982,257	348,705.32	13.24%
NOVEMBER	3,270,781	3,471,547	200,766.76	6.14%
DECEMBER	2,682,871	3,453,085	770,213.62	28.71%
JANUARY	2,867,167.61	3,074,427.51	207,259.90	7.23%
FEBRUARY	3,684,255.95	4,146,610.70	462,354.75	12.55%
MARCH	2,562,522.41	2,885,196.93	322,674.52	12.59%
APRIL				
MAY				
JUNE				
JULY				
AUGUST				
SEPTEMBER				
YTD TOTAL	17,701,149	20,013,124	2,311,975	13.06%
BUDGET		36,010,548		
OVER/(UNDER) BUDGET		(15,997,424)		

SCHEDULE OF INVESTMENTS



INVESTMENT OFFICERS' REPORT

This report is prepared in accordance with the Public funds Investment Act ("Act"), Chapter 2256 of Title 10 of the Government Code. This Act prescribes the investment of funds in the custody of a district or authority created under Article XVI, Section 59, of the Texas Constitution. Section 2256.023(a) of the Act states that "not less than quarterly the investment officers shall prepare and submit to the governing body of the entity a written report of investment transactions for all funds covered by this chapter for the preceding reporting period." This report covers the month of March for Fiscal Year 2023.



Bryan Rebel
Investment Officer

City of Mansfield
 Portfolio Holdings
 Tracker Portfolio Set Up - by Issuer
 Report Format: By Transaction
 Group By: Issuer
 Average By: Face Amount / Shares
 Portfolio / Report Group: All Portfolios
 As of 3/31/2023

Description	CUSIP/Ticker	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio	Portfolio Name
AIM Invesco												
AIM Invesco MM	AIM	9/30/1999	0.240	480,231.99	480,231.99	480,231.99	480,231.99	N/A	1		0.33	3201 - Street Construction
Sub Total / Average AIM Invesco			0.240	480,231.99	480,231.99	480,231.99	480,231.99		1	0.00	0.33	
CLASS												
CLASS LGIP	CLASS	5/27/2021	4.860	1,762,933.39	1,762,933.39	1,762,933.39	1,762,933.39	N/A	1		1.20	2104 - ARPA
Sub Total / Average CLASS			4.860	1,762,933.39	1,762,933.39	1,762,933.39	1,762,933.39		1	0.00	1.20	
LOGIC												
LOGIC LGIP	LOGIC	5/28/2022	4.816	5,139,264.78	5,139,264.78	5,139,264.78	5,139,264.78	N/A	1		3.50	5201 - Water & Sewer
LOGIC LGIP	LOGIC	5/28/2022	4.816	8,222,823.65	8,222,823.65	8,222,823.65	8,222,823.65	N/A	1		5.60	1001 - General Fund
LOGIC LGIP	LOGIC	5/28/2022	4.816	4,111,411.82	4,111,411.82	4,111,411.82	4,111,411.82	N/A	1		2.80	4501 - Economic Development
LOGIC LGIP	LOGIC	5/28/2022	4.816	3,083,558.88	3,083,558.88	3,083,558.88	3,083,558.88	N/A	1		2.10	3901 - TIF
LOGIC LGIP	LOGIC-CO2022A	12/15/2022	4.816	17,799,674.36	17,799,674.36	17,799,674.36	17,799,674.36	N/A	1		12.12	3218 Issue 2022A - Streets
LOGIC LGIP	LOGIC-CO2022A	12/15/2022	4.816	33,902,307.23	33,902,307.23	33,902,307.23	33,902,307.23	N/A	1		23.09	3410 - PD Headquarters
LOGIC LGIP	LOGIC-CO2022A	12/15/2022	4.816	1,013,764.35	1,013,764.35	1,013,764.35	1,013,764.35	N/A	1		0.69	3412 - ACO/Service Center
Sub Total / Average LOGIC			4.816	73,272,805.07	73,272,805.07	73,272,805.07	73,272,805.07		1	0.00	49.90	
Nations Funds												
Nations Funds MM	MF0008	10/25/1999	4.521	4,981,965.41	4,981,965.41	4,981,965.41	4,981,965.41	N/A	1		3.39	5201 - Water & Sewer
Nations Funds MM	MF0008	10/25/1999	4.521	3,436,582.23	3,436,582.23	3,436,582.23	3,436,582.23	N/A	1		2.34	3201 - Street Construction
Nations Funds MM	MF0008	10/25/1999	4.521	4,261,322.38	4,261,322.38	4,261,322.38	4,261,322.38	N/A	1		2.90	1001 - General Fund
Nations Funds MM	MF0008	10/25/1999	4.521	155,577.87	155,577.87	155,577.87	155,577.87	N/A	1		0.11	4501 - Economic Development
Nations Funds MM	MF0008	10/25/1999	4.521	1,489,834.15	1,489,834.15	1,489,834.15	1,489,834.15	N/A	1		1.01	5220 - Utility Construction Fund 28
Nations Funds MM	MF0008	10/25/1999	4.521	27,191.05	27,191.05	27,191.05	27,191.05	N/A	1		0.02	2003 - Tree Mitigation
Nations Funds MM	MF0008	10/25/1999	4.521	455,468.12	455,468.12	455,468.12	455,468.12	N/A	1		0.31	4001 - Debt Services
Nations Funds MM	MF0008	10/25/1999	4.521	620,272.07	620,272.07	620,272.07	620,272.07	N/A	1		0.42	2302 - Mansfield Parks Land Dedication
Nations Funds MM	MF0008	10/25/1999	4.521	2,343,173.09	2,343,173.09	2,343,173.09	2,343,173.09	N/A	1		1.60	2301 - Mansfield Parks 1/2 Sales Tax

Description	CUSIP/Ticker	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio	Portfolio Name
Nations Funds MM	MF0008	4/11/2012	4.521	3,076,055.70	3,076,055.70	3,076,055.70	3,076,055.70	N/A	1		2.09	5211 - Revenue Bond Reserve
Nations Funds MM	MF0008	8/1/2016	4.521	1,651,889.07	1,651,889.07	1,651,889.07	1,651,889.07	N/A	1		1.12	3404 - Library Expansion
Nations Funds MM	MF0008	8/1/2016	4.521	1,576,558.64	1,576,558.64	1,576,558.64	1,576,558.64	N/A	1		1.07	3212 - 2016 Streets Construction
Nations Funds MM	MF0008	12/1/2017	4.521	26,539.09	26,539.09	26,539.09	26,539.09	N/A	1		0.02	3213 - 2017 Streets Construction
Nations Funds MM	MF0008	7/2/2018	4.521	1,635,687.30	1,635,687.30	1,635,687.30	1,635,687.30	N/A	1		1.11	4506 - MEDC Construction
Sub Total / Average Nations Funds			4.521	25,738,116.17	25,738,116.17	25,738,116.17	25,738,116.17		1	0.00	17.53	
TexStar												
TexStar LGIP	TEXSTAR	11/2/2012	4.607	237,694.11	237,694.11	237,694.11	237,694.11	N/A	1		0.16	4502 - MEDC I&S Fund
TexStar LGIP	TEXSTAR	11/2/2012	4.607	11,576,690.86	11,576,690.86	11,576,690.86	11,576,690.86	N/A	1		7.88	5201 - Water & Sewer
TexStar LGIP	TEXSTAR	11/2/2012	4.607	81,705.26	81,705.26	81,705.26	81,705.26	N/A	1		0.06	3401 - Building Construction
TexStar LGIP	TEXSTAR	11/2/2012	4.607	2,008,116.41	2,008,116.41	2,008,116.41	2,008,116.41	N/A	1		1.37	3201 - Street Construction
TexStar LGIP	TEXSTAR	11/2/2012	4.607	8,725,979.12	8,725,979.12	8,725,979.12	8,725,979.12	N/A	1		5.94	1001 - General Fund
TexStar LGIP	TEXSTAR	11/2/2012	4.607	855,026.39	855,026.39	855,026.39	855,026.39	N/A	1		0.58	4501 - Economic Development
TexStar LGIP	TEXSTAR	11/2/2012	4.607	7,494,310.92	7,494,310.92	7,494,310.92	7,494,310.92	N/A	1		5.10	5220 - Utility Construction Fund 28
TexStar LGIP	TEXSTAR	11/2/2012	4.607	1,523,441.31	1,523,441.31	1,523,441.31	1,523,441.31	N/A	1		1.04	3901 - TIF
TexStar LGIP	TEXSTAR	11/2/2012	4.607	55,274.31	55,274.31	55,274.31	55,274.31	N/A	1		0.04	4001 - Debt Services
TexStar LGIP	TEXSTAR	11/2/2012	4.607	1,091,663.02	1,091,663.02	1,091,663.02	1,091,663.02	N/A	1		0.74	2302 - Mansfield Parks Land Dedication
TexStar LGIP	TEXSTAR	11/2/2012	4.607	1,023,453.98	1,023,453.98	1,023,453.98	1,023,453.98	N/A	1		0.70	5101 - Drainage Utility Fund
TexStar LGIP	TEXSTAR	11/2/2012	4.607	2,506,735.82	2,506,735.82	2,506,735.82	2,506,735.82	N/A	1		1.71	2301 - Mansfield Parks 1/2 Sales Tax
TexStar LGIP	TEXSTAR	11/2/2012	4.607	1,556,356.23	1,556,356.23	1,556,356.23	1,556,356.23	N/A	1		1.06	3208 - Street Construction 2012 Issue
TexStar LGIP	TEXSTAR	1/8/2014	4.607	4,965.72	4,965.72	4,965.72	4,965.72	N/A	1		0.00	3001 - Equipment Replacement
TexStar LGIP	TEXSTAR	11/30/2014	4.607	598,678.12	598,678.12	598,678.12	598,678.12	N/A	1		0.41	2006 - Hotel
TexStar LGIP	TEXSTAR	8/31/2016	4.607	997,931.21	997,931.21	997,931.21	997,931.21	N/A	1		0.68	3212 - 2016 Streets Construction
TexStar LGIP	TEXSTAR	12/31/2017	4.607	3,527,174.02	3,527,174.02	3,527,174.02	3,527,174.02	N/A	1		2.40	3213 - 2017 Streets Construction
TexStar LGIP	TEXSTAR	7/31/2018	4.607	1,733,108.80	1,733,108.80	1,733,108.80	1,733,108.80	N/A	1		1.18	4506 - MEDC Construction
Sub Total / Average TexStar			4.607	45,598,305.61	45,598,305.61	45,598,305.61	45,598,305.61		1	0.00	31.05	
Total / Average			4.685	146,852,392.23	146,852,392.23	146,852,392.23	146,852,392.23		1	0.00	100	

City of Mansfield
 Portfolio Holdings
 Tracker Portfolio Set Up - by Portfolio (Fund)
 Report Format: By Transaction
 Group By: Portfolio Name
 Average By: Face Amount / Shares
 Portfolio / Report Group: All Portfolios
 As of 3/31/2023

Description	CUSIP/Ticker	Security Type	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio
1001 - General Fund												
LOGIC LGIP	LOGIC	Local Government Investment Pool	5/28/2022	4.816	8,222,823.65	8,222,823.65	8,222,823.65	8,222,823.65	N/A	1		5.60
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	4,261,322.38	4,261,322.38	4,261,322.38	4,261,322.38	N/A	1		2.90
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	8,725,979.12	8,725,979.12	8,725,979.12	8,725,979.12	N/A	1		5.94
Sub Total / Average 1001 - General Fund				4.671	21,210,125.15	21,210,125.15	21,210,125.15	21,210,125.15		1	0.00	14.44
2003 - Tree Mitigation												
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	27,191.05	27,191.05	27,191.05	27,191.05	N/A	1		0.02
Sub Total / Average 2003 - Tree Mitigation				4.521	27,191.05	27,191.05	27,191.05	27,191.05		1	0.00	0.02
2006 - Hotel												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/30/2014	4.607	598,678.12	598,678.12	598,678.12	598,678.12	N/A	1		0.41
Sub Total / Average 2006 - Hotel				4.607	598,678.12	598,678.12	598,678.12	598,678.12		1	0.00	0.41
2104 - ARPA												
CLASS LGIP	CLASS	Local Government Investment Pool	5/27/2021	4.860	1,762,933.39	1,762,933.39	1,762,933.39	1,762,933.39	N/A	1		1.20
Sub Total / Average 2104 - ARPA				4.860	1,762,933.39	1,762,933.39	1,762,933.39	1,762,933.39		1	0.00	1.20
2301 - Mansfield Parks 1/2 Sales Tax												
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	2,343,173.09	2,343,173.09	2,343,173.09	2,343,173.09	N/A	1		1.60
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	2,506,735.82	2,506,735.82	2,506,735.82	2,506,735.82	N/A	1		1.71
Sub Total / Average 2301 - Mansfield Parks 1/2 Sales Tax				4.565	4,849,908.91	4,849,908.91	4,849,908.91	4,849,908.91		1	0.00	3.30
2302 - Mansfield Parks Land Dedication												
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	620,272.07	620,272.07	620,272.07	620,272.07	N/A	1		0.42
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	1,091,663.02	1,091,663.02	1,091,663.02	1,091,663.02	N/A	1		0.74
Sub Total / Average 2302 - Mansfield Parks Land Dedication				4.576	1,711,935.09	1,711,935.09	1,711,935.09	1,711,935.09		1	0.00	1.17

Description	CUSIP/Ticker	Security Type	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio
3001 - Equipment Replacement												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	1/8/2014	4.607	4,965.72	4,965.72	4,965.72	4,965.72	N/A	1		0.00
Sub Total / Average 3001 - Equipment Replacement				4.607	4,965.72	4,965.72	4,965.72	4,965.72		1	0.00	0.00
3201 - Street Construction												
AIM Invesco MM	AIM	Money Market	9/30/1999	0.240	480,231.99	480,231.99	480,231.99	480,231.99	N/A	1		0.33
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	3,436,582.23	3,436,582.23	3,436,582.23	3,436,582.23	N/A	1		2.34
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	2,008,116.41	2,008,116.41	2,008,116.41	2,008,116.41	N/A	1		1.37
Sub Total / Average 3201 - Street Construction				4.203	5,924,930.63	5,924,930.63	5,924,930.63	5,924,930.63		1	0.00	4.03
3208 - Street Construction 2012 Issue												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	1,556,356.23	1,556,356.23	1,556,356.23	1,556,356.23	N/A	1		1.06
Sub Total / Average 3208 - Street Construction 2012 Issue				4.607	1,556,356.23	1,556,356.23	1,556,356.23	1,556,356.23		1	0.00	1.06
3212 - 2016 Streets Construction												
Nations Funds MM	MF0008	Money Market	8/1/2016	4.521	1,576,558.64	1,576,558.64	1,576,558.64	1,576,558.64	N/A	1		1.07
TexStar LGIP	TEXSTAR	Local Government Investment Pool	8/31/2016	4.607	997,931.21	997,931.21	997,931.21	997,931.21	N/A	1		0.68
Sub Total / Average 3212 - 2016 Streets Construction				4.554	2,574,489.85	2,574,489.85	2,574,489.85	2,574,489.85		1	0.00	1.75
3213 - 2017 Streets Construction												
Nations Funds MM	MF0008	Money Market	12/1/2017	4.521	26,539.09	26,539.09	26,539.09	26,539.09	N/A	1		0.02
TexStar LGIP	TEXSTAR	Local Government Investment Pool	12/31/2017	4.607	3,527,174.02	3,527,174.02	3,527,174.02	3,527,174.02	N/A	1		2.40
Sub Total / Average 3213 - 2017 Streets Construction				4.606	3,553,713.11	3,553,713.11	3,553,713.11	3,553,713.11		1	0.00	2.42
3218 Issue 2022A - Streets												
LOGIC LGIP	LOGIC-CO2022A	Local Government Investment Pool	12/15/2022	4.816	17,799,674.36	17,799,674.36	17,799,674.36	17,799,674.36	N/A	1		12.12
Sub Total / Average 3218 Issue 2022A - Streets				4.816	17,799,674.36	17,799,674.36	17,799,674.36	17,799,674.36		1	0.00	12.12
3401 - Building Construction												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	81,705.26	81,705.26	81,705.26	81,705.26	N/A	1		0.06
Sub Total / Average 3401				4.607	81,705.26	81,705.26	81,705.26	81,705.26		1	0.00	0.06

Description	CUSIP/Ticker	Security Type	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio
- Building Construction												
3404 - Library Expansion												
Nations Funds MM	MF0008	Money Market	8/1/2016	4.521	1,651,889.07	1,651,889.07	1,651,889.07	1,651,889.07	N/A	1		1.12
Sub Total / Average 3404 - Library Expansion				4.521	1,651,889.07	1,651,889.07	1,651,889.07	1,651,889.07		1	0.00	1.12
3410 - PD Headquarters												
LOGIC LGIP	LOGIC-CO2022A	Local Government Investment Pool	12/15/2022	4.816	33,902,307.23	33,902,307.23	33,902,307.23	33,902,307.23	N/A	1		23.09
Sub Total / Average 3410 - PD Headquarters				4.816	33,902,307.23	33,902,307.23	33,902,307.23	33,902,307.23		1	0.00	23.09
3412 - ACO/Service Center												
LOGIC LGIP	LOGIC-CO2022A	Local Government Investment Pool	12/15/2022	4.816	1,013,764.35	1,013,764.35	1,013,764.35	1,013,764.35	N/A	1		0.69
Sub Total / Average 3412 - ACO/Service Center				4.816	1,013,764.35	1,013,764.35	1,013,764.35	1,013,764.35		1	0.00	0.69
3901 - TIF												
LOGIC LGIP	LOGIC	Local Government Investment Pool	5/28/2022	4.816	3,083,558.88	3,083,558.88	3,083,558.88	3,083,558.88	N/A	1		2.10
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	1,523,441.31	1,523,441.31	1,523,441.31	1,523,441.31	N/A	1		1.04
Sub Total / Average 3901 - TIF				4.747	4,607,000.19	4,607,000.19	4,607,000.19	4,607,000.19		1	0.00	3.14
4001 - Debt Services												
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	455,468.12	455,468.12	455,468.12	455,468.12	N/A	1		0.31
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	55,274.31	55,274.31	55,274.31	55,274.31	N/A	1		0.04
Sub Total / Average 4001 - Debt Services				4.531	510,742.43	510,742.43	510,742.43	510,742.43		1	0.00	0.35
4501 - Economic Development												
LOGIC LGIP	LOGIC	Local Government Investment Pool	5/28/2022	4.816	4,111,411.82	4,111,411.82	4,111,411.82	4,111,411.82	N/A	1		2.80
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	155,577.87	155,577.87	155,577.87	155,577.87	N/A	1		0.11
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	855,026.39	855,026.39	855,026.39	855,026.39	N/A	1		0.58
Sub Total / Average 4501 - Economic Development				4.772	5,122,016.08	5,122,016.08	5,122,016.08	5,122,016.08		1	0.00	3.49
4502 - MEDC I&S Fund												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	237,694.11	237,694.11	237,694.11	237,694.11	N/A	1		0.16
Sub Total / Average 4502				4.607	237,694.11	237,694.11	237,694.11	237,694.11		1	0.00	0.16

Description	CUSIP/Ticker	Security Type	Settlement Date	YTM @ Cost	Face Amount/Shares	Cost Value	Book Value	Market Value	Maturity Date	Days To Maturity	Accrued Interest	% of Portfolio
- MEDC I&S Fund												
4506 - MEDC Construction												
Nations Funds MM	MF0008	Money Market	7/2/2018	4.521	1,635,687.30	1,635,687.30	1,635,687.30	1,635,687.30	N/A	1		1.11
TexStar LGIP	TEXSTAR	Local Government Investment Pool	7/31/2018	4.607	1,733,108.80	1,733,108.80	1,733,108.80	1,733,108.80	N/A	1		1.18
Sub Total / Average 4506 - MEDC Construction				4.565	3,368,796.10	3,368,796.10	3,368,796.10	3,368,796.10		1	0.00	2.29
5101 - Drainage Utility Fund												
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	1,023,453.98	1,023,453.98	1,023,453.98	1,023,453.98	N/A	1		0.70
Sub Total / Average 5101 - Drainage Utility Fund				4.607	1,023,453.98	1,023,453.98	1,023,453.98	1,023,453.98		1	0.00	0.70
5201 - Water & Sewer												
LOGIC LGIP	LOGIC	Local Government Investment Pool	5/28/2022	4.816	5,139,264.78	5,139,264.78	5,139,264.78	5,139,264.78	N/A	1		3.50
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	4,981,965.41	4,981,965.41	4,981,965.41	4,981,965.41	N/A	1		3.39
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	11,576,690.86	11,576,690.86	11,576,690.86	11,576,690.86	N/A	1		7.88
Sub Total / Average 5201 - Water & Sewer				4.637	21,697,921.05	21,697,921.05	21,697,921.05	21,697,921.05		1	0.00	14.78
5211 - Revenue Bond Reserve												
Nations Funds MM	MF0008	Money Market	4/11/2012	4.521	3,076,055.70	3,076,055.70	3,076,055.70	3,076,055.70	N/A	1		2.09
Sub Total / Average 5211 - Revenue Bond Reserve				4.521	3,076,055.70	3,076,055.70	3,076,055.70	3,076,055.70		1	0.00	2.09
5220 - Utility Construction Fund 28												
Nations Funds MM	MF0008	Money Market	10/25/1999	4.521	1,489,834.15	1,489,834.15	1,489,834.15	1,489,834.15	N/A	1		1.01
TexStar LGIP	TEXSTAR	Local Government Investment Pool	11/2/2012	4.607	7,494,310.92	7,494,310.92	7,494,310.92	7,494,310.92	N/A	1		5.10
Sub Total / Average 5220 - Utility Construction Fund 28				4.592	8,984,145.07	8,984,145.07	8,984,145.07	8,984,145.07		1	0.00	6.12
Total / Average				4.685	146,852,392.23	146,852,392.23	146,852,392.23	146,852,392.23		1	0.00	100



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5319

Agenda Date: 5/8/2023

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Authorizing the City Manager and the Police Department to Make Application, Receive and Expend Grant Funding From the Texas Department of Motor Vehicle Crime Prevention Authority to Continue a Multi-Agency Task Force

Requested Action

Approval of Resolution

Recommendation

Approve Resolution

Description/History

In Texas, a vehicle is stolen every 5 minutes and a vehicle is burglarized every 2.5 minutes, unfortunately, the City of Mansfield is not excluded from these statistics. The police department has applied and received funding from this grant program for the last 11 years. Most recently in FY22-23, the grant award received was \$331,342 to continue to operate a multi-agency task force that targets automobile thefts and burglaries. The police department will continue to be the managing agency with participation from the cities of Burleson, Kennedale, Midlothian, Alvarado and the Tarrant County Constable Precinct 7. Additionally, The Task Force will provide law enforcement assistance related to the grant activities to all law enforcement agencies within Ellis and Johnson Counties.

The grant will fund personnel, travel, and supplies and operating expenses for FY23-24. The grant will require a 20% cash match that will be shared with each participating law enforcement agency receiving grant funds.

Funding Source

Reimbursement grant from the Motor Vehicle Crime Prevention Authority through the Texas Department of Motor Vehicles Grant Program of the State of Texas through the Governor's Office.

Prepared By

Jessica Graves, Grant Manager

RESOLUTION NO. _____**A RESOLUTION AUTHORIZING THE CHIEF OF POLICE AND THE POLICE DEPARTMENT TO MAKE APPLICATION, RECEIVE, AND EXPEND GRANT FUNDING FROM THE TEXAS DEPARTMENT OF MOTOR VEHICLES MOTOR VEHICLE CRIME PREVENTION AUTHORITY TO CONTINUE A MULTI-AGENCY TASK FORCE**

WHEREAS, under the provisions of the Texas Transportation Code Chapter 1006 and Texas Administrative Code Title 43; Part 3; Chapter 57, entities are eligible to receive grants from the Motor Vehicle Crime Prevention Authority (MVCPA) to provide financial support to law enforcement agencies for economic automobile theft enforcement teams and to combat motor vehicle burglary in the jurisdiction; and,

WHEREAS, the City of Mansfield finds it in the best interest of the citizens to receive grant funding from a program which is funded by a \$4.00 annual assessment per insured vehicle per year; and,

WHEREAS, if awarded grant funds, this will be the 12th year since the inception of the Tri-County Auto Theft Task Force (task force). The City of Mansfield, the Police Department, and the task force agrees to comply with all program rules as set out in the grant program guidelines; and,

WHEREAS, the City of Mansfield agrees that in the event of loss or misuse of the grant program funds, the City of Mansfield assures that the funds will be returned to MVCPA in full; and,

WHEREAS, the City of Mansfield designates Tracy Aaron (Chief of Police) as the grantee's authorized official. The authorized official is given the power to apply for, accept, reject, alter or terminate the grant on behalf of the applicant agency; and,

WHEREAS, the City Council desires to ratify and authorizes the Police Chief and the police department to make application, receive, and expend the above mentioned grant allocation, if awarded.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The Chief of Police or designee is authorized to execute all documents and make application for obtaining state funds from MVCPA for FY24. The city agrees to a 20% cash match which will be shared with each participating law enforcement agency receiving grant funding.

SECTION 2.

The Chief of Police or designee is authorized to receive and expend the grant funding, if awarded, by the Motor Vehicle Crime Prevention Authority for this grant program.

SECTION 3.

That Jim Harrell, Lieutenant, is designated as the Program Director and Edlin Chavez, Finance – Grant Coordinator, is designated as the Financial Officer for this grant.

SECTION 4.

This Resolution shall take effect immediately from and after its passage in accordance with the Charter of the City of Mansfield, and it is accordingly so resolved.

PASSED AND APPROVED ON THIS THE 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susanna Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5334

Agenda Date: 5/8/2023

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Authorizing the Purchase of Property Located at 620 W. Broad Street for the Walnut Creek Linear Park Trail System

Requested Action

Approve Resolution to Purchase Property Located at 620 W. Broad Street

Recommendation

Approve Resolution

Description/History

The 2020 Parks, Recreation, Open Space and Trails Master Plan included a spine trail phasing and prioritization plan with four phases of development for the Walnut Creek Linear Park (WCLP) system. Phase 1 from Main Street to Hwy 287 was completed in 2007. Phase 2B was completed in 2020 and Phase 3A was completed in 2021. Phase 3B is currently in the design phase.

Phase 4 of the WCLP system will begin at Main Street in Town Park and continue west towards the city limits. As with the other phases, the acquisition of land along Walnut Creek is needed to provide the corridor for the linear trail development. In December 2015, the Mansfield Park Facilities Development Corporation issued revenue bonds for constructing, improving, equipping and acquiring land for the Mansfield Linear Park Project.

The proposed acquisition includes approximately 1.986 acres of land located at 620 W. Oak Street out of the property's 12.061 acres. The remaining 10.075 acres will remain in the possession of the sellers. The negotiated purchase price of the property is \$29,790. In addition, the MPFDC will be responsible for installing a perimeter fence along the new property boundary, the associated closing costs and any prorated taxes due to the Tarrant Appraisal District, as well conducting and providing two surveys to the sellers. The MPFDC Board of Directors approved the property purchase at their regular meeting on April 20, 2023.

Justification

This private property is in the floodway/floodplain along Walnut Creek. The property acquisition is necessary for the progression and development of the Walnut Creek Linear Park trail extension from Town Park to the western city limits.

Funding Source

MPFDC ½ Cent Sales Tax

Prepared By

Matt Young

Executive Director of Community Services

matt.young@mansfieldtexas.gov

817-728-3397

RESOLUTION NO. _____**A RESOLUTION AUTHORIZING THE PURCHASE OF PROPERTY LOCATED AT 620 W. BROAD STREET FOR THE WALNUT CREEK LINEAR PARK TRAIL SYSTEM**

WHEREAS, the 2020 Parks, Recreation, Open Space & Trails Master Plan determined the need for trails and linear parks that connect residents with key destinations throughout the community; and,

WHEREAS, the property located at 620 W. Broad Street will provide an opportunity to expand the Walnut Creek Linear Park system; and,

WHEREAS, the City has determined that constructing Phase 4 improvements of the Walnut Creek Linear Park will fulfill the need as indicated in the Master Plan by improving pedestrian access into Historic Downtown Mansfield; and,

WHEREAS, the Board of Directors of the Mansfield Park Facilities Development Corporation approved the property purchase at their Regular Meeting on April 20, 2023.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The City Council approves the purchase of property located at 620 W. Broad Street in the amount of Twenty-Nine Thousand Seven Hundred Ninety Dollars and 00/100 (\$29,790.00) and authorizes the City Manager or his Designee to execute all contracts and other documents related to this transaction.

SECTION 2.

This Resolution shall take effect immediately from and after its passage in accordance with the Charter of the City of Mansfield, and it is accordingly so resolved.

PASSED AND APPROVED THIS THE 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5336

Agenda Date: 5/8/2023

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution Supporting the City of Mansfield's Application to the Texas Department of Transportation's 2023 Transportation Alternatives Set-Asides (TA) Call for Projects

Requested Action

Consider the support of the Call for Projects application.

Recommendation

Approval of the Resolution supporting the Call for Projects application.

Description/History

On January 9, 2023, Council Approved Resolution #3961-23 which authorized the city to make application to TxDOT for the 2023 Transportation Alternatives Call for Projects for the purpose of preparing an Active Transportation and Safety Plan. On March 31, 2023, the city was informed the proposed project met the criteria and was to advance to the full application stage. The preliminary call received 465 applications totaling \$1.7 billion dollars in funding requests. TxDOT anticipates receiving \$250 million dollars in funding for this call.

The proposed project for this application is to develop an Active Transportation and Safety Plan for Mansfield's pedestrian and bicycling needs. The plan will include a detailed inventory of all pedestrian and bicycle infrastructure within the city's public right-of-way; engage the public and stakeholders; analyze and conduct safety assessments of existing conditions and needs; and develop a prioritized action plan and ADA Transition plan. The estimated cost for this effort is approximately \$650,000, with 80% of the cost funded by the federal program. The city is obligated for 20% of the cost.

The detailed application final submittal date is June 5. Final decisions by TxDOT are anticipated in the Fall of 2023. The attached resolution contains specific language required by TxDOT concerning the city covering non-reimbursable cost and cost overruns that was not included in Resolution #3661-23.

Justification

The proposed Action Plan will set a detailed course for improvements to our pedestrian and bicycling transportation network. It will put Mansfield in compliance with the ADA Transition planning requirement for our public right-of-way. A well-prepared Safety Plan is also a

necessary component to apply for many other significant grant opportunities for future projects identified in the final report. The updated resolution contains language specified by TxDOT.

Funding Source

Identifying the funding source is not necessary currently. Funding will be discussed if the project is selected.

Prepared By

David Boski, P.E., Assistant Director of Public Works-Transportation, 817-276-4208

RESOLUTION NO. _____**A RESOLUTION SUPPORTING “THE CITY OF MANSFIELD’S” APPLICATION TO THE TEXAS DEPARTMENT OF TRANSPORTATION’S 2023 TRANSPORTATION ALTERNATIVES SET-ASIDE (TA) CALL FOR PROJECTS**

WHEREAS, the Texas Department of Transportation issued a call for projects in December 2022 for communities to apply for funding assistance through the Transportation Alternatives Set-Aside (TA) Program; and;

WHEREAS, the TA funds may be used for development of planning documents to assist communities of any size in developing non-motorized transportation networks. The TA funds require a local match, comprised of cash or Transportation Development Credits (TDCs), if eligible. The City of Mansfield would be responsible for all non-reimbursable costs and 100% of overruns, if any, for TA funds.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD THAT:

SECTION 1.

The City of Mansfield supports funding this project as described in the 2023 TA Detailed Application (including the planning activities, the department’s direct state cost for oversight, and the required local match, if any) and is willing to commit to the project’s development, financing, management, adoption and implementation of completed planning documents. The City of Mansfield is willing and able to enter into an agreement with the department by resolution or ordinance, should the project be selected for funding.

SECTION 2.

The City Manager or his designee is authorized to execute all documents to make application to the TxDOT for the 2023 Transportation Alternatives Set-Aside (TA) Call for Projects.

SECTION 3.

This Resolution shall take effect immediately from and after its passage in accordance with the Charter of the City of Mansfield, and it is accordingly so resolved.

PASSED AND APPROVED ON THIS THE 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

Resolution No. _____

23-5336

Page 2 of 2

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5338

Agenda Date: 5/8/2023

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution to Establish a Date for the Public Hearing to Consider the Proposed Amendment and Imposition of Updated Roadway Impact Fees

Requested Action

Approval of the attached resolution.

Recommendation

Engineering Services recommends approval of the attached resolution.

Description/History

On August 24, 2020, Council approved Resolution 3673-20 which authorized a contract with Kimley-Horn and Associates Inc. to provide an update to the Master Thoroughfare Plan and Roadway Impact Fees. Chapter 395 of the Local Government Code requires the City Council to update impact fees and their associated documents (i.e., the land use assumptions and capital improvements plan) every five years.

Concerning an update to the roadway impact fees as prescribed above, amendments to the land use assumptions and roadway capital plan were adopted on November 14, 2022. The City Council now must hold a public hearing to update the impact fee rate. The proposed public hearing and first reading date is scheduled for June 12, 2023.

Justification

According to the Local Government Code, the public hearing date must be established by resolution. The Capital Improvements Advisory Committee (same members as the Planning and Zoning Commission) has previously forwarded its recommendation to the City Council. The public hearing notice must be posted 30 days prior to the public hearing.

The Director of Engineering Services will attend the meeting to answer Council's questions regarding the resolution.

Funding Source

N/A

Prepared By

Raymond Coffman, P.E.

Director of Engineering Services

817-276-42.8

RESOLUTION NO. _____**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, ESTABLISHING A DATE FOR A PUBLIC HEARING TO CONSIDER THE PROPOSED AMENDMENT AND IMPOSITION OF UPDATED ROADWAY IMPACT FEES; AND PROVIDING FOR AN EFFECTIVE DATE**

WHEREAS, the City has adopted a roadway impact fee, and in accordance with Chapter 395 of the Local Government Code, the impact fee and the associated Land Use Assumptions and Capital Improvements Plan shall be updated at least every five years.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That June 12, 2023 is hereby established as the public hearing date to discuss the proposed amendment of the imposition of updated roadway impact fees in the City of Mansfield.

SECTION 2.

That a copy of said amount of the proposed roadway impact fee will be made available to the public on or before the date of the publication of the public hearing notice.

SECTION 3.

This Resolution shall take effect immediately from and after its passage in accordance with the Charter of the City of Mansfield, and it is accordingly so resolved.

PASSED AND APPROVED ON THIS THE 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

NOTICE OF PUBLIC HEARING ON AMENDMENT OF IMPACT FEES

The City Council of the City of Mansfield will hold a public hearing to consider the amendment and imposition of updated roadway impact fees.

The maximum amount of each proposed impact fee per service unit will be as follows:

Roadway Impact Fee:

Service Area A (NW of US 287 & Broad): \$2,384/ vehicle-mile

Service Area B (NE of US 287 & Broad): \$1,321 / vehicle-mile

Service Area C (SW of US 287 & Broad): \$1,366 / vehicle-mile

Service Area D (SE of US 287 & Broad): \$1,354 / vehicle-mile

THE PUBLIC HEARING WILL BE HELD:

Date: June 12, 2023

Time: 7:00 p.m.

Place: Mansfield City Hall

1200 E. Broad Street

Mansfield, TX 76063

Any member of the public has the right to appear at the hearing and present evidence for or against the plan and proposed fee.

For questions contact Raymond Coffman at 817-276-4238 or
raymond.coffman@mansfieldtexas.gov

The following language is NOT to be included in the printed advertisement:

Project Manager: Raymond Coffman

Phone: 817-276-4238

Account #: Engineering – MANCIT15



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5339

Agenda Date: 5/8/2023

Version: 1

Status: Approval of Minutes

In Control: City Council

File Type: Meeting Minutes

Agenda Number:

Title

Minutes - Approval of the April 24, 2023 Regular City Council Meeting Minutes

Requested Action

Action to be taken by the Council to approve the minutes.

Recommendation

Approval of the minutes by the Council.

Description/History

The minutes of the April 24, 2023 Regular City Council Meeting are in DRAFT form and will not become effective until approved by the Council at this meeting.

Justification

Permanent Record

Funding Source

N/A

Prepared By

Susana Marin, TRMC, City Secretary

817-276-4203



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

Meeting Minutes - Draft

City Council

Monday, April 24, 2023

12:30 PM

Council Chambers

REGULAR MEETING

12:30 P.M. - CALL MEETING TO ORDER

Mayor Evans called the meeting to order at 12:45 p.m.

Council Member Leyman was absent due to his resignation.

Absent 1 - Larry Broseh

Present 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

N/A's 1 - Mike Leyman

RECESS INTO EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Mayor Evans recessed the meeting into executive session at 12:47 p.m. Mayor Evans called the executive session to order in the Council Conference room at 12:49 p.m. Mayor Evans recessed the executive session at 1:57 p.m.

Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Seek Advice of City Attorney Regarding Contract Negotiations

Seek Advice of City Attorney Regarding a Potential Land Sale

Seek Advice of City Attorney Regarding Legal Issues Pertaining to Economic Development Projects Listed in Section 3.D of the Agenda

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

Personnel Matters Pursuant to Section 551.074

City Manager's Quarterly Update

Board Appointments

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #21-13

Economic Development Project #21-33

WORK SESSION

Discussion Regarding the April 24, 2023 Consent Agenda Items

Executive Director of Community Services Matt Young spoke on item 23-5302 and discussed and received direction from Council on Phase 2B of the Pond Branch Linear Park Trail.

Discussion Regarding Updates to the Thoroughfare Plan, Roadway Impact Fees, and Roadway Capital Plan

Director of Engineering Services Raymond Coffman spoke on aspects of the Master Thoroughfare Plan including roadway capital project delivery, roadway network focus areas, a thoroughfare plan update, immediate modifications, near-term planned modifications, and next steps. Raymond also touched on roadway impact fees including the basics, neighborhood empowerment zones, calculations, comparisons, and next steps.

Mayor Evans recessed the meeting at 3:36 p.m. so that Council could attend the Donor Celebration and Open House Event to recognize the donors to the Texas Tech University Health Sciences Center Bachelor of Science in Nursing Program at Methodist Mansfield. Mayor Evans reconvened the meeting into regular business session at 5:01 p.m.

RECESS INTO EXECUTIVE SESSION

In accordance with Texas Government Code, Chapter 551, Mayor Evans called the executive session to order in the Council Conference room at 5:09 p.m. Mayor Evans recessed the executive session at 6:27 p.m.

Pending or Contemplated Litigation or to Seek the Advice of the City Attorney Pursuant to Section 551.071

Seek Advice of City Attorney Regarding Contract Negotiations

Seek Advice of City Attorney Regarding a Potential Land Sale

Seek Advice of City Attorney Regarding Legal Issues Pertaining to Economic Development Projects Listed in Section 3.D of the Agenda

Discussion Regarding Possible Purchase, Exchange, Lease, or Value of Real Property Pursuant to Section 551.072

Land Acquisition for Future Development

Personnel Matters Pursuant to Section 551.074

City Manager's Quarterly Update

Board Appointments

Deliberation Regarding Commercial or Financial Information Received From or the Offer of a Financial or Other Incentive Made to a Business Prospect Seeking to Locate, Stay or Expand in or Near the Territory of the City and with which the City is Conducting Economic Development Negotiations Pursuant to Section 551.087

Economic Development Project #21-13

Economic Development Project #21-33

6:50 P.M. – COUNCIL BREAK PRIOR TO REGULAR BUSINESS SESSION

7:00 PM OR IMMEDIATELY FOLLOWING EXECUTIVE SESSION - RECONVENE INTO REGULAR BUSINESS SESSION

Mayor Evans reconvened the meeting into regular business session at 6:57 p.m.

INVOCATION

Pastor Andrew Hayward of Central Baptist Church gave the Invocation.

PLEDGE OF ALLEGIANCE

Mayor Pro Tem Tonore led the Pledge of Allegiance.

TEXAS PLEDGE

"Honor the Texas Flag; I Pledge Allegiance to Thee, Texas, One State Under God; One and Indivisible"

Council Member Lewis led the Texas Pledge.

PROCLAMATION[23-5277](#)

Dr. Darien W Bradford

Mayor Evans read and presented the proclamation to Dr. Darien Bradford.[23-5315](#)

National Library Week 2023

Mayor Evans read and presented the proclamation to Mansfield Public Library staff and the Mansfield Public Library Advisory Board.[23-5314](#)

Historic Preservation Month

*Mayor Evans read and presented the proclamation to Art Wright, Historic Preservation Officer and the Historic Preservation Advisory Board.***RECOGNITION**

President's Volunteer Service Award - City Council

*City Manager Joe Smolinski and the management team presented the President's Volunteer Service Award Gold Medal, as well as Lifetime Achievement Award, to the City Council.***CITIZEN COMMENTS***Tim Milligan, 1035 Cypress Point - Mr. Milligan spoke on an upcoming Veterans Benefit Seminar.***COUNCIL ANNOUNCEMENTS***Council Member Short encouraged everyone to vote.**Council Member Bounds spoke on the three parks grand openings and stated how proud she is of the city and the Parks and Recreation team.**Mayor Evans echoed Council Member Bounds' comments.***STAFF COMMENTS****City Manager Report or Authorized Representative**

Current/Future Agenda Items

Texas Travel Awards Results - Tim Roberts

Tourism Manager Tim Roberts spoke on the City being awarded the Most Instagrammable Spot award for the "Love Your Vibe" mural and Best Music Festival

award for Music Alley from Texas Travel. He also spoke on the upcoming Music Alley event.

Communications and Outreach Department Report

[23-5303](#)

Departmental Quarterly Reports

Staff was available for questions.

Financial Services Department Report

[23-5322](#)

Presentation of the 1st Quarter FY 23 Financial Report

Staff was available for questions.

TAKE ACTION NECESSARY PURSUANT TO EXECUTIVE SESSION

A motion was made by Council Member Short that pursuant to item #21-13, approve an amendment to the existing Economic Development Agreement with TMI Real Estate Ventures, LLC, amending the capital investment requirement to \$4,005,000.00, and amending the grant amount to the lesser of 89% of the actual cost of the improvements or \$311,500.00 and authorizing the City Attorney to finalize the amendment that will authorize the MEDC Board President to execute the amendment. Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 5 - Julie Short;Casey Lewis;Todd Tonore;Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

CONSENT AGENDA

[23-5301](#)

Resolution - A Resolution Authorizing the Purchase of Property Located at 660 W. Broad Street for the Walnut Creek Linear Park Trail System

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION AUTHORIZING THE PURCHASE OF PROPERTY LOCATED AT 660 W. BROAD STREET FOR THE WALNUT CREEK LINEAR PARK TRAIL SYSTEM

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 5 - Julie Short;Casey Lewis;Todd Tonore;Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

Enactment No: RE-4010-23

[23-5302](#)

Resolution - A Resolution to Consider Executing a Consultant Agreement with Parkhill, Inc. in the Amount of \$711,563 for Professional Services Related to the Design for Improvements at Katherine Rose Memorial Park and Hardy Allmon Soccer Complex

A motion was made by Council Member Lewis to approve the following resolution:

A RESOLUTION TO CONSIDER EXECUTING A CONSULTANT AGREEMENT WITH PARKHILL, INC. IN THE AMOUNT OF \$711,563 FOR PROFESSIONAL SERVICES RELATED TO THE DESIGN FOR IMPROVEMENTS AT KATHERINE ROSE MEMORIAL PARK AND HARDY ALLMON SOCCER COMPLEX

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote

Aye: 5 - Julie Short;Casey Lewis;Todd Tonore;Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

Enactment No: RE-4011-23

[23-5309](#)

Minutes - Approval of the April 10, 2023 Regular City Council Meeting Minutes

A motion was made by Council Member Lewis to approve the minutes of the April 10, 2023 Regular City Council Meeting as presented. Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 5 - Julie Short;Casey Lewis;Todd Tonore;Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

END OF CONSENT AGENDA

PUBLIC HEARING

[23-5305](#)

Public Hearing - A Public Hearing Regarding Certain Type "B" Projects that the Mansfield Economic Development Corporation, A Type "A" Economic Development Corporation, Proposes to Undertake in the City of Mansfield

Executive Director of Economic Development Jason Moore presented the item and answered questions.

Mayor Evans opened the public hearing at 7:56 p.m. With no one wishing to speak, Mayor Evans closed the public hearing at 7:56 p.m.

PUBLIC HEARING CONTINUATION AND SECOND AND FINAL READING

[23-5270](#)

Ordinance - Public Hearing Continuation and Second and Final Reading on an Ordinance Approving a Change of zoning from C-2, Community Business District to S, South Mansfield Form Based Development District on Approximately 12.899 Acres in the Joseph Lawrence Survey, Abstract No. 616, City of Mansfield, Ellis County, Texas on Property Located at 3400 Harmon Road; M.R. Development, Developer (ZC#23-004)

Executive Director of Planning and Development Services Jason Alexander presented the item.

Mayor Evans continued the public hearing at 8:03 p.m. With no one wishing to speak, Mayor Evans closed the public hearing at 8:03 p.m.

A motion was made by Council Member Bounds to approve the second and final reading of the following ordinance:

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY TO A S, SOUTH MANSFIELD FORM-BASED DEVELOPMENT DISTRICT; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

Enactment No: OR-2298-23

NEW BUSINESS**23-5313**

Ordinance - First and Final Reading on an Ordinance Approving a Development Agreement with M.R. Development Corporation and Carleton Development, LTD, Regarding the Development of Approximately 12.899 Acres out of the Joseph Lawrence Survey, Abstract No. 616, Described as Tract 3 in a Deed to Sunbelt Land Investments/360 LTD Recorded in Volume 2746, Page 1136, Deed Records of Ellis County, Texas; Approving a Concept Plan and Phasing Plan; Providing that this Ordinance Shall Be Cumulative of All Ordinances; Providing a Savings Clause; Providing for a Penalty Clause; Providing a Severability Clause; and Providing an Effective Date

Jason Alexander presented the item.

A motion was made by Council Member Lewis to approve the first and final reading of the following ordinance:

AN ORDINANCE APPROVING A DEVELOPMENT AGREEMENT WITH M.R. DEVELOPMENT CORPORATION AND CARLETON DEVELOPMENT, LTD REGARDING PROPERTY BEING DESCRIBED AS APPROXIMATELY 12.898 ACRES OUT OF THE JOSEPH LAWRENCE SURVEY, ABSTRACT NO. 616, DESCRIBED AS TRACT 3 IN DEED TO SUNBELT LAND INVESTMENTS/360 LTD RECORDED IN VOLUME 2746, PAGE 1136, DEED RECORDS OF ELLIS COUNTY, TEXAS; APPROVING A CONCEPT PLAN AND PHASING PLAN; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE OF ALL ORDINANCES; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

(Ordinance in its entirety located in the City Secretary's Office)

Seconded by Council Member Bounds. The motion CARRIED by the following vote:

Aye: 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

Enactment No: OR-2299-23

23-5304

Resolution - A Resolution of the City Council of the City of Mansfield, Texas, Approving an Economic Development and Performance Agreement by and Between the Mansfield Economic Development Corporation ("MEDC") and Hoffman Cabinets, Inc. and Authorizing its Execution by the President of the MEDC; and Providing an Effective Date

Jason Moore presented the item.

A motion was made by Council Member Short to approve the following resolution:

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, APPROVING AN ECONOMIC DEVELOPMENT AND PERFORMANCE AGREEMENT BY AND BETWEEN THE MANSFIELD ECONOMIC DEVELOPMENT CORPORATION ("MEDC") AND HOFFMAN CABINETS, INC. AND AUTHORIZING ITS EXECUTION BY THE PRESIDENT OF THE MEDC; AND PROVIDING AN EFFECTIVE DATE

(Resolution in its entirety located in the City Secretary's Office)

Seconded by Council Member Lewis. The motion CARRIED by the following vote:

Aye: 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

Enactment No: RE-4012-23

[23-5316](#)

Discussion and Possible Action Regarding an Appointment to the Planning and Zoning Commission

Jason Alexander presented the item.

A motion was made by Council Member Lewis to appoint Patrick Moses to fill the Planning and Zoning Commission's unexpired term. Seconded by Mayor Pro Tem Tonore. The motion CARRIED by the following vote:

Aye: 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

ADJOURN

A motion was made by Council Member Lewis to adjourn the meeting at 8:12 p.m. Seconded by Council Member Short. The motion CARRIED by the following vote:

Aye: 5 - Julie Short; Casey Lewis; Todd Tonore; Michael Evans and Tamera Bounds

Nay: 0

Absent: 1 - Larry Broseh

Abstain: 0

ATTEST: Michael Evans, Mayor

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5335

Agenda Date: 5/8/2023

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Title

Ordinance - Public Hearing and First and Final Reading on an Ordinance of the City Council of the City of Mansfield, Texas, Amending the Boundaries of Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas; Approving an Amended and Restated Final Project and Finance Plan for Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas; Making Certain Findings; Providing a Severability Clause; and Providing for an Immediate Effective Date

Requested Action

Approve the boundary extension for TIRZ #1.

Recommendation

Staff recommends the approval of the Ordinance.

Description/History

The Ordinance approves the boundary extension, to include approximately 70 acres.

Justification

The boundary should be extended to provide an opportunity for reinvestment.

Funding Source

N/A

Prepared By

Matt Jones, Assistance City Manager

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE BOUNDARIES OF TAX INCREMENT FINANCING REINVESTMENT ZONE NUMBER ONE, CITY OF MANSFIELD, TEXAS; APPROVING AN AMENDED AND RESTATED FINAL PROJECT AND FINANCE PLAN FOR TAX INCREMENT FINANCING REINVESTMENT ZONE NUMBER ONE, CITY OF MANSFIELD, TEXAS; MAKING CERTAIN FINDINGS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN IMMEDIATE EFFECTIVE DATE

WHEREAS, the City of Mansfield, Texas (the "City"), pursuant to Chapter 311 of the Texas Tax Code, as amended (the "Act"), may designate a geographic area within the City as a tax increment reinvestment zone if the area satisfies the requirements of the Act; and,

WHEREAS, pursuant to and as required by the Act, the City Council of the City (the "City Council") prepared a *Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Preliminary Project and Finance Plan* (the "Preliminary Project and Finance Plan") for Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas ("TIRZ #1"); and,

WHEREAS, on December 13, 2006, the City Council approved Ordinance No. 1608 creating TIRZ #1 (the "Creation Ordinance"), pursuant to the Act, which contained approximately 3,100 acres; and,

WHEREAS, on August 27, 2007, Ellis County agreed to participate in TIRZ #1 by approving a participation agreement; and,

WHEREAS, on November 28, 2007, the City Council approved Ordinance No. OR-1655-07, which approved the *Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Final Project and Finance Plan* (the "Final Project and Finance Plan"); and,

WHEREAS, on February 26, 2008, Tarrant County agreed to participate in TIRZ #1 by approving a participation agreement; and,

WHEREAS, the City may amend the boundary of TIRZ #1, including adding to or removing property from TIRZ #1, subject to the requirements of the Act; and,

WHEREAS, on April 10, 2023 the TIRZ Board and City Council approved the amendment of the TIRZ#1 boundary to include approximately 38 acres of land within the corporate limits of the City, (the "Original Expansion"); and,

WHEREAS, the City Council has a desire to add certain property to TIRZ #1, generally located north of Magnolia Street, East of N Walnut Creek Dr, and West of Carlin Road, and consisting of approximately 70.7 acres, as depicted on **Exhibit A** attached hereto (the "Additional Expansion"); and,

WHEREAS, the City Council has prepared the *Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Amended and Restated Final Project and Finance Plan* (the “Amended Plan”), attached hereto as **Exhibit B**, inclusive of the Original Expansion and the Additional Expansion; and,

WHEREAS, a notice of public hearing on amending TIRZ #1 was published in the Fort Worth Star Telegram, a newspaper of general circulation within the City, on April 27, 2023, which date is not later than the seventh (7th) day prior to the public hearing held on May 8, 2023; and,

WHEREAS, on May 8, 2023, the City Council held a public hearing on the following: (i) amending the boundaries of TIRZ #1 to include the Additional Expansion, and (ii) considering the approval of the Amended Plan; and,

WHEREAS, at the public hearing on May 8, 2023, interested persons were allowed to speak for or against including the Additional Expansion in the TIRZ #1, the proposed amended boundaries of TIRZ #1, and the concept of tax increment financing, and owners of property in the Additional Expansion were given a reasonable opportunity to protest the inclusion of their property in TIRZ #1; and,

WHEREAS, the City has taken all actions required to create and amend TIRZ #1 including, but not limited to, all actions required by the Act, the Texas Open Meetings Act, and all other laws applicable to the creation and amendment of TIRZ #1; and,

WHEREAS, on May 8, 2023, the Board of Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas recommended approval of the Amended Plan, a copy of which is attached hereto as **Exhibit B**.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

RECITALS

That the recitals, findings, and determinations contained in the preamble to this Ordinance are incorporated into the body of this Ordinance as if fully set forth in this Section and are hereby found and declared to be true and correct legislative findings and are adopted as part of this Ordinance for all purposes.

SECTION 2.

BOUNDARY AMENDMENT

That the City Council does hereby amend the boundary of TIRZ #1 to include the Additional Expansion, as depicted on **Exhibit A** and incorporated herein for all purposes.

SECTION 3.

AMENDED PLAN

That the City Council does hereby approve the Amended Plan, a copy of which is attached hereto as **Exhibit B** and incorporated herein for all purposes.

SECTION 4.

SEVERABILITY

That if any provision, section, subsection, sentence, clause or phrase of this Ordinance, or the application of same to any person or set of circumstances, is for any reason held to be invalid, the validity of the remaining provisions of this Ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this Ordinance that no provision of this Ordinance shall become inoperative because of the invalidity of another provision; and, therefore, all provisions of this Ordinance are declared severable for that purpose.

SECTION 5.

EFFECTIVE DATE

This Ordinance shall take effect immediately upon its passage in accordance with the Charter of the City, as provided by law.

DULY PASSED ON THE FIRST AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Bradley Anderle, City Attorney



TAX INCREMENT FINANCING REINVESTMENT ZONE
NUMBER ONE,
CITY OF MANSFIELD, TEXAS,
AMENDED & RESTATED
FINAL PROJECT AND FINANCE PLAN
MAY 8, 2023

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SECTION 1: DEFINITIONS

Capitalized terms used in this Amended Plan shall have the meanings given to them in **Section I** below unless otherwise defined in this Amended Plan or unless the context in which a term is used clearly requires a different meaning. Unless otherwise defined, a reference to a “Section,” or an “Exhibit,” shall be a reference to a Section of this Amended Plan or an Exhibit attached to and made a part of this Amended Plan for all purposes.

“**Act**” means Chapter 311, Texas Tax Code, Tax Increment Financing Act, as amended.

“**Administrative Costs**” means the actual, direct costs paid or incurred by or on behalf of the City to administer the Zone, including planning, engineering, legal services, organizational costs, publicizing costs, or implementations costs paid by or on behalf of the City that are directly related to the administration of the Zone.

“**Amended Plan**” means this *Amended and Restated Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Final Project and Finance Plan*.

“**Appraisal Districts**” means the Tarrant Appraisal District, Ellis Appraisal District, and Central Appraisal District of Johnson County.

“**Board**” means the Board of Directors for the Zone.

“**Captured Appraised Value**” means the taxable value of the Zone, on a parcel-by-parcel basis for each year during the term of the Zone, as calculated and confirmed annually by the Appraisal Districts, less the Tax Increment Base.

“**City**” means the City of Mansfield, Texas.

“**City Council**” means the governing body of the City.

“**City TIRZ Increment**” means the portion of the City’s ad valorem tax increment equal to sixty-five percent (65%) of the ad valorem real property taxes collected and received by the City on the Captured Appraised Value in the Zone, as further described in **Section 12.1**.

“**Creation Ordinance**” means Ordinance No. 1608 adopted by the City Council on December 13, 2006, designating the creation of the Zone and the Board.

“**Ellis County**” means Ellis County, Texas.

“Ellis County TIRZ Increment” means the portion of the Ellis County’s ad valorem tax increment equal to thirty percent (30%) of the ad valorem real property taxes collected and received by Ellis County on the Captured Appraised Value in the Zone, effective January 1, 2006 through December 31, 2030.

“Ellis County Participation Agreement” means that certain Interlocal Agreement to Participate in Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, entered into by the City, Ellis County, and the Board on August 27, 2007, detailing the City and Ellis County’s participation in the Zone.

“Feasibility Study” means the economic feasibility study as prepared at the creation of the Preliminary Plan and updated if Plan is updated or amended, and focuses only on direct financial benefits, as further described in **Section 9**, and shown on **Exhibit E**.

“Final Plan” means the Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Final Project and Finance Plan adopted by the City Council on November 28, 2007, by approval of Ordinance No. OR-1655-07.

“Preliminary Plan” means the *Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas, Preliminary Project and Finance Plan*, approved by the City Council on December 13, 2006.

“Project Costs” means the total actual costs for projects in the Zone, including the Public Improvements, and the Administrative Costs.

“Property” means 3,495.41 acres of land as depicted on **Exhibit A** and described in **Exhibit H**.

“Public Improvements” means the public improvements including roads, water, sewer and related infrastructure that is provided for the development of the Property.

“Tarrant County” means Tarrant County, Texas.

“Tarrant County TIRZ Increment” means the portion of the Tarrant County’s ad valorem tax increment equal to thirty percent (30%) of the ad valorem real property taxes collected and received by Tarrant County on the Captured Appraised Value in the Zone, effective January 1, 2006 through December 31, 2031.

“Tarrant County Participation Agreement” means that certain Interlocal Agreement to Participate in Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, Texas

entered into by the City, Tarrant County, and the Board on February 26, 2008, detailing the City and Tarrant County's participation in the Zone.

"Tax Increment Base" means total appraised value of taxable real property in the Zone at the time of creation of the Zone.

"TIRZ No. 1 Fund" means the tax increment fund created by the City and segregated from all other funds of the City.

"Zone" means Tax Increment Financing Reinvestment Zone Number One, City of Mansfield, as depicted on **Exhibit A**, and described in **Exhibit H**.

SECTION 2: INTRODUCTION

2.1 Authority and Purpose

The City created the Zone using the authority under the Act to designate a contiguous or noncontiguous geographic area within the corporate limits or extraterritorial jurisdiction of the City as a tax increment reinvestment zone to promote development or redevelopment of the area because the City Council determined that development or redevelopment would not occur solely through private investment in the reasonably foreseeable future, that the Zone is economically feasible, and that creation of the Zone was in the best interest of the City and the property in the Zone. The purpose of the Zone is to facilitate such development or redevelopment by financing the costs of public works, public improvements, programs, and other projects benefiting the Zone, plus other costs incidental to those expenditures, all of which costs are authorized by the Act.

2.2 Eligibility Requirements

An area is eligible under the Act to be designated as a tax increment reinvestment zone if the area:

- 1) substantially arrests or impairs the sound growth of the municipality designating the Zone, retard the provision of housing accommodations, or constitutes an economic or social liability and is a menace to the public health, safety, morals, or welfare in its present condition; or
- 2) is predominantly open or undeveloped and, because of obsolete platting, deterioration of structures or site improvements, or other factors, substantially impairs or arrests the sound growth of the City; or
- 3) is in a federally assisted new community located in the City or in an area immediately adjacent to a federally assisted new community; or
- 4) is in an area described in a petition requesting that the area be designated as a reinvestment zone, if the petition is submitted to the governing body of the City by the owners of property constituting at least fifty percent (50%) of the appraised value of the property in the area according to the most recent certified appraisal roll for the county in which the area is located.

The City cannot, however, designate a zone if more than thirty percent (30%) of the property in the proposed zone, excluding property that is publicly owned, is used for residential purposes, or if the total appraised value of taxable real property in the proposed zone and in existing reinvestment zones exceeds fifty percent (50%) of the total appraised value of taxable real property in the City and in industrial districts created by the City.

2.3 The Zone

The Property within the Zone is currently located within the corporate limits of the City. The Property is underdeveloped, and substantially impairs and arrests the sound growth of the City. Due to its size, location, and physical characteristics development would not occur solely through private investment in the foreseeable future. The Property lacks public infrastructure and requires economic incentive to attract development for the purpose of providing long-term economic benefits including, but not limited to, increased real property tax base for all taxing units in the Zone. If the Public Improvements are financed as contemplated by this Amended Plan, the City envisions that the Property will be developed to take full advantage of the opportunity to bring to the City, and County, a quality development.

2.4 Preliminary Plan and Hearing

Before the City Council adopted the Creation Ordinance, the City Council prepared the Preliminary Plan in accordance with the Act and held a public hearing on the creation of the Zone and its benefits to the City and to the Property, at which public hearing interested persons were given the opportunity to speak for and against the creation of the Zone, the boundaries of the Zone and the concept of tax increment financing, and at which hearing the owners of the Property were given a reasonable opportunity to protest the inclusion of their Property in the Zone. The requirement of the Act for a preliminary reinvestment zone financing plan was satisfied by the Preliminary Plan, the purpose of which was to describe, in general terms, the development of the Zone, and the economic incentive that would be undertaken by the Zone. A description of the uses of the Property is located in **Exhibit F**, and confirmed by the adoption of this Amended Plan.

2.5 Creation of the Zone

Upon the closing of the December 13, 2006 public hearing, the City Council approved the Creation Ordinance and made the following findings:

- 1) that development or redevelopment of the Property would not have occurred solely through private investment in the reasonably foreseeable future, and
- 2) that the Zone was feasible, and
- 3) that improvements in the Zone would significantly enhance the value of all the taxable real property in the Zone and would be of general benefit to the City, and
- 4) that the Zone met the eligibility requirements of the Act.

Among other provisions required by the Act, the Creation Ordinance appointed the Board.

2.6 Council Action

2.6.1 Final Project and Finance Plan

On November 28, 2007, the City Council approved Ordinance No. OR-1655-07, adopting a Final Plan for the Zone.

2.6.2 County Participation in the Zone

On February 26, 2008, the City Council and Tarrant County entered into the Tarrant County Participation Agreement, and Tarrant County followed with approval of the Agreement at their February 26, 2008 meeting. The Tarrant County Participation Agreement details Tarrant County's participation in the TIRZ Fund to a term of 25 years beginning January 1, 2006 and ending December 31, 2031, in an amount not to exceed \$22,950,000.

On August 27, 2007, the City Council and Ellis County entered into the Ellis County Participation Agreement, and Ellis County followed with approval of the Ellis County Participation Agreement at their August 27, 2007 meeting. The Ellis County Participation Agreement details Ellis County's participation in the TIRZ Fund to a term of 24 years beginning January 1, 2006 and ending December 31, 2030.

2.6.3 Amended Plan

On April 10, 2023, the Board reviewed, and recommended to the City Council this Amended Plan, which amends and restates the Final Plan in its entirety. The City Council shall consider this Amended Plan and upon an authorizing ordinance, pursuant to which the City will contribute the City TIRZ Increment into the TIRZ Fund to fund the Project Costs benefiting the Zone.

2.6.4 Boundary Amendment

On April 10, 2023, the City Council approved Ordinance No. [REDACTED], which added certain property from the Zone.

2.6.5 Boundary Amendment

On May 8, 2023, the City Council approved Ordinance No. [REDACTED], which added certain property from the Zone, as identified on **Exhibit H**.

SECTION 3: DESCRIPTION AND MAPS

3.1 Existing Uses and Conditions

The Property is primarily zoned Planned Development, Community Business District, Two-family Residential, Pre-Development District, Single-Family Residential, Light Industrial District. At the time of creation of the Zone, the Property was primarily undeveloped or underdeveloped, and there was no public infrastructure to support development. Development requires extensive public infrastructure that: (1) the City could not provide, and (2) would not be provided solely through private investment in the foreseeable future.

3.2 Proposed Uses

The proposed uses of the Property in the City include residential and commercial, as shown on **Exhibit G**.

3.3 Parcel Identification

The parcels identified on **Exhibit I** provide sufficient detail to identify with ordinary and reasonable certainty the territory included in the Zone.

SECTION 4: PROPOSED CHANGES TO ORDINANCES, PLANS, CODES, RULES, AND REGULATIONS

The Property is wholly located in the corporate limits of the City and is subject to the City's zoning regulation. The City has exclusive jurisdiction over the subdivision and platting of the property within the Property and the design, construction, installation, and inspection of water, sewer, drainage, roadway, and other public infrastructure. No proposed changes to zoning ordinances, comprehensive plan, building codes, subdivision rules, or other municipal ordinances are planned.

SECTION 5: RELOCATION OF DISPLACED PERSONS

No persons were displaced and in need of relocation due to the creation of the Zone or shall be due to the implementation of this Amended Plan.

SECTION 6: NON-PROJECT COSTS

Non-Project costs are costs that were spent to develop in the Zone but were not financed by the Zone, and were financed by other funds. The list of non-project costs is shown on **Exhibit B**, and were estimated to be approximately \$752,020,000.

SECTION 7: PUBLIC IMPROVEMENTS

7.1 Categories of Public Improvements

All Public Improvements shall be designed and constructed in accordance with all applicable City standards and shall otherwise be inspected, approved, and accepted by the City. At the City's option, the Public Improvements may be expanded to include any other category of improvements authorized by the Act.

7.2 Location of Public Improvements

The estimated locations of the proposed Public Improvements are depicted on **Exhibit F**. These locations may be revised and refined, with the approval of the Board, from time to time without amending this Amended Plan.

SECTION 8: PROJECT COSTS

8.1 Project Costs

The total Project Costs are estimated to be \$151,453,049, as shown below and detailed on **Exhibit C**. The Public Improvements are estimated to be \$151,082,537, the Administrative Costs are estimated to be \$370,512.

i. Administrative Costs

The Administrative Costs are estimated to be \$10,000 per year beginning 2023 and escalating at two percent (2%) thereafter. The Administrative Costs shall be paid each year from the TIRZ Fund before any other Project Costs are paid.

ii. Public Improvements

The total Public Improvements are estimated to be \$151,082,537, as shown on **Exhibit C**.

8.2 Estimated Timeline of Incurred Costs

The Administrative Costs will be incurred annually through the remaining duration of the Zone. It is estimated the Public Improvements will be incurred between 2023 and 2050, as shown on **Exhibit D**, and funded annually over the remaining term of the Zone.

SECTION 9: FEASIBILITY STUDY

The Feasibility Study, as shown on **Exhibit E**, focuses on only direct financial benefits (i.e. ad valorem tax revenues from the development of Public Improvements in the Zone). Based on the

Feasibility Study, during the term of the Zone, new development (which would not have occurred but for the Zone) will generate approximately \$285,862,095 in total new real property tax revenue for the participating taxing entities. Approximately \$155,553,019 will be deposited into the TIRZ No. 1 Fund to pay for the Project Costs over the life of the Zone. The remaining real property tax revenue over that period, estimated at \$130,309,076 shall be retained by the participating taxing entities.

The Feasibility Study shows the cumulative City TIRZ Increment is estimated to be \$151,573,467, which will be available to pay a portion of the Project Costs, until the term expires or is otherwise terminated. The remainder of the new City real property tax revenue generated within the Zone and retained by the City is estimated to be \$81,616,482 over the term.

The Feasibility Study shows the cumulative Tarrant County TIRZ Increment is estimated to be \$3,254,606, which will be available to pay a portion of the Project Costs, until the term expires or is otherwise terminated. The remainder of the new Tarrant County real property tax revenue generated within the Zone and retained by Tarrant County is estimated to be \$38,980,623 over the term.

The Feasibility Study shows the cumulative Ellis County TIRZ Increment is estimated to be \$724,946, which will be available to pay a portion of the Project Costs, until the term expires or is otherwise terminated. The remainder of the new Ellis County real property tax revenue generated within the Zone and retained by Ellis County is estimated to be \$9,711,970 over the term.

One hundred percent (100%) of all taxing revenues generated for other taxing entities by the new development within the Zone will be retained by the respective taxing entities. Based on the foregoing, the feasibility of the Zone has been demonstrated.

SECTION 10: ESTIMATED BONDED INDEBTEDNESS

No tax increment reinvestment zone bonds or public indebtedness by the City secured by the tax increments pursuant to the Act, is contemplated.

SECTION 11: APPRAISED VALUE

11.1 Tax Increment Base

The Tax Increment Base of the Zone is \$81,985,302, and shall be confirmed by the Appraisal Districts. The portion of the Tax Increment Base within Tarrant County is \$78,623,016, within Ellis County is \$190,665, and within Johnson County is \$3,171,621. Each year, the Appraisal Districts

shall confirm the current Captured Appraised Value. The taxable value of the Zone as of Tax Year 2022 is \$947,513,109.

11.2 Estimated Captured Appraised Value

It is estimated that upon the proposed expiration of the term of the Zone, the total Captured Appraised Value of taxable real property in the Zone will be approximately \$1,692,539,847 as shown on **Exhibit E**. The actual Captured Appraised Value, as certified by the Appraisal Districts, for each year, will be used to calculate the annual City TIRZ Increment, the Tarrant County TIRZ Increment, and Ellis County TIRZ Increment, pursuant to this Amended Plan and the respective participation agreements.

SECTION 12: METHOD OF FINANCING

12.1 TIRZ No. 1 Fund Contributions

This Amended Plan shall obligate the City to deposit the City TIRZ Increment into the TIRZ No. 1 Fund. For example, in FY 2023, the City's ad valorem tax rate was \$0.6800 per \$100 of taxable value, therefore the City would contribute \$0.4420 per \$100 of the Captured Appraised Value in the Zone levied and collected, into the TIRZ No. 1 Fund.

The Tarrant County Participation Agreement shall obligate Tarrant County to deposit the Tarrant County TIRZ Increment into the TIRZ Fund beginning in 2006. For example, in FY 2022, Tarrant County's ad valorem tax rate was \$0.2240 per \$100 of taxable value, therefore Tarrant County would contribute \$0.0672 per \$100 of the Captured Appraised Value in the Zone levied and collected, to the TIRZ Fund. Tarrant County's maximum contribution to the TIRZ No. 1 Fund is \$22,950,000, pursuant to the Tarrant County Participation Agreement.

The Ellis County Participation Agreement shall obligate Ellis County to deposit the Ellis County TIRZ Increment into the TIRZ Fund beginning in 2023. For example, in FY 2022, Ellis County's ad valorem tax rate was \$0.2730 per \$100 of taxable value, therefore Ellis County would contribute \$0.0819 per \$100 of the Captured Appraised Value in the Zone levied and collected, to the TIRZ Fund.

All payments of Project Costs shall be made solely from the TIRZ Fund and from no other funds of the City, Tarrant County, or Ellis County unless otherwise approved by their respective governing bodies. The TIRZ Fund shall only be used to pay the Project Costs. The City may amend this Amended Plan in compliance with the Tarrant County Participation Agreement and the Ellis County Participation Agreement, including but not limited to what is considered a Project Cost.

12.2 Funding Mechanisms

All payments of Project Costs shall be made solely from the TIRZ No. 1 Fund and from no other funds of the City, Tarrant County or Ellis County, unless otherwise approved by its respective governing bodies. The TIRZ No. 1 Fund shall only be used to pay the Project Costs. The City may amend this Amended Plan in compliance with the Tarrant County Participation Agreement, the Ellis County Participation Agreement, and the Act, including but not limited to what is considered a Project Cost.

SECTION 13: DURATION OF THE ZONE, TERMINATION

13.1 Duration

The stated term of the Zone commenced upon the execution of the Creation Ordinance and shall continue until December 31, 2050, with the last increment being due by January 31, 2051, unless otherwise terminated or extended in accordance with the Creation Ordinance, or the Act.

13.2 Termination

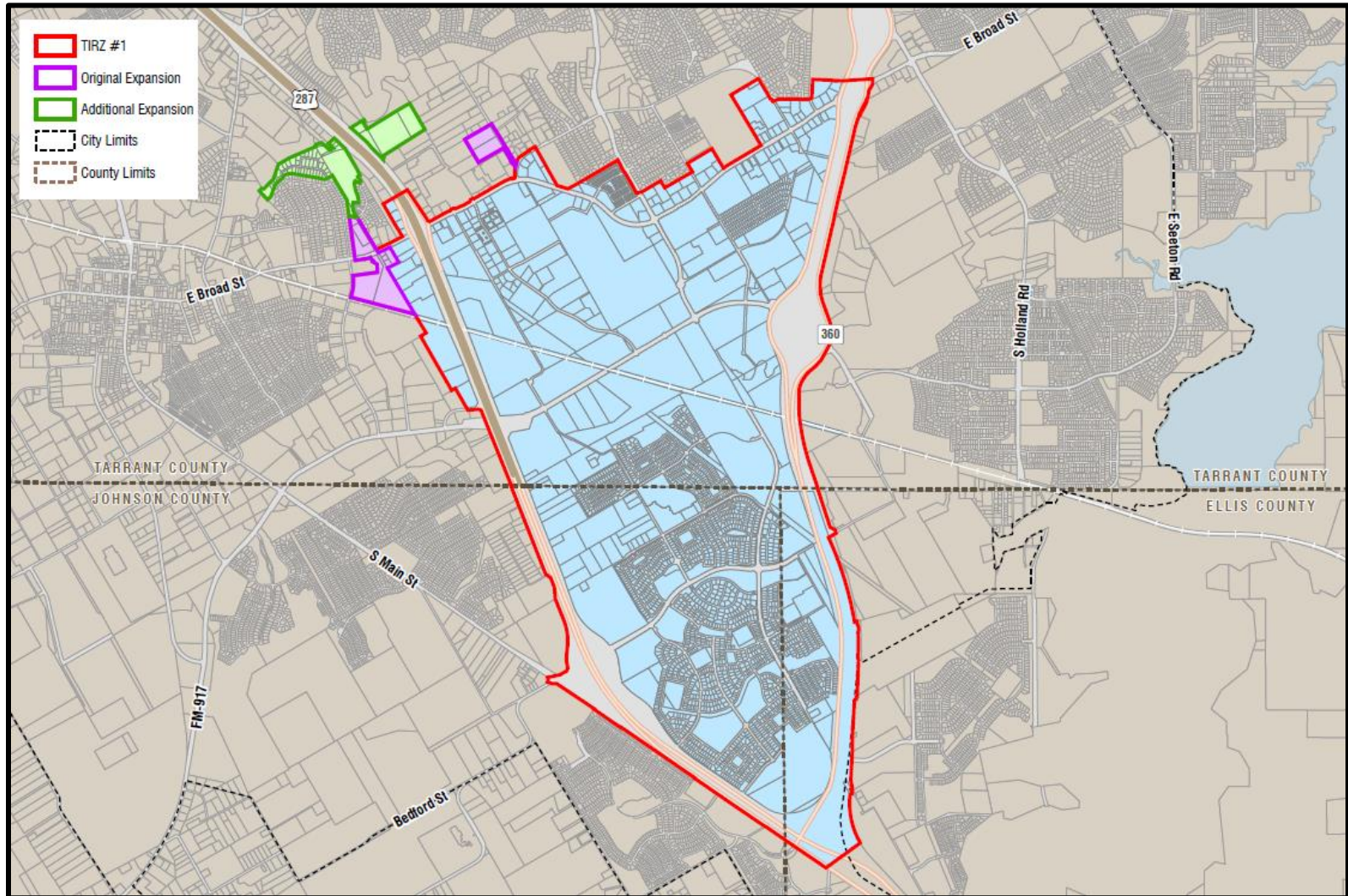
The Zone shall terminate on the earlier of (i) December 31, 2050, or (ii) at such time that the Project Costs have been paid in full. If upon expiration of the stated term of the Zone, the obligations of the Zone have not been fully funded by the TIRZ No. 1 Fund, the City, Tarrant County, and Ellis County shall have no obligation to pay the shortfall and the term shall not be required to be extended. Nothing in this section is intended to prevent the City, Tarrant County, or Ellis County from extending the term of the Zone in accordance with the Act.

LIST OF EXHIBITS

Unless otherwise stated, all references to "Exhibits" contained in this Amended Plan shall mean and refer to the following exhibits, all of which are attached to and made a part of this Amended Plan for all purposes.

Exhibit A	Map of the Zone
Exhibit B	Non-Project Costs
Exhibit C	List of Project Costs
Exhibit D	Estimated Timeline of Incurred Project Costs
Exhibit E	Feasibility Study
Exhibit F	Map of Public Improvements
Exhibit G	Proposed Uses of the Property
Exhibit H	Boundary Amendment
Exhibit I	Parcel Identification

EXHIBIT A – MAP OF THE ZONE



TAX INCREMENT FINANCING REINVESTMENT ZONE NUMBER ONE, CITY OF
MANSFIELD, TEXAS,
AMENDED AND RESTATED FINAL PROJECT AND FINANCE PLAN

EXHIBIT B – NON-PROJECT COSTS

Tax Increment Reinvestment Zone Number One, City of Mansfield, Texas Non-Project Costs

Non-Project Costs ^{1,2}	
Base Taxable Value	\$ 81,985,302
2023 Taxable Value	\$ 1,022,015,783
Total	\$ 752,020,000

(1) Total Non-Project Costs are estimated to be the approximate 80% of the increase in value from the Tax Increment Base to the 2023 Taxable Value.

(2) Provided for illustrative purposes only, and subject to change.

EXHIBIT C – LIST OF PROJECT COSTS

Tax Increment Reinvestment Zone Number One, City of Mansfield, Texas Project Costs	
Public Improvements	
A. Roadway	
1. Matlock Road	\$ 9,411,600
2. Lone Star Road	\$ 5,161,200
3. Mitchell Road	\$ 5,646,960
4. US 287 Northbound Frontage Road	\$ 6,502,267
4. US 287 Southbound Frontage Road	\$ 6,502,267
6. Secondary Roads in Reserve PD	\$ 29,339,393
Subtotal	\$ 62,563,687
B. Sanitary Sewer	
1. Misc. Sewer Mains	\$ 651,000
2. Low Branch Lift Station	\$ 3,500,000
Sanitary Sewer Subtotal	\$ 4,151,000
C. Water	
1. 24" along Heritage PKWY; 16" along Mitchell	\$ 1,220,240
2. 24" along Matlock; 30" along Lone Star; 16" across SH 360	\$ 1,398,950
3. 12" along N. Bound SH 287; 36" along Mitchell	\$ 3,268,020
4. 24" along SH 360 S. Bound; 30" along US 287 and Lone Star	\$ 2,106,300
5. 36" along N. Bound US 287 and Broad	\$ 1,601,040
6. New 20 MGD Water Treatment Plant	\$ 15,400,000
7. Elevated Water Storage Tank	\$ 3,500,000
Water Subtotal	\$ 28,494,550
D. Drainage	
Misc. Regional Det./Drain. Facilities	\$ 2,800,000
Drainage Subtotal	\$ 2,800,000
E. Underground Electric Service	
Underground Electric Service	\$ 6,216,500
Underground Electric Service Subtotal	\$ 6,216,500
F. Parks	
1. Neighborhood Parks	\$ 8,058,400
2. Pocket Parks	\$ 10,298,400
3. Linear Park	\$ 2,520,000
Parks Subtotal	\$ 20,876,800
G. Gateways & Highway Bridge Enhancement	
1. Intersections of Broad and US 287 and Broad and SH 360	\$ 420,000
2. Intersections of Heritage and US 287 and Heritage and SH 360	\$ 420,000
3. Intersections of Lone Star and US 287 and Lone Star and SH 360	\$ 420,000
4. Intersections of Matlock and Broad and Matlock and SH 360	\$ 420,000
Gateways & Highway Bridge Enhancement Subtotal	\$ 1,680,000
H. Other Public Improvements	
1. Fire Station	\$ 2,800,000
2. Recreation Center	\$ 4,900,000
3. Library	\$ 4,200,000
4. Mass Transit Facility	\$ 7,000,000
5. Public Art	\$ 1,400,000
6. Wisteria Hall	\$ 4,000,000
Other Public Improvements Subtotal	\$ 24,300,000
Public Improvements Subtotal¹	\$ 151,082,537
Administrative Costs	\$ 370,512
Project Costs	\$ 151,453,049

(1) Costs based on Final Plan approved by City Council in October 2007.

EXHIBIT D – ESTIMATED TIMELINE OF INCURRED PROJECT COSTS

Tax Increment Reinvestment Zone Number One, City of Mansfield, Texas Estimated Timeline of Incurred Project Costs

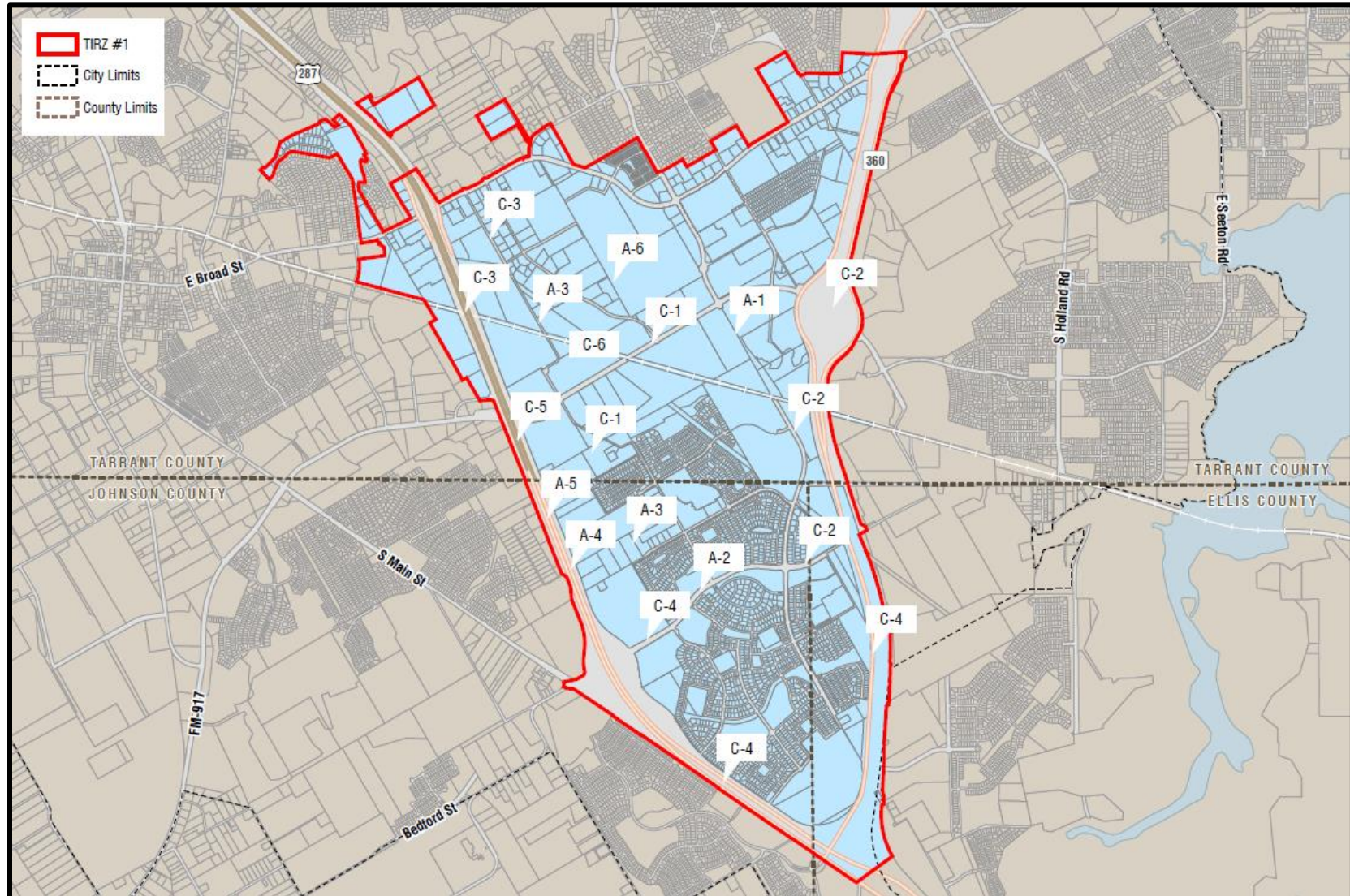
Zone Year	Calendar Year	Administrative Costs	Public Improvements	Total Project Costs ¹	
				Annual	Cumulative
17	2023	\$ 10,000	\$ 4,213,105	\$ 4,223,105	\$ 4,223,105
18	2024	\$ 10,200	\$ 4,577,404	\$ 4,587,604	\$ 8,810,708
19	2025	\$ 10,404	\$ 4,577,200	\$ 4,587,604	\$ 13,398,312
20	2026	\$ 10,612	\$ 4,576,992	\$ 4,587,604	\$ 17,985,916
21	2027	\$ 10,824	\$ 4,941,279	\$ 4,952,103	\$ 22,938,019
22	2028	\$ 11,041	\$ 4,941,062	\$ 4,952,103	\$ 27,890,121
23	2029	\$ 11,262	\$ 4,940,841	\$ 4,952,103	\$ 32,842,224
24	2030	\$ 11,487	\$ 5,305,115	\$ 5,316,602	\$ 38,158,826
25	2031	\$ 11,717	\$ 5,204,690	\$ 5,216,407	\$ 43,375,233
26	2032	\$ 11,951	\$ 4,804,043	\$ 4,815,994	\$ 48,191,227
27	2033	\$ 12,190	\$ 5,133,106	\$ 5,145,295	\$ 53,336,522
28	2034	\$ 12,434	\$ 5,132,862	\$ 5,145,295	\$ 58,481,818
29	2035	\$ 12,682	\$ 5,132,613	\$ 5,145,295	\$ 63,627,113
30	2036	\$ 12,936	\$ 5,461,661	\$ 5,474,597	\$ 69,101,711
31	2037	\$ 13,195	\$ 5,461,403	\$ 5,474,597	\$ 74,576,308
32	2038	\$ 13,459	\$ 5,461,139	\$ 5,474,597	\$ 80,050,905
33	2039	\$ 13,728	\$ 5,790,171	\$ 5,803,899	\$ 85,854,804
34	2040	\$ 14,002	\$ 5,789,897	\$ 5,803,899	\$ 91,658,703
35	2041	\$ 14,282	\$ 5,789,617	\$ 5,803,899	\$ 97,462,603
36	2042	\$ 14,568	\$ 6,118,633	\$ 6,133,201	\$ 103,595,803
37	2043	\$ 14,859	\$ 6,118,341	\$ 6,133,201	\$ 109,729,004
38	2044	\$ 15,157	\$ 6,118,044	\$ 6,133,201	\$ 115,862,205
39	2045	\$ 15,460	\$ 6,447,043	\$ 6,462,503	\$ 122,324,708
40	2046	\$ 15,769	\$ 6,446,734	\$ 6,462,503	\$ 128,787,211
41	2047	\$ 16,084	\$ 6,446,418	\$ 6,462,503	\$ 135,249,714
42	2048	\$ 16,406	\$ 6,775,399	\$ 6,791,805	\$ 142,041,518
43	2049	\$ 16,734	\$ 6,775,070	\$ 6,791,805	\$ 148,833,323
44	2050	\$ 17,069	\$ 2,602,657	\$ 2,619,726	\$ 151,453,049
Total		\$ 370,512	\$ 151,082,537	\$ 151,453,049	

(1) Estimate provided for illustrative purposes only.

EXHIBIT E – FEASIBILITY STUDY

Tax Increment Reinvestment Zone Number One, City of Mansfield, Texas Feasibility Study																		
TIRZ Year	Calendar Year	Growth/ Year ¹	Total Added Development Value ²	Total Taxable Value	Total Incremental Value	City			Tarrant County			Ellis County			Total TIRZ Contribution		Total Retained New Revenue	
						TIRZ Increment		Retained	TIRZ Increment		Retained	TIRZ Increment		Retained	Annual	Cumulative	Annual	Cumulative
						%	Annual	Annual	%	Annual	Annual	%	Annual	Annual				
Base	2006		\$	81,985,302														
17	2023	2%	\$ 74,502,674	\$ 1,022,015,783	\$ 940,030,481	65%	\$ 3,825,633	\$ 2,059,956	30%	\$ 313,602	\$ 731,737	30%	\$ 81,041	\$ 189,097	\$ 4,220,276	\$ 4,220,276	\$ 2,980,790	\$ 2,980,790
18	2024	2%	\$ -	\$ 1,022,015,783	\$ 940,030,481	65%	\$ 4,154,935	\$ 2,237,273	30%	\$ 342,414	\$ 798,967	30%	\$ 87,426	\$ 203,994	\$ 4,584,775	\$ 8,805,051	\$ 3,240,233	\$ 6,221,023
19	2025	2%	\$ -	\$ 1,022,015,783	\$ 940,030,481	65%	\$ 4,154,935	\$ 2,237,273	30%	\$ 342,414	\$ 798,967	30%	\$ 87,426	\$ 203,994	\$ 4,584,775	\$ 13,389,826	\$ 3,240,233	\$ 9,461,257
20	2026	2%	\$ 74,502,674	\$ 1,096,518,456	\$ 1,014,533,154	65%	\$ 4,154,935	\$ 2,237,273	30%	\$ 342,414	\$ 798,967	30%	\$ 87,426	\$ 203,994	\$ 4,584,775	\$ 17,974,601	\$ 3,240,233	\$ 12,701,490
21	2027	2%	\$ -	\$ 1,096,518,457	\$ 1,014,533,155	65%	\$ 4,484,237	\$ 2,414,589	30%	\$ 371,227	\$ 866,197	30%	\$ 93,811	\$ 218,891	\$ 4,949,274	\$ 22,923,876	\$ 3,499,677	\$ 16,201,167
22	2028	2%	\$ -	\$ 1,096,518,457	\$ 1,014,533,155	65%	\$ 4,484,237	\$ 2,414,589	30%	\$ 371,227	\$ 866,197	30%	\$ 93,811	\$ 218,891	\$ 4,949,274	\$ 27,873,150	\$ 3,499,677	\$ 19,700,844
23	2029	2%	\$ 74,502,674	\$ 1,171,021,130	\$ 1,089,035,828	65%	\$ 4,484,237	\$ 2,414,589	30%	\$ 371,227	\$ 866,197	30%	\$ 93,811	\$ 218,891	\$ 4,949,274	\$ 32,822,424	\$ 3,499,677	\$ 23,200,521
24	2030	0.0%	\$ -	\$ 1,171,021,130	\$ 1,089,035,828	65%	\$ 4,813,538	\$ 2,591,905	30%	\$ 400,040	\$ 933,426	30%	\$ 100,195	\$ 233,789	\$ 5,313,773	\$ 38,136,197	\$ 3,759,120	\$ 26,959,641
25	2031	0.0%	\$ -	\$ 1,171,021,130	\$ 1,089,035,828	65%	\$ 4,813,538	\$ 2,591,905	30%	\$ 400,040	\$ 933,426	0%	\$ -	\$ 333,984	\$ 5,213,578	\$ 43,349,776	\$ 3,859,315	\$ 30,818,957
26	2032	2%	\$ 74,502,674	\$ 1,245,523,804	\$ 1,163,538,502	65%	\$ 4,813,538	\$ 2,591,905	0%	\$ -	\$ 1,333,466	0%	\$ -	\$ 333,984	\$ 4,813,538	\$ 48,163,314	\$ 4,259,355	\$ 35,078,312
27	2033	2%	\$ -	\$ 1,245,523,804	\$ 1,163,538,502	65%	\$ 5,142,840	\$ 2,769,222	0%	\$ -	\$ 1,429,509	0%	\$ -	\$ 355,266	\$ 5,142,840	\$ 53,306,154	\$ 4,553,996	\$ 39,632,308
28	2034	2%	\$ -	\$ 1,245,523,804	\$ 1,163,538,502	65%	\$ 5,142,840	\$ 2,769,222	0%	\$ -	\$ 1,429,509	0%	\$ -	\$ 355,266	\$ 5,142,840	\$ 58,448,994	\$ 4,553,996	\$ 44,186,304
29	2035	2%	\$ 74,502,674	\$ 1,320,026,478	\$ 1,238,041,176	65%	\$ 5,142,840	\$ 2,769,222	0%	\$ -	\$ 1,429,509	0%	\$ -	\$ 355,266	\$ 5,142,840	\$ 63,591,835	\$ 4,553,996	\$ 48,740,300
30	2036	2%	\$ -	\$ 1,320,026,478	\$ 1,238,041,176	65%	\$ 5,472,142	\$ 2,946,538	0%	\$ -	\$ 1,525,551	0%	\$ -	\$ 376,547	\$ 5,472,142	\$ 69,063,977	\$ 4,848,637	\$ 53,588,937
31	2037	2%	\$ -	\$ 1,320,026,478	\$ 1,238,041,176	65%	\$ 5,472,142	\$ 2,946,538	0%	\$ -	\$ 1,525,551	0%	\$ -	\$ 376,547	\$ 5,472,142	\$ 74,536,119	\$ 4,848,637	\$ 58,437,574
32	2038	2%	\$ 74,502,674	\$ 1,394,529,152	\$ 1,312,543,850	65%	\$ 5,472,142	\$ 2,946,538	0%	\$ -	\$ 1,525,551	0%	\$ -	\$ 376,547	\$ 5,472,142	\$ 80,008,261	\$ 4,848,637	\$ 63,286,211
33	2039	2%	\$ -	\$ 1,394,529,152	\$ 1,312,543,850	65%	\$ 5,801,444	\$ 3,123,854	0%	\$ -	\$ 1,621,594	0%	\$ -	\$ 397,829	\$ 5,801,444	\$ 85,809,704	\$ 5,143,278	\$ 68,429,488
34	2040	0.0%	\$ -	\$ 1,394,529,152	\$ 1,312,543,850	65%	\$ 5,801,444	\$ 3,123,854	0%	\$ -	\$ 1,621,594	0%	\$ -	\$ 397,829	\$ 5,801,444	\$ 91,611,148	\$ 5,143,278	\$ 73,572,766
35	2041	0.0%	\$ 74,502,674	\$ 1,469,031,825	\$ 1,387,046,523	65%	\$ 5,801,444	\$ 3,123,854	0%	\$ -	\$ 1,621,594	0%	\$ -	\$ 397,829	\$ 5,801,444	\$ 97,412,592	\$ 5,143,278	\$ 78,716,044
36	2042	2%	\$ -	\$ 1,469,031,825	\$ 1,387,046,523	65%	\$ 6,130,746	\$ 3,301,171	0%	\$ -	\$ 1,717,637	0%	\$ -	\$ 419,111	\$ 6,130,746	\$ 103,543,338	\$ 5,437,918	\$ 84,153,962
37	2043	2%	\$ -	\$ 1,469,031,825	\$ 1,387,046,523	65%	\$ 6,130,746	\$ 3,301,171	0%	\$ -	\$ 1,717,637	0%	\$ -	\$ 419,111	\$ 6,130,746	\$ 109,674,083	\$ 5,437,918	\$ 89,591,880
38	2044	2%	\$ 74,502,674	\$ 1,543,534,499	\$ 1,461,549,197	65%	\$ 6,130,746	\$ 3,301,171	0%	\$ -	\$ 1,717,637	0%	\$ -	\$ 419,111	\$ 6,130,746	\$ 115,804,829	\$ 5,437,918	\$ 95,029,799
39	2045	2%	\$ -	\$ 1,543,534,499	\$ 1,461,549,197	65%	\$ 6,460,047	\$ 3,478,487	0%	\$ -	\$ 1,813,679	0%	\$ -	\$ 440,393	\$ 6,460,047	\$ 122,264,876	\$ 5,732,559	\$ 100,762,358
40	2046	2%	\$ -	\$ 1,543,534,499	\$ 1,461,549,197	65%	\$ 6,460,047	\$ 3,478,487	0%	\$ -	\$ 1,813,679	0%	\$ -	\$ 440,393	\$ 6,460,047	\$ 128,724,924	\$ 5,732,559	\$ 106,494,917
41	2047	2%	\$ 74,502,674	\$ 1,618,037,173	\$ 1,536,051,871	65%	\$ 6,460,047	\$ 3,478,487	0%	\$ -	\$ 1,813,679	0%	\$ -	\$ 440,393	\$ 6,460,047	\$ 135,184,971	\$ 5,732,559	\$ 112,227,476
42	2048	2%	\$ -	\$ 1,618,037,173	\$ 1,536,051,871	65%	\$ 6,789,349	\$ 3,655,803	0%	\$ -	\$ 1,909,722	0%	\$ -	\$ 461,675	\$ 6,789,349	\$ 141,974,321	\$ 6,027,200	\$ 118,254,676
43	2049	2%	\$ -	\$ 1,618,037,173	\$ 1,536,051,871	65%	\$ 6,789,349	\$ 3,655,803	0%	\$ -	\$ 1,909,722	0%	\$ -	\$ 461,675	\$ 6,789,349	\$ 148,763,670	\$ 6,027,200	\$ 124,281,876
44	2050	0.00%	\$ 74,502,674	\$ 1,692,539,847	\$ 1,610,554,545	65%	\$ 6,789,349	\$ 3,655,803	0%	\$ -	\$ 1,909,722	0%	\$ -	\$ 461,675	\$ 6,789,349	\$ 155,553,019	\$ 6,027,200	\$ 130,309,076
Total			\$ 745,026,736			\$ 151,573,467		\$ 81,616,482	\$ 3,254,606		\$ 38,980,623	\$ 724,946		\$ 9,711,970	\$ 155,553,019		\$ 130,309,076	
Assumptions						Footnotes												
City AV Rate \$ 0.68000						1) Values increased at 2% annually, with two years of no growth each decade to simulate an economic downturn.												
Tarrant County AV Rate \$ 0.22400						2) Value is added based on average increase in Total City Assessed Value over the past 10 years.												
Ellis County AV Rate \$ 0.27300																		

EXHIBIT F – MAP OF PUBLIC IMPROVEMENTS



TAX INCREMENT FINANCING REINVESTMENT ZONE NUMBER ONE, CITY OF MANSFIELD,
TEXAS,
AMENDED AND RESTATED FINAL PROJECT AND FINANCE PLAN

EXHIBIT G – PROPOSED USES OF THE PROPERTY

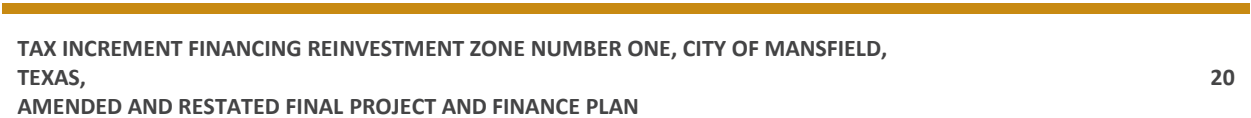
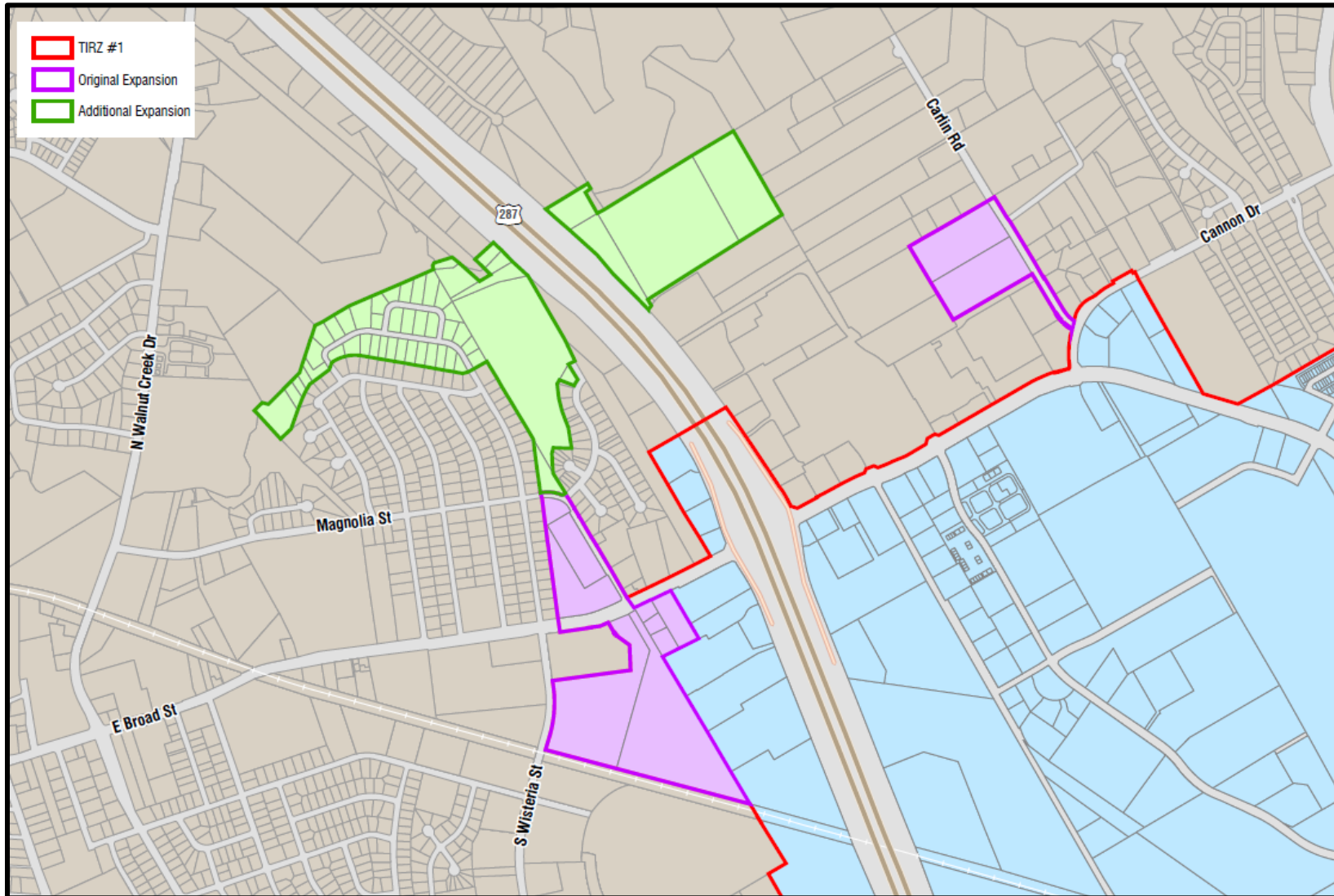


EXHIBIT H – BOUNDARY AMENDMENT



TAX INCREMENT FINANCING REINVESTMENT ZONE NUMBER ONE, CITY OF MANSFIELD,
TEXAS,
AMENDED AND RESTATED FINAL PROJECT AND FINANCE PLAN

EXHIBIT I – PARCEL IDENTIFICATION

Property ID	County
593311	Tarrant
149751	Tarrant
158614	Tarrant
158619	Tarrant
593308	Tarrant
620806	Tarrant
149724	Tarrant
157036	Tarrant
593309	Tarrant
149748	Tarrant
159338	Tarrant
159335	Tarrant
159333	Tarrant
159331	Tarrant
159329	Tarrant
159332	Tarrant
159328	Tarrant
159327	Tarrant
159325	Tarrant
159324	Tarrant
159323	Tarrant
159326	Tarrant
159330	Tarrant
159334	Tarrant
159336	Tarrant
159337	Tarrant
159339	Tarrant
158824	Tarrant
158825	Tarrant
158826	Tarrant
158827	Tarrant
158820	Tarrant
158813	Tarrant
158811	Tarrant
158812	Tarrant
158814	Tarrant
158815	Tarrant

Property ID	County
158816	Tarrant
158817	Tarrant
158818	Tarrant
158819	Tarrant
158821	Tarrant
158822	Tarrant
158823	Tarrant
158807	Tarrant
158808	Tarrant
158809	Tarrant
150092	Tarrant
150093	Tarrant
623304	Tarrant
538824	Tarrant
149803	Tarrant
150095	Tarrant
149739	Tarrant
149804	Tarrant
149736	Tarrant
158810	Tarrant
149802	Tarrant
149737	Tarrant
158804	Tarrant
624007	Tarrant
987143	Tarrant
150042	Tarrant
1520198	Tarrant
537906	Tarrant
2529011	Tarrant
150032	Tarrant
599715	Tarrant
617427	Tarrant
58525	Tarrant
16166	Tarrant
21132	Tarrant
21133	Tarrant
548614	Tarrant

Property ID	County
537905	Tarrant
537936	Tarrant
537908	Tarrant
537907	Tarrant
544095	Tarrant
158377	Tarrant
164267	Tarrant
1983724	Tarrant
552109	Tarrant
164638	Tarrant
150018	Tarrant
2560560	Tarrant
543714	Tarrant
990343	Tarrant
157116	Tarrant
157117	Tarrant
599713	Tarrant
599717	Tarrant
599744	Tarrant
164269	Tarrant
164268	Tarrant
164270	Tarrant
599726	Tarrant
599728	Tarrant
599724	Tarrant
599718	Tarrant
599712	Tarrant
599711	Tarrant
59057	Tarrant
163756	Tarrant
593694	Tarrant
601347	Tarrant
599736	Tarrant
990344	Tarrant
599708	Tarrant
1728361	Tarrant
145413	Tarrant

Property ID	County
145414	Tarrant
145415	Tarrant
145416	Tarrant
145417	Tarrant
145419	Tarrant
145420	Tarrant
145421	Tarrant
145422	Tarrant
145423	Tarrant
145424	Tarrant
145425	Tarrant
145426	Tarrant
145427	Tarrant
145435	Tarrant
145434	Tarrant
145433	Tarrant
145428	Tarrant
145432	Tarrant
145431	Tarrant
145430	Tarrant
60654	Tarrant
145429	Tarrant
163331	Tarrant
163330	Tarrant
163332	Tarrant
599737	Tarrant
163333	Tarrant
569850	Tarrant
163335	Tarrant
163334	Tarrant
19110	Tarrant
875514	Tarrant
599716	Tarrant
623295	Tarrant
599739	Tarrant
623294	Tarrant
621035	Tarrant
621036	Tarrant
621037	Tarrant
157118	Tarrant

Property ID	County
58847	Tarrant
58846	Tarrant
5060	Tarrant
9746	Tarrant
58526	Tarrant
51040	Tarrant
593310	Tarrant
599710	Tarrant
623291	Tarrant
32681	Tarrant
429	Tarrant
599745	Tarrant
623293	Tarrant
29002	Tarrant
621034	Tarrant
599742	Tarrant
623290	Tarrant
9748	Tarrant
9745	Tarrant
9743	Tarrant
597929	Tarrant
621043	Tarrant
597815	Tarrant
29423	Tarrant
540869	Tarrant
542929	Tarrant
150058	Tarrant
544802	Tarrant
544801	Tarrant
544803	Tarrant
544805	Tarrant
599733	Tarrant
599734	Tarrant
599735	Tarrant
623301	Tarrant
544806	Tarrant
546083	Tarrant
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Property ID	County
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Property ID	County
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271517	Ellis
271574	Ellis
271371	Ellis
271377	Ellis
217357	Ellis



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5344

Agenda Date: 5/8/2023

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Public Hearing and First and Final Reading on an Ordinance of the City Council of the City of Mansfield, Texas, Designating a Certain Area as a Tax Abatement Reinvestment Zone for Commercial Industrial Tax Abatement within the City of Mansfield, Texas; Establishing the Boundaries thereof and Other Matters Related Thereto; Providing a Severability Clause; Providing a Repealer Clause; and Providing for an Immediate Effective Date

Requested Action

Consider approving the Ordinance.

Recommendation

City staff recommends approving the ordinance.

Description/History

As part of the Crystal Window and Door Systems project on the "mushroom property", the company is working with amending the site boundaries with adjacent property owners in order to ensure the most efficient layout of the site. Because Reinvestment Zone #46 was created last November 2022, the extra property being utilized going forward, some of the property was inadvertently left out. So, this Reinvestment Zone #47 is required to pick up the additional property for Crystal Window and Door Systems' project.

City Council Priorities

Develop a Strong Economy

Justification

The establishment of the zone is required to implement an already approved economic development agreement in place between the MEDC, City, and Company.

Funding Source

N/A

Prepared By

Jason Moore, Executive Director of Economic Development

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, DESIGNATING A CERTAIN AREA AS A TAX ABATEMENT REINVESTMENT ZONE FOR COMMERCIAL-INDUSTRIAL TAX ABATEMENT WITHIN THE CITY OF MANSFIELD, TEXAS; ESTABLISHING THE BOUNDARIES THEREOF AND OTHER MATTERS RELATED THERETO; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN IMMEDIATE EFFECTIVE DATE

WHEREAS, the City Council of the City of Mansfield, Texas (sometimes hereinafter referred to as the “City”) desires to promote the development or redevelopment of a certain contiguous geographic area within the City by the creation of a reinvestment zone for commercial-industrial tax abatement, as authorized by Chapter 312 of the Texas Tax Code, as amended; and,

WHEREAS, a public hearing before the City Council of the City was scheduled and held on May 8, 2023, such date being at least seven (7) days after the date of publication of the notice of such public hearing, pursuant to Section 312.201(d) of the Texas Tax Code, as amended; and,

WHEREAS, the City Council held such public hearing after publishing notice of such public hearing, and giving written notice to all taxing units overlapping the territory inside the proposed tax abatement reinvestment zone; and,

WHEREAS, the City at such public hearing invited any interested person to appear and speak for or against the creation of the tax abatement reinvestment zone, the boundaries of the proposed tax abatement reinvestment zone, whether all or part of the territory should be included in such proposed tax abatement reinvestment zone, and the concept of tax abatement.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2.

The City, after conducting such public hearing and having heard such evidence and testimony, has made the following findings and determinations based upon the testimony presented: That a public hearing on the adoption of Tax Abatement Reinvestment Zone No. 47 has been properly called, held and conducted, and that notice of such hearing has been published at least seven (7) days before the hearing in a newspaper of general circulation within the City, and mailed to all property taxing units overlapping the territory inside the proposed Tax Abatement Reinvestment Zone at least seven (7) days prior to the public hearing; and

- (a) That the boundaries of Tax Abatement Reinvestment Zone No. 47 should be the area as described in Exhibit A, which is attached hereto and incorporated herein for all purposes; and
- (b) That Tax Abatement Reinvestment Zone No. 47 as described in the attached Exhibit A meets the criteria for the creation of a tax abatement reinvestment zone as set forth in Section 312.202(a) of the Texas Tax Code, as amended, and in particular Section 312.202(a)(6) of the Texas Tax Code, in that it is “reasonably likely as a result of the designation to contribute to the retention or expansion of primary employment or to attract major investment in the zone that would be a benefit to the property and that would contribute to the economic development of the City”; and
- (c) That Tax Abatement Reinvestment Zone No. 47 as described and/or depicted in Exhibit A meets the criteria for the creation of a tax abatement reinvestment zone as set forth in the City’s tax abatement guidelines and criteria; and
- (d) That the improvements proposed for Tax Abatement Reinvestment Zone No. 47 are feasible and practical and would be a benefit to the land and to the City after the expiration of any tax abatement agreement.

SECTION 3.

Pursuant to Section 312.201 of the Texas Tax Code, as amended, the City of Mansfield, Texas, hereby creates Tax Abatement Reinvestment Zone No. 47 for commercial-industrial tax abatement encompassing only the area described in Exhibit A, and such Tax Abatement Reinvestment Zone No. 47 is hereby designated.

SECTION 4.

Tax Abatement Reinvestment Zone No. 47 shall take effect immediately upon passage of this Ordinance. Tax Abatement Reinvestment Zone No. 47 is effective for five (5) years and may be renewed for periods not to exceed five (5) years. The expiration of the designation of Tax Abatement Reinvestment Zone No. 47 does not affect an existing tax abatement agreement.

SECTION 5.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such invalid or unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 6.

Any provision of any prior ordinance of the City, whether codified or uncoded, which is in conflict with any provision of this Ordinance, is hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City, whether codified or uncoded, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

SECTION 7.

This ordinance shall take effect immediately from and after its passage upon reading and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED ON THE FIRST AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Bradley Anderle, City Attorney



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5341

Agenda Date: 5/8/2023

Version: 1

Status: Public Hearing

In Control: City Council

File Type: Consideration Item

Agenda Number:

Title

Public Hearing and Consideration of a Specific Use Permit for the Storage of Recreational Vehicles on Approximately 6.009 Acres Being Lot 1, Block 1, Guzman Addition, According to the Plat Recorded in Instrument No. D212042307 Located at 845 S. Holland Road; Eagle Storage Holland Rd LLC, Owner; HCE, Inc., Applicant (SUP#23-001)

Requested Action

To consider a request for Specific Use Permit (SUP)

Recommendation

The Planning and Zoning Commission held a public hearing on April 17, 2023, and voted 6-0 to recommend approval of the SUP.

Vote:

Ayes: 6 - Axen, Groll, Shaw, Bennett, Thompson, and Goodwin

Nays: 0

Absent: 1 - Mainer

The Department of Planning and Development Services recommends approval.

Description/History

Existing Use: Storage for recreational vehicle storage

Existing Zoning: I-2, Heavy Industrial District

Land Use Plan: Sub-Area 6

Surrounding Land Use & Zoning:

North - Residential, SF-7.5/16 Single-Family Residential District

South - Seeton Road Right-of-Way and Southern Pacific Railroad

East - Residential, SF-7.5/16 Single-Family Residential District

West - S. Holland Road Right-of-Way and Residential, SF-12/22 Single-Family Residential District

Thoroughfare Plan Specification:

Seeton Road - Local Collector (C2U 60')

Holland Road - Major Arterial (M4D 90')

Synopsis

The applicant is requesting a SUP for the storage of recreational vehicles. The request is to accommodate the expansion of two (2) existing buildings and to accommodate the construction of a new building for additional storage.

Staff Analysis

The subject property consists of approximately 6.009 acres of land being used as Eagle Boat and RV Storage located at 845 South Holland Road. There are currently four (4) existing structures on the property: an office building at the front and three (3) buildings used to store recreational vehicles and boats towards the rear. The applicant would like to increase two (2) of the existing buildings by approximately 4,000 and 4,200 square feet -- - respectively --- and to construct a new building containing 6,400 square feet of space. The new building is proposed to be located at the rear of the lot --- and close to Seeton Road. If the applicant's request is approved it would result in the property having five (5) buildings.

Site Plan

The applicant's site plan (Exhibit B) shows the layout of the site with the additions on the two existing buildings towards the rear of the lot. It also depicts a new building in the southeast corner of the lot, which would add approximately 11 more covered parking spaces.

Building Elevations

The applicant has provided elevations drawings (Exhibit C) showing that the additions and the new building will match the existing metal buildings that exist on the site today. Floor plans have been provided indicating how many additional storage spaces will be in each building.

Landscape Plan

The Landscape Plan is shown in Exhibit D. There is an existing wrought iron fence along the entire south property line along Seeton Road and half of the west (front) property line with existing trees. The applicant is proposing supplement the entire length of the wrought iron fence with shrubbery an additional six (6) feet in height in order to create a living screening wall to mask the business and its operations from the public right-of-way and adjacent properties.

Signage

Signage will comply with the C-2, Community Business District regulations. The applicant is not proposing any additional signage with this SUP application.

Summary

The purpose of an SUP is "to provide for uses that require special consideration in certain settings or are of a public or semi-public character often essential or desirable for the general convenience and welfare of the community, which without specific consideration may have possible adverse impact on neighboring properties."

Presently, the business has been located on this property --- and in operation --- since 2012. Prior to 2015, an SUP was not required for storage for recreational vehicles within the I-2, Heavy Industrial District. Amendments to Permitted Uses --- as entitled in Section 155.054 of the Mansfield Code of Ordinances --- in 2015 required the approval of a SUP in order to expand the use (e.g., building footprints and operations).

The facility currently has recreational vehicles parked outside in the area that is proposed to consist of new covered spaces. Approval of the proposed SUP would not allow for the transition of these uncovered recreational vehicles into a building, but it would visually screen the vehicles at the completion of construction. The added landscape and related visual screening elements will also improve the existing aesthetics of this development.

Prepared By

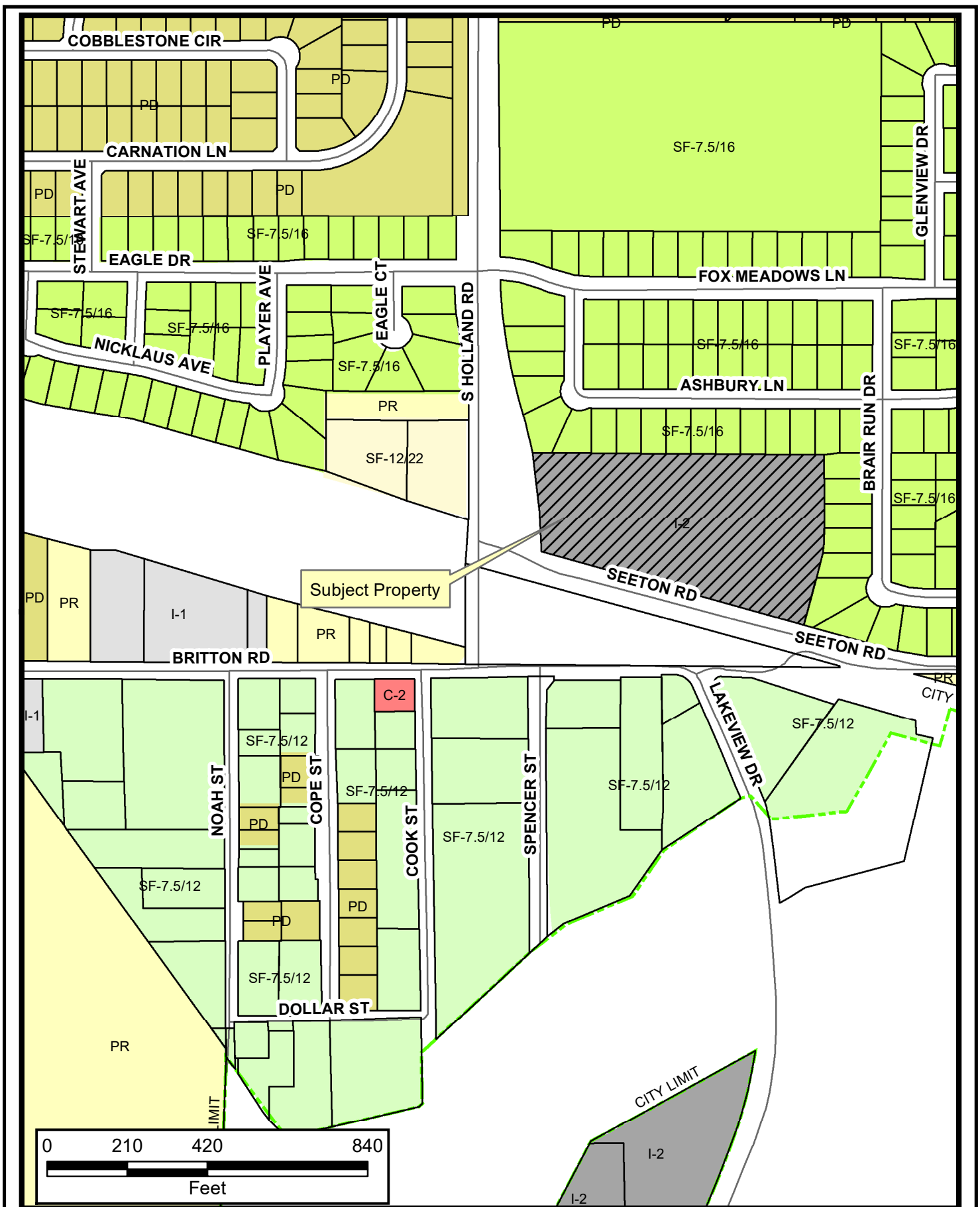
Shirley Emerson, Planner
817-276-4259



SUP#23-001

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

1/27/2023



Property Owner Notification for SUP#23-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
432 H HENDERSON 1.42 ACRES		NEAL NANCY JEAN	4510 BRITTON RD	MANSFIELD, TX	76065--400
GUZMAN ADDITION	BLK 1	EAGLE STORAGE HOLLAND RD LLC	941 W I 35 FRONTAGE RD 116 PMB	EDMOND, OK	73034
HOLLAND MEADOWS ADDITION	BLK 10	RICKS, DENNIS W	4600 ASHBURY LN	MANSFIELD, TX	76063-6724
HOLLAND MEADOWS ADDITION	BLK 10	SIGHTS, CHARLES A	909 BRIAR RUN DR	MANSFIELD, TX	76063-6736
HOLLAND MEADOWS ADDITION	BLK 10	DEICHERT, TROY	907 BRIAR RUN DR	MANSFIELD, TX	76063-6736
HOLLAND MEADOWS ADDITION	BLK 10	TYUS, TERRANCE	905 BRIAR RUN DR	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 10	AMERICAN RESIDENT'L LEASING CO	23975 PARK SORRENTO STE 300	CALABASAS, CA	91302
HOLLAND MEADOWS ADDITION	BLK 10	BEIRNES, ANDREW	901 BRAIR RUN DR	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	SWH 2017-1 BORROWER LP	1717 MAIN ST STE 2000	DALLAS, TX	75201
HOLLAND MEADOWS ADDITION	BLK 4	ANDERS, JAMES	4510 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	MANN, JACK T	4508 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	WOMBLE, CHRISTY D	4506 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	ADAME, JESUS	4504 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	RAMSDELL, MICHAEL	4502 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	WRIGHTSON, PHUONG	6200 BROOKSTONE DR	ARLINGTON, TX	76001
HOLLAND MEADOWS ADDITION	BLK 4	PHILLIPS, MICHAEL W	4418 ASHBURY LN	MANSFIELD, TX	76063-6702
HOLLAND MEADOWS ADDITION	BLK 4	DONG, LONG	426 GOLDEN POND DR	CEDAR HILL, TX	75104
HOLLAND MEADOWS ADDITION	BLK 4	ALTONJI, AARON	4414 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	KESSLER, MIRIAM	4412 ASHBURY LN	MANSFIELD, TX	76063-6702

Friday, January 27, 2023

Page 1 of 3

Property Owner Notification for SUP#23-001

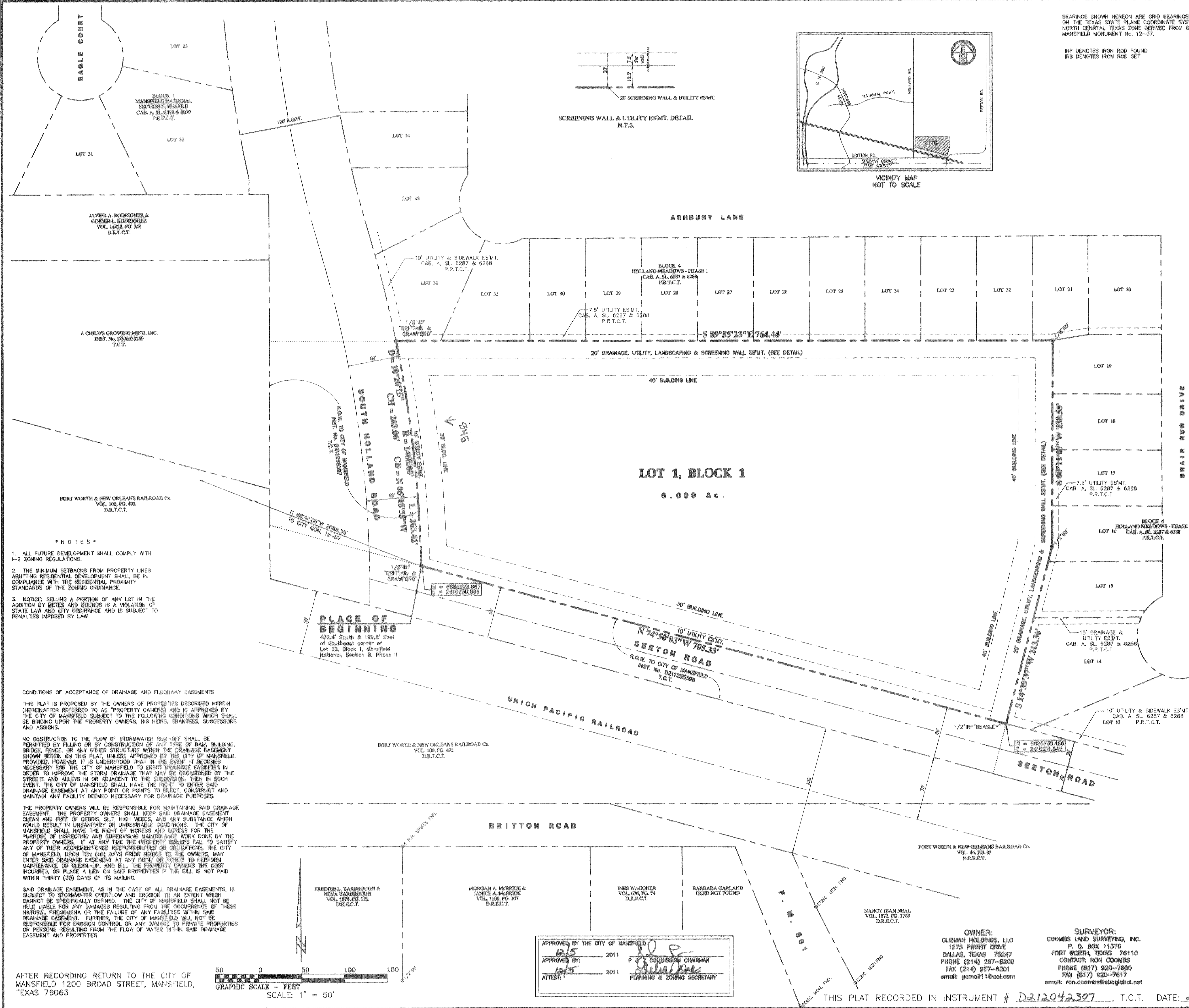
LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HOLLAND MEADOWS ADDITION	BLK 4	HORAN, ROBERT	4410 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	WALSTON, BRIAN	4408 ASHBURY LN	MANSFIELD, TX	76063-6702
HOLLAND MEADOWS ADDITION	BLK 4	DOMINGUEZ, BRANDON	910 BRIAR RUN DR	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	WRIGHT, LONNIE	908 BRAIR RUN DR	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 4	AMH 2014-3 BORROWER LLC	23975 PARK SORRENTO STE 300	CALABASAS, CA	91302
HOLLAND MEADOWS ADDITION	BLK 4	RAMOS, ARIEL H	904 BRIAR RUN DR	MANSFIELD, TX	76063-6735
HOLLAND MEADOWS ADDITION	BLK 4	COCKERELL, STEPHANIE	902 BRIAR RUN DR	MANSFIELD, TX	76063-6735
HOLLAND MEADOWS ADDITION	BLK 4	NORDWICK, DEANNA D	900 BRAIR RUN DR	MANSFIELD, TX	76063-6735
HOLLAND MEADOWS ADDITION	BLK 4	MCGINNIS, SANDRA	4602 BLUEBIRD LN	MANSFIELD, TX	76063-6728
HOLLAND MEADOWS ADDITION	BLK 4	ROSS, CEDRIC A	4600 BLUEBIRD LN	MANSFIELD, TX	76063-6728
HOLLAND MEADOWS ADDITION	BLK 4	STEVES, CHRISTOPHER	4406 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	REDDEN, GERI	4511 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	TITUS, JAMES A	4509 ASHBURY LN	MANSFIELD, TX	76063-6723
HOLLAND MEADOWS ADDITION	BLK 5	SURFACE, REX	4507 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	TRAN, KIM	4505 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	VARGAS, CHRISTINA	4503 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	SFR TEXAS SUB 2021-2 LLC	120 S RIVERSIDE PLZ SUITE 2000	CHICAGO, IL	60606
HOLLAND MEADOWS ADDITION	BLK 5	LE, THAO	4419 ASHBURY LN	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	ZAMAN, MUHAMMAD	4417 ASHBURY LN	MANSFIELD, TX	76063

Friday, January 27, 2023

Page 2 of 3

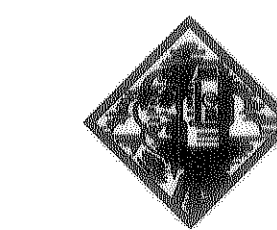
Property Owner Notification for SUP#23-001

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
HOLLAND MEADOWS ADDITION	BLK 5	EY FAMILY TRUST	7333 HINTON DR	MANSFIELD, TX	76063
HOLLAND MEADOWS ADDITION	BLK 5	JANNESSEN TRUST	18 VOLTERRA CT	DANVILLE, CA	94526
HOLLAND MEADOWS ADDITION	BLK 5	GILLARD, MATTHEW	4411 ASHBURY LN	MANSFIELD, TX	76063
NEILL, SAMUEL C SURVEY	A 1159	RODRIGUEZ, JAVIER	820 S HOLLAND RD	MANSFIELD, TX	76063-6704
NEILL, SAMUEL C SURVEY	A 1159	CHILD'S GROWING MIND INC	4606 SPRING LAKE PKWY	MANSFIELD, TX	76063-5590
NEILL, SAMUEL C SURVEY	A 1159	SOUTHERN PACIFIC RR CO	1400 DOUGLAS STOP 1640 ST	OMAHA, NE	68179-1001
NEILL, SAMUEL C SURVEY	A 1159	SOUTHERN PACIFIC RR CO	1400 DOUGLAS STOP 1640 ST	OMAHA, NE	68179-1001



BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL TEXAS ZONE DERIVED FROM CITY OF MANSFIELD MONUMENT No. 12-07.

IRF DENOTES IRON ROD FOUND
IRS DENOTES IRON ROD SET



Coombs Land Surveying, Inc.
P.O. Box 11370 Fort Worth, Texas 76110
(817) 920-7600 (817) 920-7617 FAX
CLS JOB No. 01006

*** NOTE ***
NO PORTION OF THIS PROPERTY LIES WITHIN A 100-YEAR FLOOD BOUNDARY LINE. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, COMMUNITY PANEL No. 48439C0490 K, MAP REVISED SEPTEMBER 25, 2009

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS, GUZMAN HOLDINGS, LLC, acting by and through the undersigned, its duly authorized agent, is the sole owner of a tract of land located in the SAMUEL C. NEILL SURVEY, ABSTRACT No. 1159, City of Mansfield, Tarrant County, Texas according to the deed recorded in Instrument No. D210268705, Tarrant County, Texas and more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found with yellow plastic cap stamped "BRITAIN & CRAWFORD" in the North right-of-way line of Seeton Road as described in deed to the City of Mansfield recorded in Instrument No. D211255306, Tarrant County, Texas at its intersection with the East right-of-way line of South Holland Road as described in deed to the City of Mansfield recorded in Instrument No. D211255397, Tarrant County, Texas, said iron rod also lying 432.4 feet South and 199.8 feet East of the Southeast corner of Lot 32, Block 1, Mansfield National, Section B, Phase II, an addition to the City of Mansfield, Texas according to the plat recorded in Cabinet A, Slide 8078 and 8079 of the Plat Records of Tarrant County, Texas;

THENCE NORTHWESTERLY, 263.42 feet along the said East right-of-way of South Holland Road with a Curve to the Left, having a radius of 1460.00 feet, a central angle of 10° 20' 15" and a chord bearing N 06° 18' 35" W, 263.06 feet to a 1/2-inch iron rod found with yellow plastic cap stamped "BRITAIN & CRAWFORD" in the North boundary line of aforesaid Guzman Tract lying in the South boundary line of Holland Meadows - Phase I, an addition to the City of Mansfield, Texas according to the plat recorded in Cabinet A, Slide 6287 and 6288 of the Plat Records of Tarrant County, Texas;

THENCE along the Southerly boundary line of said Holland Meadows as follows:
S 89° 55' 23" E, 764.44 feet to a 3/8-inch iron rod found;
S 00° 11' 07" W, 238.55 feet to a 1/2-inch iron rod found;

S 14° 39' 37" W, 213.36 feet to a 1/2-inch iron rod found with yellow plastic cap stamped "BEASLEY" on the South side of a brick column in the North right-of-way line of aforesaid Seeton Road;

THENCE N 74° 50' 03" W, 705.33 feet along the said North right-of-way line of Seeton Road to the PLACE OF BEGINNING, containing 6.009 acres of land.

STATE OF TEXAS
COUNTY OF TARRANT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT GUZMAN HOLDINGS, LLC, acting by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as LOT 1, BLOCK 1, GUZMAN ADDITION to the City of Mansfield, Tarrant County, Texas and do hereby dedicate to the public's use the streets and easements shown hereon.

WITNESS MY HAND AT Mansfield, Tarrant County, Texas this the 30 day of November, 2011.
Gene Guzman
GENE GUZMAN

STATE OF TEXAS
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared GENE GUZMAN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed, in the capacity therein stated and as the act and deed of said company.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 30th day of November, 2011.

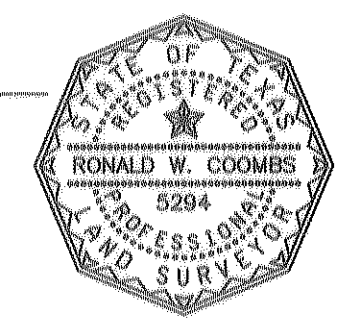
NOTARY PUBLIC
STATE OF TEXAS



SURVEYOR'S CERTIFICATION

THIS is to certify that I, RONALD W. COOMBS, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual survey on the ground and that all lot corners, angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Ronald W. Coombs
RONALD W. COOMBS, R.P.L.S.
Texas Registration No. 5294



FINAL PLAT
LOT 1, BLOCK 1
GUZMAN ADDITION
BEING 6.009 ACRES OF LAND LOCATED IN THE
SAMUEL C. NEILL SURVEY,
ABSTRACT No. 1159,
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

NOVEMBER 2011
1 LOT
SD# 11-007

- * NOTES ***
1. ALL FUTURE DEVELOPMENT SHALL COMPLY WITH I-2 ZONING REGULATIONS.
 2. THE MINIMUM SETBACKS FROM PROPERTY LINES ADJUTING RESIDENTIAL DEVELOPMENT SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL PROXIMITY STANDARDS OF THE ZONING ORDINANCE.
 3. NOTICE: SELLING A PORTION OF ANY LOT IN THE ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

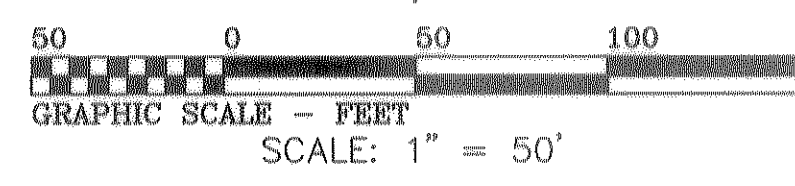
THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREON ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR FOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

AFTER RECORDING RETURN TO THE CITY OF MANSFIELD 1200 BROAD STREET, MANSFIELD, TEXAS 76063

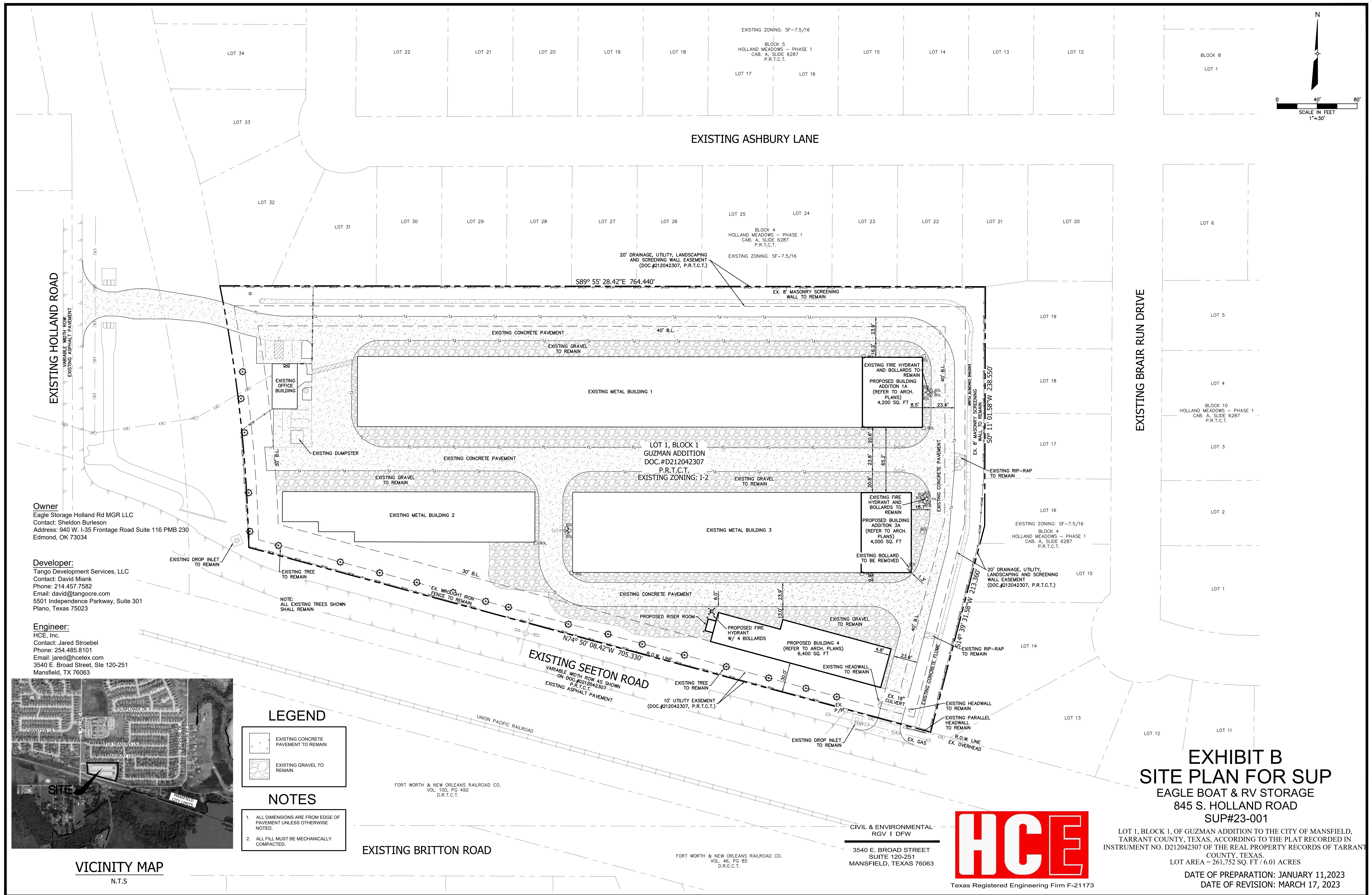


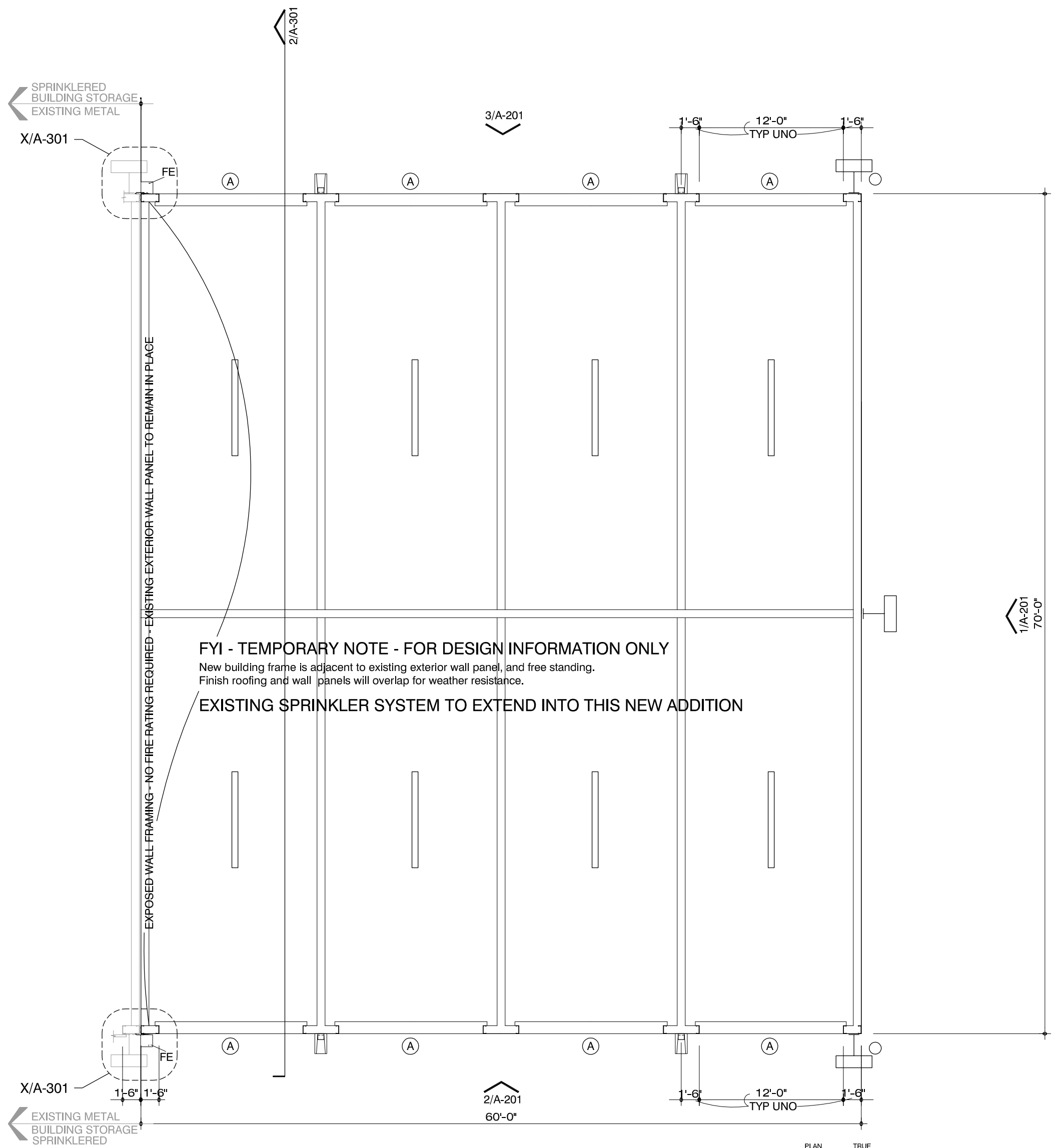
APPROVED BY THE CITY OF MANSFIELD
12/5 2011
APPROVED BY: _____ 2011
12/5 2011
ATTEST: _____ 2011
P & Z COMMISSION CHAIRMAN
PLANNING & ZONING SECRETARY

THIS PLAT RECORDED IN INSTRUMENT # D212042307, T.C.T. DATE: 2/21/12

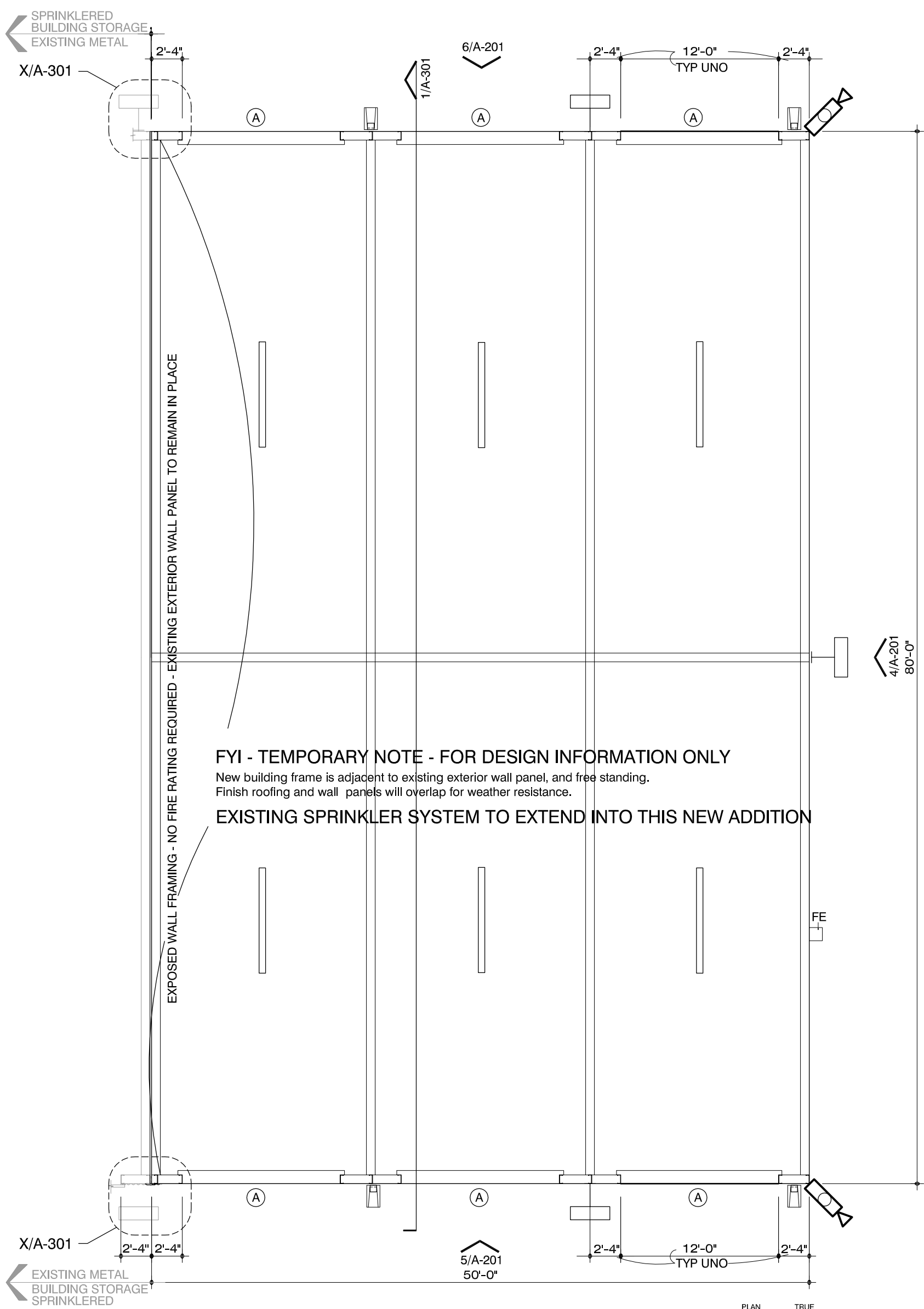
OWNER:
GUZMAN HOLDINGS, LLC
1275 PROFIT DRIVE
DALLAS, TEXAS 75247
PHONE (214) 267-8200
FAX (817) 920-7617
email: gemail11@aol.com

SURVEYOR:
COOMBS LAND SURVEYING, INC.
P. O. BOX 11370
FORT WORTH, TEXAS 76110
CONTACT: RON COOMBS
PHONE (817) 920-7600
FAX (817) 920-7617
email: ron.coombs@sbcglobal.net



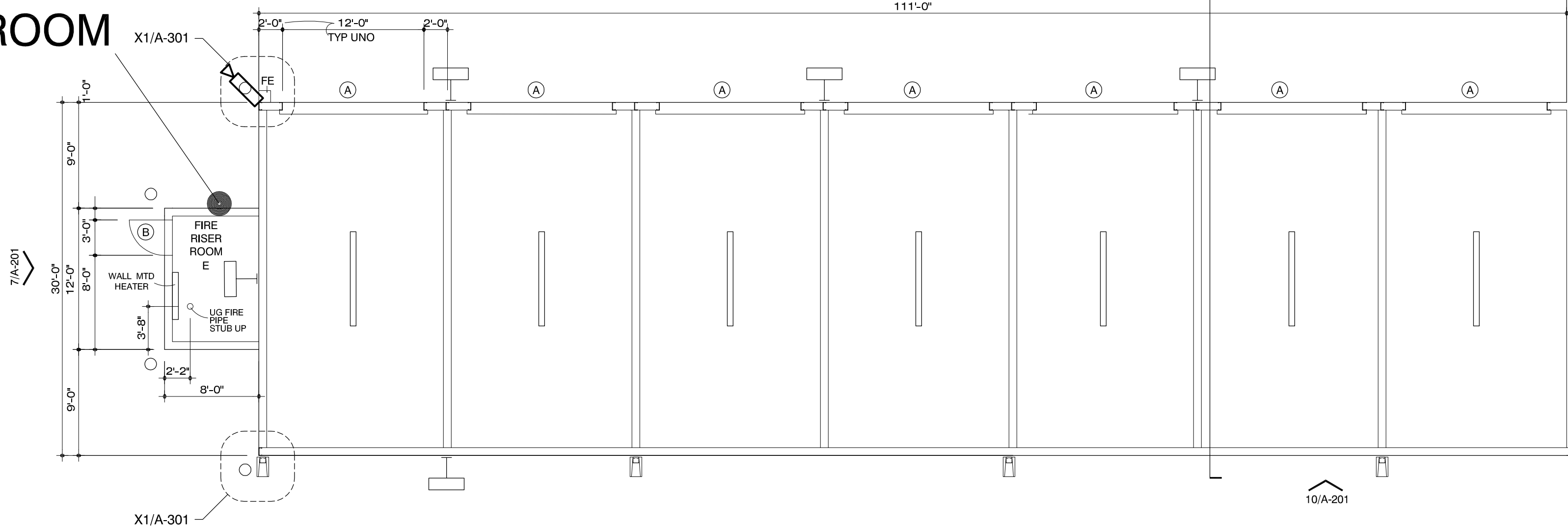


FLOOR PLAN - B1A



FLOOR PLAN - B3A

FIRE RISER ROOM



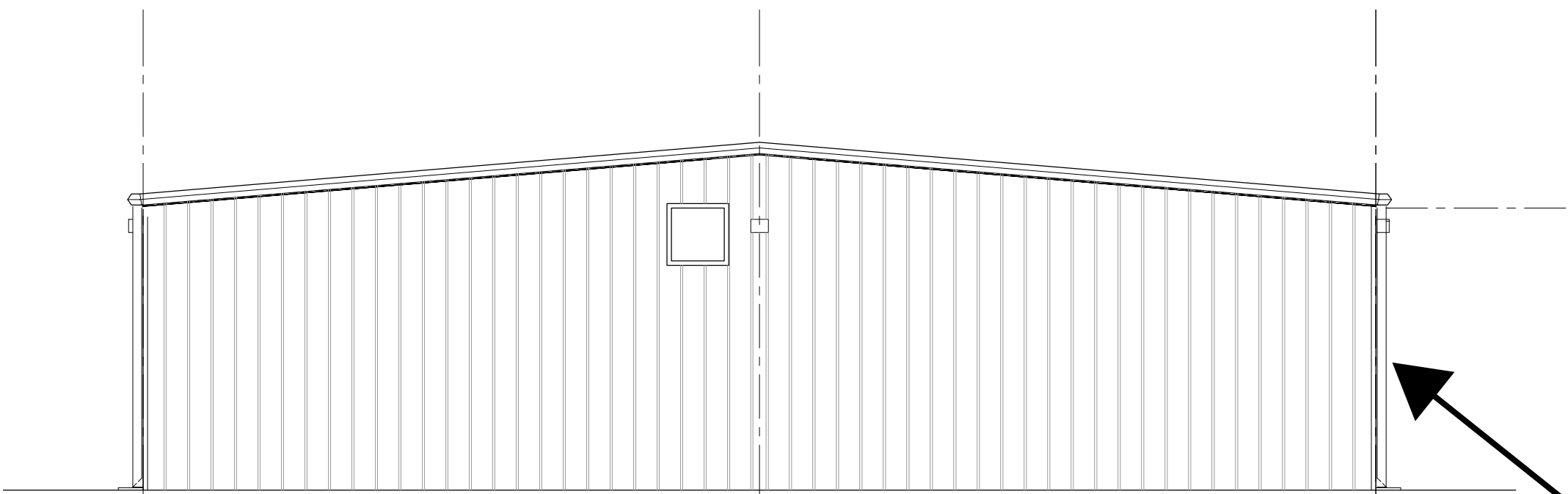
FLOOR PLAN - B4

EXHIBIT C
SHEET C1

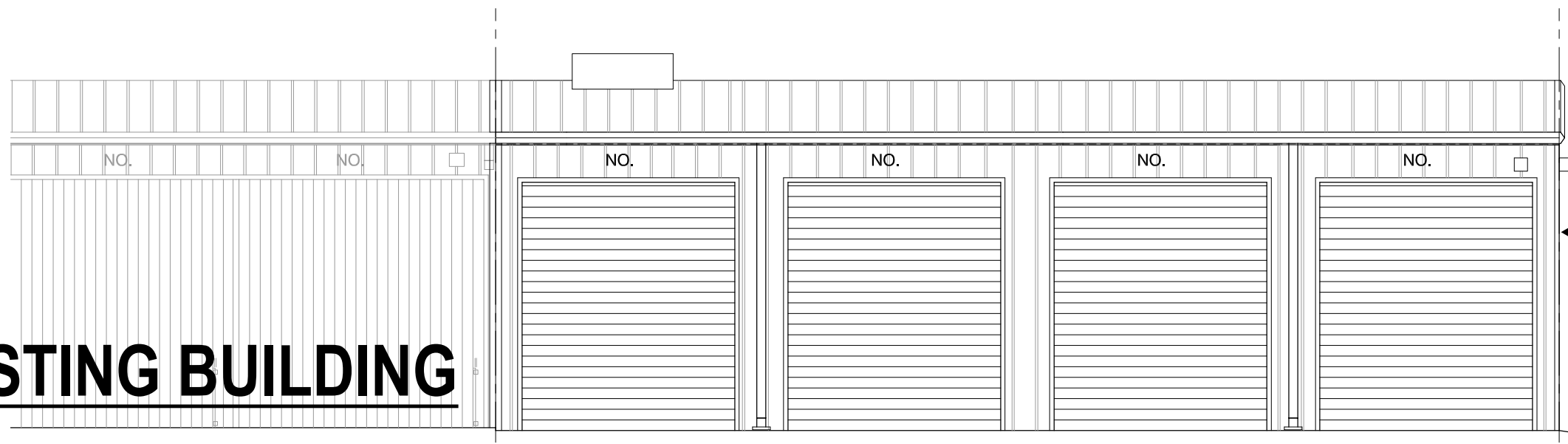
ALL BUILDINGS & ALL COLORS
COLORS TO BE USED ARE TO
MATCH THE EXISTING BUILDINGS
TO BE FIELD VERIFIED AND
FORMALLY IDENTIFIED IN THE
DRAWINGS TO BE REVIEWED
FOR CONSTRUCTION.

NEW BUILDING EAVE HEIGHT
ALL ADDITIONS ARE TO
MATCH EXISTING EAVE
HEIGHTS AT 16'-0"
(EXACT TO BE FIELD
VERIFIED)
PLEASE SEE A-301 (EXHIBIT
C.6 FOR CURRENT
SECTION/DETAIL
Norman Barrera, RVK

BUILDING MATERIALS
ALL MATERIALS FOR WALLS,
ROOFS, GUTTERS,
DOWNSPOUTS, LIGHTS AND
VENTING ARE TO MATCH THE
EXISTING METAL BUILDINGS.
SPECIFIC BRANDS MATCHING
METAL PROFILES TO BE
PROVIDED IN THE DRAWINGS TO
BE REVIEWED FOR
CONSTRUCTION.

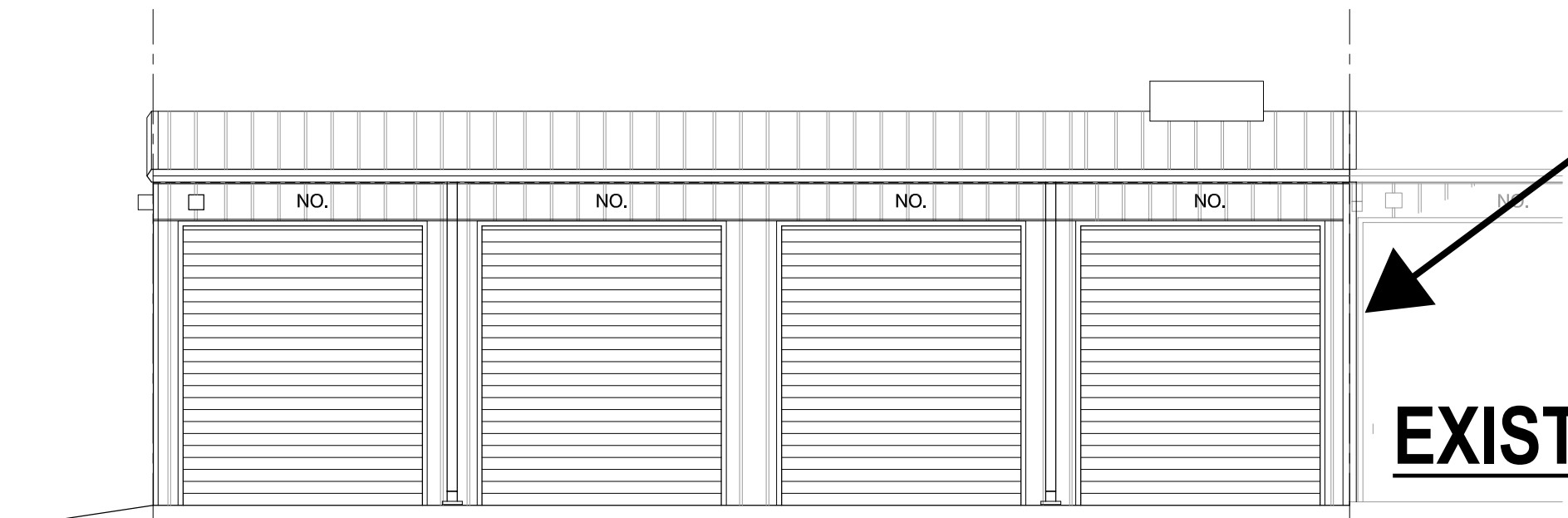


EAST ELEV - B1A



EXISTING BUILDING

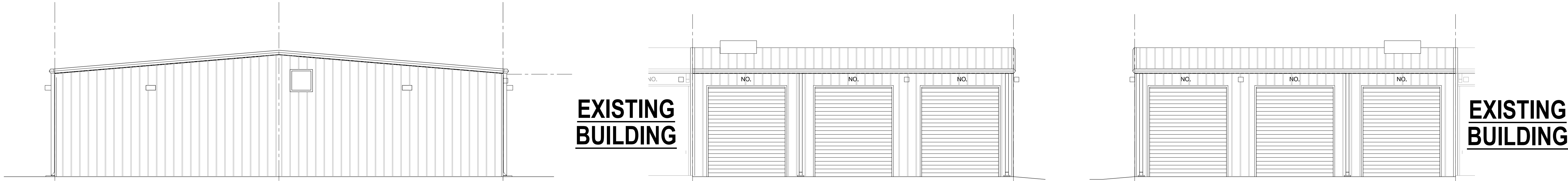
SOUTH ELEV - B1A



EXISTING BUILDING

NORTH ELEV - B1A

EXHIBIT C
SHEET C2



EATST ELEV - B3A

SOUTH ELEV - B3A

NORTH ELEV - B3A

NEW BUILDING EAVE HEIGHT

ALL ADDITIONS ARE TO
MATCH EXISTING EAVE
HEIGHTS AT 16'-0"
(EXACT TO BE FIELD
VERIFIED)

PLEASE SEE A-301 (EXHIBIT
C.6 FOR CURRENT
SECTION/DETAIL

Norman Barrera, RVK

BUILDING MATERIALS

ALL MATERIALS FOR WALLS,
ROOFS, GUTTERS,
DOWNSPOUTS, LIGHTS AND
VENTING ARE TO MATCH THE
EXISTING METAL BUILDINGS.
SPECIFIC BRANDS MATCHING
METAL PROFILES TO BE
PROVIDED IN THE DRAWINGS TO
BE REVIEWED FOR
CONSTRUCTION.

ALL BUILDINGS & ALL COLORS

COLORS TO BE USED ARE TO
MATCH THE EXISTING BUILDINGS
TO BE FIELD VERIFIED AND
FORMALLY IDENTIFIED IN THE
DRAWINGS TO BE REVIEWED
FOR CONSTRUCTION.



EXHIBIT C
SHEET C3



ALL BUILDINGS & ALL COLORS
COLORS TO BE USED ARE TO
MATCH THE EXISTING BUILDINGS
TO BE FIELD VERIFIED AND
FORMALLY IDENTIFIED IN THE
DRAWINGS TO BE REVIEWED
FOR CONSTRUCTION.

NEW BUILDING EAVE HEIGHT
ALL ADDITIONS ARE TO
MATCH EXISTING EAVE
HEIGHTS AT 16'-0"
(EXACT TO BE FIELD
VERIFIED)
PLEASE SEE A-301 (EXHIBIT
C.6 FOR CURRENT
SECTION/DETAIL
Norman Barrera, RVK

BUILDING MATERIALS
ALL MATERIALS FOR WALLS,
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EXISTING METAL BUILDINGS.
SPECIFIC BRANDS MATCHING
METAL PROFILES TO BE
PROVIDED IN THE DRAWINGS TO
BE REVIEWED FOR
CONSTRUCTION.

FIRE
RISER
ROOM

FDC CONNECTION
AND REQUIRED
LIGHTS & WATER PORTS
(BY SEPARATE PERMIT)
COORDINATE WITH CONTRACTOR FOR SPRINKLER

WEST ELEV - B4

EAST ELEV - B4

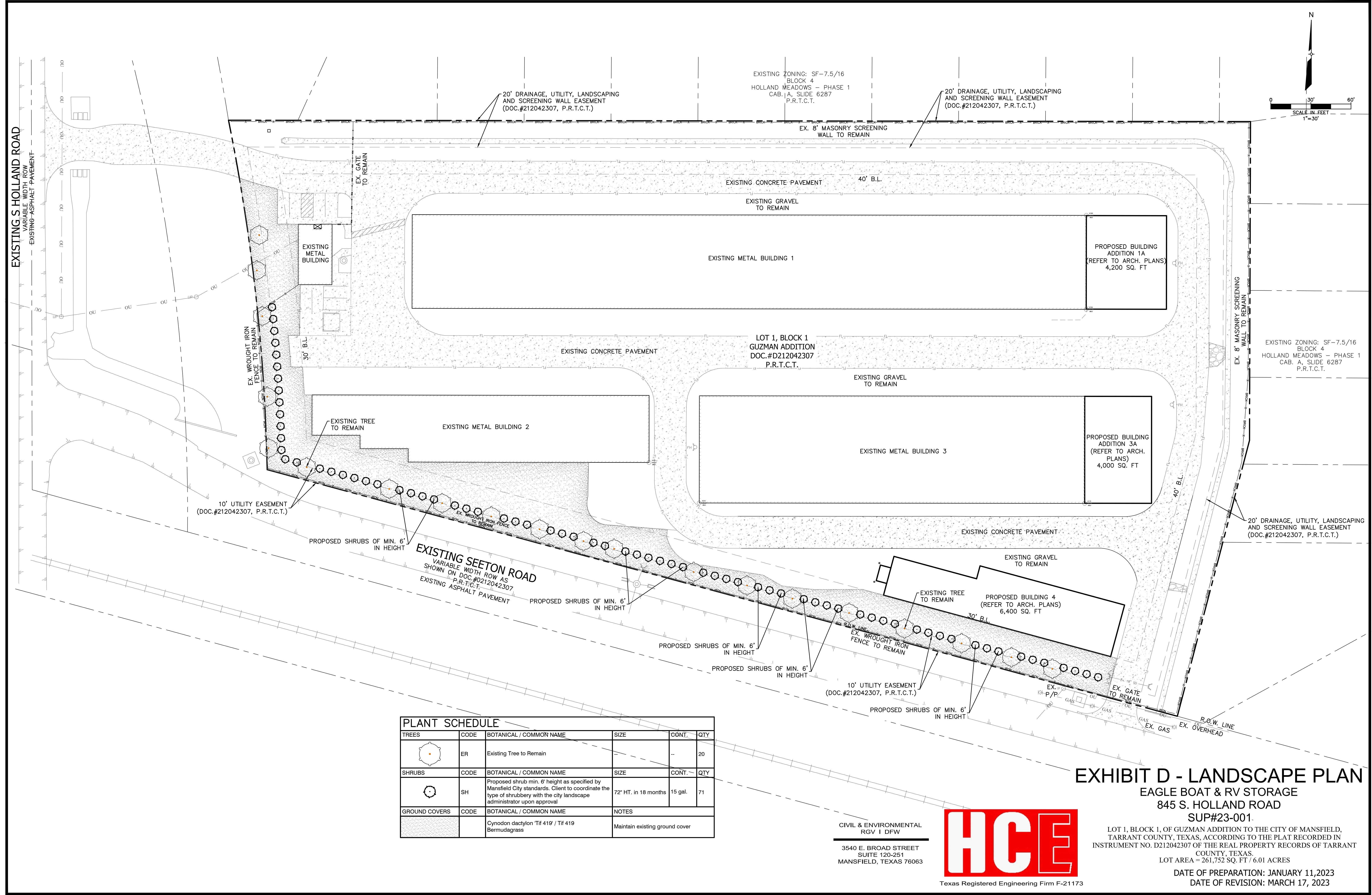
FIRE
RISER
ROOM

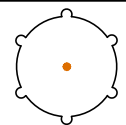
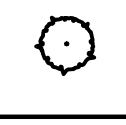

NORTH ELEV - B4

FIRE
RISER
ROOM

SOUTH ELEV - B4

EXHIBIT C
SHEET C4



PLANT SCHEDULE					
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY
	ER	Existing Tree to Remain		--	20
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONT.	QTY
	SH	Proposed shrub min. 6' height as specified by Mansfield City standards. Client to coordinate the type of shrubbery with the city landscape administrator upon approval	72" HT. in 18 months	15 gal.	71
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	NOTES		
		Cynodon dactylon 'Tif 419' / Tif 419 Bermudagrass	Maintain existing ground cover		

CIVIL & ENVIRONMENTAL
RGV I DFW
3540 E. BROAD STREET
SUITE 120-251
MANSFIELD, TEXAS 76063



Texas Registered Engineering Firm F-21173

EXHIBIT D - LANDSCAPE PLAN
EAGLE BOAT & RV STORAGE
845 S. HOLLAND ROAD
SUP#23-001

LOT 1, BLOCK 1, OF GUZMAN ADDITION TO THE CITY OF MANSFIELD,
TARRANT COUNTY, TEXAS, ACCORDING TO THE PLAT RECORDED IN
INSTRUMENT NO. D212042307 OF THE REAL PROPERTY RECORDS OF TARRANT
COUNTY, TEXAS.
LOT AREA = 261,752 SQ. FT / 6.01 ACRES

DATE OF PREPARATION: JANUARY 11, 2023
DATE OF REVISION: MARCH 17, 2023



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5346

Agenda Date: 5/8/2023

Version: 1

Status: New Business

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - First and Final Reading on an Ordinance Approving, Abandoning and Vacating Certain Portions of a 30 foot Easement for Railroad Spur on Property Owned by the City of Mansfield and Identified as Lot 1, Blk 50, Hillcrest Addition, Ninth Installment, in the City of Mansfield, Tarrant County, Texas; Declaring that such Easement Is Unnecessary for use by the Public; Authorizing this Ordinance to be Filed in the Official Public Deed Records of Tarrant County, Texas; Providing a Severability Clause; and Providing for an Effective Date

Requested Action

To approve the ordinance.

Recommendation

That the City Council approve the ordinance.

Description/History

As staff works on final details involving the sale of approximately 44 acres, known as the "Mushroom Property", it became evident through discovery and survey processes that some unused easements existed on the property and therefore prior to conveying the property to the Company, it is necessary to abandon and vacate these portions of easement.

Prepared By

Jason Moore, Executive Director of Economic Development
817-728-3651

ORDINANCE NO. _____

AN ORDINANCE ABANDONING AND VACATING CERTAIN PORTIONS OF A 30 FOOT EASEMENT FOR RAILROAD SPUR ON PROPERTY OWNED BY THE CITY OF MANSFIELD AND IDENTIFIED AS LOT 1, BLK 50, HILLCREST ADDITION, NINTH INSTALLMENT, IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS; DECLARING THAT SUCH EASEMENT IS UNNECESSARY FOR USE BY THE PUBLIC; AUTHORIZING THIS ORDINANCE TO BE FILED IN THE OFFICIAL PUBLIC DEED RECORDS OF TARRANT COUNTY, TEXAS; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the City of Mansfield, Texas (the “City”) is a home rule municipality acting under its charter adopted by the electorate pursuant to Article XI, Section 5 of the Texas Constitution and Chapter 9 of the Local Government Code; and,

WHEREAS, the City is the owner of certain real property described as being 43.910 acres of land located in the William C. Price Survey, Abstract No. 1240, and the D. McQueen Survey, Abstract No. 1025, Mansfield, Tarrant County, Texas, and incorporating a portion of Lot 1, Block 50, Hillcrest Addition, Ninth Installment, an addition to the City of Mansfield, Tarrant County, Texas (the “Property”); and,

WHEREAS, the plat for the Property, which was recorded in 1968, in Vol. 388-49, Pg. 11, P.R.T.C.T., dedicated to the public use certain portions of a 30 Foot Easement for Railroad Spur, certain portions of which are shown and specifically identified on the attached **Exhibit A**; and,

WHEREAS, such certain portions of 30 Foot Easement for Railroad Spur have never been used for any public or private railroad spur purposes and are not being used by, nor are they accessible, useful, or convenient to the public in general or to any railroad company for such purposes; therefore, the 30 Foot Easement for Railroad Spur constitutes a public charge without a corresponding public benefit, and City finds that the public would be better served and benefited by the abandonment of said 30 Foot Easement for Railroad Spur as specifically identified on the attached **Exhibit A**, which will also unencumber the Property for future development that will serve the public purposes of the City in the exercise of its governmental functions.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

The recitals and findings above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2.

Certain portions of a 30 Foot Easement for Railroad Spur shown and specifically identified on the attached **Exhibit A**, are unnecessary for use by the public, and the same are hereby

ABANDONED AND VACATED for railroad spur purposes, insofar as all public use, right, title, and interest in and to the described easement are concerned; **SAVE AND EXCEPT**, this action does not obligate the City to remove, replace, or repair any public utilities currently existing in the portions of the easement being abandoned and vacated, and any such public utilities shall left in place by the City. Moreover, this action shall not affect the public use, right, title, and interest, if any, of any existing franchise utilities or other persons having authorized utility improvements currently located in the easement being abandoned and vacated by this Ordinance.

SECTION 3.

Upon execution of this Ordinance by the Mayor, the City Secretary of the City of Mansfield, Texas, shall file this Ordinance for recording in the Official Public Deed Records of Tarrant County, Texas.

SECTION 4.

The terms and provisions of this Ordinance shall be deemed to be severable and that if the validity of any section, subsection, sentence, clause or phrase of this Ordinance should be declared to be invalid, the same shall not affect the validity of any other section, subsection, sentence, clause or phrase of this Ordinance.

SECTION 5.

This ordinance shall take effect immediately from and after its passage upon reading and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED ON THE FIRST AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8TH DAY OF MAY, 2023.

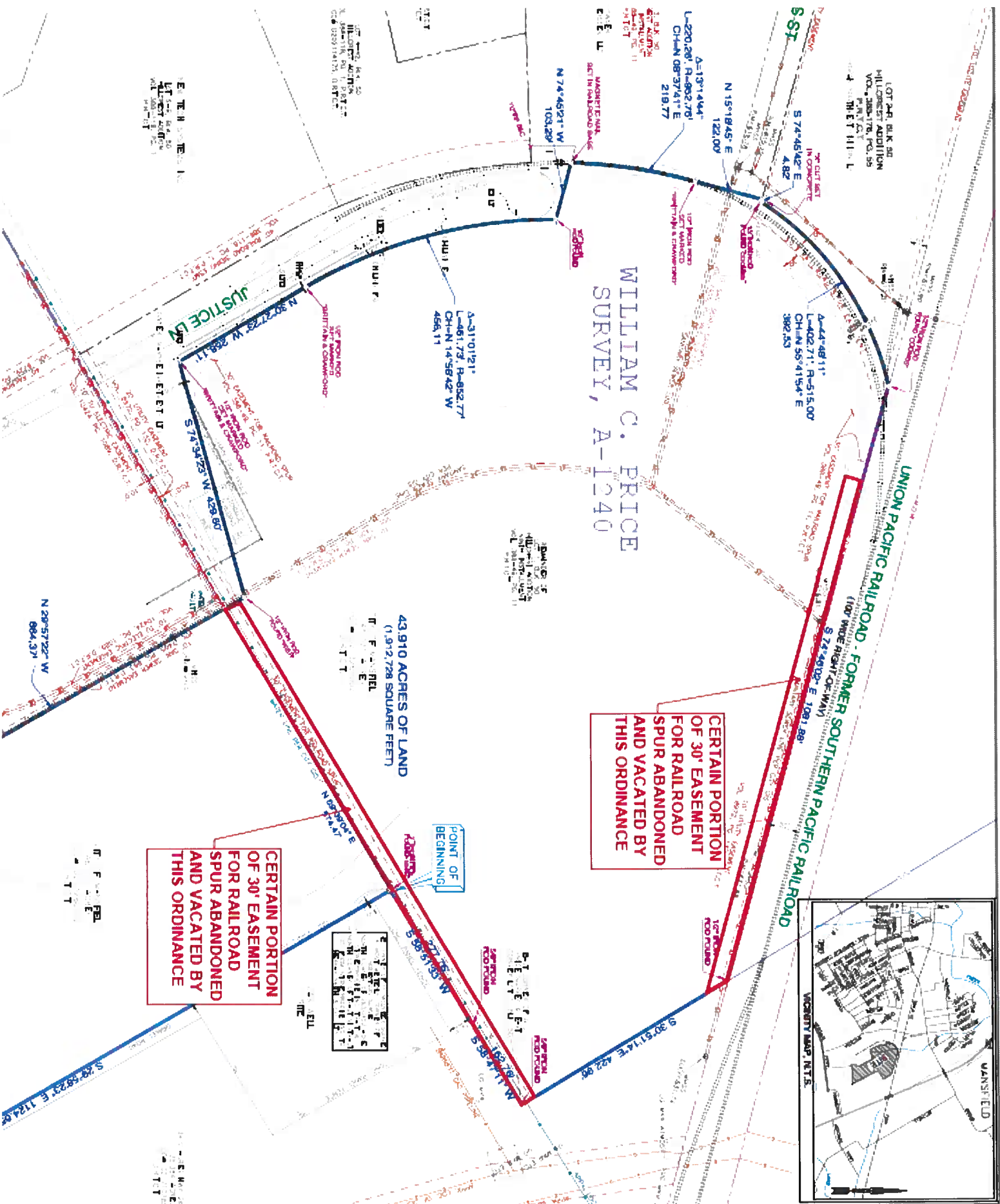
Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Bradley Anderle, City Attorney





CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5342

Agenda Date: 5/8/2023

Version: 1

Status: New Business

In Control: City Council

File Type: Consideration Item

Title

Review and Consideration of a Request to Approve Modifications to the Trike Investors Planned Development (PD) District and Development Plan; Winstead PC, Applicant, Lonestar Striker, LLC, Owner (ZC#17-009A)

Requested Action

To review and consider proposed modifications to the approved Development Plan

Recommendation

The Department of Planning and Development Services recommends that the proposed modifications to the approved Development Plan be remanded to the Planning and Zoning Commission for further review and consideration prior to the City Council reviewing, considering, and taking any possible action on this request.

Synopsis

The applicant is requesting approval to modify the approved development plan for Area B of the Trike Investors PD, Planned Development District with respect to the site layout and the mix of uses. Considering that this modification has the potential to “change traffic patterns” and may “result in any increase in external impact on adjacent properties or neighborhoods” it is subject to review by the City Council.

Description/History

The Trike Investors PD, Planned Development District is intended to support mixed-use development on a 46.08-acre tract of land. As originally envisioned, the property was to be developed --- and to exist --- in accordance with the vision articulated within the 2012 Mansfield Land Use Plan by providing “attractive, inviting, imaginative, high quality and functional neighborhoods.”

As currently written, the Trike Investors PD, Planned Development District standards are administered to and applied across a variety of residential products and commercial opportunities. It should be noted that the various residential product types include single-family residences, townhomes, brownstones, and multi-family dwellings.

The development is primarily guided by two (2) plans --- the Regulating Plan and the Development Plan. The Regulating Plan shows the Character Zones (e.g., Residential Transition, Urban Residential, and Hybrid Commercial) within the planned development. The Character Zones are subject to the regulations set forth in Section 3.E., entitled “Character Zone Development Standards” within the Trike Investors PD, Planned

Development District. Any portion of Area B not used for Urban Residential use may consist of Residential Transition and/or Hybrid Commercial uses and standards.

Under the currently approved development plan, Area B (also identified as the Urban Residential Zone) is a 14.99-acre tract within the planned development. The approved list of uses for Area B are:

- Approximately 275 multi-family dwelling units;
- Approximately 12 brownstones; and
- Approximately 40,000 square feet of retail/commercial uses.

The applicant requests approval from the City Council to substantially modify the site layout and the site design of Area B as shown on the revised Site Plan. The type of land uses remains the same as the approved plan, but with the following intensities:

- 275 multi-family dwelling units;
- 12 brownstones; and
- 10,108 square feet of retail/commercial

Site Plan

The revised development plan includes a new building layout, with three (3) multi-family buildings generally occupying the central and eastern portions of Area B. A regional detention pond has been created at the northern portion of Area B.

Summary

There are some elements of the proposed modifications that do align with the community's vision for growth and development along the U.S. Highway 287 Corridor; however, the entirety of the proposed modifications are not entirely consistent with this vision nor realize the vast economic potential of this corridor.

While discretion to review, consider, and take possible action on the proposed modifications are at the sole option of the City Council, it is recommended that the request be remanded to the Planning and Zoning Commission for further review and consideration.

Prepared By

Art Wright, AICP, Principal Planner
817-276-4226



ORDINANCE NO. OR-2065-17

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTIES TO A PD, PLANNED DEVELOPMENT DISTRICT FOR SINGLE FAMILY, MULTI-FAMILY AND RETAIL COMMERCIAL LANDUSES, PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to owners of the affected properties, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That the Comprehensive Zoning Ordinance of the City of Mansfield, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Mansfield, to give the hereinafter described property a new zoning district classification of PD, Planned Development; said property being described in Exhibit "A" attached hereto and made a part hereof for all purposes.

SECTION 2.

That the use and development of the hereinabove described property shall be in accordance with the development plan shown on Exhibits "B - C " attached hereto and made a part hereof for all purposes.

SECTION 3.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4.

That the above described properties shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6.

Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7.

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

FIRST READING APPROVED ON THE 28TH DAY OF AUGUST, 2017.

SECOND READING APPROVED ON THE 11TH DAY OF SEPTEMBER, 2017.

DULY PASSED ON THE THIRD AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 25TH DAY OF SEPTEMBER, 2017.




David L. Cook, Mayor

ATTEST:



Jeanne Heard, City Secretary

APPROVED AS TO FORM AND LEGALITY



Allen Taylor, City Attorney

Exhibit A
ZC#17-009

Being a tract of land situated in the Cresanto Vela Survey, Abstract No. 851, and the L.H. Stephens Survey, Abstract No. 785, in Johnson County, Texas, and being the same tract of land conveyed to Francis E. Rodgers, et ux, by Deed recorded in Book 1901, Page 299, Deed Records, Johnson County, Texas, and being more particularly described as follows:

BEGINNING at a concrete monument found for corner at the Northeast right of way line of Business U.S. Highway 287 (variable width right of way) at the most Western Southeast corner of said Rodgers tract, said corner being the beginning of a curve to the left with a delta angle of 04 degrees 09 minutes 14 seconds, a radius of 5759.58 feet and a chord bearing and distance of North 57 degrees 04 minutes 15 seconds West, 417.48 feet;

THENCE along said Business U.S. Highway 287 and said curve to the left, an arc length of 417.58 feet to a concrete monument found for corner, said corner lying in the Southwest line of said Rodgers tract;

THENCE North 59 degrees 07 minutes 04 seconds West, along said Southwest line of Rodgers tract, a distance of 769.89 feet to a concrete monument found for corner;

THENCE North 58 degrees 21 minutes 02 seconds West, along said Southwest line of Rodgers tract, a distance of 154.23 feet to a concrete monument found for corner;

THENCE North 55 degrees 04 minutes 31 seconds West, along said Southwest line of Rodgers tract, a distance of 385.10 feet to a 3/8 inch iron rod found for corner;

THENCE North 59 degrees 22 minutes 28 seconds East, departing said Northeast right of way line of Business U.S. Highway 287, a distance of 215.17 feet to a 3/8 inch iron rod found for corner;

THENCE North 33 degrees 46 minutes 10 seconds West, a distance of 175.83 feet to a 3/8 inch iron rod found for corner, said corner lying in the Northwest line of said Rodgers tract and lying in the Southeast line of a tract of land conveyed to Orville A. Lyles and Lucille M. Lyles, by Deed recorded in Volume 1788, Page 964, Deed Records, Johnson County, Texas;

THENCE North 59 degrees 53 minutes 26 seconds East, along said Northwest line of Rodgers tract, a distance of 1563.75 feet to a 1 inch iron rod found for corner;

Exhibit A
ZC#17-009

THENCE North 58 degrees 08 minutes 41 seconds East, along said Northwest line of Rodgers tract, a distance of 9.08 feet to a concrete monument found for corner, said corner being the North corner of said Rodgers tract and lying in the Southwesterly line of a tract of land conveyed to the State of Texas, by Deed recorded in Volume 752, Page 534, Deed Records, Johnson County, Texas;

THENCE South 21 degrees 01 minutes 00 seconds East, along the Northeast line of said Rodgers tract and said Southwesterly line of said State of Texas tract, a distance of 615.56 feet to a concrete monument found for corner, said corner being the beginning of a curve to the right with a delta angle of 27 degrees 30 minutes 20 seconds, a radius of 1402.40 feet and a chord bearing and distance of South 07 degrees 14 minutes 22 seconds East, 666.80 feet;

THENCE along said Northeast line of said Rodgers tract and said curve to the right, an arc length of 673.24 feet to a 5/8 inch iron rod set for corner with yellow plastic cap stamped "DC&A";

THENCE South 06 degrees 32 minutes 55 seconds West, a distance of 200.00 feet to a concrete monument found for corner, said corner being the beginning of a curve to the left with a delta angle of 21 degrees 33 minutes 39 seconds, a radius of 984.93 feet and a chord bearing and distance of South 04 degrees 13 minutes 55 seconds East, 368.45 feet;

THENCE along said curve to the left, an arc length of 370.64 feet to a concrete monument found for corner;

THENCE South 21 degrees 53 minutes 21 seconds West, a distance of 78.10 feet to a concrete monument found for corner, said corner lying in the Northwest right of way line of Lone Star Road (C.R. 521)(variable width right of way);

THENCE South 60 degrees 19 minutes 15 seconds West, along said Northwest right of way line of Lone Star Road and the Southeast line of said Rodgers tract, a distance of 206.09 feet to a concrete monument found for corner;

THENCE North 84 degrees 49 minutes 33 seconds West, a distance of 91.11 feet to the POINT OF BEGINNING and containing 2,007,176.50 square feet or 46.0784 acres of land.

Bryan Connally



Exhibit A
ZC#17-009

Being a septic easement situated in a tract of land conveyed to Francis E. Rodgers, et ux, by Deed recorded in Book 1901, Page 299, Deed Records, Johnson County, Texas, and being more particularly described as follows:

COMMENCING at a 3/8 inch iron rod found at the most Southerly Southwest corner of said Rodgers tract and lying in the Northeast right of way line of Business U.S. Highway 287 (variable width right of way);

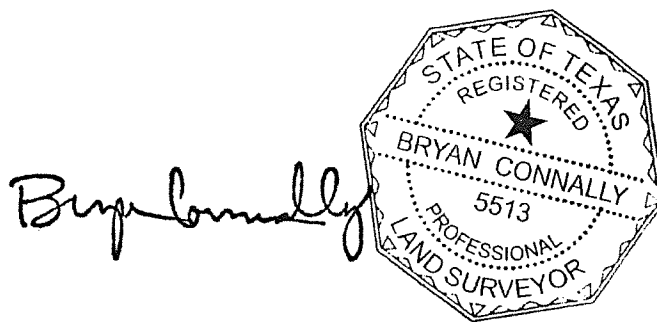
THENCE North 59 degrees 22 minutes 28 seconds East, departing said Northeast right of way line of Business U.S. Highway 287, a distance of 154.50 feet to the POINT OF BEGINNING;

THENCE South 49 degrees 46 minutes 16 seconds East, a distance of 68.77 feet to a point for corner;

THENCE North 43 degrees 18 minutes 47 seconds East, a distance of 17.84 feet to a point for corner;

THENCE North 54 degrees 22 minutes 48 seconds West, a distance of 65.59 feet to a point for corner;

THENCE South 59 degrees 22 minutes 28 seconds West, a distance of 13.28 feet to the POINT OF BEGINNING and containing 1,011.29 square feet or 0.0243 acres.



ZC#17-009

Exhibit B:

Trike Investors PD Conditions

Mansfield, Texas

Table of Contents:

1. Development Narrative
2. Administrative Process
3. Character Zone Standards
4. Vehicular and Pedestrian Thoroughfare Standards
5. Open Space, Trail and Landscape Standards
6. Parking Standards
7. Architecture and Building Standards
8. Sign Standards
9. Lighting Standards
10. Management Entities

1. Development Narrative

The property owners of the +/- 46.08 Trike Investors property at the intersections of Main Street, Lone Star Drive and US 287 request a change of zoning from C-2 Community Business District and PR - Pre-Development District, to PD – Planned Development. The PD zoning will be a more appropriate fit for this property to serve as a node of activity for the existing and emerging surrounding neighborhoods, provide a mix of uses on site, and serve as an attractive gateway into Mansfield.

The development will serve to implement the vision given in the 2012 Mansfield Land Use Plan by providing “attractive, inviting, imaginative, high quality and functional neighborhoods” (Goal 1). Throughout the country vibrant neighborhoods have a range of uses and housing types. This is reinforced in the City’s Land Use Plan when it states in the strategy section to “Provide a variety of housing to meet the needs of all residents, including seniors, empty nesters, young professionals and families” (Strategy 1.6). Furthermore, in certain areas Mansfield, as stated in Strategy 1.7, the Land Use Plan allows for “higher-density, single and multi-family housing along major arterials and near commercial activity centers.”

Applicant understands the balance between the context of existing development, what is emerging and what the long term vision for Mansfield. An attempt to balance the mixed use nature of the site that anticipates the need for a transition between anticipated single family residential with what the Land Use Plan calls for in Strategy 6.2 “buffer zoning such as medium density (5 units per acre and greater)”

The property is planned to have a mixture of residential housing types as well as a range of retail types. The PD consists of three Character Zones in four distinct areas- shown on Exhibit C.2 – Regulating Concept Plan. Area A consists of +/- 60 small lot single family lots. Area B is approximately 275 multi-family units with any unused portion consisting of single family transition and/or commercial. Area C is walkable format retail centered on a shared open space and larger format retail facing Main Street. Area D is a hybrid of storefront walkable retail and a more conventional retail format with highway and arterial frontage.

Despite frontage on three major roadways the site has significant access challenges and is at a transition point for land uses. The US 287 frontage road is not built yet, without a certain timeline for construction, which necessitates primary access from Main Street. Eventually Main Street will be a slower speed entrance into Downtown however at the moment it remains a higher speed arterial and this proposed PD anticipates both the existing and anticipated context. Applicant recognizes the importance of the site to provide a visual entrance and sense of arrival for the City of Mansfield in general and serve as a gateway from the south towards Downtown.

The vision for the site is to serve as a transition between conventional size single family to the north through small lot single family and medium density multi-family. The residential on site and in surrounding neighborhoods will benefit from the walkable, neighborhood scale retail centered on a common open space and the neighborhood scale streets with on-street parking and street trees. The portion of the site with the most highway visibility will serve the larger area for more conventional retail and commercial services.

The PD seeks to ensure special attention of building design. The PD anticipates general compliance with the Community Design standards for the commercial and multi-family areas. Additionally, the

multi-family buildings with ground floor street frontage will be encouraged to have front doors, stoops or patios facing towards the street to provide a sense of liveliness consistent with walkable streets. Furthermore urban design details such as sidewalks required on all internal walkable streets and a trail connection will be made in the direction of Downtown along Main Street. Small pocket parks that in some cases accommodate periodic storm water detention are distributed throughout the site. Some detention areas also double as landscape buffers, and in some areas the detention areas may be active wet ponds to serve not only a utilitarian purpose but also serves as an amenity.

The proposed PD zoning will achieve a mix of uses that are market driven, will ensure quality development and will have a positive impact on the city's property and sales tax base.

2. Administration

A. Applicability

The requirements of these Standards are mandatory and all development on land located within the boundaries of this Planned Development District must adhere to the rules and regulations set forth herein. The proposed development will be in complete accordance with the provisions of the approved Planned Development District and that all Development Plans recorded hereunder shall be binding upon the applicant thereof, his successors and assigns, and shall limit and control all building permits.

B. Conflicting Regulations

Except as provided by these Standards, development within the Planned Development District is governed by City regulations. In the event of any conflict or inconsistency between these Standards and the applicable City regulations, the terms and provisions of these Standards shall control. In the event of a conflict between the text and the graphic images, the text shall control. Building codes, life safety codes, and Federal and State regulations take precedence where a standard requires or recommends actions that are in conflict with such codes and regulations.

C. Regulating Concept Plan

The Regulating Plan defines the areas and locations of the Zones for regulatory purposes. The Regulating Plan and Zone Standards are included as a part of this Planned Development in Section 3, and identify the rules for development.

D. Development Procedure

To develop a portion of the Planned Development District, or the entire District, the Applicant shall meet with the Plan Review Committee (PRC) for preliminary review and comment. Any portion of the District may be developed, and may be developed in any order. The PRC shall indicate if any of the following procedures may be modified or omitted. A Preliminary Plat, Site Plan, and Final Plat must be submitted and approved prior to obtaining a building permit.

E. Simultaneous Submittal

A Preliminary Plat and Site Plan Submittal may be submitted for simultaneous review and approval.

F. Development Site Plan

Approval of the zoning for the Trike Investors PD shall not require simultaneous approval of the Development Plan for the Trike Investors PD; provided, however, no plat shall be approved or building permit issued for development in the Trike Investors PD until the Development Plan has been submitted for review and recommendation from the Planning and Zoning Commission and approval by the City Council. The purpose of the Development Plan review for the Trike Investors PD is to achieve the individualized site development review that would normally be accomplished under planned development district zoning at the time the initial zoning decision was made. In reviewing the Development Plan submitted pursuant to this provision the Planning and Zoning Commission and City council will be reviewing the site development proposal for the following issues:

- Internal traffic circulation
- impact on external traffic circulation;
- site signage;
- building facades and articulation;
- compatibility of the site design with adjacent properties;
- internal landscaping;
- internal and external lighting impacts;
- adequacy of off street parking, loading and delivery design;
- storm water impacts and management; and
- such other design factors as the Planning and Zoning Commission and City council may determine to be appropriate based upon the location and character of the site

Recommendation of the Planning and Zoning Commission and approval of the Development Plan by the city council shall be by simple majority vote at a meeting without a public hearing. The development Plan application shall comply with the requirements of Article 5. Section 5100 F. of the City of Mansfield Zoning Ordinance. The Planning and zoning commission may recommend and the city council may approve the development plan, approve with modifications and development conditions deemed appropriate, or deny the plan for any issue that is unresolved by the site development proposal as determined by the Planning and zoning commission and City Council. A denial of Development Plan shall not be considered as a denial of the use of the property.

G. Minor Variations

Minor Variations may be granted per requirements in Zoning Ordinance Section 5100.

H. Private Deed Restrictions

Concurrent with a Site Plan Application that includes Single Family and/or Townhome/Brownstone lots, the Applicant will submit to the City Planning Department a copy of proposed Deed Restrictions applicable to the single family or townhome portion of the Planned Development District. The City's review of the Deed Restrictions is strictly limited to assurance that they conform to the performance standards specifically established herein, and not to impose additional design requirements.

3. Character Zone Standards

A. General

The following tables and illustrations identify general regulations for all zones within the Planned Development.

B. Regulating Concept Plan (Exhibit C.2)

The Regulating Plan shows the Character Zones within the Planned Development. The Character Zones are subject to the regulations in Section 3. E. Any portion of Area B not used for Urban Residential use may consist of Residential Transition and/or Hybrid Commercial uses and standards. At least 12 units of Townhome/Brownstones shall be constructed as a transition between Residential Transition and Urban Residential.

C. Illustrative Concept Plan (Exhibit D)

The Illustrative Concept Plan depicts a possible development scenario under these PD conditions. The Illustrative concept is meant to be illustrative only and is not regulatory. Thus, access, pedestrian connections, and parking locations may be located in different configurations as long as consistent with the Regulating Plan. Lots may be modified within the master block pattern of the Regulating Plan when the modification of the lotting pattern remains consistent with the block pattern and the PD Conditions herein.

D. Permitted Uses

Table 1 – Permitted Uses

Zone	<i>Residential Transition</i>	<i>Urban Residential</i>	<i>Hybrid Commercial</i>
Permitted Uses	Permitted uses allowed in Single Family Dwelling category and Zero-lot-line Dwelling and Townhome/Brownstone.	Permitted uses for MF-2. Office and live/work uses on the ground floor of multifamily on perimeter streets or direct access to sidewalks are permitted.	Permitted uses for C-2 Commercial. Eating Places with Drive Thru uses are prohibited. .

E. Character Zone Development Standards

Table 2 – Development Standards

Zone	<i>Residential Transition</i>	<i>Urban Residential</i>	<i>Hybrid Commercial</i>
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Zone	<i>Residential Transition</i>	<i>Urban Residential</i>	<i>Hybrid Commercial</i>
1. Front Setbacks	<ul style="list-style-type: none"> • 5' minimum • 20' maximum 	<ul style="list-style-type: none"> • 0' minimum • 20' maximum 	<ul style="list-style-type: none"> • 10' minimum • No maximum
2. Rear Setbacks	<ul style="list-style-type: none"> • Either 5' minimum or 20' minimum • No maximum 	<ul style="list-style-type: none"> • 10' minimum • No maximum 	<ul style="list-style-type: none"> • 10' minimum • No maximum
3. Side Setbacks	<ul style="list-style-type: none"> • 0' minimum for attached, 3' minimum for detached • No maximum 	<ul style="list-style-type: none"> • 10' minimum • No maximum 	<ul style="list-style-type: none"> • 10' minimum • No maximum
4. Building Height	3 Stories maximum	4 Stories or 55' maximum	50' maximum
5. Buildable Area	A maximum of 80% of the lot area may be covered by building footprint.	A maximum of 80% of the lot area may be covered by building footprint.	A maximum of 90% of the lot area may be covered by building footprint.
6. Building Frontage required	A building façade, or open space shall be built within the setback zone (area between minimum and maximum setbacks) for a minimum of 65% of the Mixed- Use Neighborhood Street frontage as shown on Exhibit C.2.	A building façade, or open space shall be built within the setback zone (area between minimum and maximum setbacks) for a minimum of 50% of the Mixed- Use Neighborhood Street frontage as shown on Exhibit C.2.	A building façade, or open space shall be built within 20' for a minimum of 30% of the Mixed- Use Neighborhood Street frontage as shown on Exhibit C.2.
7. Lot Standards	<ul style="list-style-type: none"> • Attached: 22' wide x 50' deep minimum • Detached: 30' wide x 70' deep minimum 	20' wide x 60' deep minimum	None
8. Unit Size Minimum	<ul style="list-style-type: none"> • 1,000 SQFT 	<ul style="list-style-type: none"> • 600 SQFT Eff • 750 SQFT 1-Bdrm • 900 SQFT 2-Bdrm • 1,000 3-Bdrm 	No minimum
9. Unit Type Maximum	N/A	<ul style="list-style-type: none"> • Maximum 15% 3-Bdrm Units 	N/A
10. Garage Access	Rear/Alley	Rear/Alley	N/A

4. Vehicular and Pedestrian Thoroughfare Standards

A. Street Cross Sections

All streets internal to the PD are to be Private Streets. Due to flexible project phasing and fluid timing of transportation improvements - access points shall be determined at Site Plan approval.

Table 3 – Private Street Cross Section Requirements

Street Type	Primary Mixed Use Street
Minimum ROW	67'
Median	Only at widened intersections with Major Arterial
Traffic Circle	Encouraged at internal intersections
Minimum Curb to Curb (B-B)	29' at intersection bulb-outs
Number of Travel Lanes	2
Minimum Travel Lane Width	14.5'
Number of Parking Lanes	2
Parking Lane Width	9' Parallel 18' Angled
Minimum Intersection Radius	28'
Enhanced Pedestrian Design at Intersections	Required Enhanced Pedestrian Design
Crosswalk Width	6' Minimum
Sidewalk	5' Minimum
Landscape Strip	5' Minimum
Street Trees	40' on-center average

Street Type	Internal Neighborhood Street
Minimum ROW	62'
Median	Only at widened intersections with Major Arterial
Traffic Circle	Encouraged at internal intersections
Minimum Curb to Curb (B-B)	24' at intersection bulb-outs
Number of Travel Lanes	2
Minimum Travel Lane Width	12'
Number of Parking Lanes	2
Parking Lane Width	9' Parallel 18' Angled
Minimum Intersection Radius	28'
Enhanced Pedestrian Design at Intersections	Required Enhanced Pedestrian Design
Crosswalk Width	6' Minimum
Sidewalk	5' Minimum
Landscape Strip	5' Minimum
Street Trees	40' on-center average

Street Type	Alley
Minimum ROW	24'
Median	No
Traffic Circle	No
Minimum Curb to Curb (B-B)	24' paved width*
Minimum Intersection Radius	28'
Enhanced Pedestrian Design at Intersections	No
Crosswalk Width	6' Minimum
Sidewalk	N/A
Landscape Strip	N/A
Street Trees	N/A

*NOTE: The minimum Fire Lane width may be reduced to 20' if approved by the Plan Review Committee and the Fire Marshall.

B. Street Tree Specifications

Acceptable trees species shall include the species indicated in Section 7300, Paragraph EE of the Mansfield Zoning Ordinance. The minimum size trunk diameter of a newly planted required street tree shall be 4". The minimum tree well size shall be 5' by 5'.

5. Open Space and Landscape Standards

A. Landscape Plan

A Landscape Plan shall be approved prior to or concurrent with a Detailed Site Plan approval. Landscape Standards shall conform to Section 7300 standards except for Section O. Buffer Yards and Screening and Section P. Street Landscape setbacks shall not apply to this PD. Section O. Buffer Yard and Screening requirements shall be adhered to between neighboring Industrial Zoned properties and this PD area. The landscape and streetscape standards in these PD conditions shall prevail to encourage more pedestrian friendly streets, compatibility and integration of uses for a mixed use environment.

B. Open Space Types

Publically accessible Open Space shall be built to the following guidelines:

- *Square* means a civic/open space available for unstructured recreation and civic purposes. A square is spatially defined by buildings. Its landscape shall consist of landscaping, hardscaping, water features, pathways, and pedestrian amenities arranged in formal and informal patterns. Squares shall be located at the intersection of important streets.
- *Green* means an open space available for unstructured recreation, and utility purposes. A green is spatially defined by buildings and streets. Its landscape shall consist of landscaping, retention/detention facilities, water features, pathways, and pedestrian amenities arranged in formal and informal patterns. Greens shall be located with public and semi-public access used for aesthetic and functional purposes.

- *Plaza* means a primarily hardscaped open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.
- *Playground* means an open space designed and equipped for children's recreation. A playground shall be fenced and may include an open shelter. Playgrounds shall be located within residential areas and may be placed within a block as illustrated. They may be included in other open spaces.

C. Detention Pond Standards

1. Detention areas should emphasize their aesthetic and amenity value by incorporating a variety of plant materials intended to soften their visual impact, and improve their stormwater management functions.
2. Naturalistic, grove planting of shade trees in the bottom of the detention features is encouraged, as they aid in both stormwater percolation and water uptake, as well as bringing a shade and color amenity to the development.
3. Edges and side slopes of detention features may be planted with ornamental grasses, flowering trees and/or shrubs. Shade trees shall not be planted on side slopes to prevent erosional issues.

6. Parking Standards

A. Parking Requirements

Except as noted below, parking shall be provided per Section 7200.

Table 4 – Parking Requirements

Use Type	Parking Requirement Minimums	
Commercial, Retail and Restaurant	1 space per 300 sq. ft. of building area	
Hotel	.5 Space per Hotel Room	
Multifamily	1 bedroom/efficiency	1 space per unit
	2 bedrooms	1.5 spaces per unit
	3 bedrooms or more	2 spaces per unit
Single Family	2 spaces off-street plus 0.5 spaces on-street	

B. Parking Standards

1. Off-street parking requirements may be waived or reduced subject to a shared parking agreement or a coordinated parking plan approved by the Planning Director or designee, subject to appeal to the City Council.
2. On-Street Parking adjacent to a parcel may be counted towards the required parking for that site.
3. For any parking lot along a Mixed Use Neighborhood Street a street-screen shall be provided along the edge of the parking lot consisting of a masonry wall or landscaped wrought iron fence at least three feet and no more than five feet in height.

7. Architecture and Building Standards

Section 4600 Community Design Standards shall apply to Commercial and Multifamily areas but shall not apply to the Single family area to allow for a more urban design and layout of attached or detached single family. Section 7800 B. 2. Special Conditions shall apply to Multifamily areas except for item “g” which would impede the integrated mixed-use nature of the site. Section 7800 item “f” shall be apply with the addition that “all paving and subgrade design will be based on recommendations from a licensed Geotechnical Engineer as a result of the analysis of field borings”.

A. Pedestrian-Friendly Design - Commercial and Multifamily

1. Buildings shall be oriented toward the major street front with the primary entrance located on that street. All primary entrances shall be oriented to the public sidewalk, open space or a building forecourt for ease of pedestrian access with the exception that buildings in the Hybrid Commercial Zone may be served with entrances on major parking areas.
2. At key intersections buildings located on corner lots shall utilize variations in building massing to emphasize street intersections as points of interest in the district. Maximum building heights shall be permitted to exceed by twenty-five percent (25%) for approximately twenty-five percent (25%) of the building frontage along each street façade.

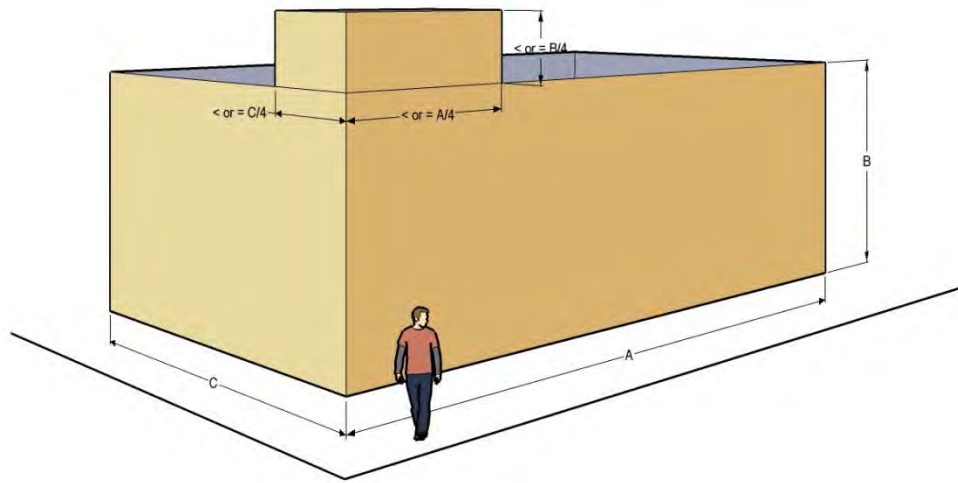


Image showing desired massing of corner buildings.

3. A building's massing shall serve to define entry points and help orient pedestrians.
4. Variations in the rhythms within individual building facades shall be achieved within any block of building facades with architectural elements such as bays, columns, doors, windows, etc.
5. At least one or more of the following elements shall be incorporated in commercial storefront frontages: eaves, awnings, overhang or other shade elements, blade signs, arcades, colonnades, forecourts, café seating areas and transparent glass. These

elements may protrude beyond the setback line provided that they do not inhibit pedestrian movement within the public right-of-way.

6. At least one or more of the following elements shall be incorporated in the ground floor of multifamily buildings with frontage on mixed-use neighborhood streets: porches, stoops, balconies and differentiated first floor architecture.

B. Architectural Elements and Storefronts - Commercial and Multifamily

1. Architectural elements shall be designed to the appropriate scale and proportions of the selected architectural style.
2. In addition to Section 4600 of the Zoning Ordinance, Buildings shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades, and others as appropriate. All building elements shall be compatible with the architectural style, materials, colors, and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design of the overall building facade.
3. *Roofs*. Flat roofs enclosed by parapets or sloped roofs shall be used to screen rooftop mechanical equipment. Mansard roofs and flat membrane-type roofs that are visible are prohibited.
4. *Storefronts*. Retailers located at the street level shall primarily use storefronts to orient and advertise merchandise to customers. Retail buildings shall provide street-level pedestrian-oriented uses at the ground floor level. Storefronts on facade treatments that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage, and lighting fixtures.

C. Building Materials - Commercial and Multifamily

The materials requirement for Commercial and Multifamily buildings in the PD shall conform to Section 4600 Community Design Standards.

D. Pedestrian-Friendly Design - Single Family

1. All primary entrances shall address the primary street unless configured as a courtyard building or along a mews or other similar common open space.
2. Garages generally shall be located on alleys at the rear of residential buildings unless in a corner condition or other similar context.
3. On residential buildings, at least one of the following shall be utilized: porches, stoops, bay windows, balconies, masonry clad chimneys, attached pergolas or colonnades. Those architectural elements may encroach into the setback line.

E. Building Materials- Single Family

1. Minimum 60% Masonry consisting of:
 - i. Cementitious-fiber clapboard (not sheet) with at least a twenty-five (25) year warranty or;

- ii. Masonry (brick; stone; man-made stone and stucco utilizing a three-step process).
2. An enclosed garage or carport shall be designed and constructed of the same material as the primary building

F. Live-Work Unit Defined

1. A live-work unit is a dwelling unit that is also used for work purposes, provided that the 'work' component is located on the street level and has pedestrian access from a sidewalk. The 'live' component may be located on the street level (behind or beside the work component) or on the floor above or below the business component of the unit.
2. *Live-work Occupancy:* The work or business uses that may be located in a live work unit may include all the residents of the residential unit, plus one additional employee. Business may not include commercial cooking equipment; may not qualify as places of assembly as defined by the applicable building code; may not alter building construction type per the applicable Mansfield Building Code; may not produce excessive noise audible by neighboring units; may not produce odors perceptible to neighboring units.

8. Sign Standards

A Master Sign Plan shall be submitted for approval no later than concurrent with Site Plan submittal.

9. Lighting Standards

Lighting shall conform with standards in the Zoning Ordinance.

10. Management Entities

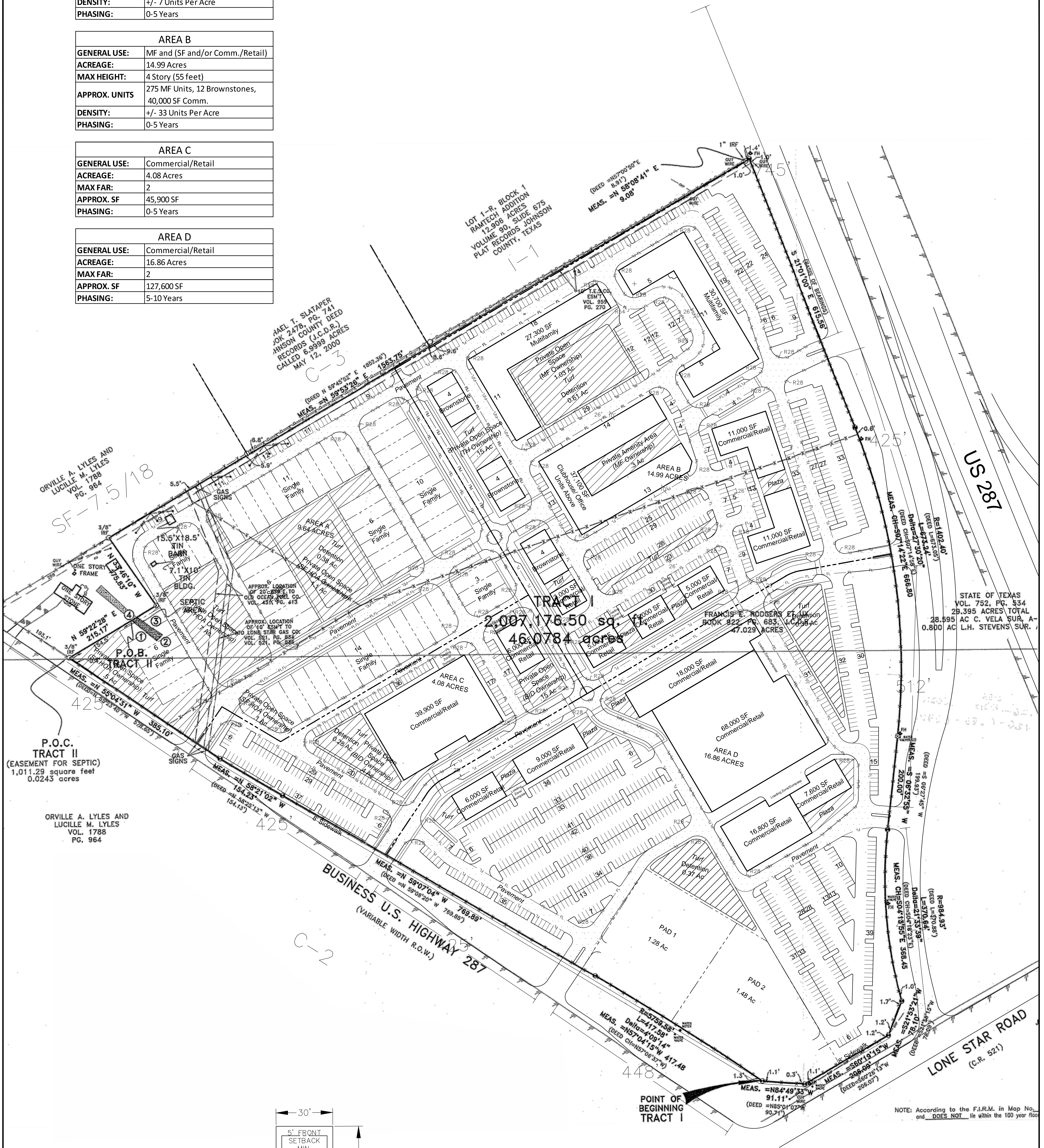
One or more of the following may be approved prior to approval of the Final Plat: A Business Improvement District, Management or Owners Association. The Management Entity would be responsible for the maintenance of the screening fences, common areas, parks, amenity centers, and common landscaping.

AREA A	
GENERAL USE:	Single Family
ACREAGE:	9.64 Acres
MAX HEIGHT:	3 Story (35 feet)
APPROX. UNITS	60 Lots
DENSITY:	+/- 7 Units Per Acre
PHASING:	0-5 Years

AREA B	
GENERAL USE:	MF and (SF and/or Comm./Retail)
ACREAGE:	14.99 Acres
MAX HEIGHT:	4 Story (55 feet)
APPROX. UNITS	275 MF Units, 12 Brownstones, 40,000 SF Comm.
DENSITY:	+/- 33 Units Per Acre
PHASING:	0-5 Years

AREA C	
GENERAL USE:	Commercial/Retail
ACREAGE:	4.08 Acres
MAX FAR:	2
APPROX. SF	45,900 SF
PHASING:	0-5 Years

AREA D	
GENERAL USE:	Commercial/Retail
ACREAGE:	16.86 Acres
MAX FAR:	2
APPROX. SF	127,600 SF
PHASING:	5-10 Years



P.O.C. TRACT II (EASEMENT FOR SEPTIC)
1,011.29 square feet
0.0243 acres

ORVILLE A. LYLES AND
LUCILLE M. LYLES
VOL. 1788
PG. 964

HAEL T. SLATAPER
JON. 2478, PG. 741
JOHNSON COUNTY DEED
RECORDS (J.C.D.R.)
CALLED 6.9999 ACRES
MAY 12, 2000

LOT 1-R, BLOCK 1
RAMTECH ADDITION
12.906 ACRES
VOLUME 90, SLIDE 675
PLAT RECORDS JOHNSON
COUNTY, TEXAS

US 287

STATE OF TEXAS
VOL. 752, PG. 534
29.395 ACRES TOTAL
28.595 AC C. VELA SUR. A-
0.800 AC L.H. STEVENS SUR. A

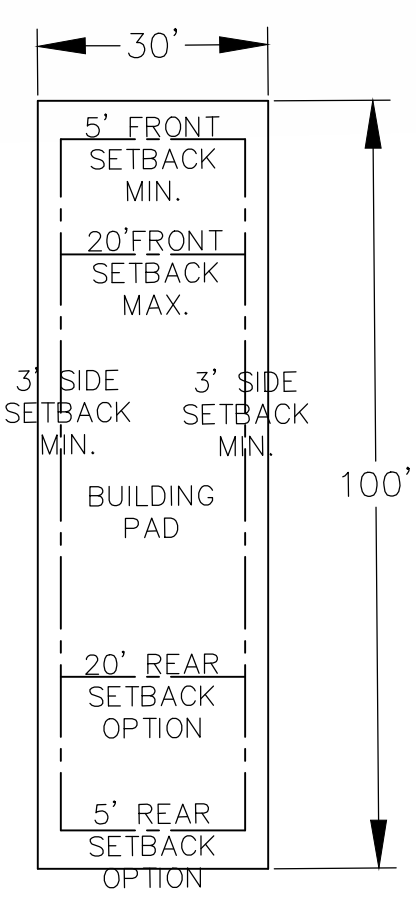
FRANCIS E. ROGERS ET AL
BOOK 922, PG. 683, L.C.D.R.
47.029 ACRES

BUSINESS U.S. HIGHWAY 287
(VARIABLE WIDTH R.O.W.)

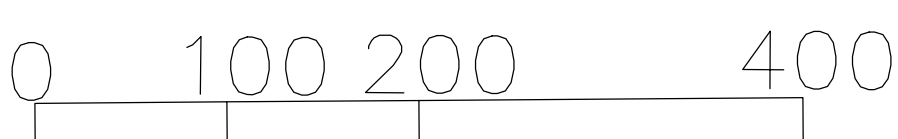
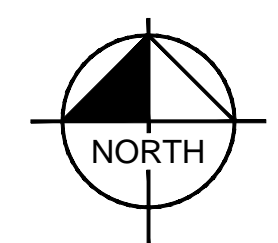
LONE STAR ROAD
(C.R. 521)

POINT OF BEGINNING TRACT I

NOTE: According to the F.I.R.M. in Map No. 1 and DOES NOT lie within the 100 year flood

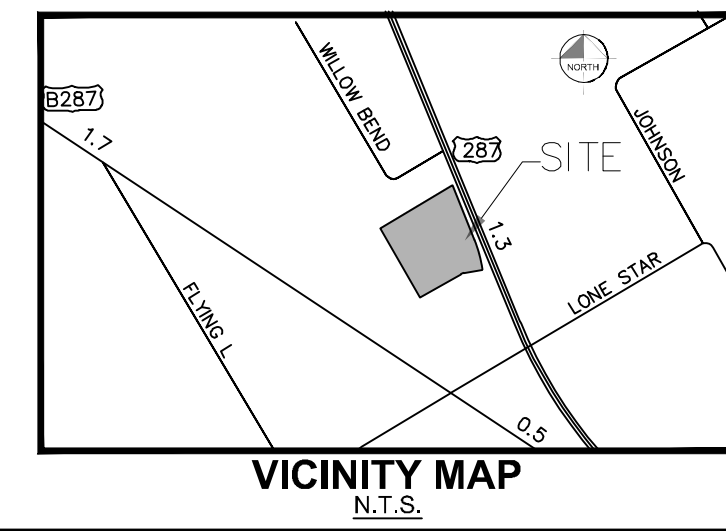
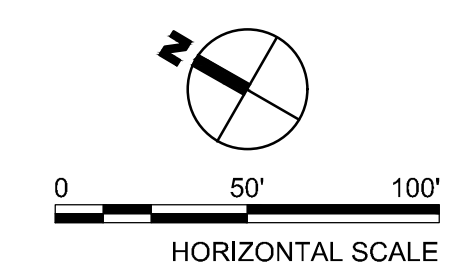
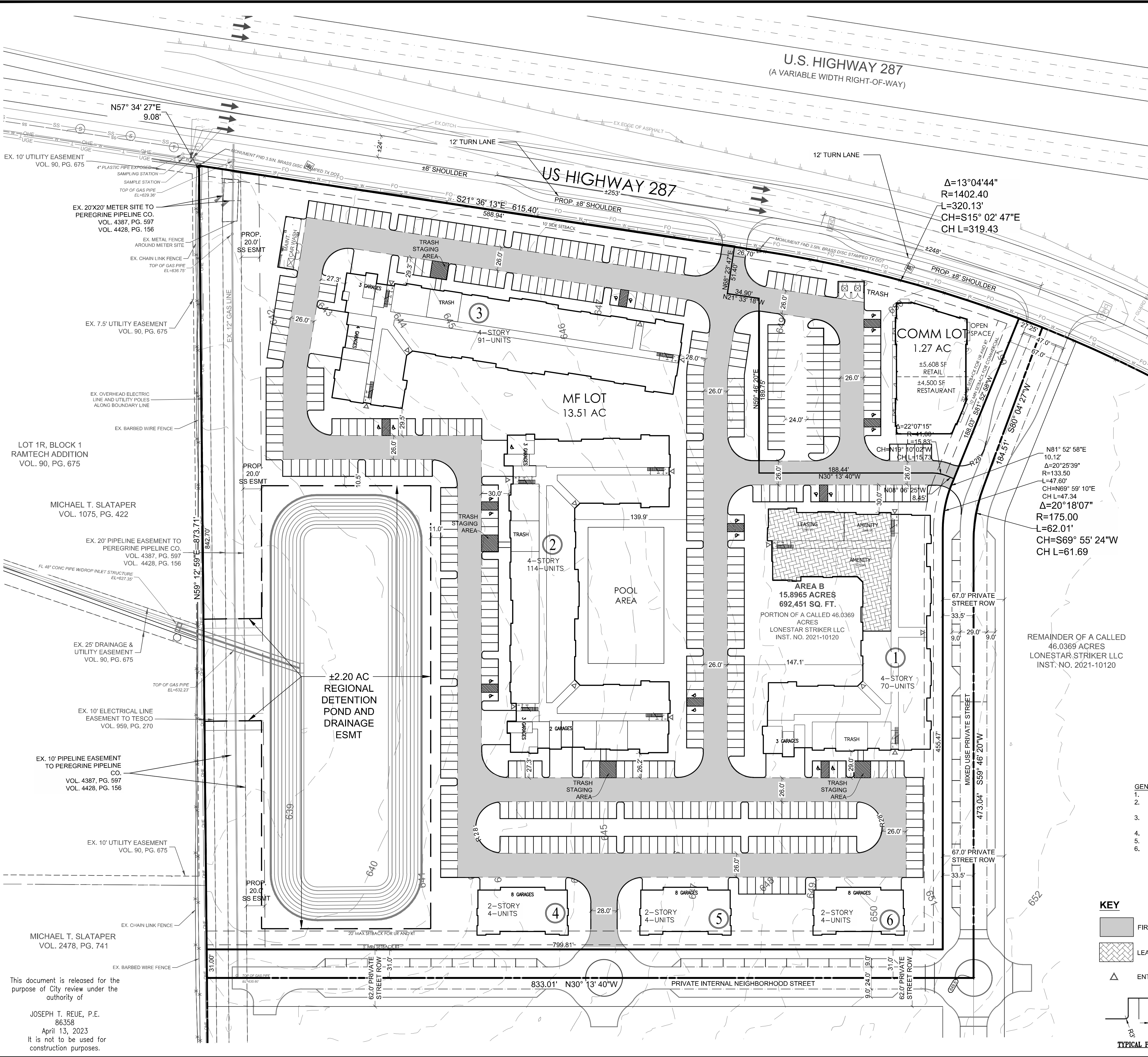


TYP. SINGLE-FAMILY DETACHED LOT



SCALE: 1"=100' @ 24x36

1 OF 1 SHEET NUMBER	OWNER: TRIKE INVESTORS LP 1340 S MAIN STREET STE. 300 GRAPEVINE, TX 76051 CONTACT: TYLER KRUSE PHONE: (817) 865-1000	PLANNER: GATEWAY PLANNING GROUP 3100 MCKINNON STREET, 7TH FLOOR DALLAS, TX 75201 CONTACT: SCOTT POLIKOV PHONE: (512) 784-3527	ENGINEER: PACHECO KOCH 7557 RAMBLER ROAD STE. 1400 DALLAS, TX 75231 CONTACT: PAUL HAMES, PE PHONE: (214) 451-2765	Case No. ZC#17-009 PREPARED FOR TRIKE INVESTORS	EXHIBIT C.1 DEVELOPMENT PLAN 46.08 ACRES EXISTING ZONING - C-2 FRANCIS E. ROGERS ET UX BOOK 922, PG. 683 J.C.D.R. CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS	No.	REVISIONS	DATE

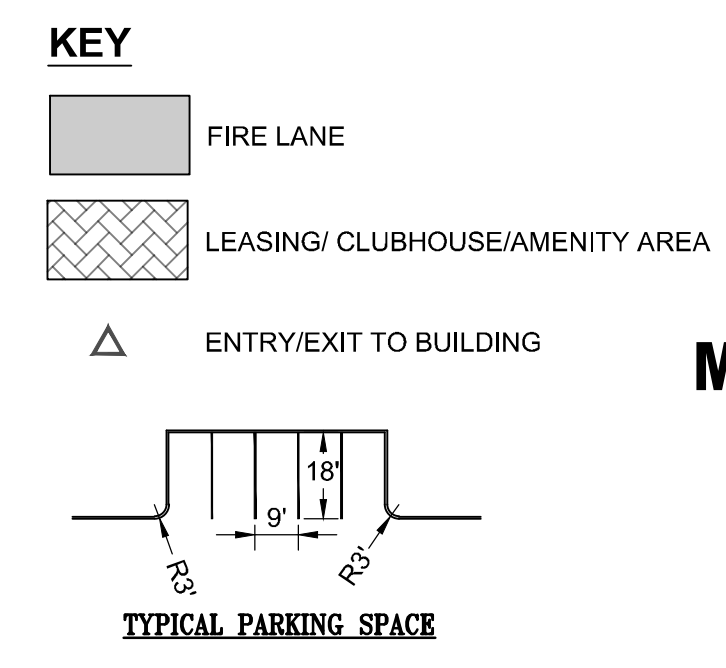


SITE CALCULATIONS				
	PERMITTED		PROVIDED	
TOTAL UNITS (+/-)	275 & 12 TH		287	
1 BEDROOM	NA		118	41.1%
2 BEDROOM	NA		142	49.5%
3 BEDROOM	NA		15	5.2%
2 STORY TOWNHOMES	NA		12	4.2%
AVERAGE UNIT SIZE	NA		1,165 SF	
COMMERCIAL/RETAIL	NA		10,108 SF	
GROSS ACREAGE	NA		15.89	ACRES
GROSS DENSITY	NA		18.06	UNITS/ACRE
TOTAL ROW DEDICATION (FOR PRIVATE STREETS)	NA		1.11	ACRES
ROW SOUTH PROPERTY LINE (1/4 OF 67' ROW FOR MIXED USE PRIVATE STREET)	NA		0.55	ACRES
ROW WEST PROPERTY LINE (1/4 OF 62' ROW FOR PRIVATE INTERNAL NEIGHBORHOOD STREET)	NA		0.56	ACRES
NET ACREAGE TOTAL	NA		14.78	ACRES
ACREAGE MULTIFAMILY LOT	NA		13.51	ACRES
NET DENSITY MULTIFAMILY	NA		21	UNITS/ACRE
OPEN SPACE (ACRES / %)	NA		6.9 ACRES	±51.2%
HEIGHT (STORIES / FEET)	4	55'-0"	4	<55'
ACREAGE COMMERCIAL LOT	NA		1.27	ACRES
OPEN SPACE (ACRES / %)	NA		0.41 ACRES	±32.6%

PARKING CALCULATIONS				
PARKING REQUIRED				
CATEGORY	MIX	SPACES	RATIO	
MULTIFAMILY LOT				
1 BEDROOM	118	118	1.00	
2 BEDROOM	142	213	1.50	
3 BEDROOM	15	30	2.00	
2 STORY TOWNHOMES	12	24	2.00	
TOTAL		385	1.34	
COMMERCIAL LOT				
RETAIL (±5,608 SF)	1	21	1 PER 250 (FIRST 3000 SF)	1 PER 300 (AFTER 3000)
RESTAURANT (±4,500 SF)	1	45	1 PER 100 SF	
TOTAL		66		

PARKING PROVIDED				
CATEGORY	SPACES			
	STANDARD	ADA	TOTALS	RATIO
MULTIFAMILY LOT				
RESIDENTIAL STANDARD	396	14	410	
RESIDENTIAL LEASING	11	2	13	
ATTACHED GARAGE	17	1	18	
ATTACHED GARAGE TOWNHOME	24	0	24	
ON-STREET	36	0	36	
TOTAL MULTIFAMILY	484	17	501	1.75
COMMERCIAL LOT	62	4	66	
TOTAL COMMERCIAL	62	4	66	

- GENERAL NOTES
- DIMENSION SHOWN ARE TO FACE OF CURB UNLESS STATED OTHERWISE.
 - EXISTING OFFSITE UTILITIES (ALONG 287 & PROPERTY BOUNDARY) ARE BASED ON SURVEY(S) BY SPOONER & ASSOCIATES AND DATA RECEIVED FROM OTHERS.
 - THE PROPOSED SHAPE/SIZE OF REGIONAL DETENTION POND IS PRELIMINARY IN NATURE AND SUBJECT TO MODIFICATION AT FINAL DESIGN PHASE.
 - RIGHT-OF-WAY DEDICATION PER OR-2065-17 FOR PRIVATE STREETS.
 - ALL FIRE LANES ARE 26-FOOT WIDE FACE TO FACE, UNLESS NOTED OTHERWISE. ALL FIRE LANE CURB RADII ARE 28-FEET.
 - ALL DRIVE AISLES (NON-FIRE LANES) ARE 24-FOOT, FACE TO FACE UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 10-FEET.



DEVELOPMENT PLAN AMENDMENT

FOR

AREA B

TRIKE INVESTORS "PD"

IN

MANSFIELD, JOHNSON COUNTY, TEXAS

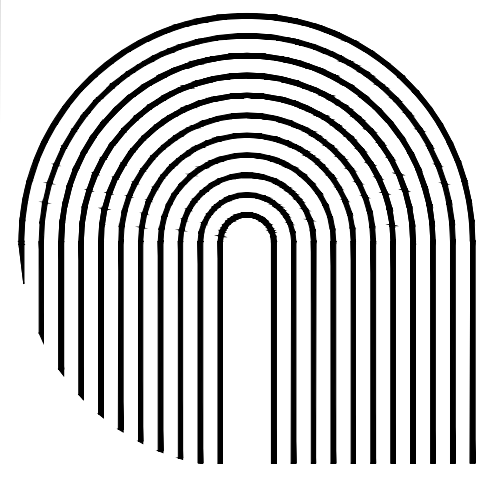
OWNER:
LONESTAR STRIKER LLC
15640 QUORUM DR.
ADDISON, TEXAS 75001

ENGINEER:
BURGESS & NIPLE
3 SUGAR CREEK CENTER BLVD, STE. 610,
SUGAR LAND, TEXAS 77478
PHONE: (281) 980 - 7705
TBPE FIRM REGISTRATION NO. F-10834
CONTACT: JOSEPH T. REUE, P.E.

CONTACT: TOMMY CROWELL
PHONE: (214)-363-1998

This document is released for the purpose of City review under the authority of

JOSEPH T. REUE, P.E.
86358
April 13, 2023
It is not to be used for construction purposes.



1405 W KOENIG LN
AUSTIN, TX 78756
artis-atx.com
512.689.0627



04/17/2023

MANSFIELD
LONESTAR

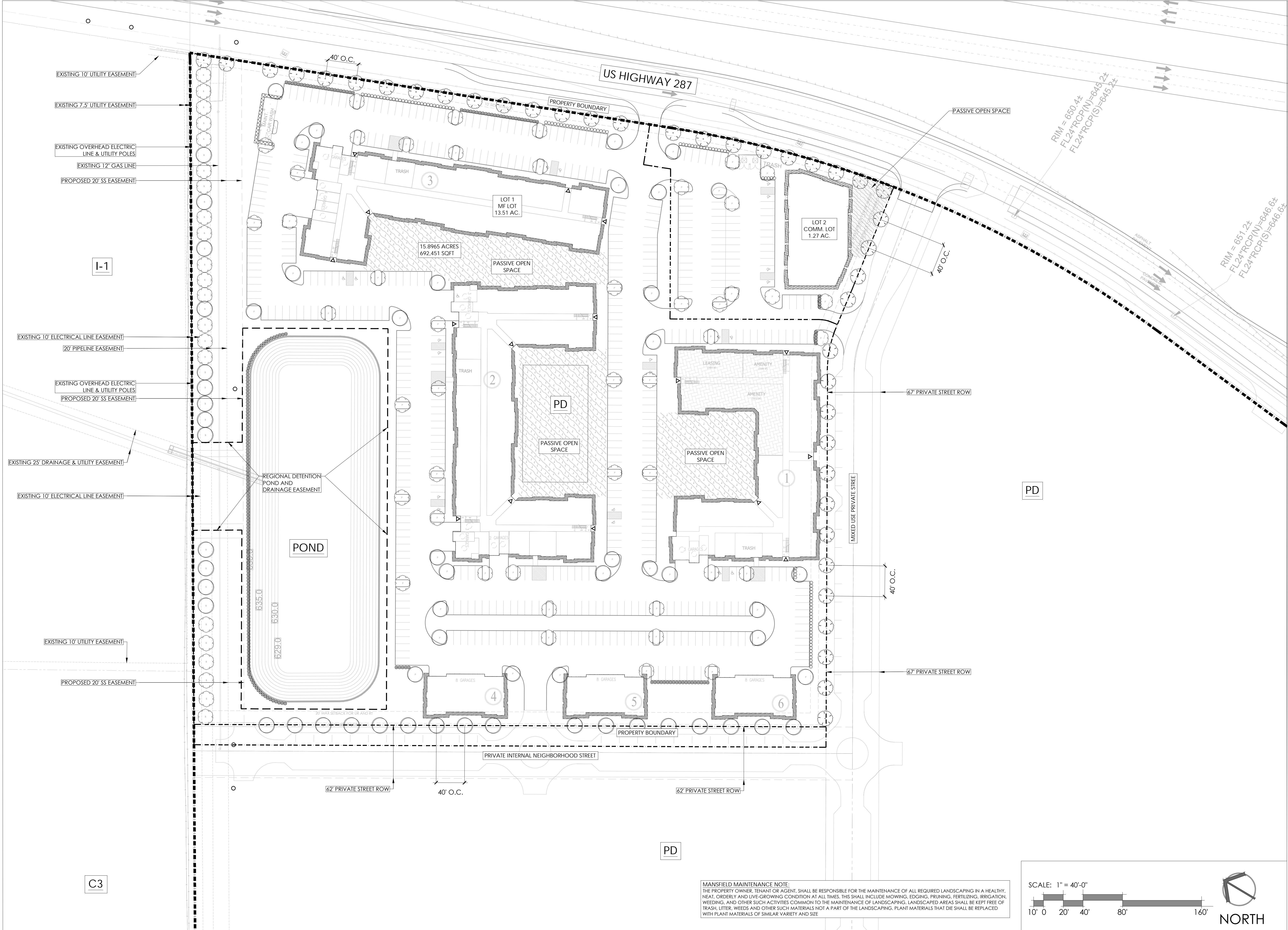
MANSFIELD, TX
PROJ. 2794

SDP SET
04.17.23

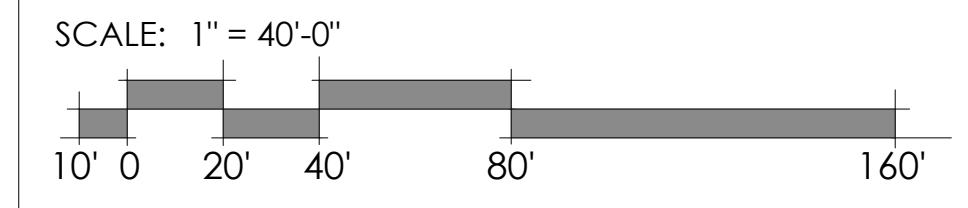
NO. DESCRIPTION DATE

OVERALL
ORDINANCE
COMPLIANCE
PLAN

LP-1



MANSFIELD MAINTENANCE NOTE:
THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE



NOTE:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
2. 2.CONTRACTOR TO SET TREE PLUMB IN PLANTING PIT.

BLACK RUBBER HOSE TO PROTECT TREE TRUNK - WRAPPED 360 AROUND TRUNK BEFORE TYING-WRAP @ ATERAL BRANCH @ MINIMUM 4'-6' HT.

TOP OF TREE ROOTBALL TO BE SET 3" ABOVE FINISH GRADE AFTER SETTING. REMOVE ANY WIRE CAGES IF PRESENT

3" MULCH AS SPECIFIED MINIMUM 18" FROM TRUNK

#10 GAUGE WIRE W/ 2 GALV. CABLE CLAMPS & REFLECTIVE TAPE

TEMPORARY SOIL BERM TO HOLD WATER

2 X 4 X 3' PRESSURE TREATED PINE STAKES BURIED 3" BELOW FINISHED GRADE

FINISH GRADE, SEE GRADING PLAN

B&B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)

AUGER PER SPECS FOR PERCOLATION

PREPARE PLANTING SOIL AS SPECIFIED

1 LARGE TREE PLANTING DETAIL

3/4" = 1'-0"

P-RE-3094O-03

NOTE:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION
2. AZALEAS & GARDENIA SHALL BE PLANTED 2" HIGH ABOVE FINISH GRADE. DO NOT MOUND SOIL ON ROOTBALL

EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED

MINIMUM DEPTH OF 8" APPROVED PLANTING SOIL PER SPECS FOR GROUNDCOVER BED

TEMPORARY SOIL BERM TO HOLD WATER

3" MINIMUM OF MULCH AS SPECIFIED

PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDS UP TO THE TOP OF THE ROOT BALL

FINISHED GRADE (SEE GRADING PLAN)

NOTE:
PREPARE PLANTING SOIL AS SPECIFIED WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES EXCAVATE ENTIRE BED TO RECEIVE APPROVED PLANTING SOIL AND PLANT MATERIAL -EXCEPT WHEN SPECIFIED, SEE PLANT LIST

2 SHRUB AND GROUND COVER PLANTING DETAIL

3/4" = 1'-0"

P-RE-3094O-02

BUFFER YARD	
LF ALONG I-I DEVELOPMENT (1 TREE PER 25 LF)	849.5'
REQUIRED BUFFER TREES	34 TREES
PROPOSED BUFFER TREES	34 TREES

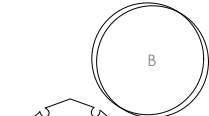
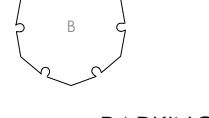

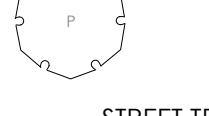




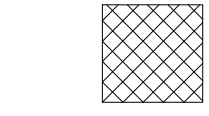
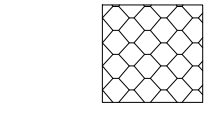
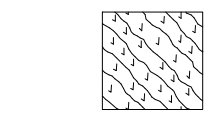
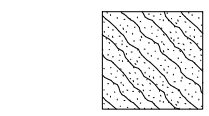
PARKING LANDSCAPING

SURFACE PARKING SPOTS - MULTIFAMILY	459
REQUIRED PARKING TREES (1 CANOPY TREE FOR EVERY 10 SPACES)	46 TREES
PROPOSED PARKING TREES	46+ TREES
SURFACE PARKING SPOTS - COMMERCIAL	66
REQUIRED PARKING TREES (1 CANOPY TREE FOR EVERY 10 SPACES)	7 TREES
PROPOSED PARKING TREES	7+ TREES

PASSIVE OPEN SPACE

TOTAL RESIDENTIAL BUILDING FLOOR AREA	441,767 SF
REQUIRED RESIDENTIAL PASSIVE AREA (110% OF BUILDING FLOOR AREA)	44,177 SF
PROPOSED RESIDENTIAL PASSIVE AREA	44,200+ SF
TOTAL COMMERCIAL BUILDING FLOOR AREA	10,102 SF
REQUIRED RESIDENTIAL PASSIVE AREA (110% OF BUILDING FLOOR AREA)	1,010 SF
PROPOSED RESIDENTIAL PASSIVE AREA	1,100+ SF

PLANT SCHEDULE

BUFFER TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	QMB	13	Quercus muehlenbergi / Chinquapin Oak Cal. measured 6" A.F.G. and 7' Ht Min.	-	3" Cal.
	UCB	21	Ulmus crassifolia / Cedar Elm Cal. measured 6" A.F.G. and 7' Ht Min.	-	3" Cal.
PARKING TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	QMP	29	Quercus muehlenbergi / Chinquapin Oak Cal. measured 6" A.F.G. and 7' Ht Min.	-	3" Cal.
	UCP	46	Ulmus crassifolia / Cedar Elm Cal. measured 6" A.F.G. and 7' Ht Min.	-	3" Cal.
STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	AG	41	Acer grandidentatum / Big Tooth Maple Cal. measured 6" A.F.G. and 7' Ht Min.	-	4" Cal.
	QM	17	Quercus muehlenbergi / Chinquapin Oak Cal. measured 6" A.F.G. and 7' Ht Min.	-	4" Cal.
SCREENING SHRUB	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	AGS	216	Abelia grandiflora / Glossy Abelia 3' Ht. Min., and 3' Min. at Maturity	5 gal	
	IB	105	Ilex burfordii 'nana' / Dwarf Burford Holly 2' Ht. Min., and 3' Min. at Maturity	5 gal	
FOUNDATION PLANTING	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	RFP	16,098 sf	/ Residential Foundation Planting	-	
	CFP	1,628 sf	/ Commerical Foundation Planting	-	
PASSIVE OPEN SPACE	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	RPOS	52,973 sf	/ Residential Passive Open Space	-	
	CPOS	3,565 sf	/ Commercial Passive Open Space	-	

NOTES:

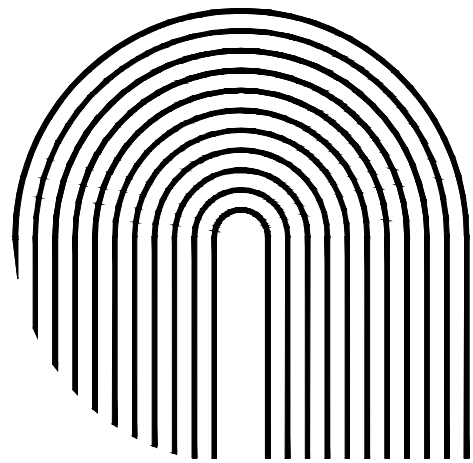
- ORNAMENTAL TREES SHALL HAVE THREE TRUNKS OR CANES WITH A MINIMUM CALIPER OF ONE INCH PER TRUNK AS MEASURED SIX INCHES ABOVE GRADE AT TIME OF PLANTING. ORNAMENTAL TREES SHALL BE SELECTED FROM THE RECOMMENDED PLANT LIST IN THIS SECTION.
- ORNAMENTAL TREES SHALL HAVE A MINIMUM CROWN SPREAD OF 15 FEET AT MATURITY. ORNAMENTAL TREES HAVING A MATURE CROWN SPREAD OF LESS THAN 15 FEET MAY BE SUBSTITUTED BY GROUPING THE TREES TO CREATE THE EQUIVALENT CROWN SPREAD OF 15 FEET.
- CANOPY TREES SHALL BE A MINIMUM CALIPER OF THREE INCHES AS MEASURED SIX INCHES ABOVE GRADE AND SEVEN FEET IN HEIGHT AT TIME OF PLANTING. CANOPY TREES SHALL BE SELECTED FROM THE RECOMMENDED PLANT LIST IN THIS SECTION.
- UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ADMINISTRATOR, TREE PLANTINGS SHALL NOT INCLUDE MORE THAN 50% OF THE SAME TREE SPECIES.
- CANOPY TREES SHALL HAVE A MINIMUM CROWN SPREAD OF 25 FEET AT MATURITY.
- NON-DWARF VARIETY SHRUBS SHALL BE A MINIMUM OF THREE FEET IN HEIGHT MEASURED ABOVE GRADE AT TIME OF PLANTING.
- DWARF VARIETY SHRUBS SHALL BE A MINIMUM OF TWO FEET IN HEIGHT MEASURED ABOVE GRADE AT TIME OF PLANTING
- PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS MUST BE VISUALLY SCREENED FROM THOROUGHFARES AND CIVIC SPACES (MINIMUM 3' AT MATURITY)
- HEDGES REQUIRED BY THE PROVISIONS OF THIS SECTION SHALL BE PLANTED AND MAINTAINED TO FORM A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN OF 3' IN HEIGHT MEASURED ABOVE GRADE WITHIN 18 MONTHS OF PLANTING
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION. NATURAL AREAS OR AREAS IDENTIFIED AS "NO DISTURBANCE ZONES" NEED NOT BE IRRIGATED

GENERAL MANSFIELD NOTES:

- GRASS SEED, SOD AND OTHER MATERIALS SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.
- THE SOIL SHALL BE PREPARED IN A MANNER CONSISTENT WITH ACCEPTED PLANTING PROCEDURES PRIOR TO THE INSTALLATION OF SOD, GRASS SEED OR OTHER MATERIALS.
- IN THE MF-1, MF-2, OP, C-1, C-2, C-3, D, S, I-1, I-2, FR, SE, AND PD DISTRICTS, PLASTIC, RUBBER OR NON-DURABLE EDGING SHALL BE PROHIBITED. CONCRETE, METAL, AND OTHER DURABLE EDGING SHALL BE PROVIDED BETWEEN PLANTING BEDS AND OTHER LANDSCAPED AREAS.
- WHERE TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. GRADE ROOT BALL SECURING SYSTEMS MUST BE REMOVED AFTER ONE GROWING SEASON. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK, SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ADMINISTRATOR
- FOR MATURE TREES OVERHANGING OR ADJACENT TO STREETS, FIRE LANES OR OTHER ACCESS WAYS, A MINIMUM 14 FOOT VERTICAL CLEARANCE SHALL BE MAINTAINED
- FOR MATURE TREES OVERHANGING OR ADJACENT TO WALKWAYS AND PATHS, A MINIMUM 9' VERTICAL CLEARANCE SHALL BE MAINTAINED.

MANSFIELD MAINTENANCE NOTE:

THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIALS NOT A PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIALS OF SIMILAR VARIETY AND SIZE



artis

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AUSTIN, TX 78756
artis-atx.com
512.689.0627



MANSFIELD LONESTAR

MANSFIELD, TX
PROJ. 2794

SDP SET
04.17.23

NO.	DESCRIPTION	DATE
-----	-------------	------

ORDINANCE
CALCULATIONS &
SCHEDULE

LP-2



GEHEBER
LEWIS
ASSOCIATES
ARCHITECTURE

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1 BUILDING 1000 - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING 1000 - EAST ELEVATION
SCALE: 3/32" = 1'-0"

CLIENT:

Davis
Development

PROJECT:

Mansfield
Lonestar

DRAWING TITLE:

Preliminary
Rendering

DRAWN BY:

Brian Tomlin

SCALE:

AS NOTED

DATE:

03/20/2023







PROJECT NUMBER:

23005

DRAWING NUMBER:

R-1

#Project Status

KEY PLAN	MATERIAL CALCULATIONS		ELEVATION MATERIAL SELECTIONS <small>(SUBJECT TO CHANGE BASED ON FINAL AVAILABILITY AND SELECTION)</small>																																						
	<table><tr><th colspan="3">MATERIAL CALCULATION BUILDING 1 - NORTH ELEVATION</th></tr><tr><th>MATERIAL</th><th>AREA (SQ.FT.)</th><th>PERCENTAGE</th></tr><tr><td>MASONRY</td><td>4233</td><td>78%</td></tr><tr><td>FIBER CEMENT SIDING</td><td>1160</td><td>22%</td></tr><tr><td>TOTAL</td><td>5393</td><td></td></tr></table>	MATERIAL CALCULATION BUILDING 1 - NORTH ELEVATION			MATERIAL	AREA (SQ.FT.)	PERCENTAGE	MASONRY	4233	78%	FIBER CEMENT SIDING	1160	22%	TOTAL	5393		<table><tr><th colspan="3">MATERIAL CALCULATION BUILDING 1 -EAST ELEVATION</th></tr><tr><th>MATERIAL</th><th>AREA (SQ.FT.)</th><th>PERCENTAGE</th></tr><tr><td>MASONRY</td><td>6961</td><td>82%</td></tr><tr><td>FIBER CEMENT SIDING</td><td>1494</td><td>18%</td></tr><tr><td>TOTAL</td><td>8455</td><td></td></tr></table>	MATERIAL CALCULATION BUILDING 1 -EAST ELEVATION			MATERIAL	AREA (SQ.FT.)	PERCENTAGE	MASONRY	6961	82%	FIBER CEMENT SIDING	1494	18%	TOTAL	8455		P-1		MATERIAL: FIBER CEMENT TRIM/PANEL MANUF: SHERWIN WILLIAMS COLOR: SW7004 SNOWBOUND	S-1		MATERIAL: STONE VENEER MANUF: CORONADO COLOR: IDAHO DRYSTACK ANTIQUE BUFF (OR SIMILAR)	B-1		MATERIAL: BRICK MANUF: ACME COLOR: MARBLE GRAY (OR SIMILAR)
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1 BUILDING 1000 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING 1000 - WEST ELEVATION
SCALE: 3/32" = 1'-0"

CLIENT:

Davis
Development

PROJECT:

Mansfield
Lonestar

DRAWING TITLE:

Preliminary
Rendering

DRAWN BY:

Brian Tomlin

SCALE:

AS NOTED

DATE:

03/20/2023

PROJECT NUMBER:

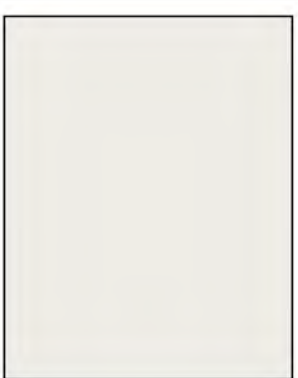





23005

DRAWING NUMBER:

R-1

#Project Status

Monday, March 20, 2023 3:44 PM

KEY PLAN		MATERIAL CALCULATIONS			ELEVATION MATERIAL SELECTIONS <small>(SUBJECT TO CHANGE BASED ON FINAL AVAILABILITY AND SELECTION)</small>																																				
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1 BUILDING 2000 - NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING 2000 - EAST ELEVATION
SCALE: 3/32" = 1'-0"



3 BUILDING 2000 - EAST ELEVATION (cont.)
SCALE: 3/32" = 1'-0"

CLIENT:

Davis
Development

PROJECT:

Mansfield
Lonestar

DRAWING TITLE:

Preliminary
Rendering

DRAWN BY:

Brian Tomlin

SCALE:

AS NOTED

DATE:

03/20/2023

PROJECT NUMBER:

23005

DRAWING NUMBER:

R-1

#Project Status

Monday, March 20, 2023 3:44 PM

209



1 BUILDING 2000 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 BUILDING 2000 - WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 BUILDING 2000 - WEST ELEVATION
SCALE: 3/32" = 1'-0"

KEY PLAN	MATERIAL CALCULATIONS		ELEVATION MATERIAL SELECTIONS <small>(SUBJECT TO CHANGE BASED ON FINAL AVAILABILITY AND SELECTION)</small>																																						
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CLIENT:

Davis
Development

PROJECT:

Mansfield
Lonestar

DRAWING TITLE:

Preliminary
Rendering

DRAWN BY:

Brian Tomlin

SCALE:

AS NOTED

DATE:

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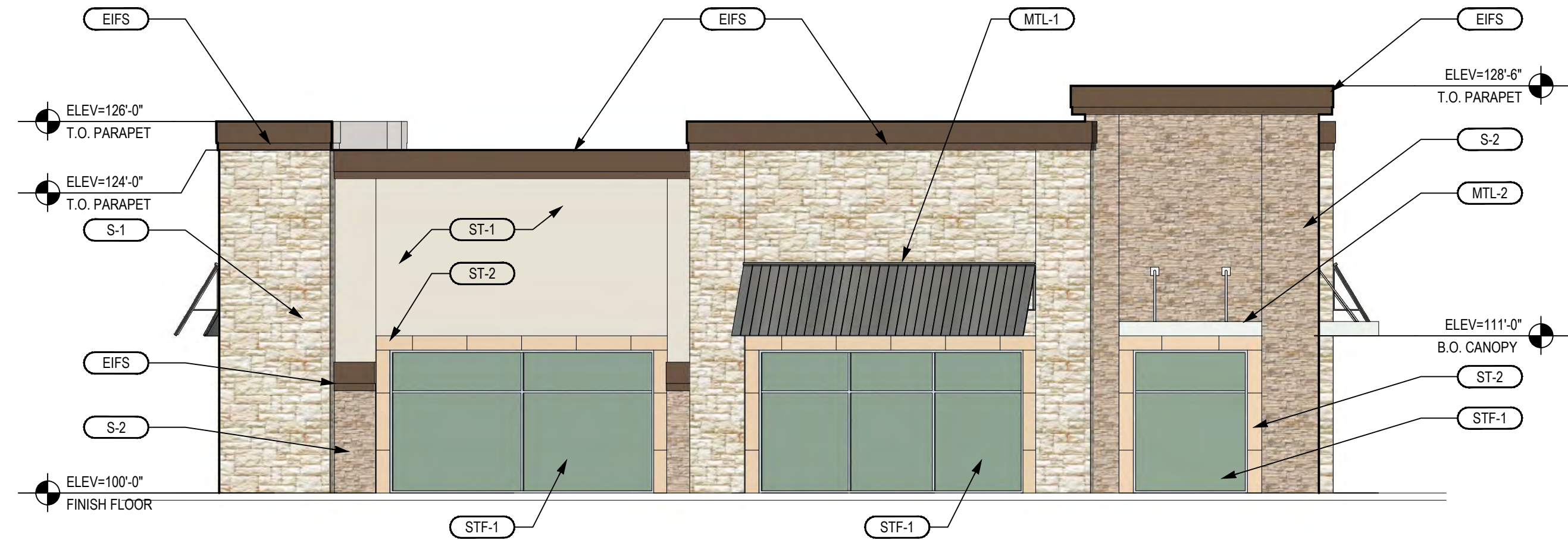
23005

DRAWING NUMBER:

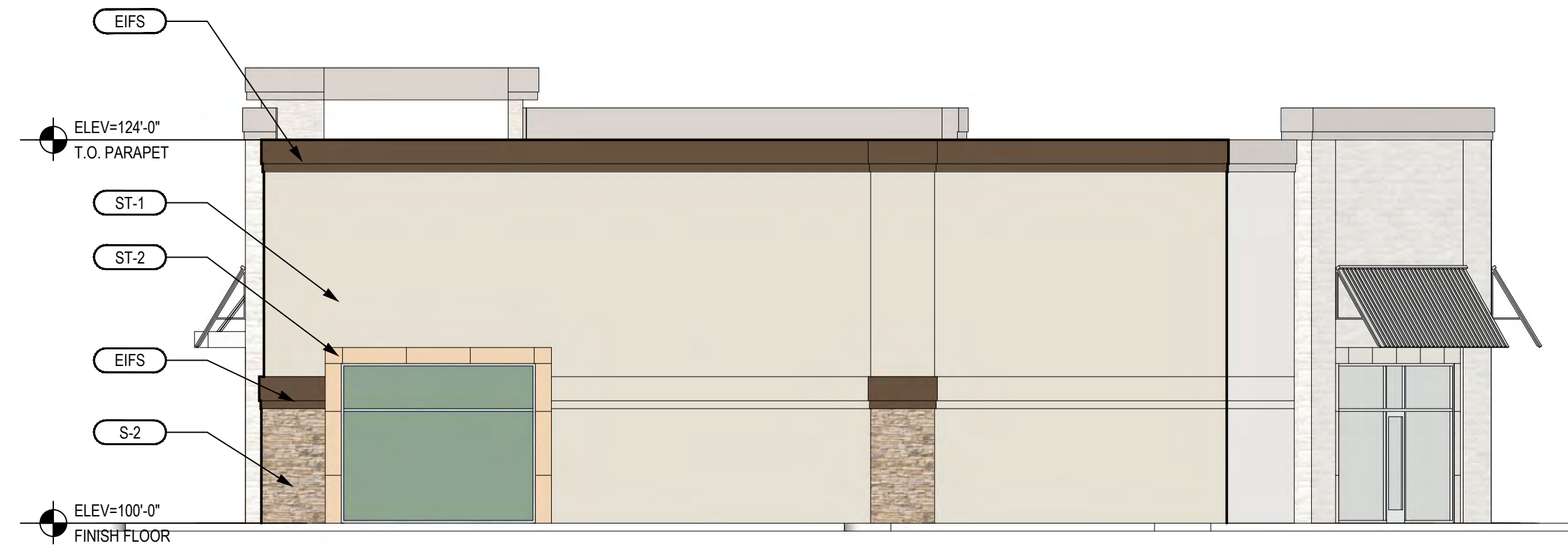
R-1

#Project Status

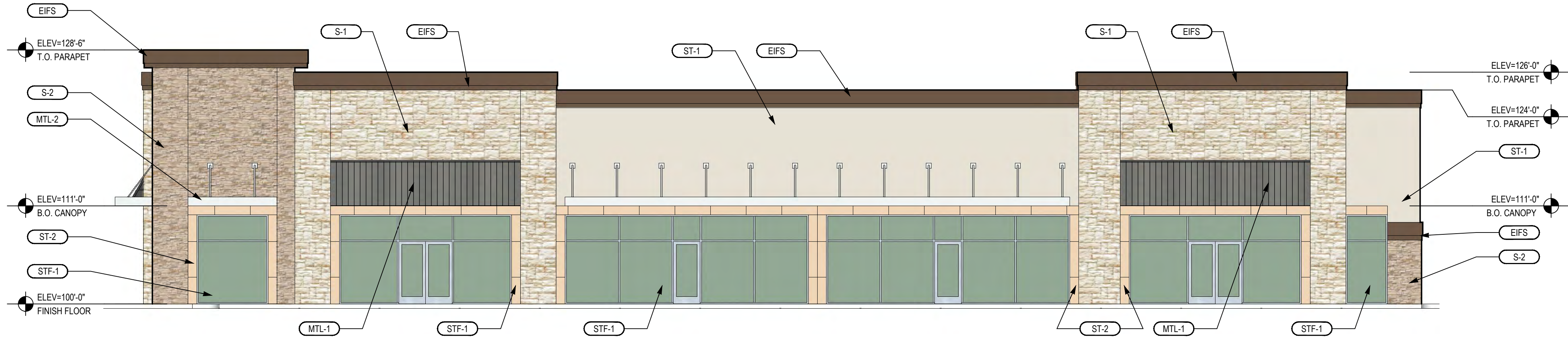




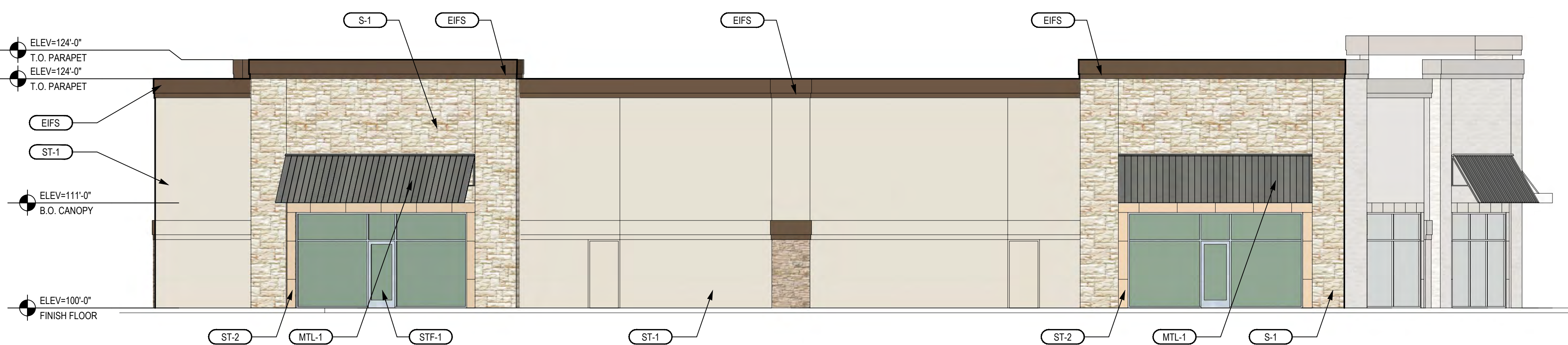
01 EAST ELEVATION
1/8" = 1'-0"



02 WEST ELEVATION
1/8" = 1'-0"



03 NORTH ELEVATION
1/8" = 1'-0"



04 SOUTH ELEVATION
1/8" = 1'-0"

FINISH SCHEDULE				
FINISH KEY	DESCRIPTION	LOCATION	COLOR / MANUF.	NOTES
ST-1	3-STEP STUCCO	EXTERIOR WALLS	S.W. 7010 WHITE DUCK	
ST-2	3-STEP STUCCO	REF ELEVATIONS	S.W. 6107 NOMADIC DESERT	
S-1	NATURAL THIN STONE VENEER	EXTERIOR WALLS		
S-2	STACK STONE - NANTUCKET	EXTERIOR WALLS	EL DORADO	
EIFS	EIFS	PARAPET	S.W. 7027 HICKORY SMOKE	
STF-1	ALUMINUM STOREFRONT	ALL TENANT SPACES	CLEAR ALUMINUM	
MTL-1	METAL AWNING	PAC-CLAD	MUSKET GRAY	
MTL-2	METAL AWNING	VARIOUS LOCATIONS	SILVER	

- SHEET NOTES**
- UTILITY BOXES AND CONDUIT TO BE PAINTED TO MATCH ADJACENT BUILDING MATERIAL
 - MECHANICAL UNITS SHALL BE SCREENED IN ACCORDANCE WITH ZONING ORDINANCES
 - ALL SIGNAGE SUBJECT TO BUILDING INSPECTION DEPARTMENT APPROVAL

NCA Partners
ARCHITECTURE

5646 MILTON ST.
SUITE 610
DALLAS, TX 75206
214.361.9901
214.361.9906 FAX
ncapartners.com

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MANSFIELD RETAIL
MANSFIELD, TX

DATE	DESCRIPTION
4-5-2023	OWNER REVIEW
4-13-2023	CITY SUBMITTAL

PRELIMINARY
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NCA JOB #: 23010

COLOR ELEVATIONS

A3.00



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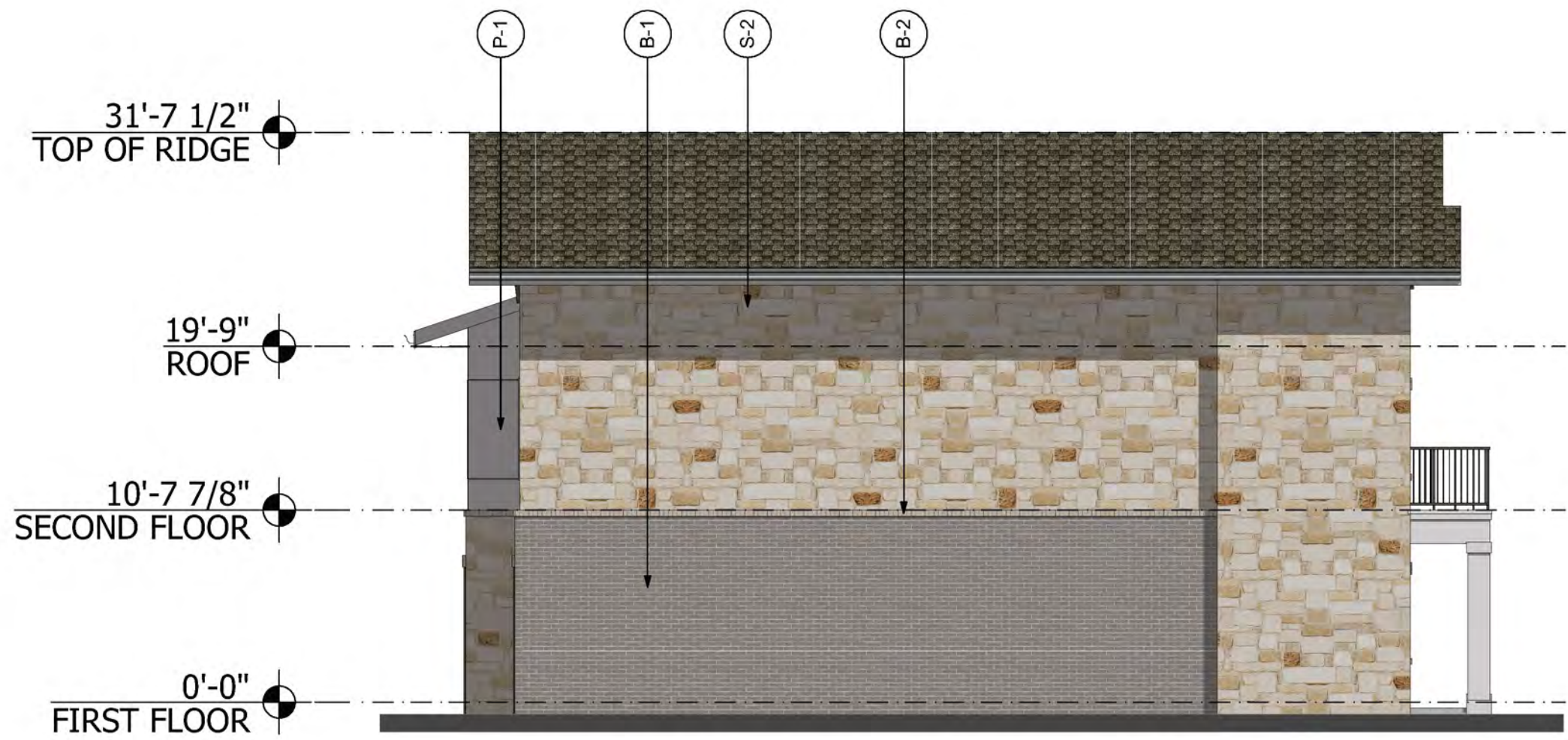
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1 - FRONT ELEVATION (TYPICAL)

SCALE: 1/8" = 1'-0"



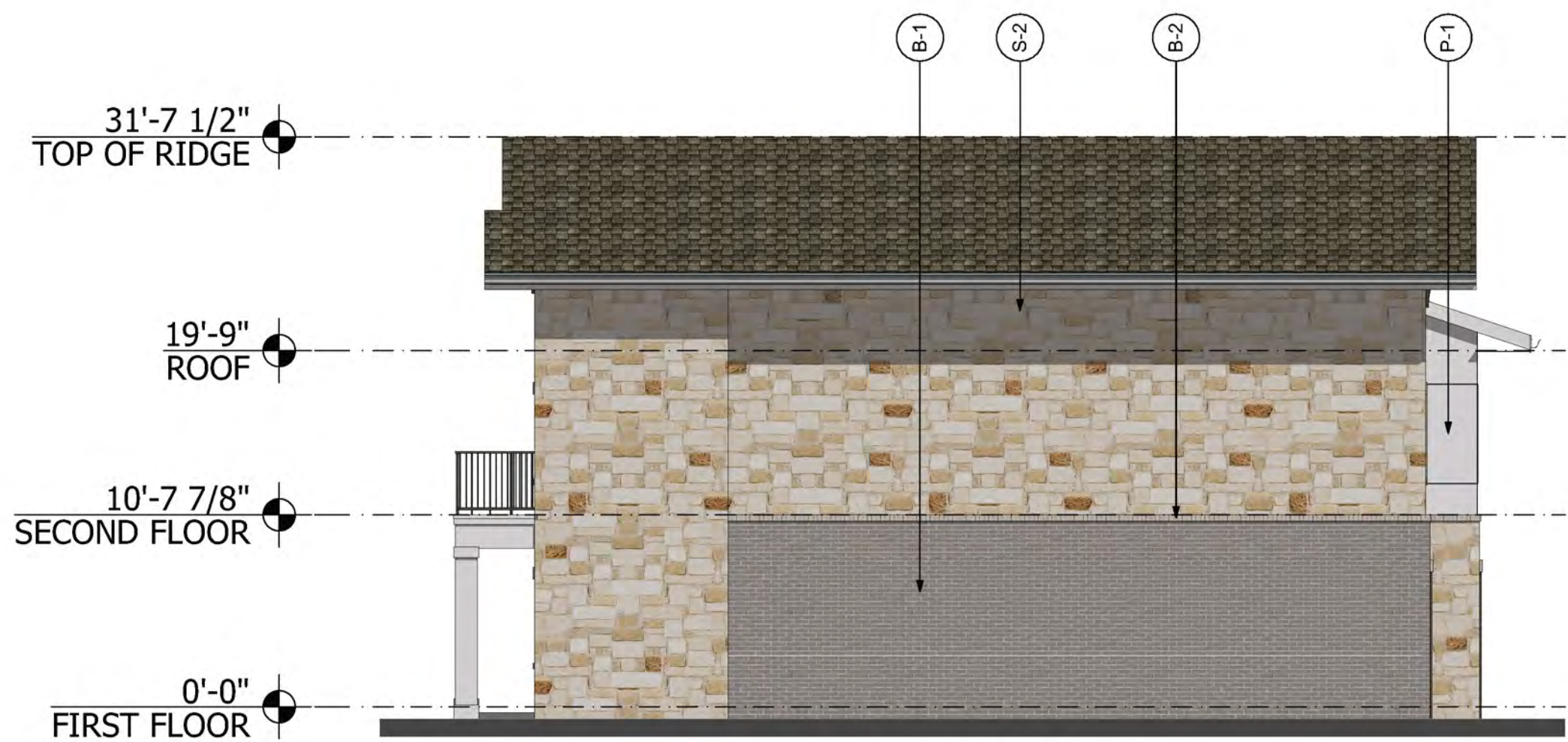
2 - LEFT SIDE ELEVATION (TYPICAL)

SCALE: 1/8" = 1'-0"



3 - REAR ELEVATION (TYPICAL)

SCALE: 1/8" = 1'-0"



4 - RIGHT SIDE ELEVATION (TYPICAL)

SCALE: 1/8" = 1'-0"

CLIENT:

Davis
Development

PROJECT:

Mansfield
Lonestar

DRAWING TITLE:

Preliminary
Rendering

DRAWN BY:

Brian Tomlin

SCALE:

AS NOTED

DATE:

03/20/2023

PROJECT NUMBER:

23005

DRAWING NUMBER:

R-1

#Project Status

KEY PLAN

MATERIAL CALCULATIONS

MATERIAL CALCULATION BUILDING 4 - FRONT ELEVATION		
MATERIAL	AREA (SQ.FT.)	PERCENTAGE
MASONRY	1611	75%
FIBER CEMENT SIDING	532	25%
TOTAL	2143	

MATERIAL CALCULATION BUILDING 4 - REAR ELEVATION		
MATERIAL	AREA (SQ.FT.)	PERCENTAGE
MASONRY	1451	82%
FIBER CEMENT SIDING	324	18%
TOTAL	1775	

MATERIAL CALCULATION BUILDING 4 - LEFT ELEVATION		
MATERIAL	AREA (SQ.FT.)	PERCENTAGE
MASONRY	1260	98%
FIBER CEMENT SIDING	20	2%
TOTAL	1280	

MATERIAL CALCULATION BUILDING 4 - RIGHT ELEVATION		
MATERIAL	AREA (SQ.FT.)	PERCENTAGE
MASONRY	1260	98%
FIBER CEMENT SIDING	20	2%
TOTAL	1280	

ELEVATION MATERIAL SELECTIONS

(SUBJECT TO CHANGE BASED ON FINAL AVAILABILITY AND SELECTION)

P-1		MATERIAL: FIBER CEMENT TRIM/PANEL MANUF: SHERWIN WILLIAMS COLOR: SW7004 SNOWBOUND	S-1		MATERIAL: STONE VENEER MANUF: CORONADO COLOR: IDAHO DRYSTACK ANTIQUE BUFF (OR SIMILAR)	B-1		MATERIAL: BRICK MANUF: ACME COLOR: MARBLE GRAY (OR SIMILAR)
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CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 23-5345

Agenda Date: 5/8/2023

Version: 1

Status: Consent

In Control: City Council

File Type: Resolution

Agenda Number:

Title

Resolution - A Resolution by the City Council of the City of Mansfield, Texas Affirming the Casting of Votes for Candidates to Serve on the Board of Directors for the Tarrant Appraisal District for the Calendar Years 2022 and 2023

Requested Action

Cast vote(s) for candidate(s) to serve as Board Members for the Tarrant Appraisal District for Calendar Years 2022 and 2023.

Recommendation

Cast vote(s) for candidates(s) to serve as Board Members of the Tarrant Appraisal District for Calendar Years 2022 and 2023.

Description/History

The City received a letter from the Tarrant Appraisal District as required by Section 6.033 of the Property Tax Code. Various taxing units in the county nominated candidates by the April 22nd deadline. The appraisal board has now prepared a ballot for the taxing unit to cast their votes. Brief bios have been included about the candidates for the appraisal board.

The governing bodies of the taxing units will determine their votes by resolution and submit the votes to the Chief Appraiser before May 16, 2023. The City of Mansfield has the following number of votes to be cast for Tarrant County - 50 votes.

Justification

N/A

Funding Source

N/A

Prepared By

Troy Lestina, Deputy City Manager, 817-276-4258

RESOLUTION NO. _____**A RESOLUTION BY THE CITY OF MANSFIELD, TEXAS, AFFIRMING THE CASTING OF VOTES IN THE 2022-2023 ELECTION OF THE BOARD OF DIRECTORS FOR THE CENTRAL APPRAISAL DISTRICT OF TARRANT COUNTY, TEXAS**

WHEREAS, this is to affirm that the City Council of the City of Mansfield, did on this the 8th day of May, 2023 cast votes as indicated below for the candidate(s) in the election for the 2022-2023 Board of Directors of the Central Appraisal District of Tarrant County, Texas, in a regular meeting of the City Council.

Number of Votes

Candidate

50

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THAT:

SECTION 1.

This Resolution shall take effect immediately from and after its passage in accordance with the Charter of the City of Mansfield, and it is accordingly so resolved.

PASSED AND APPROVED THIS THE 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary



CITY OF MANSFIELD

1200 E. Broad St.
Mansfield, TX 76063
mansfieldtexas.gov

STAFF REPORT

File Number: 22-4885

Agenda Date: 5/8/2023

Version: 2

Status: Old Business

In Control: City Council

File Type: Ordinance

Agenda Number:

Title

Ordinance - Consideration of an Ordinance to Amend Chapter 155, "Zoning" to Revise the Definition of an Accessory Dwelling in Section 155.012; To Repeal Section 155.082(E)(7) in its Entirety; and to Revise Regulations Related to Accessory Dwellings in Section 155.099(B)(35); (OA#22-007)

Requested Action

To consider the proposed ordinance amendment

Recommendation

On December 5, 2022, the Planning and Zoning Commission continued the public hearing and discussed the proposed amendments for accessory dwelling units. During the discussion, the Commissioners requested that City Council consider providing additional opportunities to inform Mansfield's residents on the proposed changes to accessory dwelling units. The Commission made a motion to recommend approval of the amendments by the following vote:

Ayes: 3 - Goodwin, Gilmore, and Thompson

Nays: 2 - Axen and Mainer

Absent: 2 - Groll and Shaw

Staff recommends that the proposed ordinance amendment be tabled indefinitely.

Description/History

The applicable regulations as found in Section 155.012 (Definitions), in Section 155.082 (Special Exception), and Section 155.099 (Special Conditions) of the Zoning Ordinance for accessory dwellings limits opportunities for their construction and use throughout the community. As designed, the proposed amendments intend to enable and to encourage the construction of accessory dwellings in order to vastly increase land use efficiency; to nurture and sustain complete and lifelong neighborhoods; and to expand the supply and the options for housing without diminishing aesthetics and quality of life considerations.

The Planning and Zoning Commission held a public hearing on September 6, 2022, and recommended denial of the amendments as originally designed.

Those voting in favor of recommending denial were:

Ayes: 7 - Knight, Mainer, Gilmore, Goodwin, Weydeck, Groll, and Axen

Nays: 0

After receiving the recommendation from the Planning and Zoning Commission, the City Council remanded the proposed amendments to the regulations for accessory dwellings back to the Planning and Zoning Commission on September 12, 2022.

On October 3, 2022, the Planning and Zoning Commission received a presentation from the Director of Planning on accessory dwellings. The Planning and Zoning Commission, at the request of the Director of Planning, provided guidance and direction on proposed amendments to the regulations for accessory dwellings.

The proposed amendments to the regulations for accessory dwellings intend to capture, and articulate the community's vision for increasing the supply and the options available for attainable housing. The proposed amendments reflect the guidance and direction as requested on October 3, 2022 from the Planning and Zoning Commission.

Proposed Amendments

As proposed, the following amendments to the provisions found in Chapter 155, Zoning, will provide heightened clarity and improved flexibility with respect to the construction of accessory dwelling units throughout the community's various zoning districts.

Section 155.012, Definitions.

Currently, *Dwelling, Accessory* is defined as "a dwelling unit accessory to and located on the same lot with the main residential building and used as living quarters by domestic servants or caretakers employed on the premises, temporary guests, or family members of the owner of the premises." This definition limits accessory dwellings from functioning as intended and increasing the supply and the options for attainable housing.

As proposed, the existing definition for *dwelling, accessory* would be deleted; and, in its place, a new definition for *Accessory Dwelling Unit (ADU)* would be provided.

The new definition for *Accessory Dwelling Unit (ADU)* would read as follows:

- **"ACCESSORY DWELLING UNIT (ADU).** *A dwelling unit that is subservient to a principal dwelling unit in size, location, and design, often located above garages or in independent buildings towards the rear of a lot. ADU's may be rented provided the property owner lives in the principal dwelling unit or, alternatively, the property owner may live in the ADU and rent the principal dwelling unit."*

The new definition reinforces that (i) the property owner must reside on the lot and that (ii) the property owner may reside in either the principal dwelling unit or in the accessory dwelling unit.

Section 155.082(E)(7), Special Exception.

The provisions of Section 155.082(E)(7) allow the Zoning Board of Adjustment to review and to consider special exceptions for accessory dwellings. However, the provisions set forth in Section 155.082(E)(7) appear to limit the authority of the Board to only reviewing and considering special exceptions for accessory dwellings in the A, Agricultural District, the PR, Pre-Development District, and the SF, Single-Family Residential Zoning District that does not comply with the provisions in Section 155.099, Special Conditions. Given the frequency of new zoning districts --- and planned developments --- it is important for the community to have adjustments and other exceptions that can be applied equitably across the numerous zoning districts concerning accessory dwelling units. Towards that end, the proposed amendments include deleting the provisions in Section 155.082(E)(7) in their entirety will ensure this and a more predictable environment for interpreting and administering all accessory dwelling unit regulations.

Section 155.099(B)(35), Special Conditions.

The special conditions proposed for accessory dwelling units --- are intended to replace those currently existing in Section 155.099(B)(35). The proposed special conditions are also intended to provide heightened, but more flexible standards for both the design and construction of accessory dwelling units in diverse environments and settings.

A summary of some of the principal revisions to Section 155.099(B)(35) --- as proposed, are as follows:

- Accessory dwelling units are permitted by-right as an accessory residential use in all zoning districts as specified in Section 155.054, Permitted Uses (e.g., the A, Agricultural District, PR, Pre-Development District, SF, Single-Family Residential Zoning District, and PD, Planned Development District) and in the D, Downtown District, and the S, South Mansfield Form-based Development District.
- Accessory dwelling units may only be constructed in the following locations: (i) within the principal dwelling unit; (ii) above a free-standing garage; OR (iii) as an independent, free-standing accessory building or outbuilding.
- The habitable area of accessory dwelling units are limited to a maximum of 1,000 square feet or a maximum of 75 percent of the habitable area of the principal dwelling unit (the habitable area of an accessory dwelling unit is only calculated in terms of enclosed space, excluding garages and other roofed structures such as patios and porches).
- The total habitable area for an accessory dwelling unit is not permitted to exceed the habitable area of the principal dwelling unit on the same lot.
- Accessory dwelling units may not permitted be platted or sold separately from the principal dwelling unit.
- For any property permitted to have two (2) accessory dwelling units, the property owner is required to register the dwelling units with the Department of Regulatory

Compliance within 30 days of occupation.

- Accessory dwelling units are limited to a maximum of two (2) units per lot in the A, Agricultural District, PR, Pre-Development District, and SF-12 / 22 Single-Family Residential District.
- Accessory dwelling units and limited to a maximum of one (1) unit per lot in all other zoning districts, including in the PD, Planned Development District, except that a lot a minimum of 12,000 square feet in area may have two (2) units per lot.
- The maximum height of an accessory dwelling unit is two (2) stories.
- The aggregate habitable area of a principal dwelling unit and accessory dwelling unit(s) may not exceed the maximum lot coverage of the zoning district in which the property is located.
- The Director of Planning is authorized to make minor adjustments so that minor deviations may be resolved administratively. Minor adjustments are solely limited to dimensional adjustments that do not constitute a decrease of more than 20 percent for setbacks and architectural design of the accessory dwelling unit.
- Any property owner denied a permit for constructing an accessory dwelling unit under the provisions for accessory dwelling units may appeal to the City Council.

Prepared By

Jason Alexander, AICP, CEcD

Executive Director of Planning and Development Services

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AMENDING CHAPTER 155, “ZONING,” OF THE CODE OF ORDINANCES OF THE CITY OF MANSFIELD, TEXAS, TO REVISE THE DEFINITION OF AN ACCESSORY DWELLING IN SECTION 155.012; TO REPEAL THE SPECIAL EXCEPTION RELATING TO ACCESSORY DWELLINGS IN SECTION 155.082(E)(7); TO REVISE THE SPECIAL CONDITIONS RELATING TO ACCESSORY DWELLINGS IN SECTION 155.099(B)(35); TO PROVIDE FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; TO PROVIDE A SEVERABILITY CLAUSE; TO PROVIDE A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND TO PROVIDE AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of Chapter 155 the Code of Ordinances of the City of Mansfield, Texas, “Zoning”, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to all interested citizens, the governing body of the City is of the opinion and finds that the Code of Ordinances should be amended; and,

WHEREAS, the City of Mansfield, Texas is a home-rule municipality located in Tarrant County, created in accordance with the provisions of Chapter 9 of the Local Government Code and operating pursuant to its Charter; and,

WHEREAS, the City Council recognizes a need to add clarity to the Code of Ordinances through amendments that help define intent of administration.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

SECTION 1.

That Section 155.012, Definitions, of the Code of Ordinances, Mansfield, Texas, is hereby amended by inserting the following new definition for “Accessory Dwelling Unit,” alphabetically, and to read as follows:

ACCESSORY DWELLING UNIT (ADU). A dwelling unit that is subservient to a principal dwelling unit in size, location, and design, often located above garages or in independent buildings towards the rear of a lot. ADU’s may be rented provided the property owner lives in the principal dwelling unit or, alternatively, the property owner may live in the ADU and rent the principal dwelling unit.

SECTION 2.

That Section 155.012, Definitions, of the Code of Ordinances, Mansfield, Texas, is hereby amended by deleting the definition for “Dwelling, Accessory”.

SECTION 3.

That all references to “Accessory Dwelling” be replaced with “Accessory Dwelling Unit” in the Code of Ordinances, Mansfield, Texas.

SECTION 4.

That Section 155.082(E)(7) “Authorized Special Exceptions” of the Code of Ordinances, Mansfield, Texas, is hereby deleted.

SECTION 5.

That Section 155.099(B)(35) “Special Conditions” of the Code of Ordinances, Mansfield, Texas, is hereby amended to read as follows for accessory dwelling units:

a. **INTENT.**

The intent of these provisions for accessory dwelling units (ADUs) is:

1. To enable and to encourage increased land use efficiency.
2. To enable and to encourage a measure of attainable housing.
3. To enable and to encourage lifelong neighborhoods.
4. To increase the supply of housing options without diminishing the aesthetic and the quality of life in existing and future neighborhoods.

b. **GENERAL.**

1. Accessory dwelling units are permitted where specified in Section 155.054, Permitted Uses and are permitted as Accessory Units where specified in Section 155.072, D, Downtown District, and in Section 155.073, S, South Mansfield Form-based Development District.
2. Accessory dwelling units may only be provided in the following locations:
 - i. Within the principal dwelling unit;
 - ii. Above a free-standing garage; OR
 - iii. As an independent, free-standing accessory building or outbuilding.
3. Accessory dwelling units are limited to a maximum habitable area of 1,000 square feet or a maximum of 75 percent of the habitable area of the principal dwelling unit. The habitable area of each accessory dwelling unit shall be calculated as enclosed space, excluding garages and other roofed structures such as patios and porches.
 - i. The habitable area of an accessory dwelling unit shall be no greater than the habitable area of the principal dwelling unit on the same lot.
4. Accessory dwelling units shall provide an entry independent of the principal dwelling unit, that is accessible from a sidewalk or from a rear alley.

5. One walkway, between four and five feet in width, that is paved with brick, concrete, or stone, shall be provided and shall directly connect the entry of the accessory dwelling unit to all required parking.
 6. Accessory dwelling units are not permitted to be platted or sold separately from the principal dwelling unit.
 7. All trash containers and recycling containers shall be visually screened from the public right-of-way.
 8. For a property permitted to have two accessory dwelling units, the property owner is required to register the property with the Department of Regulatory Compliance within 30 days of occupation.
- c. SETBACKS.
1. Accessory dwelling units within the principal dwelling unit are subject to the setback requirements of the zoning district in which the principal dwelling unit is located.
 2. All accessory dwelling units that are separate from the principal dwelling unit shall be setback from the boundaries of their lots as follows:
 - i. Front: 50 feet minimum.
 - ii. Side street: 5 feet minimum.
 - iii. Side yard: 5 feet minimum (7.5 feet minimum if two stories).
 - iv. Rear yard: 5 feet minimum (10 feet minimum if two stories).
 - v. Rear alley: 15 feet minimum from the rear alley centerline.
 - vi. Accessory dwelling units may not encroach into any easement.
- d. HEIGHT.
1. Accessory dwelling units are limited to two stories in height and shall be no higher than the principal dwelling unit on the same lot.
- e. DENSITY.
1. Accessory dwelling units shall not be counted in density calculations.
 2. Accessory dwelling units are:
 - i. Limited to two units per lot in the PR, A, and SF-12/22 Districts.
 - ii. Limited to one unit per lot in all other zoning districts, including in the PD, Planned Development District, except that a lot a minimum of 12,000 square feet in area may have two units per lot.
- f. MASSING.
- Accessory dwelling units shall only be constructed as follows (FIGURES 1 and 2):
1. As a garage conversion (a converted former garage);
 2. As a home addition (an accessory dwelling unit that shares at least one wall with the principal dwelling unit);
 3. As a home conversion (a converted area of the principal dwelling unit, with its own kitchen and bathroom);
 4. As a new independent structure that is separated from the principal dwelling unit and often placed in the backyard; OR

5. As a garage addition (a new accessory dwelling unit that shares at least one wall with the garage and units may be built above the garage).

g. UTILITIES.

1. An accessory dwelling unit may or may not share utility connections with a principal dwelling unit.
2. All new utility connections may only be permitted subject to the review and the approval of the City Engineer.
3. All new utility connections shall be placed underground.
4. All new data / telecommunications lines shall be placed underground.

h. ADDITIONAL STANDARDS.

1. Accessory dwelling units shall match the color and material of the principal dwelling unit on the same lot.
2. For accessory dwelling units not within the principal dwelling unit (i.e., that are detached), roofs shall be shed with a minimum pitch of 4:12 and shall have a roof style complementary to the architectural style of the principal dwelling unit.
3. For attached accessory dwelling units, roofs shall match the roof style of the principal residential unit or principal building.
4. For attached accessory dwelling units, the unit shall be designed to have its entry to face away from the principal pedestrian entrance into the principal dwelling unit.
5. Exterior stairs and fire escapes shall not be visible from the public right-of-way or from any required open space or civic space.
6. Architectural features including, but not limited to, balconies, patios, and porches, shall not be calculated and considered to be part of the maximum habitable area of the accessory dwelling unit.
7. Where visible from the public right-of-way or any required open space or civic space, all openings for doors and windows shall match the proportions and orientations for the same on the principal dwelling unit.
8. In no circumstance shall the aggregate habitable area of a principal dwelling unit and accessory dwelling unit(s) exceed the maximum lot coverage of the zoning district in which the property is located.
9. Each accessory dwelling unit shall require one parking space in addition to the required parking for the principal dwelling unit.

i. ADJUSTMENTS.

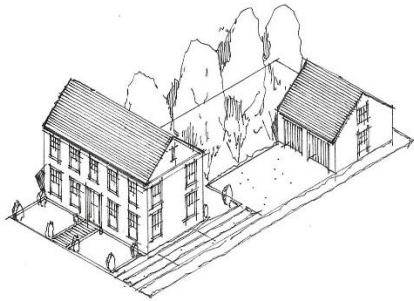
1. The Director of Planning shall be authorized to make minor adjustments so that minor deviations may be resolved administratively. Minor adjustments shall be limited to dimensional adjustments that do not constitute a decrease of more than 20 percent for setbacks and building design (i.e., architectural design of the accessory dwelling unit).

j. APPEALS.

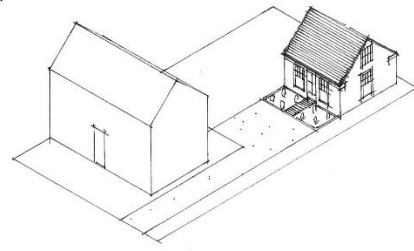
1. Any property owner denied a permit for constructing an accessory dwelling unit under the provisions of this Section may appeal to the City Council.

k. [RESERVED]

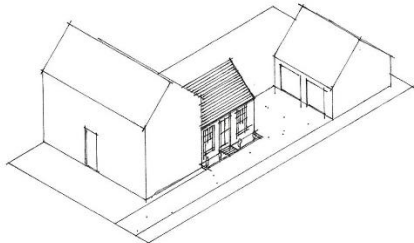
1. FIGURE 1. Accessory dwelling unit massing.



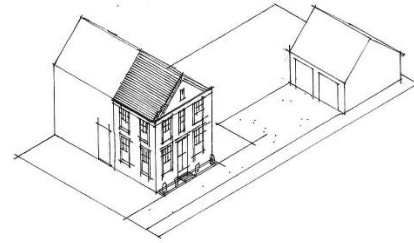
HOME WITH ADU



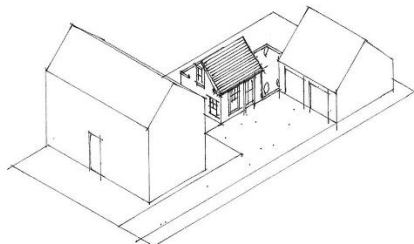
GARAGE CONVERSION



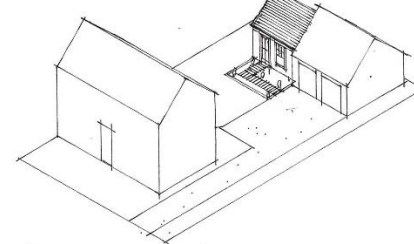
HOME ADDITION



HOME CONVERSION

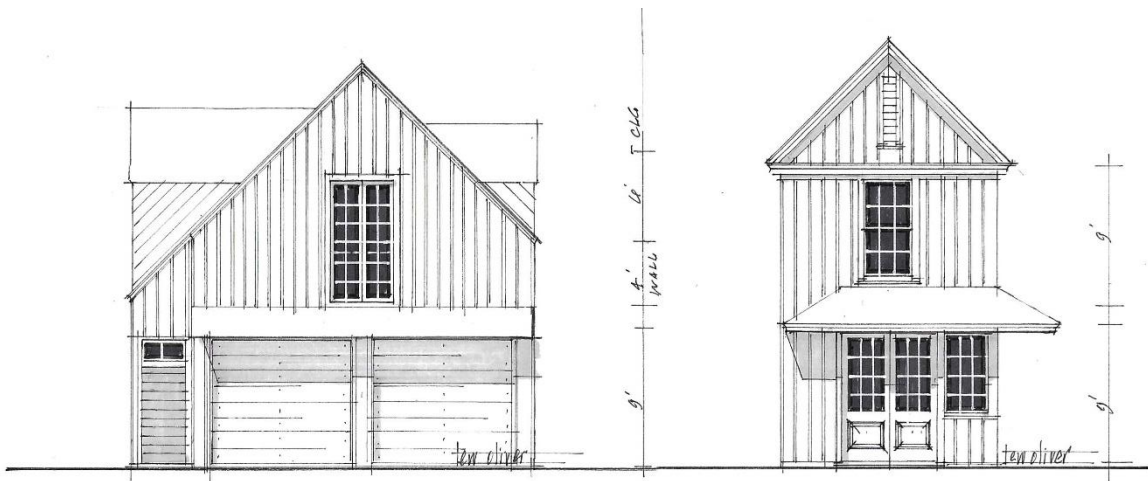


DETACHED ADU



GARAGE ADDITION

FIGURE 2. Examples of accessory dwelling units (a garage addition and an independent structure).



SECTION 6.

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7.

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Zoning Ordinance as a whole.

SECTION 8.

Any person, firm or corporation violating any of the provisions of this ordinance or the Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 9.

This ordinance shall take effect immediately from and after its passage upon reading and the publication of the caption, as the law and charter in such cases provide.

DULY PASSED ON THE FIRST AND FINAL READING BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS, THIS 8TH DAY OF MAY, 2023.

Michael Evans, Mayor

ATTEST:

Susana Marin, City Secretary

APPROVED AS TO FORM AND LEGALITY:

Bradley Anderle, City Attorney