



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Agenda

### Planning and Zoning Commission

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Tuesday, June 13, 2023

6:00 PM

City Hall Council Chambers

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1. **CALL TO ORDER**

2. **INVOCATION**

3. **PLEDGE OF ALLEGIANCE**

4. **TEXAS PLEDGE**

5. **RECESS INTO EXECUTIVE SESSION**

*Pursuant to Section 551.071, Texas Government Code, the Commission reserves the right to convene in Executive Session(s), from time to time as deemed necessary during this meeting for any posted agenda item, to receive advice from its attorney as permitted by law.*

6. **APPROVAL OF MINUTES**

[23-5407](#)

Minutes - Approval of the May 15, 2023, Planning and Zoning Commission Meeting Minutes

**Attachments:** [5-15-23 DRAFT Minutes](#)

7. **CITIZENS COMMENTS**

*Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes.*

*In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.*

8. **CONSENT AGENDA**

[23-5423](#)

Final Plat of Lot 1, Block 1, The Reserve Addition on Approximately 9.938 Acres Located at 151 N. Miller Road by LG Mansfield Heritage Parkway, LLC, Owner, and Graham Associates, Inc., Engineer/surveyor (SD#23-011)

**Attachments:** [Final Plat](#)

- [23-5424](#) Preliminary Plat of Southpointe Phase 7A & 7B on Approximately 58.801 Acres Generally Located on the East Side of South U.S. 287, Approximately 1,800 Feet South of Lone Star Road and West of Julian Feild Street by DFWTX Development, Inc., Owner/Developer, and Graham Associates, Inc., Surveyor/Engineer (SD#23-013)

**Attachments:** [Location Map](#)

[Preliminary Plat](#)

[23-5425](#)

Final Plat of Southpointe Phase 7A on 29.05 Acres Generally Located on the East Side of South U.S. 287, Approximately 1,800 Feet South of Lone Star Road and Approximately 1,050 Feet West of Julian Feild Street by DFWTX Development, Inc., Owner/Developer, and Graham Associates, Inc., Surveyor/Engineer (SD#23-014)

**Attachments:** [Final Plat](#)

**9. PUBLIC HEARINGS**

- [23-5405](#) Public Hearing on a Replat to Create Lots 1R and 2R, Block 1, Mansfield Police Station on 26.512 Acres Located at 1601 Heritage Parkway, 1701 Commerce Drive, and 651 Justice Lane; Brittain and Crawford, LLC, Surveyor; City of Mansfield, Owner (SD#22-046)

**Attachments:** [Previously Approved Plats](#)

[Replat](#)

- [23-5404](#) Public hearing on a Change of Zoning from PD, Planned Development District to S, South Mansfield Form-Based Development District on Approximately 79.41 acres out of the S. M. Blair Survey, Abstract Number 72, Johnson County, TX, and the C. Vela Survey, Abstract Number 1102, S. M. Blair Survey, Abstract Number 135, Ellis County, TX, City of Mansfield, Johnson and Ellis Counties, Texas on property generally located north of the intersection of S US 287 and S SH 360 (see location map); IPRR South Pointe-9, LLC and Ruby 07 SPMTGE LLC, Owners; TBG Partners, Applicant (ZC#23-010)

**Attachments:** [Maps and Supporting Information](#)

[Exhibit A](#)

- [23-5406](#) Public Hearing on a Change of Zoning from C-2, Community Business District to PD, Planned Development District for certain C-2, Community Business District uses plus Flex Office-Storage (maximum 50 percent storage) on approx. 1.82 acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant Co., TX, generally located on the south side of F.M.1187 and east of North Hyview Drive on property addressed at 1863 F.M. 1187; Brian Cotter, Peyco Southwest, Applicant (ZC#23-003)

**Attachments:** [Maps and Supporting Information](#)

[Exhibits A through D](#)

[23-5419](#) Public Hearing to Consider Amending Chapter 155 of the Code of Ordinances of the City of Mansfield, "Zoning" by Amending Special Purpose District Regulations and Creating a New Section 155.074 "T, Toll Road 360 Form-based Development District" (OA#23-002)

[23-5420](#) Public Hearing on a Change of Zoning from PR, Pre-Development District to the T, Toll Road 360 Form-based Development District on approx. 216 acres, being tracts situated in the M. Gregg Survey, Abstract No. 358, H. Henderson Survey, Abstract No. 432, and the J. Lawrence Survey, Abstract No. 616; City of Mansfield, Ellis County, Texas, located east of State Highway 360, south of Lone Star Road, and south of Britton Road, excluding all of Lot 1-R, Block 1, Maranatha Ranch Addition, according to the plan filed in Document# 0903697, Cabinet H, Slide 640, Ellis County, Texas, Plat Records, and a 5.068 acre tract of land situated in the J. Lawrence Survey, Abstract No. 616, belonging to the Tarrant County Water Control and Improvement District #1. Located along the 3500 and 3600 blocks of Lone Star and 3800 block of Britton Roads; Arcadia, Developer (ZC#23-005)

**Attachments:** [Maps and Supporting Information](#)

10. **SUMMARY OF CITY COUNCIL ACTIONS**
11. **COMMISSION ANNOUNCEMENTS**
12. **STAFF ANNOUNCEMENTS**
13. **ADJOURNMENT OF MEETING**
14. **NEXT MEETING DATE: Monday, July 17, 2023**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on June 9, 2023, prior to 5:00 p.m. in accordance with Chapter 551 of the Texas Government Code.

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Clarissa Carrasco, Administrative Assistant II

\* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

\* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.





# CITY OF MANSFIELD

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Mansfield, TX 76063  
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## STAFF REPORT

File Number: 23-5407

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**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Approval of Minutes

**In Control:** Planning and Zoning Commission

**File Type:** Meeting Minutes

### Title

Minutes - Approval of the May 15, 2023, Planning and Zoning Commission Meeting  
Minutes

### Description/History

The minutes of the May 15, 2023, Planning and Zoning Commission meeting are in DRAFT form and will not become effective until approved by the Commission at this meeting.



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Minutes - Draft

### Planning and Zoning Commission

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Monday, May 15, 2023

6:00 PM

City Hall Council Chambers

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#### CALL TO ORDER

*Chair Axen called the meeting to order at 6:03 p.m.*

*Staff present: Executive Director of Planning and Development Services Jason Alexander, Assistant Director of Planning Arty Wheaton-Rodriguez, City Attorney Bradley Anderle, Assistant City Secretary Keera Seiger*

**Absent** 2 - Brandon Shaw and David Goodwin

**Present** 5 - Blake Axen; Jennifer Thompson; Michael Mainer; Michael Bennett and Patrick Moses

#### INVOCATION

#### PLEDGE OF ALLEGIANCE

#### TEXAS PLEDGE

#### APPROVAL OF MINUTES

[23-5353](#)

Minutes - Approval of the May 1, 2023 Planning and Zoning Commission Meeting Minutes

**A motion was made by Vice Chair Mainer to approve the minutes of the May 1, 2023 Planning and Zoning Commission Meeting. Seconded by Commissioner Moses. The motion CARRIED by the following vote:**

**Aye:** 5 - Blake Axen; Jennifer Thompson; Michael Mainer; Michael Bennett and Patrick Moses

**Nay:** 0

**Absent:** 2 - Brandon Shaw and David Goodwin

**Abstain:** 0

#### CITIZENS COMMENTS

*There were no citizen comments.*

**CONSENT AGENDA**[23-5352](#)

Final Plat of Lot 1, Block 1 Mansfield Urban Living Phase 2; BGE, Inc., Engineer/Surveyor; Stillwater Capital, Developer (SD#23-007)

**A motion was made by Vice Chair Mainer to approve the final plat as presented. Seconded by Commissioner Thompson. The motion CARRIED by the following vote:**

**Aye:** 5 - Blake Axen; Jennifer Thompson; Michael Mainer; Michael Bennett and Patrick Moses

**Nay:** 0

**Absent:** 2 - Brandon Shaw and David Goodwin

**Abstain:** 0

**PUBLIC HEARINGS**[23-5351](#)

Public Hearing on a Change of Zoning from A, Agricultural District to PD, Planned Development District for Single-Family Residential Uses on Approximately 3.13 acres out of the William Warnell Survey, Abstract Number 1612, City of Mansfield, Tarrant County, Texas, located at 880 Turner Way; SPAPS, LLC, Owner, and HCE, Inc., Engineer (ZC#23-007)

*Assistant Director of Planning Arty Wheaton-Rodriguez presented the item and stated the applicant requested the item be tabled.*

*Chair Axen opened the public hearing at 6:09 p.m.*

*Mark Novell, 3409 W Hunter Bend Court - Mr. Novell spoke in opposition to the item.*

*Zeno Peau, 3415 W Hunter Bend Court - Mr. Peau spoke in opposition to the item.*

*Bari Hennigan, 3411 W Hunter Bend Court - Ms. Hennigan spoke in opposition to the item.*

*Chair Axen noted Dennis Jordana, 3405 W Hunter Bend Court, submitted a non-speaker card in opposition to the item.*

*Chair Axen closed the public hearing at 6:18 p.m.*

*Staff answered Commission questions.*

**A motion was made by Vice Chair Mainer to table the item to the June 13, 2023 Planning and Zoning Commission Meeting. Seconded by Commissioner Moses. The motion CARRIED by the following vote:**

**Aye:** 5 - Blake Axen; Jennifer Thompson; Michael Mainer; Michael Bennett and Patrick Moses

**Nay:** 0

**Absent:** 2 - Brandon Shaw and David Goodwin

**Abstain:** 0

### **SUMMARY OF CITY COUNCIL ACTIONS**

*Executive Director of Planning and Development Services Jason Alexander provided an update on agenda items regarding accessory dwelling units, the Trike development, and recreational vehicle storage. Mr. Wheaton-Rodriguez spoke on the accessory dwelling unit agenda item.*

### **COMMISSION ANNOUNCEMENTS**

*Commissioner Thompson spoke on the 2023 Parks and Recreation Magazine which outlines summer events and commented on the ending of the school year.*

*There were no other Commissioner announcements.*

### **STAFF ANNOUNCEMENTS**

*Mr. Wheaton-Rodriguez announced that June 13, 2023 would be the date of the next Planning and Zoning Commission meeting.*

### **WORK SESSION**

Discussion Regarding Potential New Special Purpose District: The T, Toll Road 360  
Form-based Development District

*Mr. Wheaton-Rodriguez presented a high level overview of the proposed new special T, Toll Road 360 Form-based Development District and spoke on the general purpose and intent of the district, the development vision, thoroughfare standards, the development process, frontage types, land uses, building typologies, signage, and aesthetics.*

### **RECESS INTO EXECUTIVE SESSION**

*In accordance with Texas Government Code, Chapter 551, Chair Axen recessed the meeting into executive session at 6:43 p.m. Chair Axen called the executive session to order in the Council Conference Room at 6:58 p.m. Chair Axen recessed executive session at 8:34 p.m. and reconvened into regular business session at 8:37 p.m.*

Seek Advice from City Attorney Regarding Potential Revisions to Chapter 155, Zoning, of the Mansfield Code of Ordinances

### **WORK SESSION**

Discussion Regarding Potential New Special Purpose District: The T, Toll Road 360  
Form-based Development District

*Developer William Gietema with Arcadia Realty spoke regarding the proposed development district and answered questions of the Commission.*

**ADJOURNMENT OF MEETING**

A motion was made by Commissioner Moses to adjourn the meeting at 9:10 p.m. Seconded by Vice Chair Mainer. The motion CARRIED by the following vote:

**Aye:** 5 - Blake Axen; Jennifer Thompson; Michael Mainer; Michael Bennett and Patrick Moses

**Nay:** 0

**Absent:** 2 - Brandon Shaw and David Goodwin

**Abstain:** 0

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Blake Axen, Chair

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Keera Seiger, Assistant City Secretary



# CITY OF MANSFIELD

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## STAFF REPORT

File Number: 23-5423

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Consent

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

Final Plat of Lot 1, Block 1, The Reserve Addition on Approximately 9.938 Acres Located at 151 N. Miller Road by LG Mansfield Heritage Parkway, LLC, Owner, and Graham Associates, Inc., Engineer/surveyor (SD#23-011)

**Requested Action**

To consider the subject plat.

**Recommendation**

Staff recommends approval.

**Description/History**

The purpose of this plat is to create a 9.938-acre lot for a new multi-family development. The applicant is dedicating rights-of-way for the following streets:

- 35 feet from the centerline of South Cannon Drive
- 54 feet for Revel Road
- 42 feet for Maxwell Lane

Although the copy of the plat in the Commission's packet has no signatures, the filing copy have been signed. The plat meets the requirements of the Subdivision Control Ordinance.

**Attachments**

Final Plat



E.C.A.U.D.E. - EXISTING VARIABLE WIDTH COMMON ACCESS, UTILITY AND DRAINAGE EASEMENT RECORDED IN DOCUMENT NO. D221374257, D.R.T.C.T.

POB/POC - POINT OF BEGINNING/POINT OF COMMENCING

D.R.T.C.T. - DEED RECORDS, TARRANT COUNTY, TEXAS

P.R.T.C.T. - PLAT RECORDS, TARRANT COUNTY, TEXAS

ESMT - EASEMENT

R.O.W. - RIGHT-OF-WAY

INST. - INSTRUMENT

VOL. - VOLUME

PG. - PAGE

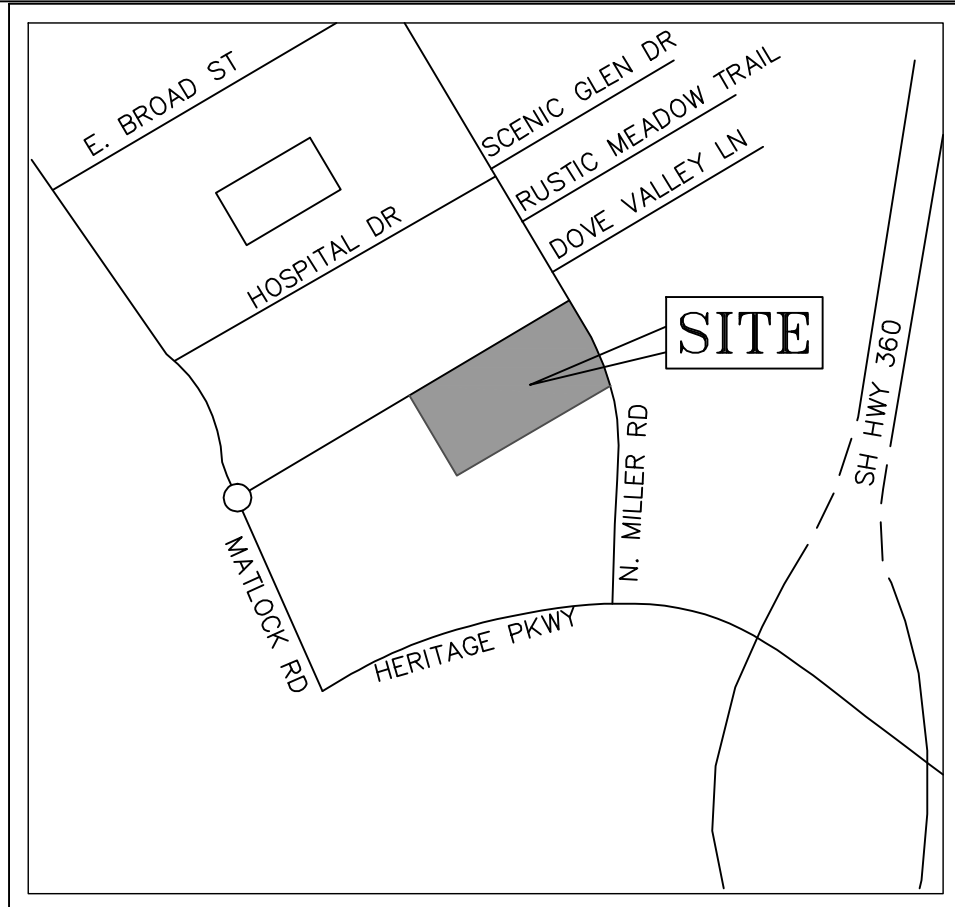
A.B.P. - ABANDONED BY THIS PLAT



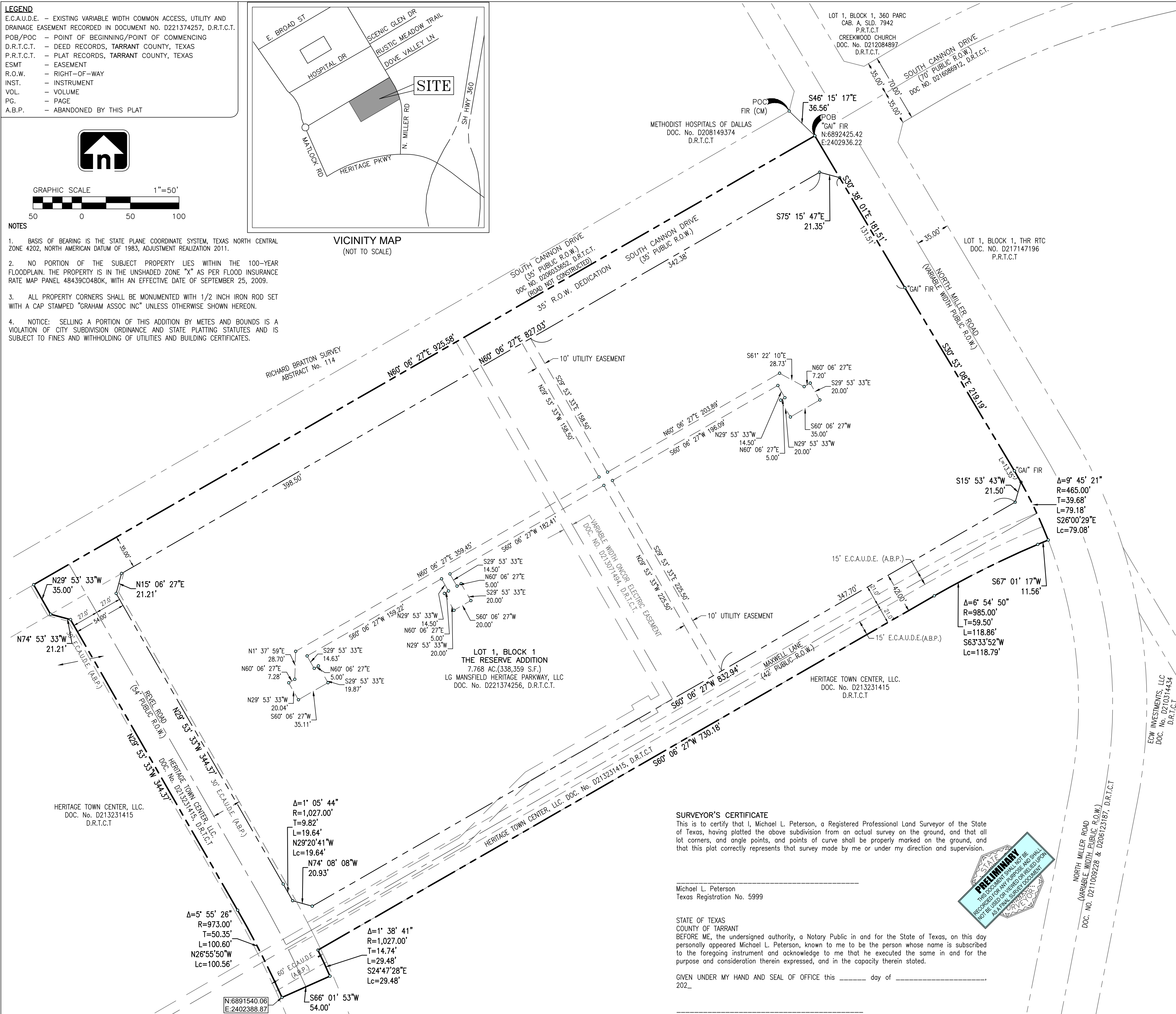
GRAPHIC SCALE 1"=50'

A horizontal graphic scale bar. The top part is a single row of alternating black and white squares. The bottom part is a single row of solid black squares. Below the bar, the numbers 50, 0, 50, and 100 are printed, corresponding to the segments of the bar.

1. BASIS OF BEARING IS THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983, ADJUSTMENT REGULATION 2011.
2. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100-YEAR FLOODPLAIN. THE PROPERTY IS IN THE UNSHADED ZONE "X" AS PER FLOOD INSURANCE RATE MAP PANEL 48439C0480K, WITH AN EFFECTIVE DATE OF SEPTEMBER 25, 2009.
3. ALL PROPERTY CORNERS SHALL BE MONUMENTED WITH 1/2 INCH IRON ROD SET WITH A CAP STAMPED "GRAHAM ASSOC INC" UNLESS OTHERWISE SHOWN HEREON.
4. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY SUBDIVISION ORDINANCE AND STATE PLATTING STATUTES AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING CERTIFICATES.



VICINITY MAP  
(NOT TO SCALE)



WHEREAS, LG Mansfield Heritage Parkway, LLC and Heritage Town Center, LLC., are acting by and through the undersigned, their duly authorized agents, are the owners of an 9.938 acre tract of land located in the Richard Bratton Survey, Abstract No. 114, City of Mansfield, Tarrant County, Texas, as recorded in Instrument No. D221374256 & D213231415, Deed Records, Tarrant County, Texas, being more particularly described as follows:

COMMENCING at a found 1/2 inch iron rod, being the most southerly southeast corner of a tract of land described by deed to Methodist Hospitals of Dallas, as recorded in Document No. D208149374, Deed Records, Tarrant County, Texas, and being in the existing west right-of-way line of North Miller Road (having a variable width right-of-way);

THENCE South 46°15'17" East, a distance of 36.56 feet to a found 1/2 inch iron rod with a cap stamped "Graham Assoc Inc" (GAI) for the POINT OF BEGINNING, being in the northeast corner of said LG Mansfield Heritage Parkway, LLC tract and the intersection of said existing west right-of-way line and the existing south right-of-way line of South Cannon Drive (having a 35' public right-of-way);

THENCE South 30°38'01" East, along said existing west right-of-way line and the east line of said LG Mansfield Heritage Parkway, LLC tract, being a common line, a distance of 181.51 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 30°53'08" East, continuing along said common line, a distance of 219.19 feet to a found 1/2 inch iron rod with "GA" cap, for the beginning of a tangent curve to the right having a radius of 465.00 feet, a central angle of 09°45'21", and a long chord which bears South 26°00'29" East, 79.08 feet;

THENCE along said tangent curve to the right, an arc length of 79.18 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE South 67°01'17" West, leaving said common line, a distance of 11.56 feet to a set 1/2 inch iron rod with "GAI" cap, for the beginning of a tangent curve to the left having a radius of 985.00 feet and a central angle of 06°54'50", and a long chord which bears South 63°33'52" West, 118.79 feet;

THENCE along said tangent curve to the left, an arc length of 118.86 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE South 60°06'27" West, a distance of 730.18 feet to a set 1/2 inch iron rod with "GAI" cap, for the beginning of a non-tangent curve to the right having a radius of 1,027.00 feet and a central angle of 01°38'41", and a long chord which bears South 24°47'28" East, 29.48 feet;

THENCE along said non-tangent curve to the right, leaving said south line, an arc length of 29.48 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE South 66°01'53" West, a distance of 54.00 feet to a set 1/2 inch iron rod with "GAI" cap, for the beginning of a non-tangent curve to the left having a radius of 973.00 feet and a central angle of 05°55'26", and a long chord which bears North 26°55'50" West, 100.56 feet;

THENCE along said non-tangent curve to the left an arc length of 100.60 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE North 29°53'33" West, a distance of 344.37 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE North 74°53'33" West, a distance of 21.21 feet to a set 1/2 inch iron rod with "GAI" cap;

THENCE North 29°53'33" West, a distance of 35.00 feet to a set 1/2 inch iron rod with "GAI" cap, being in said existing south right-of-way line;

THENCE North 60°06'27" East, along said existing south right-of-way line, a distance of 925.58 feet to the POINT OF BEGINNING and CONTAINING 432,912 square feet, 9.938 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, LG MANSFIELD HERITAGE PARKWAY, LLC, being an owner of the above described parcel, acting by and through the undersigned, it's duly authorized agent, does hereby adopt the herein above described property as LOT 1, BLOCK 1, THE RESERVE ADDITION, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

LG MANSFIELD HERITAGE PARKWAY, LLC,  
By: LCG2 Investments Manager, LLC, its manager

David Cocanougher, Managing Director, LCG2 Investments Manager, LLC

STATE OF \_\_\_\_\_:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared David Cocanougher know to me the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 202\_\_

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, **Heritage Town Center, LLC.**, being an owner of the above described parcel, acting by and through the undersigned, it's duly authorized agent, does hereby adopt the herein above described property as **LOT 1, BLOCK 1, THE RESERVE ADDITION**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

Heritage Town Center, LLC.,  
By: \_\_\_\_\_, its manager

STATE OF \_\_\_\_\_:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared \_\_\_\_\_ know to me the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 202\_\_

APPROVED BY THE CITY OF MANSFIELD

\_\_\_\_\_, 2023

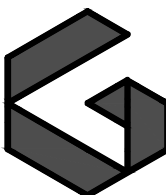
APPROVED BY: P & Z COMMISSION CHAIRMAN

\_\_\_\_\_, 2023

ATTEST: PLANNING & ZONING SECRETARY

**FINAL PLAT**  
**LOT 1, BLOCK 1**  
**THE RESERVE ADDITION**  
**9.938 ACRE TRACT OUT OF RICHARD BRATTON SURVEY, ABST**  
**CITY OF MANSFIELD, TARRANT COUNTY, TEXAS**

1 LOT  
June 2023



**GRAHAM ASSOCIATES**  
CIVIL ENGINEERING & SURVEYING  
600 SIX FLAGS DRIVE, SUITE 500 ARLINGTON, TEXAS 76011  
(817) 640-8535 • TBPB FIRM: F-1191 • TBPB FIRM: 101538-00

CITY CASE NO:  
SD#23-011

SHEET 1 OF 1





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5424

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Consent

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

Preliminary Plat of Southpointe Phase 7A & 7B on Approximately 58.801 Acres  
Generally Located on the East Side of South U.S. 287, Approximately 1,800 Feet South  
of Lone Star Road and West of Julian Feild Street by DFWTX Development, Inc.,  
Owner/Developer, and Graham Associates, Inc., Surveyor/Engineer (SD#23-013)

**Requested Action**

To consider the subject plat.

**Recommendation**

Staff recommends approval.

**Description/History**

The purpose of this plat is to create 180 residential lots and 7 open space lots on 58.801 acres. The original final plat for Southpointe Phase 7 was recently vacated by the Commission to allow the developer to split Phase 7 into two sections, 7A and 7B, with this new preliminary plat.

The property is zoned PD, Planned Development District for Southpointe. The lots meet the requirements of the Southpointe Planned Development District standards. The plat also meets the requirements of the Subdivision Control Ordinance.

A preliminary plat shows the proposed layout of a subdivision and is not filed of record. A preliminary plat does not require signatures.

**Attachments**

Location Map  
Preliminary Plat





Subject Property

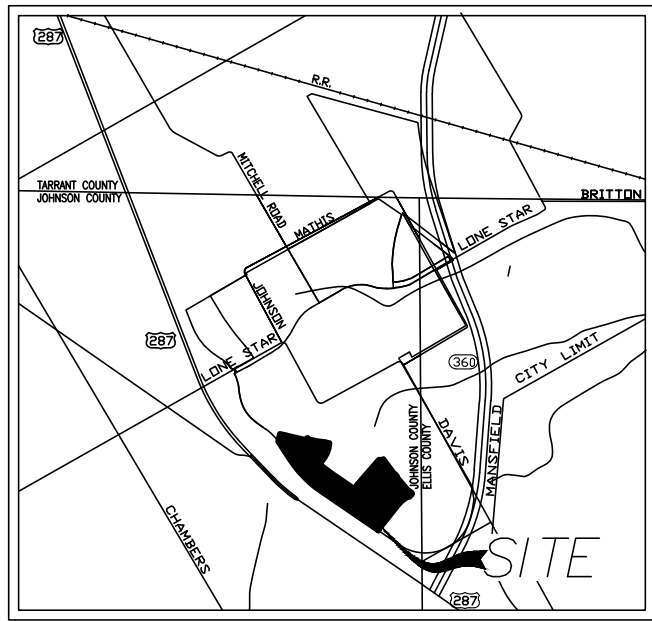


SD#23-013 Southpointe Ph 7

12/14/2017

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature loc. **13** s. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

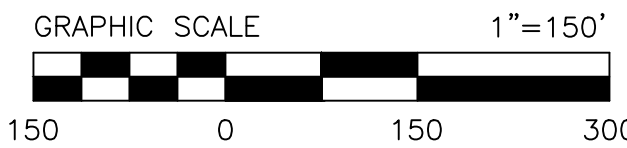
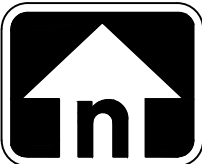




VICINITY MAP  
(NOT TO SCALE)

- NOTES:**
1. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FEMA DESIGNATED FLOODPLAIN OR FLOOD PRONE AREA, ACCORDING TO JOHNSON COUNTY FLOOD INSURANCE RATE MAP No. 48251C0125J, WITH AN EFFECTIVE DATE OF DECEMBER 4, 2012.
  2. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
  3. ALL PROPERTY CORNERS SHALL BE MONUMENTED WITH 1/2 INCH IRON ROD SET WITH A CAP STAMPED "GAI" UNLESS OTHERWISE SHOWN HEREON.
  4. THE BEARINGS SHOWN HEREON ARE CREATED FROM ACTUAL FIELD SURVEYS, RELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (1983-2011) GRID BEARINGS.
  5. A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, INCLUDING THE "X" LOTS NOT DESIGNATED AS PUBLIC PARK LAND, SCREENING WALLS AND FENCES, ENTRY FEATURES, ANY LANDSCAPING IN PUBLIC RIGHT-OF-WAY (INCLUDING STREET TREES), MEDIANS, AND LANDSCAPE BUFFERS.
  6. "X" LOTS WITHIN EACH BLOCK SHALL BE DESIGNATED AS A UTILITY EASEMENT, DRAINAGE EASEMENT, AND ARE NON-BUILDABLE LOTS.
  7. NO TREES, BUSHES, WALLS, SIGNS OR ANYTHING OVER 2' IS ALLOWED WITHIN THE VISIBILITY EASEMENTS.
  8. FLOODPLAIN PER HYDROLOGIC & HYDRAULIC ANALYSIS FOR A PORTION OF AN UN-NAMED TRIBUTARY TO JOE POOL LAKE PREPARED BY GRAHAM ASSOCIATES, INC.
  9. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 IS FOR THE USE OF THE GAS WELL OPERATOR OF THE WALKING T/EAGLE FORD DRILL SITES. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
  10. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 SHALL BE MAINTAINED BY THE GAS WELL OPERATOR.

- LEGEND**
- FIR = FOUND 1/2 INCH IRON ROD WITH A CAP STAMPED "GRAHAM ASSOC INC"
- BLOCK 13 = BLOCK NUMBERS
- 15 = LOT NUMBERS
- 1X = "X" LOT
- ↓ = STREET NAME CHANGE



PRELIMINARY PLAT  
SOUTHPOINTE PHASE 7A & 7B

58.801 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72  
AND CRESANTO VELA SURVEY ABSTRACT NO. 851  
AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T.  
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS  
180 RESIDENTIAL LOTS  
7 OPEN SPACE LOTS

May 2023  
PREPARED BY



Graham Associates, Inc.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBP# FIRM: F-11917BPLS FIRM: 101538-00

SD#23-013

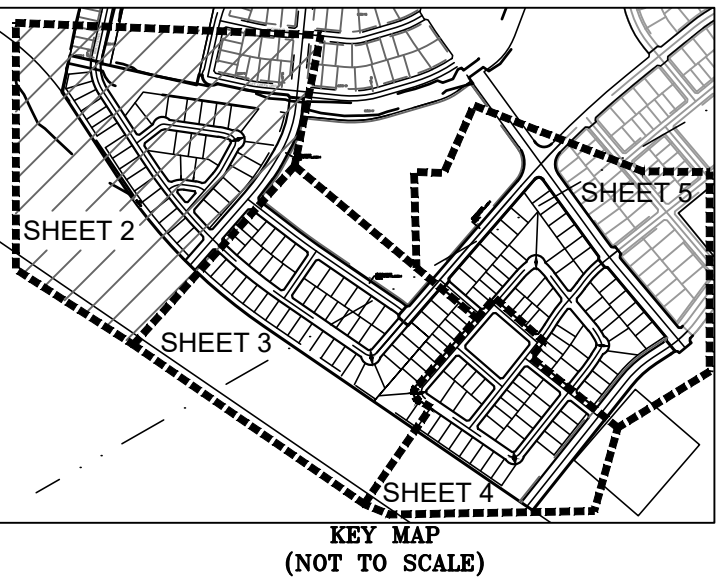
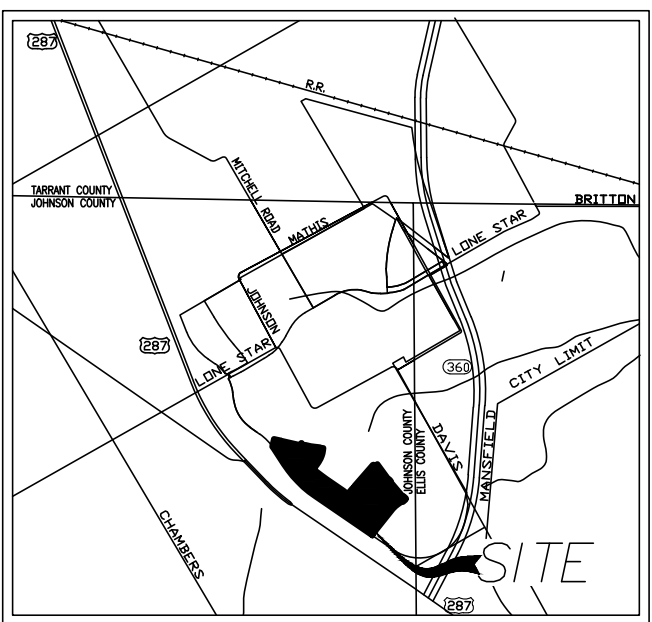
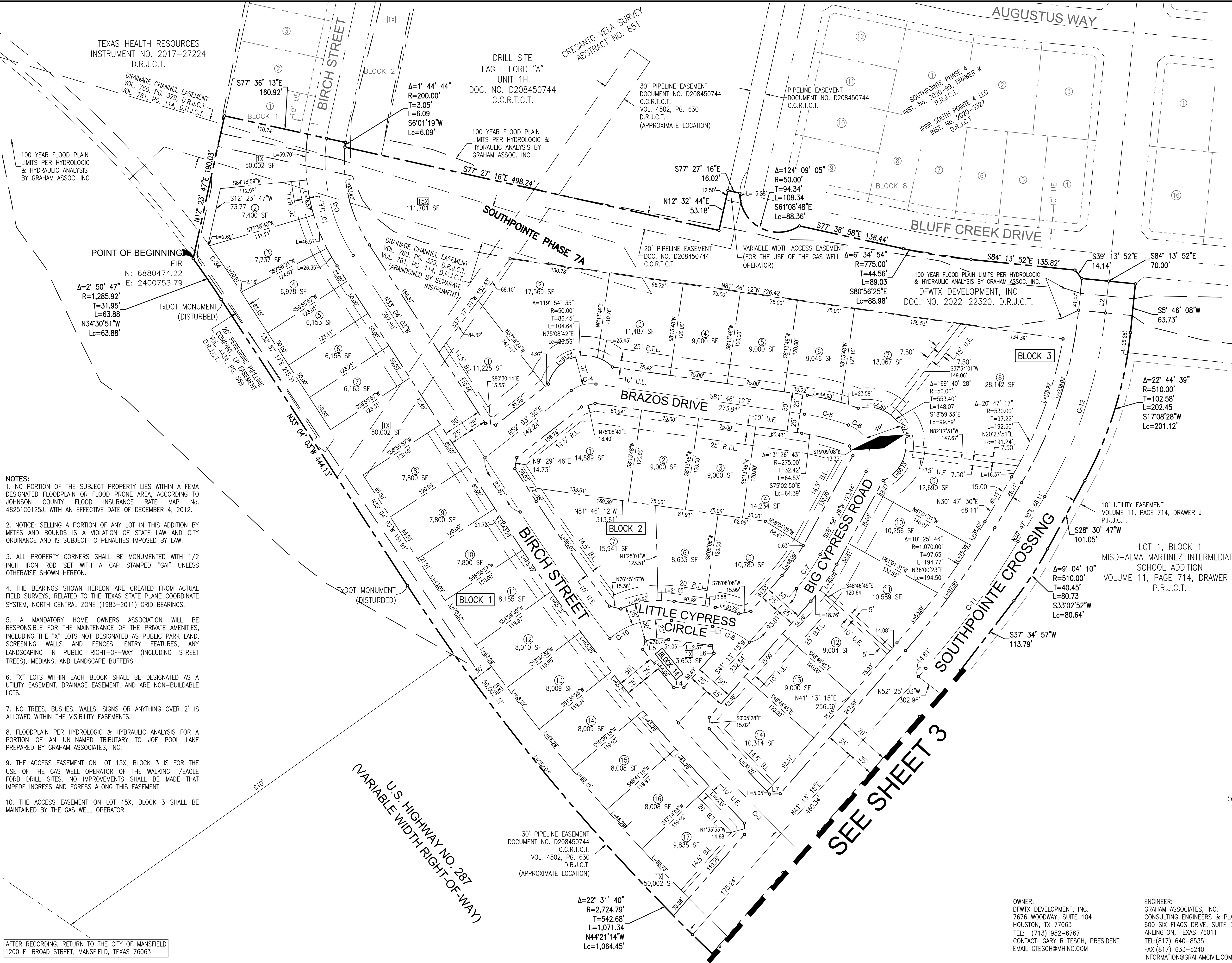
SHEET 1 OF 6

LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10,  
BLOCK 3; LOTS 41, 42, 44-47, BLOCK 6; LOTS 1-6, 13-15  
BLOCK 11; LOTS 6-8, BLOCK 12; AND LOTS 8-12,  
BLOCK 13 ARE LOCATED WITHIN 300 FEET OF AN  
APPROVED GAS WELL DRILL SITE.

OWNER:  
DFWTX DEVELOPMENT, INC.  
7676 WOODWAY, SUITE 104  
HOUSTON, TX 77063  
TEL: (713) 952-6767  
CONTACT: GARY R. TESCH, PRESIDENT  
EMAIL: GTESCH@MHINC.COM

ENGINEER:  
GRAHAM ASSOCIATES, INC.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011  
TEL: (817) 640-8535  
FAX: (817) 633-5240  
INFORMATION@GRAHAMCIVIL.COM

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063



LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10, BLOCK 3; LOTS 41, 42, 44-47, BLOCK 6; LOTS 1-6, 13-15 BLOCK 11; LOTS 6-8, BLOCK 12; AND LOTS 8-12, BLOCK 13 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

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**BLOCK 13** = BLOCK NUMBERS

**15** = LOT NUMBERS

**1X** = "X" LOT

= STREET NAME CHANGE

**GRAPHIC SCALE** 1"=60'

60 0 60 120

**PRELIMINARY PLAT**  
**SOUTHPONTE PHASE 7A & 7B**  
58.801 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72  
AND CRESANTO VELA SURVEY ABSTRACT NO. 851  
AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T.  
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS  
180 RESIDENTIAL LOTS  
7 OPEN SPACE LOTS  
May 2023  
**PREPARED BY**



**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBP# FIRM: F-1191/TBPLS FIRM: 101538-00

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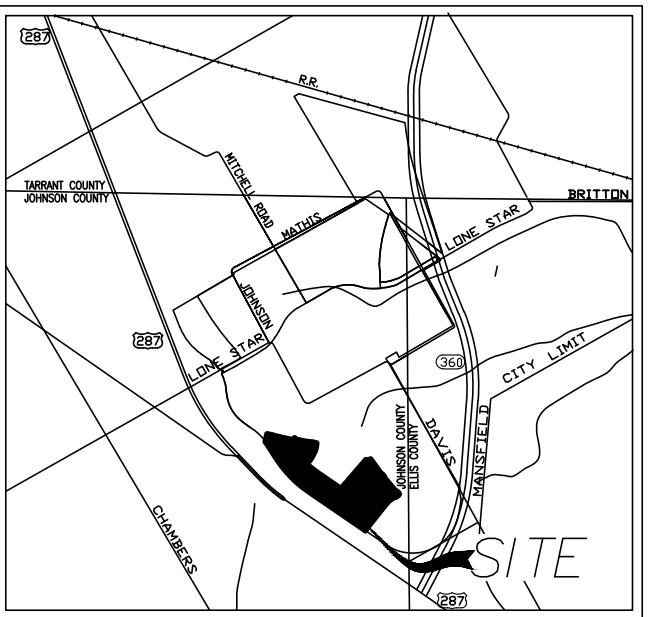
SD#23-013

SHEET 2 OF 6

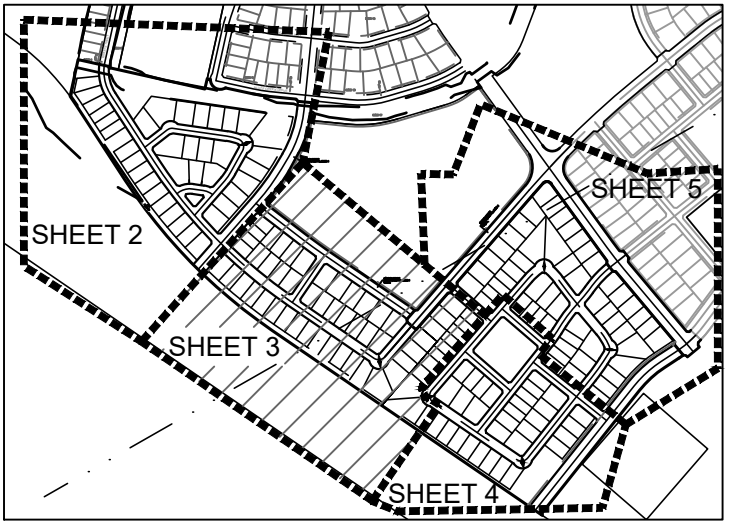
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VICINITY MAP  
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KEY MAP  
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**LEGEND**

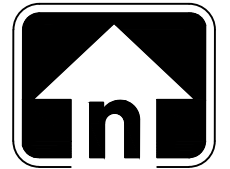
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**PRELIMINARY PLAT  
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180 RESIDENTIAL LOTS  
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May 2023

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600 SIX FLAGS DRIVE, SUITE 500  
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TBP# FIRM: F-1191/TBPLS FIRM: 101338-00

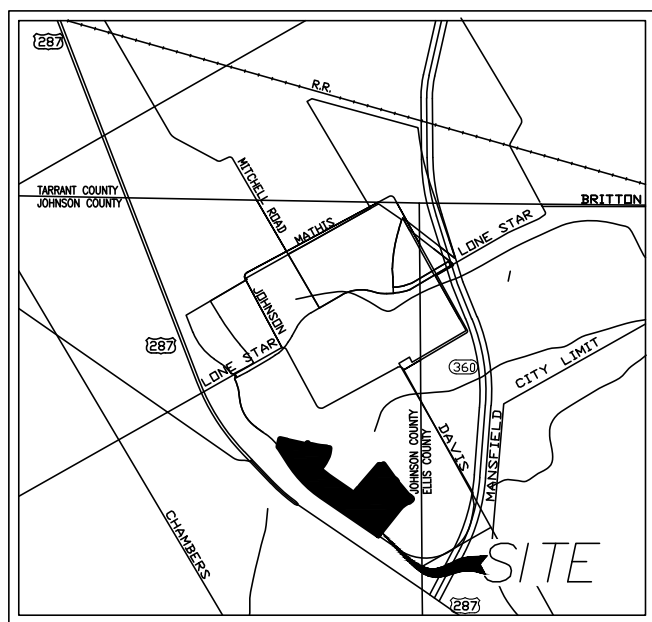
OWNER:  
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CONTACT: GARY R TESCH, PRESIDENT  
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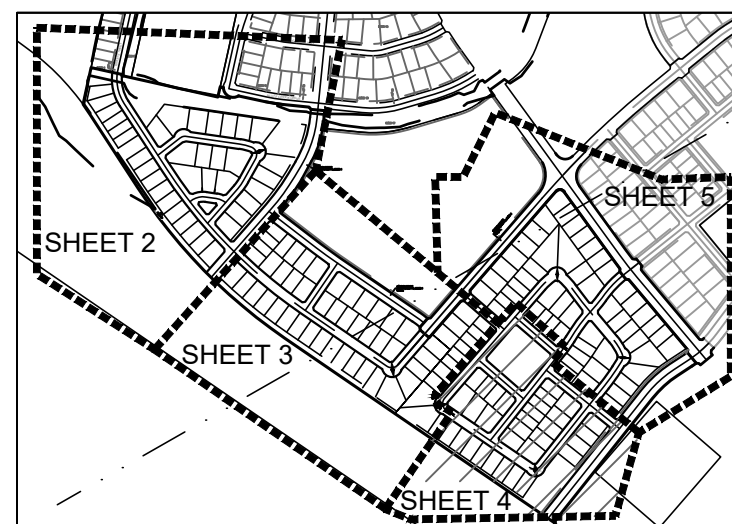
SD#23-013

SHEET 3 OF 6

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
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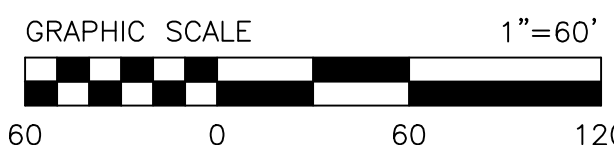
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**PRELIMINARY PLAT  
SOUTHPOINTE PHASE 7A & 7B**

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CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS  
180 RESIDENTIAL LOTS  
7 OPEN SPACE LOTS  
May 2023

PREPARED BY



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CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

OWNER:  
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SD#23-013

SHEET 4 OF 6

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063



LOT 1, BLOCK 1  
MISD-ALMA MARTINEZ INTERMEDIATE  
SCHOOL ADDITION  
VOLUME 11, PAGE 714, DRAWER J  
P.R.J.C.T.

LOT 1, BLOCK 1  
MISD-BRENDA NORWOOD  
ELEMENTARY SCHOOL ADDITION  
VOL. 11, PG. 717, DRAWER J  
P.R.J.C.T.

$\Delta=0^{\circ} 56' 05''$   
 $R=4,470.00'$   
 $T=36.47'$   
 $L=72.93$   
 $N41^{\circ}20'47''E$   
 $Lc=72.93'$


$\Delta=102^{\circ} 12' 33''$   
 $R=25.40'$   
 $T=31.48'$   
 $L=45.31$   
 $S87^{\circ}05'01''E$   
 $Lc=39.54'$

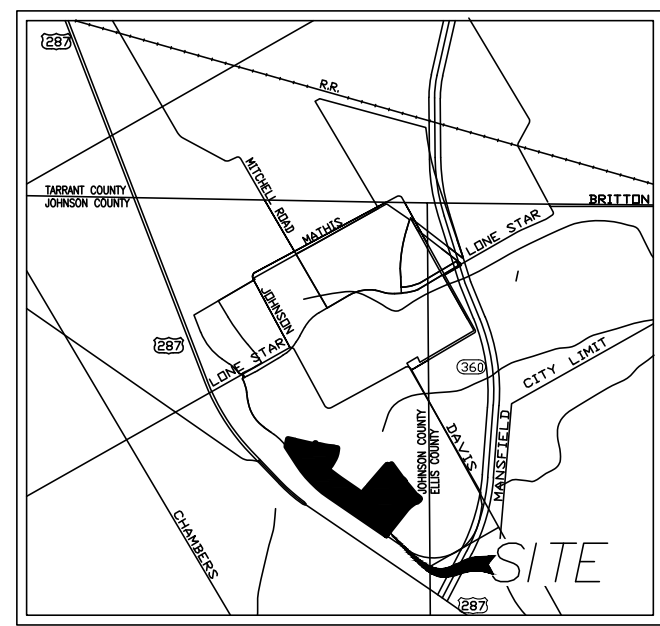
CRESANTO VELA SURVEY  
ABSTRACT NO. 851  
SETH M. BLAIR SURVEY  
ABSTRACT NO. 72

SOUTHPOINTE PHASE 8A  
INSTRUMENT NO. 2021-42  
P.R.J.C.T.

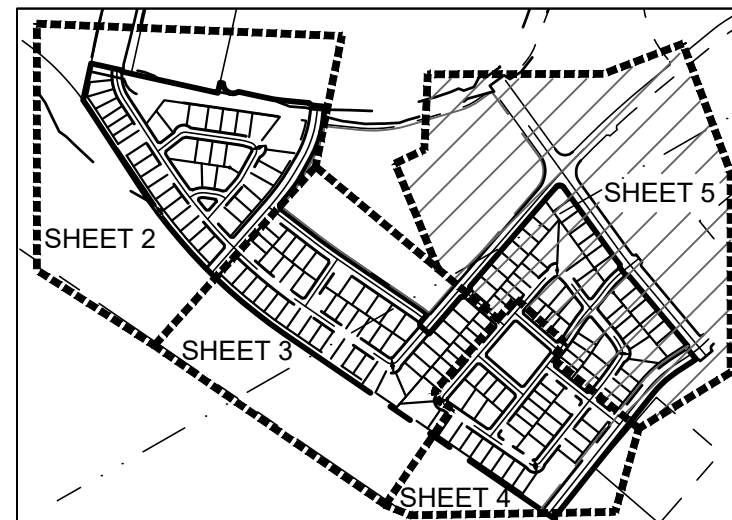
4.70 AC DRILL PAD SITE  
DOC. NO. D208450744  
C.C.R.T.C.T.

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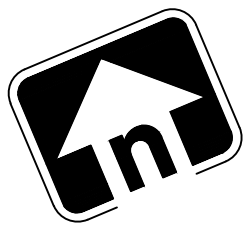
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SD#23-013

SHEET 5 OF 6

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SEE SHEET 4

SEE SHEET 4

SEE SHEET 3

LEGAL DESCRIPTION

WHEREAS, DFWTX DEVELOPMENT, INC., acting by and through the undersigned, it's duly authorized agent, is the sole owner of an 58.801 acre tract of land located in the Seth M. Blair Survey Abstract No. 72 and Cresanto Vela Survey Abstract No. 851, City of Mansfield, Johnson County, and recorded in Instrument No. 2022-22320, Deed Records, Johnson County, Texas, being more particularly described as follows:

BEGINNING at a found 1/2 inch iron rod with a cap stamped "GRAHAM ASSOC INC" (GAI), being in the existing public east right-of-way line of U.S. Highway No. 287 (Variable Width Right-Of-Way) and being in the west line of said 2021 South Pointe Holdings LTD. tract and being the south corner of a tract of land conveyed to Texas Health Resources as recorded in Instrument No. 2017-27224, Deed Records, Johnson County, Texas;

THENCE North 12°23'47" East, along the southeast line of said Texas Health Resources tract, a distance of 190.03 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of Lot 1, Block 1, Southpointe Phase 4, as recorded int Instrument No. 2020-99, Drawer K, Plat Records, Johnson County, Texas;

THENCE South 77°36'13" East, leaving said southeast line, along the south line of said Southpointe Phase 4, a distance of 160.92 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the west line of Lot 1X, Block 2, of said Southpointe Phase 4, for the beginning of a non-tangent curve to the left having a radius of 200.00 feet, a central angle of 1°44'44", and a long chord which bears South 06°01'19" West, 6.09 feet;

THENCE along said non-tangent curve to the left, along said west line and continuing along said south line, an arc length of 6.09 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of said Lot 1X;

THENCE South 77°27'16" East, continuing along said south line, a distance of 498.24 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 12°32'44" East, a distance of 53.18 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the south line of Lot 1X, Block 20, of said Southpointe Phase 4;

THENCE South 77°27'16" East, along the south line of said Lot 1X, Block 20, a distance of 16.02 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the existing south right-of-way line of Bluff Creek Drive (being a 50 foot right-of-way), for the beginning of a non-tangent curve to the left having a radius of 50.00 feet, a central angle of 124°09'05", and a long chord which bears South 61°08'48" East, 88.36 feet;

THENCE along said non-tangent curve to the left, along said existing south right-of-way line and the south line of said Southpointe Phase 4, being a common line, an arc length of 108.34 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 77°38'58" East, continuing along said common line, a distance of 138.44 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 775.00 feet, a central angle of 6°34'54", and a long chord which bears South 80°56'25" East, 88.98 feet;

THENCE along said tangent curve to the left, an arc length of 89.03 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 84°13'52" East, a distance of 135.82 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 39°13'52" East, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 84°13'52" East, a distance of 70.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 05°46'08" West, leaving said common line, a distance of 63.73 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 510.00 feet, a central angle of 22°44'39", and a long chord which bears South 17°08'28" West, 201.12 feet;

THENCE along said tangent curve to the right, an arc length of 26.28 feet passing the northwest corner of Lot 1, Block 1, MISD-ALMA MARTINEZ INTERMEDIATE SCHOOL ADDITION, as recorded in Volume 11, Page 714, Drawer J, Plat Records, Johnson County, Texas, continuing on for a total arc length of 202.45 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 28°30'47" West, along the northwest line of said Lot 1, a distance of 101.05 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 510.00 feet, a central angle of 9°04'10", and a long chord which bears South 33°02'52" West, 80.64 feet;

THENCE along said tangent curve to the right, and continuing along said northwest line, an arc length of 80.73 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 37°34'57" West, continuing along said northwest line, a distance of 113.79 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 07°25'03" East, continuing along said northwest line, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 52°25'03" East, along the southwest line of said Lot 1, a distance of 254.73 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 2,229.79 feet, a central angle of 3°10'44", and a long chord which bears South 54°00'25" East, 123.70 feet;

THENCE along said tangent curve to the left, and continuing along said southwest line, an arc length of 123.71 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 55°35'47" East, continuing along said southwest line, a distance of 487.43 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 580.00 feet, a central angle of 05°23'47", and a long chord which bears South 52°53'25" East, 54.61 feet;

THENCE along said tangent curve to the right and continuing along said southwest line, an arc length of 54.63 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 40°48'35" West, leaving said southwest line, a distance of 60.01 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 06°00'14" East, a distance of 13.74 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 49°07'16" East, a distance of 60.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 40°52'44" East, a distance of 246.30 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 85°52'44" East, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 40°52'44" East, a distance of 50.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 04°07'16" East, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 40°52'44" East, a distance of 593.25 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 4,470.00 feet, a central angle of 00°56'05", and a long chord which bears North 41°20'47" East, 72.93 feet;

THENCE along said tangent curve to the left, an arc length of 72.93 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a reverse curve to the right having a radius of 25.40 feet, a central angle of 102°12'33", and a long chord which bears South 87°05'01" East, 39.54 feet;

THENCE along said reverse curve to the right, an arc length of 45.31 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 35°58'47" East, a distance of 426.87 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 2,040.00 feet, a central angle of 01°36'21", and a long chord which bears South 36°46'57" East, 57.17 feet;

THENCE along said tangent curve to the left, an arc length of 57.17 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 06°53'35" West, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 38°29'16" East, a distance of 50.07 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 84°00'31" East, a distance of 14.24 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a non-tangent curve to the right having a radius of 2,040 feet, a central angle of 00°26'20", and a long chord which bears South 39°46'14" East, 15.63 feet;

THENCE along said non-tangent curve to the left, an arc length of 15.63 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 38°59'24" East, a distance of 449.43 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 07°12'16" West, a distance of 13.59 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 39°59'05" East, a distance of 70.23 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a non-tangent curve to the right having a radius of 610.00 feet, a central angle of 2°26'32", and a long chord which bears South 55°35'09" West, 26.00 feet;

THENCE along said non-tangent curve to the right, an arc length of 26.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 56°48'25" West, a distance of 87.69 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 540.00 feet, a central angle of 18°18'05", and a long chord which bears South 47°39'23" West, 171.75 feet;

THENCE along said tangent curve to the left, an arc length of 172.49 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 38°30'20" West, a distance of 793.55 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 08°32'44" East, a distance of 13.63 feet to a set 1/2 inch iron rod with a "GAI" cap, being in said east right-of-way line of U.S. Highway No. 287 and said west line of said 2021 South Pointe Holdings LTD. tract, being a common line;

THENCE North 55°35'47" West, along said common line, a distance of 1663.11 feet to a TxDOT Monument (Broken), for the beginning of a tangent curve to the right having a radius of 2,724.79 feet, a central angle of 22°31'40", and a long chord which bears North 44°21'14" West, 1064.45 feet;

THENCE along said tangent curve to the right, and continuing along said common line, an arc length of 1071.34 feet to a TxDOT Monument (Broken);

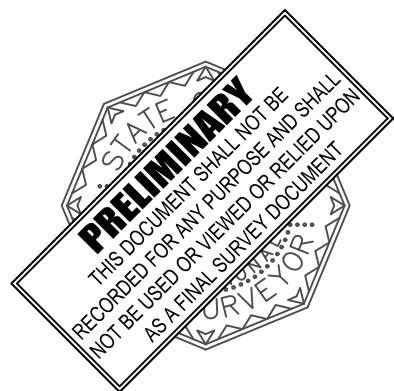
THENCE North 33°04'03" West, a distance of 444.13 feet to a TxDOT Monument (Broken), for the beginning of a tangent curve to the left having a radius of 1,285.92 feet, a central angle of 2°50'47", and a long chord which bears North 34°30'51" West, 63.88 feet;

THENCE along said tangent curve to the left, an arc length of 63.88 feet to the POINT OF BEGINNING and CONTAINING 2,561,371 square feet, 58.801 acres of land, more or less.

SURVEYOR'S CERTIFICATE

This is to certify that I, MICHAEL L. PETERSON, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

MICHAEL L. PETERSON  
Texas Registration No. 5999



STATE OF TEXAS:  
COUNTY OF TARRANT:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL L. PETERSON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same in and for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public in and for the State of Texas

My commission expires \_\_\_\_\_

LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10, BLOCK 3; LOTS 41, 42, 44-47, BLOCK 6; LOTS 1-6, 13-15 BLOCK 11; LOTS 6-8, BLOCK 12; AND LOTS 8-12, BLOCK 13 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS) AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

Parcel Line Table		
LINE #	LENGTH	DIRECTION
L1	54.06'	N81° 46' 12"W
L2	41.47'	N5° 46' 08"E
L3	9.40'	N35° 58' 47"W
L4	13.02'	S89° 24' 13"E
L5	11.57'	S16° 14' 57"W
L6	10.39'	N17° 25' 34"W
L7	13.57'	N88° 28' 45"E
L8	14.14'	S85° 52' 44"W
L9	14.14'	S6° 29' 40"E
L10	60.01'	S40° 48' 35"W
L11	13.74'	S6° 00' 14"E
L12	60.00'	S49° 07' 16"E
L13	14.14'	S83° 30' 20"W
L14	87.69'	S56° 48' 25"W
L15	198.56'	S38° 30' 20"W
L17	25.00'	N36° 37' 26"E

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	83° 31' 29"	42.50'	37.95'	61.96'	S82° 38' 29"W	56.61'
C-2	22° 31' 44"	2545.00'	506.90'	1000.70'	N44° 19' 55"W	994.26'
C-3	40° 34' 30"	225.00'	83.17'	159.34'	N12° 46' 48"W	156.03'
C-4	46° 10' 12"	42.50'	18.11'	34.25'	N75° 08' 42"E	33.33'
C-5	11° 14' 41"	300.00'	29.53'	58.88'	S76° 08' 51"E	58.78'
C-6	99° 30' 00"	42.50'	50.20'	73.81'	S20° 46' 31"E	64.87'
C-7	12° 14' 46"	250.00'	26.82'	53.43'	S35° 05' 52"W	53.33'
C-8	30° 08' 54"	100.00'	26.93'	52.62'	N66° 41' 45"W	52.01'
C-9	18° 18' 05"	630.00'	101.48'	201.23'	S47° 39' 23"W	200.38'
C-10	49° 21' 07"	100.00'	45.94'	86.14'	S73° 33' 15"W	83.50'
C-11	10° 25' 46"	1120.00'	102.22'	203.87'	N36° 00' 23"E	203.59'
C-12	25° 01' 22"	580.00'	128.70'	253.30'	N18° 16' 49"E	251.29'
C-13	5° 20' 31"	550.00'	25.66'	51.28'	N52° 55' 03"W	51.26'
C-14	2° 47' 22"	520.00'	12.66'	25.32'	S55° 24' 44"W	25.31'
C-15	3° 10' 44"	2259.79'	62.71'	125.38'	N54° 00' 25"W	125.36'
C-16	2° 10' 36"	575.00'	10.92'	21.85'	N55° 43' 07"E	21.84'
C-17	85° 53' 52"	42.50'	39.56'	63.72'	N81° 27' 16"E	57.91'
C-18	5° 40' 13"	1030.00'	51.01'	101.94'	N35° 40' 14"E	101.89'
C-19	56° 34' 14"	42.50'	22.87'	41.96'	N4° 33' 00"E	40.28'
C-20	16° 15' 17"	300.00'	42.84'	85.11'	N31° 51' 45"W	84.82'
C-21	4° 00' 37"	2295.00'	80.35'	160.63'	N37° 59' 05"W	160.60'
C-22	13° 39' 44"	300.00'	35.94'	71.53'	N42° 48' 39"W	71.37'
C-23	75° 49' 01"	42.50'	33.10'	56.24'	N87° 33' 02"W	52.22'
C-24	13° 39' 44"	300.00'	35.94'	71.53'	S47° 42' 36"W	71.37'
C-25	96° 28' 31"	42.50'	47.60'	71.56'	S7° 21' 32"E	63.40'
C-26	5° 40' 13"	750.00'	37.14'	74.22'	N35° 40' 14"E	74.19'
C-27	10° 14' 24"	750.00'	67.20'	134.04'	N37° 57' 19"E	133.86'
C-28	6° 27' 04"	750.00'	42.27'	84.45'	N39° 50' 59"E	84.40'
C-29	14° 53' 18"	500.00'	65.33'	129.92'	N44° 04' 05"E	129.56'
C-30	0° 26' 20"	2040.00'	7.81'	15.63'	S39° 46' 14"E	15.63'
C-31	18° 18' 05"	575.00'	92.62'	183.67'	N47° 39' 23"E	182.89'
C-32	5° 40' 13"	890.00'	44.08'	88.08'	S35° 40' 14"W	88.04'
C-33	5° 29' 09"	610.00'	29.22'	58.40'	S35° 34' 42"W	58.38'
C-34	21° 22' 13"	1310.93'	247.35'	488.95'	N43° 39' 47"W	486.12'

PRELIMINARY PLAT  
SOUTHPOINTE PHASE 7A & 7B

58.801 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72  
AND CRESANTO VELA SURVEY ABSTRACT NO. 851  
AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T.  
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

180 RESIDENTIAL LOTS  
7 OPEN SPACE LOTS

May 2023

PREPARED BY



Graham Associates, Inc.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBPE FIRM: F-1191/TBPLS FIRM: 101538-00

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063

OWNER:  
DFWTX DEVELOPMENT, INC.  
7676 WOODWAY, SUITE 104  
HOUSTON, TX 77063  
TEL: (713) 952-6767  
CONTACT: GARY R TESCH, PRESIDENT  
EMAIL: GTESCH@MHINC.COM

ENGINEER:  
GRAHAM ASSOCIATES, INC.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
ARLINGTON, TEXAS 76011  
TEL: (817) 640-8535  
FAX: (817) 633-5240  
INFORMATION@GRAHAMCIVIL.COM

SD#23-013

SHEET 6 OF 6





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5425

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Consent

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

Final Plat of Southpointe Phase 7A on 29.05 Acres Generally Located on the East Side of South U.S. 287, Approximately 1,800 Feet South of Lone Star Road and Approximately 1,050 Feet West of Julian Feild Street by DFCTX Development, Inc., Owner/Developer, and Graham Associates, Inc., Surveyor/Engineer (SD#23-014)

**Requested Action**

To consider the subject plat.

**Recommendation**

Staff recommends approval.

**Description/History**

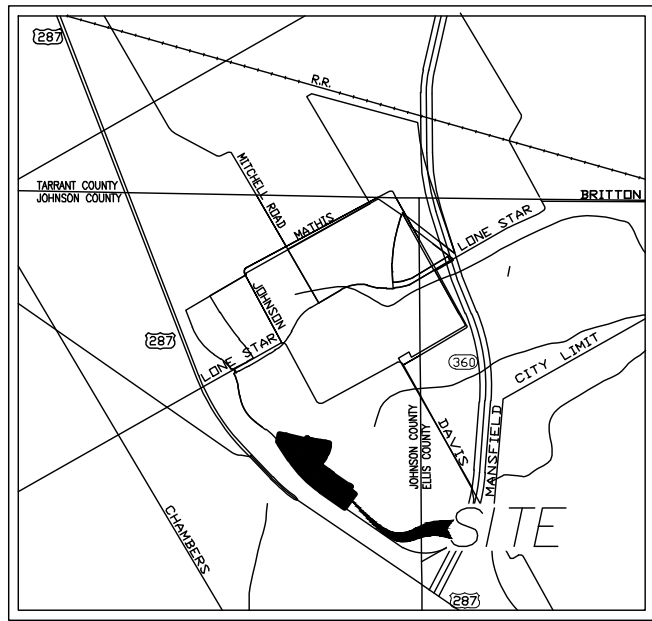
The purpose of this plat is to create 80 residential lots and 4 open space lots. The plat conforms to the approved preliminary plat shown in the previous case, Agenda Item 23-5424.

Although the digital copy of the plat in the Commission's packet has no signatures, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

**Attachments**

Final Plat





VICINITY MAP  
(NOT TO SCALE)

NOTES:

1. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FEMA DESIGNATED FLOODPLAIN OR FLOOD PRONE AREA, ACCORDING TO JOHNSON COUNTY FLOOD INSURANCE RATE MAP No. 48251C0125J, WITH AN EFFECTIVE DATE OF DECEMBER 4, 2012.
2. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
3. ALL PROPERTY CORNERS SHALL BE MONUMENTED WITH 1/2 INCH IRON ROD SET WITH A CAP STAMPED "GAI" UNLESS OTHERWISE SHOWN HEREON.
4. THE BEARINGS SHOWN HEREON ARE CREATED FROM ACTUAL FIELD SURVEYS, RELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (1983-2011) GRID BEARINGS.
5. A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, INCLUDING THE "X" LOTS NOT DESIGNATED AS PUBLIC PARK LAND, SCREENING WALLS AND FENCES, ENTRY FEATURES, ANY LANDSCAPING IN PUBLIC RIGHT-OF-WAY (INCLUDING STREET TREES), MEDIANS, AND LANDSCAPE BUFFERS.
6. "X" LOTS WITHIN EACH BLOCK SHALL BE DESIGNATED AS A UTILITY EASEMENT, DRAINAGE EASEMENT, AND ARE NON-BUILDABLE LOTS.
7. NO TREES, BUSHES, WALLS, SIGNS OR ANYTHING OVER 2' IS ALLOWED WITHIN THE VISIBILITY EASEMENTS.
8. FLOODPLAIN PER HYDROLOGIC & HYDRAULIC ANALYSIS FOR A PORTION OF AN UN-NAMED TRIBUTARY TO JOE POOL LAKE PREPARED BY GRAHAM ASSOCIATES, INC.
9. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 IS FOR THE USE OF THE GAS WELL OPERATOR OF THE WALKING T/EAGLE FORD DRILL SITES. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
10. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 SHALL BE MAINTAINED BY THE GAS WELL OPERATOR.

LEGEND

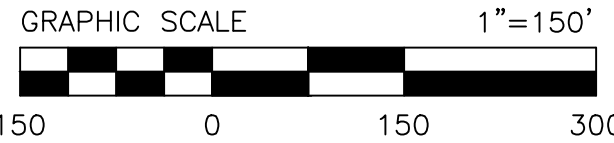
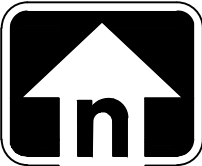
FIR = FOUND 1/2 INCH IRON ROD WITH A CAP STAMPED "GRAHAM ASSOC INC"

BLOCK 13 = BLOCK NUMBERS

15 = LOT NUMBERS

1X = "X" LOT

↓ = STREET NAME CHANGE



PLAT FILED \_\_\_\_\_, 20\_\_

INSTRUMENT#: \_\_\_\_\_ - \_\_\_\_\_

DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_

APRIL LONG, JOHNSON COUNTY CLERK

BY \_\_\_\_\_ DEPUTY CLERK

FINAL PLAT  
SOUTHPOINTE PHASE 7A

29.05 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72  
AND CRESANTO VELA SURVEY ABSTRACT NO. 851  
AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T.  
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

80 RESIDENTIAL LOTS  
4 OPEN SPACE LOTS

JUNE 2023

PREPARED BY



Graham Associates, Inc.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBP# FIRM: F-11917BPLS FIRM: 101538-00

SD#23-014

SHEET 1 OF 4

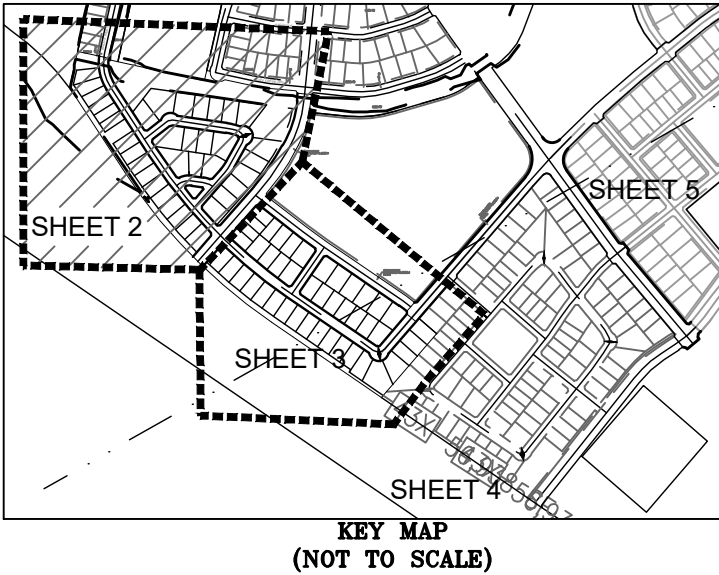
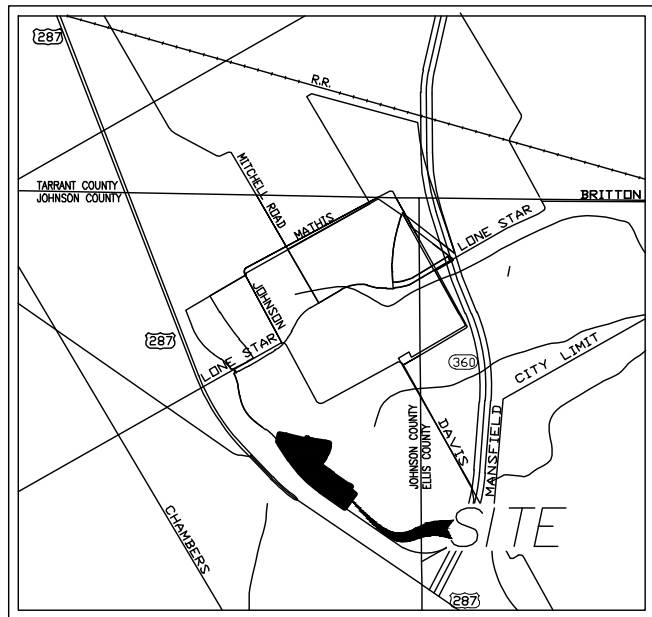
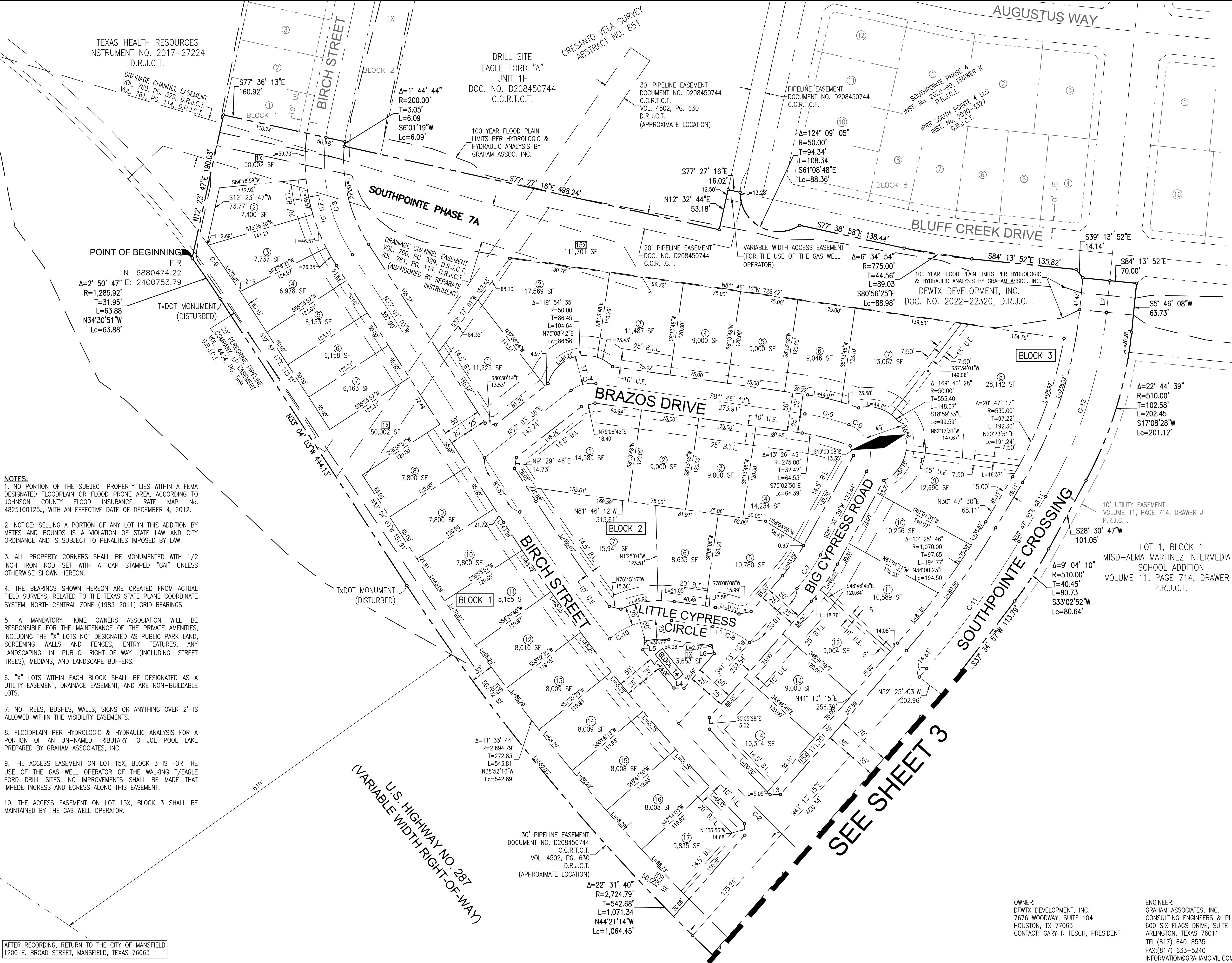
SHEET 2

SHEET 3

LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10,  
BLOCK 3 ARE LOCATED WITHIN 300 FEET OF AN  
APPROVED GAS WELL DRILL SITE.

OWNER:  
DFWTX DEVELOPMENT, INC.  
7676 WOODWAY, SUITE 104  
HOUSTON, TX 77063  
CONTACT: GARY R TESCH, PRESIDENT

ENGINEER:  
GRAHAM ASSOCIATES, INC.  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011  
TEL: (817) 640-8535  
FAX: (817) 633-5240  
INFORMATION@GRAHAMCIVIL.COM

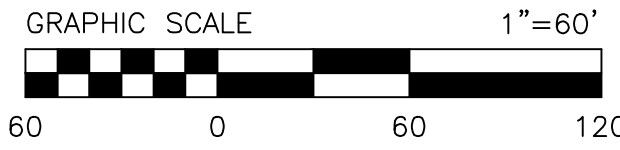


LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10, BLOCK 3 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

- NOTES:**
1. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FEMA DESIGNATED FLOODPLAIN OR FLOOD PRONE AREA, ACCORDING TO JOHNSON COUNTY FLOOD INSURANCE RATE MAP NO. 48251C0125J, WITH AN EFFECTIVE DATE OF DECEMBER 4, 2012.
  2. NOTICE: SELLING A PORTION OF ANY LOT IN THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF STATE LAW AND CITY ORDINANCE AND IS SUBJECT TO PENALTIES IMPOSED BY LAW.
  3. ALL PROPERTY CORNERS SHALL BE MONUMENTED WITH 1/2 INCH IRON ROD SET WITH A CAP STAMPED "GAI" UNLESS OTHERWISE SHOWN HEREON.
  4. THE BEARINGS SHOWN HEREON ARE CREATED FROM ACTUAL FIELD SURVEYS, RELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (1983-2011) GRID BEARINGS.
  5. A MANDATORY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, INCLUDING THE "X" LOTS NOT DESIGNATED AS PUBLIC PARK LAND, SCREENING WALLS AND FENCES, ENTRY FEATURES, ANY LANDSCAPING IN PUBLIC RIGHT-OF-WAY (INCLUDING STREET TREES), MEDIANS, AND LANDSCAPE BUFFERS.
  6. "X" LOTS WITHIN EACH BLOCK SHALL BE DESIGNATED AS A UTILITY EASEMENT, DRAINAGE EASEMENT, AND ARE NON-BUILDABLE LOTS.
  7. NO TREES, BUSHES, WALLS, SIGNS OR ANYTHING OVER 2' IS ALLOWED WITHIN THE VISIBILITY EASEMENTS.
  8. FLOODPLAIN PER HYDROLOGIC & HYDRAULIC ANALYSIS FOR A PORTION OF AN UN-NAMED TRIBUTARY TO JOE POOL LAKE PREPARED BY GRAHAM ASSOCIATES, INC.
  9. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 IS FOR THE USE OF THE GAS WELL OPERATOR OF THE WALKING T/EAGLE FORD DRILL SITES. NO IMPROVEMENTS SHALL BE MADE THAT IMPEDE INGRESS AND EGRESS ALONG THIS EASEMENT.
  10. THE ACCESS EASEMENT ON LOT 15X, BLOCK 3 SHALL BE MAINTAINED BY THE GAS WELL OPERATOR.

**LEGEND**  
FIR = FOUND 1/2 INCH IRON ROD WITH A CAP STAMPED "GRAHAM ASSOC INC"  
C.C.R.T.C.T. = COUNTY CLERK RECORDS, TARRANT COUNTY, TEXAS  
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS  
C.C.R.J.C.T. = COUNTY CLERK RECORDS, JOHNSON COUNTY, TEXAS  
C.C.R.E.C.T. = COUNTY CLERK RECORDS, ELLIS COUNTY, TEXAS  
D.R.J.C.T. = DEED RECORDS, JOHNSON COUNTY, TEXAS  
D.R.E.C.T. = DEED RECORDS, ELLIS COUNTY, TEXAS  
B.L. = BUILD TO LINE  
U.E. = UTILITY EASEMENT

- BLOCK 13** = BLOCK NUMBERS  
⑮ = LOT NUMBERS  
1X = "X" LOT  
= STREET NAME CHANGE



PLAT FILED \_\_\_\_\_, 20\_\_\_\_  
INSTRUMENT#: \_\_\_\_\_ - \_\_\_\_\_  
DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_  
APRIL LONG, JOHNSON COUNTY CLERK  
BY \_\_\_\_\_ DEPUTY CLERK

## FINAL PLAT SOUTHPOINTE PHASE 7A

29.05 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72  
AND CRESANTO VELA SURVEY ABSTRACT NO. 851  
AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T.  
CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS  
80 RESIDENTIAL LOTS  
4 OPEN SPACE LOTS  
JUNE 2023  
PREPARED BY



**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
600 SIX FLAGS DRIVE, SUITE 500  
ARLINGTON, TEXAS 76011 (817) 640-8535  
TBP# FIRM: F-1191/TBP#S FIRM: 101538-00

OWNER:  
DFWTX DEVELOPMENT, INC.  
7676 WOODWAY, SUITE 104  
HOUSTON, TX 77063  
CONTACT: GARY R TESCH, PRESIDENT

ENGINEER:  
GRAHAM ASSOCIATES, INC.  
CONSULTING ENGINEERS & PLANNERS  
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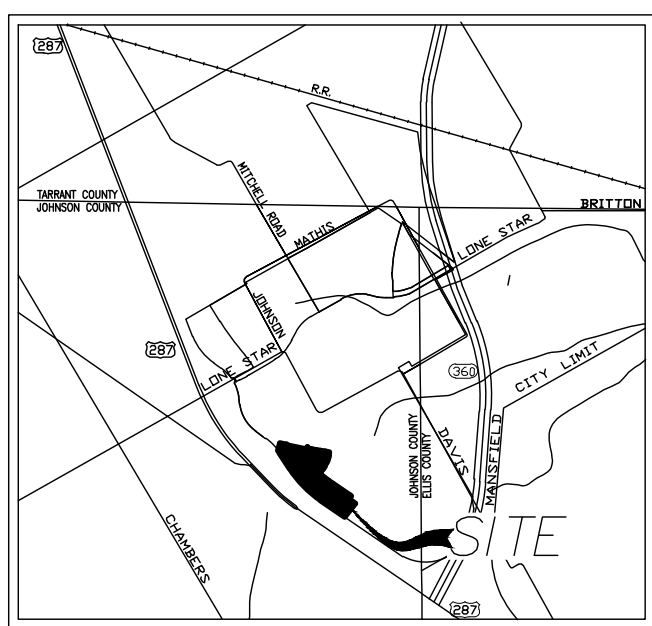
SD#23-014

SHEET 2 OF 4

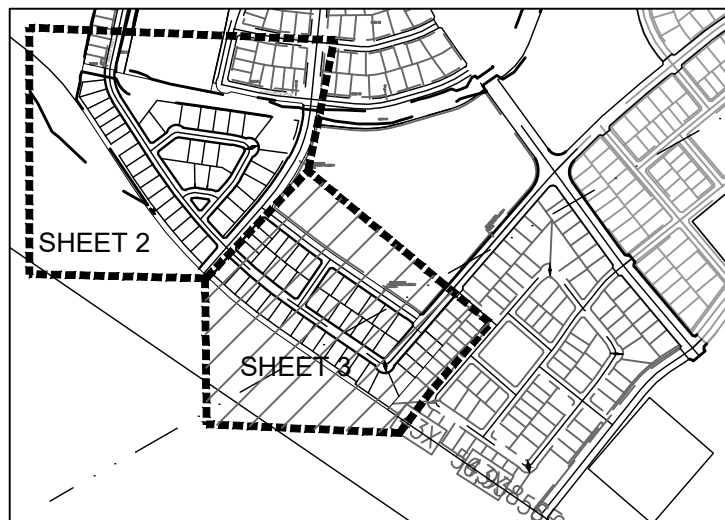
AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063



- NOTES:**
1. NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A FEMA DESIGNATED FLOODPLAIN OR FLOOD PRONE AREA, ACCORDING TO JOHNSON COUNTY FLOOD INSURANCE RATE MAP No. 48251C0125J, WITH AN EFFECTIVE DATE OF DECEMBER 4, 2012.
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VICINITY MAP  
(NOT TO SCALE)



KEY MAP  
(NOT TO SCALE)

**LEGEND**

FIR = FOUND 1/2 INCH IRON ROD WITH A CAP STAMPED "GRAHAM ASSOC INC"  
C.C.R.T.C.T. = COUNTY CLERK RECORDS, TARRANT COUNTY, TEXAS  
O.P.R.T.C.T. = OFFICIAL PUBLIC RECORDS, TARRANT COUNTY, TEXAS  
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P.R.J.C.T. = PLAT RECORDS, JOHNSON COUNTY, TEXAS  
D.R.E.C.T. = DEED RECORDS, ELLIS COUNTY, TEXAS  
B.T.L. = BUILD TO LINE  
U.E. = UTILITY EASEMENT

**BLOCK 13** = BLOCK NUMBERS

**15** = LOT NUMBERS

**1X** = "X" LOT

= STREET NAME CHANGE

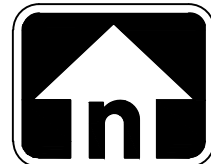
PLAT FILED \_\_\_\_\_, 20\_\_

INSTRUMENT#: \_\_\_\_\_

DRAWER \_\_\_\_\_ SLIDE \_\_\_\_\_

APRIL LONG, JOHNSON COUNTY CLERK

BY \_\_\_\_\_ DEPUTY CLERK



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SOUTHPOINTE PHASE 7A**

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80 RESIDENTIAL LOTS  
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JUNE 2023

PREPARED BY



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600 SIX FLAGS DRIVE, SUITE 600  
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TBP# FIRM: F-11917/BPL# FIRM: 101538-00

OWNER:  
DPWIX DEVELOPMENT, INC.  
7676 WOODWAY, SUITE 104  
HOUSTON, TX 77063  
CONTACT: GARY R TESCH, PRESIDENT

ENGINEER:  
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SD#23-014

SHEET 3 OF 4

AFTER RECORDING, RETURN TO THE CITY OF MANSFIELD  
1200 E. BROAD STREET, MANSFIELD, TEXAS 76063

LEGAL DESCRIPTION

WHEREAS, DFWTX DEVELOPMENT, INC., acting by and through the undersigned, it's duly authorized agent, is the sole owner of an 29.05 acre tract of land located in the Seth M. Blair Survey Abstract No. 72 and Cresanto Vela Survey Abstract No. 851, City of Mansfield, Johnson County, and recorded in Instrument No. 2022-22320, Deed Records, Johnson County, Texas, being more particularly described as follows:

BEGINNING at a found 1/2 inch iron rod with a cap stamped "GRAHAM ASSOC INC" (GAI), being in the existing public east right-of-way line of U.S. Highway No. 287 (having a Variable Width Right-Of-Way) and being in the west line of said 2021 South Pointe Holdings LTD. tract and being the south corner of a tract of land conveyed to Texas Health Resources as recorded in Instrument No. 2017-27224, Deed Records, Johnson County, Texas;

THENCE North 12°23'47" East, along the southeast line of said Texas Health Resources tract, a distance of 190.03 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of Lot 1, Block 1, Southpointe Phase 4, as recorded in Instrument No. 2020-99, Drawer K, Plat Records, Johnson County, Texas;

THENCE South 77°36'13" East, leaving said southeast line, along the south line of said Southpointe Phase 4, a distance of 160.92 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the west line of Lot 1X, Block 2, of said Southpointe Phase 4, for the beginning of a non-tangent curve to the left having a radius of 200.00 feet, a central angle of 1°44'44", and a long chord which bears South 06°01'19" West, 6.09 feet;

THENCE along said non-tangent curve to the left, along said west line and continuing along said south line, an arc length of 6.09 feet to a set 1/2 inch iron rod with a "GAI" cap, being the southwest corner of said Lot 1X;

THENCE South 77°27'16" East, continuing along said south line, a distance of 498.24 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 12°32'44" East, a distance of 53.18 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the south line of Lot 1X, Block 20, of said Southpointe Phase 4;

THENCE South 77°27'16" East, along the south line of said Lot 1X, Block 20, a distance of 16.02 feet to a set 1/2 inch iron rod with a "GAI" cap, being in the existing south right-of-way line of Bluff Creek Drive (being a 50 foot right-of-way), for the beginning of a non-tangent curve to the left having a radius of 50.00 feet, a central angle of 124°09'05", and a long chord which bears South 61°08'48" East, 88.36 feet;

THENCE along said non-tangent curve to the left, along said existing south right-of-way line and the south line of said Southpointe Phase 4, being a common line, an arc length of 108.34 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 77°38'58" East, continuing along said common line, a distance of 138.44 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 775.00 feet, a central angle of 6°34'54", and a long chord which bears South 80°56'25" East, 88.98 feet;

THENCE along said tangent curve to the left, an arc length of 89.03 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 84°13'52" East, a distance of 135.82 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 39°13'52" East, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 84°13'52" East, a distance of 70.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 05°46'08" West, leaving said common line, a distance of 63.73 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 510.00 feet, a central angle of 22°44'39", and a long chord which bears South 17°08'28" West, 201.12 feet;

THENCE along said tangent curve to the right, an arc length of 26.28 feet passing the northwest corner of Lot 1, Block 1, MISD-ALMA MARTINEZ INTERMEDIATE SCHOOL ADDITION, as recorded in Volume 11, Page 714, Drawer J, Plat Records, Johnson County, Texas, continuing on for a total arc length of 202.45 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 28°30'47" West, along the common line of said Lot 1 and said 2021 South Pointe Holdings LTD. Tract, a distance of 101.05 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 510.00 feet, a central angle of 9°04'10", and a long chord which bears South 33°02'52" West, 80.64 feet;

THENCE along said tangent curve to the right, and continuing along said common line, an arc length of 80.73 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 37°34'57" West, a distance of 113.79 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 07°25'03" East, a distance of 14.14 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 52°25'03" East, a distance of 254.73 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the left having a radius of 2,229.79 feet, a central angle of 3°10'44", and a long chord which bears South 54°00'25" East, 123.70 feet;

THENCE along said tangent curve to the left, an arc length of 123.71 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 55°35'47" East, a distance of 487.43 feet to a set 1/2 inch iron rod with a "GAI" cap, for the beginning of a tangent curve to the right having a radius of 580.00 feet, a central angle of 05°23'47", and a long chord which bears South 52°53'25" East, 54.61 feet;

THENCE South 40°48'35" West, leaving said common line, a distance of 60.01 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 06°00'14" East, a distance of 13.74 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 49°07'16" East, a distance of 60.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE North 40°52'44" East, a distance of 23.80 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 49°07'16" East, a distance of 120.00 feet to a set 1/2 inch iron rod with a "GAI" cap;

THENCE South 40°52'44" West, a distance of 428.44 feet to a set 1/2 inch iron rod with a "GAI" cap, being in said east right-of-way line;

THENCE North 55°35'47" West, along said east right-of-way line, a distance of 676.41 feet to a TxDOT Monument (Disturbed), for the beginning of a tangent curve to the right having a radius of 2,724.79 feet, a central angle of 22°31'40", and a long chord which bears North 44°21'14" West, 1,064.45 feet;

THENCE along said tangent curve to the right and continuing along said east right-of-way line, an arc length of 1,071.34 feet to a TxDOT Monument (Disturbed);

THENCE North 33°04'03" West, a distance of 444.13 feet to a TxDOT Monument (Disturbed), for the beginning of a tangent curve to the left having a radius of 1,285.92 feet, a central angle of 2°50'47", and a long chord which bears North 34°30'51" West, 63.88 feet;

THENCE along said tangent curve to the left, an arc length of 63.88 feet to the POINT OF BEGINNING and CONTAINING 1,265,565 square feet, 29.05 acres of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, DFWTX DEVELOPMENT, INC., being the sole owner of the above described parcel, acting by and through the undersigned, it's duly authorized agent, does hereby adopt the herein above described property as Southpointe Phase 7A, an addition to the City of Mansfield, Johnson County, Texas and does dedicate to the public use the streets and easements as shown thereon.

DFWTX DEVELOPMENT, INC.,

GARY R TESCH, PRESIDENT

STATE OF \_\_\_\_\_:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared \_\_\_\_\_ know to me the person whose name is subscribed to the forgoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

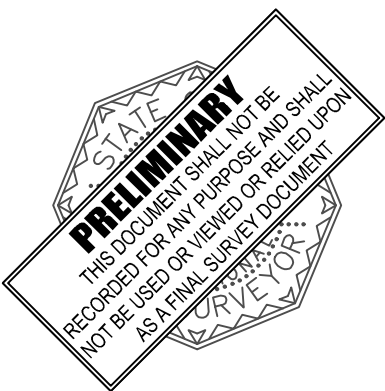
Notary Public in and for the State of Texas

My commission expires \_\_\_\_\_

SURVEYOR'S CERTIFICATE

This is to certify that I, MICHAEL L. PETERSON, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

MICHAEL L. PETERSON  
Texas Registration No. 5999



STATE OF TEXAS:  
COUNTY OF TARRANT:

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared MICHAEL L. PETERSON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the same in and for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

Notary Public in and for the State of Texas

My commission expires \_\_\_\_\_

APPROVED BY THE CITY OF MANSFIELD

20  
APPROVED BY: P & Z COMMISSION CHAIRMAN

20  
ATTEST: PLANNING & ZONING SECRETARY

LOTS 2-7, BLOCK 1; LOTS 1-4, BLOCK 2; LOTS 1-10, BLOCK 3 ARE LOCATED WITHIN 300 FEET OF AN APPROVED GAS WELL DRILL SITE.

CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

Parcel Line Table		
LINE #	LENGTH	DIRECTION
L1	54.06'	N81° 46' 12"W
L2	41.47'	N5° 46' 08"E
L3	13.57'	N88° 28' 45"E
L4	13.02'	S89° 24' 13"E
L5	11.57'	S16° 14' 57"W
L6	10.39'	N17° 25' 34"W

CURVE TABLE						
CURVE #	Δ	RADIUS	TANGENT	LENGTH	LCB	LCD
C-1	83° 31' 29"	42.50'	37.95'	61.96'	S82° 38' 29"W	56.61'
C-2	22° 31' 44"	2545.00'	506.90'	1000.70'	N44° 19' 55"W	994.26'
C-3	40° 34' 30"	225.00'	83.17'	159.34'	N12° 46' 48"W	156.03'
C-4	46° 10' 12"	42.50'	18.11'	34.25'	N75° 08' 42"E	33.33'
C-5	11° 14' 41"	300.00'	29.53'	58.88'	S76° 08' 51"E	58.78'
C-6	99° 30' 00"	42.50'	50.20'	73.81'	S20° 46' 31"E	64.87'
C-7	12° 14' 46"	250.00'	26.82'	53.43'	S35° 05' 52"W	53.33'
C-8	30° 08' 54"	100.00'	26.93'	52.62'	N66° 41' 45"W	52.01'
C-9	21° 22' 13"	1310.93'	247.35'	488.95'	N43° 39' 47"W	486.12'
C-10	49° 21' 07"	100.00'	45.94'	86.14'	S73° 33' 15"W	83.50'
C-11	10° 25' 46"	1120.00'	102.22'	203.87'	N36° 00' 23"E	203.59'
C-12	25° 01' 22"	580.00'	128.70'	253.30'	N18° 16' 49"E	251.29'
C-13	5° 20' 31"	550.00'	25.66'	51.28'	N52° 55' 03"W	51.26'
C-14	3° 10' 44"	2259.79'	62.71'	125.38'	N54° 00' 25"W	125.36'

PLAT FILED _____,20____
INSTRUMENT#: _____ - _____
DRAWER _____ SLIDE _____
APRIL LONG, JOHNSON COUNTY CLERK
BY _____ DEPUTY CLERK

FINAL PLAT  
SOUTHPOINTE PHASE 7A

29.05 ACRES OUT OF THE SETH M. BLAIR SURVEY ABSTRACT NO. 72 AND CRESANTO VELA SURVEY ABSTRACT NO. 851 AS RECORDED IN DOC. NO. 2022-58, P.R.J.C.T. CITY OF MANSFIELD, JOHNSON COUNTY, TEXAS

80 RESIDENTIAL LOTS  
4 OPEN SPACE LOTS

JUNE 2023

PREPARED BY

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# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5405

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

Public Hearing on a Replat to Create Lots 1R and 2R, Block 1, Mansfield Police Station on 26.512 Acres Located at 1601 Heritage Parkway, 1701 Commerce Drive, and 651 Justice Lane; Brittain and Crawford, LLC, Surveyor; City of Mansfield, Owner (SD#22-046)

**Requested Action**

To consider the subject plat.

**Recommendation**

Staff recommends approval.

**Description/History**

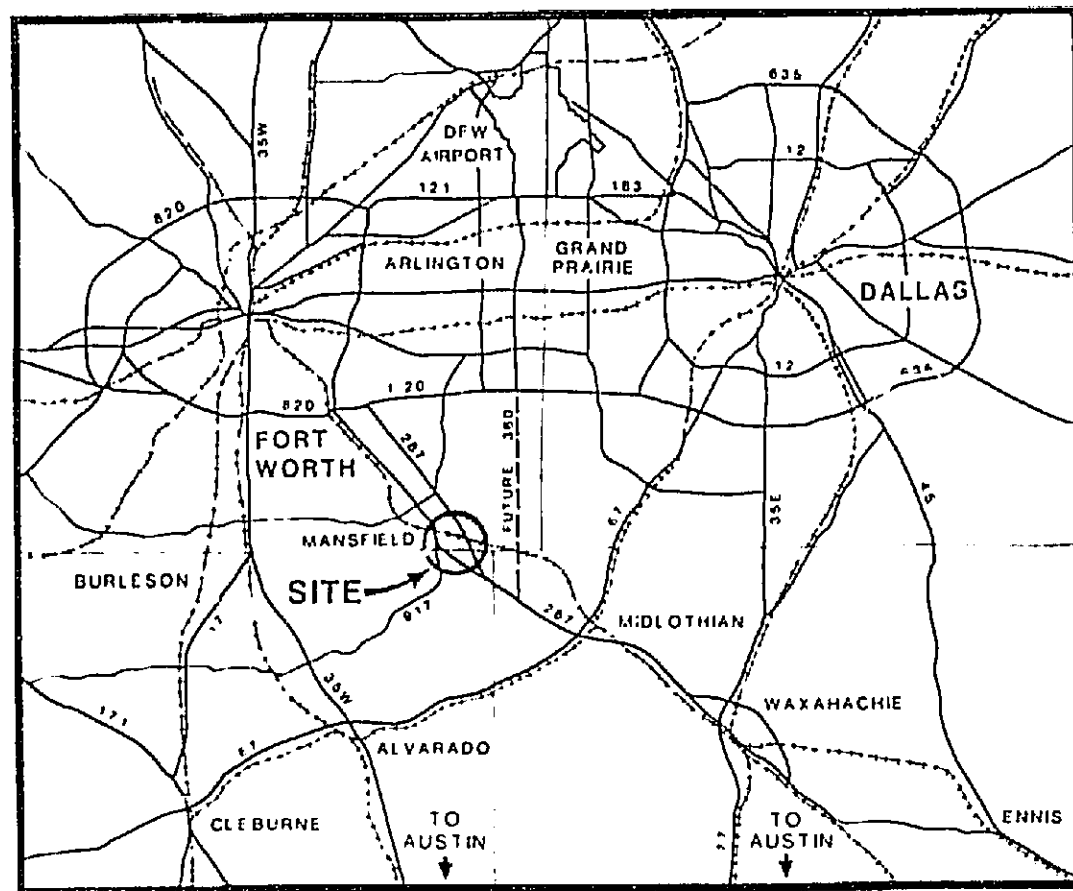
The purpose of the replat is to create two lots. Lot 1R will be used to construct a new Police Department facility; Lot 2R will be used for future development. The plat includes a replat of Lots 1-3, Block A, Hillcrest Business Park, Section One and includes approximately 6.092 acres of unplatted property for a total of 26.512 acres. The property is zoned I-1, Light Industrial District. No right-of-way dedication is required.

Although the digital copy of the plat in the Commission's packet has no signatures, the filing copy has been signed. The plat meets the requirements of the Subdivision Control Ordinance.

**Attachments**

Previously Approved Plat  
Replat





VICINITY MAP

7/11/89  
COUNTY CLERK  
TARRANT COUNTY, TEXAS

NOTE:  
Proposed easement shown hereon outside of dedicated right-of-way or lots shall be dedicated by separate plat or easement instruments. Some variation of final easements may occur from alignments and widths shown hereon.

CURVE TABLE									
NO.	RADIUS	DELTA	ARC	TANGENT	CHORD	BEARING			
50	1000.00	25°45'00"	449.42	228.57	445.65	N 46°53'53"E			
200	945.00	25°45'00"	424.70	216.00	421.14	S 46°53'53"W			
201	1055.00	21°15'05"	391.31	197.93	389.07	N 49°08'51"E			
203	2145.00	23°30'01"	879.79	446.17	873.63	S 71°31'24"W			
204	1310.15	23°52'39"	545.99	277.02	542.05	N 18°39'55"W			
205	1370.15	23°52'39"	571.00	289.70	566.97	S 18°39'55"E			
206	410.00	90°00'00"	644.03	410.00	579.83	N 38°16'24"E			
207	340.00	90°00'00"	534.07	340.00	480.83	S 38°16'24"W			
208	594.84	09°43'18"	100.93	50.59	100.83	S 38°53'02"E			
209	594.84	05°13'22"	54.22	27.13	54.20	N 41°07'59"E			
210	2255.00	23°30'01"	924.90	469.05	918.44	N 71°31'24"E			

TANGENT TABLE		
NO.	DISTANCE	BEARING
1	146.88	S 30°48'04"E
2	703.29	N 55°58'12"W
3	60.09	N 59°33'13"W
4	191.06	N 18°31'11"W
5	502.50	N 30°38'31"W
6	221.48	N 34°01'23"E
7	103.77	N 83°16'24"E
8	245.59	S 30°36'19"E
9	229.73	S 06°43'36"E
10	77.00	N 06°43'36"W
11	152.00	N 56°00'01"W
12	21.21	N 79°01'14"E
13	135.01	N 34°01'23"E
14	58.77	N 83°16'24"E
15	21.21	N 38°16'24"E
16	159.73	N 06°43'36"W
17	245.67	N 30°36'14"W
18	245.50	S 30°35'02"E
19	21.21	S 51°43'36"E
20	435.00	N 06°43'36"W
21	60.00	N 83°16'24"E
22	7.00	N 06°43'36"W
23	27.32	S 21°53'42"E
24	45.21	S 21°54'38"E
25	387.50	N 83°16'24"E
26	154.96	N 18°39'30"E
27	18.88	N 30°40'53"E
28	371.57	S 21°54'11"E
29	206.48	S 34°01'23"W
30	21.21	S 11°58'45"E
31	7.00	S 06°43'36"E
32	159.73	S 06°43'36"E

NOTE:  
ALL FRONT SETBACKS SHALL BE 10'.

WISTERIA STREET

JUSTICE LANE

HERITAGE PARKWAY

THENCE S 38°16'24"E, 534.07 feet along said curve to the left having a radius of 340.00 feet, a central angle of 90°00'00" and a long chord bearing S 38°16'24"W, 480.83 feet to an iron rod at the end of said curve;  
THENCE S 06°43'36"E, 7.00 feet to an iron rod;  
THENCE S 51°43'36"E, 21.21 feet to an iron rod;  
THENCE N 83°16'24"E, 387.50 feet to an iron rod;  
THENCE N 18°39'30"E, 154.96 feet to an iron rod;  
THENCE N 83°16'24"E, 515.00 feet to an iron rod;  
THENCE N 30°40'53"E, 18.88 feet to an iron rod intersecting the West right-of-way line of the aforementioned U.S. Highway No. 287;  
THENCE S 21°54'38"E, 371.57 feet along the West right-of-way line of said U.S. Highway No. 287 to the POINT OF BEGINNING, containing 28.054 acres of which 21.054 acres is street right-of-way dedication.  
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
THAT, STONYBROOKE INC., by and through the undersigned, its duly authorized agent, does hereby adopt this plat designating the hereinabove described real property as LOT 1, BLOCK 'A', HILLCREST BUSINESS PARK, SECTION ONE, an addition to the City of Mansfield, Tarrant County, Texas, and it does hereby dedicate to the public's use the streets, alleys, parks and easements shown thereon.  
WITNESS MY HAND at Hurst, Tarrant County, Texas, this the 10<sup>th</sup> day of July, 1989.  
STONYBROOKE INC.  
HERMAN SMITH, President

PLAT ACREAGE	
Lot 1	= 7.000 Ac.
Right-of-way	= 21.054 Ac.
Total Acreage	= 28.054 Ac.

STATE OF TEXAS  
COUNTY OF TARRANT  
BEFORE ME, the undersigned authority, on this day personally appeared HERMAN SMITH, President, of STONYBROOKE INC., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated, and as the act and deed of said corporation.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 10<sup>th</sup> day of July, 1989.  
Natalie S. Weinberg  
Notary Public, State of Texas  
My Commission Expires: 9/17/90  
Printed Name: Natalie S. Weinberg

SURVEYOR'S CERTIFICATE  
THIS is to certify that I, Ulys Lane III, a Registered Public Surveyor of the State of Texas, have prepared this plat from an actual survey on the ground, and that all lot corners, angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me.  
STATE OF TEXAS  
COUNTY OF TARRANT  
BEFORE ME, the undersigned authority, on this day personally appeared ULYS LANE III, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein stated.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 3<sup>rd</sup> day of April, 1989.  
JOHN L. HENDERSON  
Notary Public, State of Texas  
My Commission Expires: 6-29-92  
Printed Name: JOHN L. HENDERSON

APPROVAL BY PLANNING AND ZONING COMMISSION  
Michael Skinner, CHAIRMAN  
Barbara Ketrick, SECRETARY  
PLANNING AND ZONING COMMISSION  
April 3, 1989

APPROVED BY:  
Sammons Cable T.V.  
TU Electric Company  
Lone Star Gas Company  
Southwestern Bell Telephone Company  
R. A. Robinson  
Loren Winkle  
Luis M. Perry

STATE OF TEXAS  
COUNTY OF TARRANT  
COUNTY OF JOHNSON  
WHEREAS, STONYBROOKE, INC. acting by and through the undersigned, its duly authorized agent, is the sole owner of three tracts of land situated in the D. McQUEEN SURVEY, Abstract No. 1123J, County of Johnson, Texas and D. McQUEEN SURVEY, Abstract No. 1025, J. ROBERTSON SURVEY, Abstract No. 1317, R.A. DAVIS SURVEY, Abstract No. 444, and D. DELAY SURVEY, Abstract No. 421, County of Tarrant, Texas, according to the deeds recorded in Volume 9021, Page 132; Volume 9133, Page 842; and Volume 9133, Page 1249, of the Deed Records of Tarrant County, Texas and more particularly described as follows:  
LEGAL DESCRIPTION  
BEING 28.054 acres of land located in the D. McQUEEN SURVEY, Abstract No. 1025, the J. ROBERTSON SURVEY, Abstract No. 1317, Tarrant County, Texas and the D. McQUEEN SURVEY, Abstract No. 1123J, Johnson County, Texas and being a portion of three tracts of land conveyed to Stonybrooke, Inc. according to the deeds recorded in Volume 9021, Page 132; Volume 9133, Page 842; and Volume 9133, Page 1249, of the Deed Records of Tarrant County, Texas and further described by metes and bounds as follows:  
BEGINNING at an iron rod located in the Westerly right-of-way line of U.S. Highway No. 287 (a 400-foot right-of-way) also being the East boundary line of aforementioned 11.907-acre tract recorded in Volume 9133, Page 1249, Deed Records, Tarrant County, Texas, lying N 21°54'38"W, 172.37 feet from the most Southeast corner of said 11.907-acre Stonybrooke, Inc. tract, said BEGINNING POINT also lying N 83°16'24"E, 687.6 feet from the most Southeast corner of the D. McQUEEN SURVEY, Abstract No. 1025, City of Mansfield, Tarrant County, Texas;  
THENCE N 88°04'38"W, 622.49 feet departing the West right-of-way line of said U.S. Highway No. 287 to an iron rod;  
THENCE S 83°16'24"W, 2360.00 feet to an iron rod and the beginning of a curve to the left;  
THENCE SOUTHWESTERLY, 879.79 feet along said curve to the left having a radius of 2145.00 feet, a central angle of 23°30'01" and a long chord bearing S 71°31'24"W, 873.63 feet to an iron rod at the end of said curve;  
THENCE S 59°46'23"W, 1258.13 feet to an iron rod and the beginning of a curve to the left;  
THENCE SOUTHWESTERLY, 424.70 feet along said curve to the left having a radius of 945.00 feet, a central angle of 25°45'00" and a long chord bearing S 46°53'53"W, 421.14 feet to an iron rod at the end of said curve;  
THENCE S 34°01'23"W, 206.48 feet to an iron rod;  
THENCE S 10°58'46"E, 21.21 feet to an iron rod intersecting the East right-of-way of South Main Street (Loop 496), also being the most Westerly boundary line of the aforementioned 263.04-acre Stonybrooke, Inc. tract recorded in Volume 9021, Page 132, Deed Records, Tarrant County, Texas;  
THENCE N 55°58'54"W, 152.00 feet along the East right-of-way line of said South Main Street (Loop 496) also being the West boundary line of said 263.04-acre Stonybrooke, Inc. tract to an iron rod;  
THENCE N 79°01'14"E, 21.21 feet departing the East right-of-way of said South Main Street (Loop 496) to an iron rod;  
THENCE N 34°01'23"E, 135.01 feet to an iron rod and the beginning of a curve to the right;  
THENCE NORTHEASTERLY, 100.93 feet along said curve to the right having a radius of 594.84 feet, a central angle of 09°43'18" and a long chord bearing N 38°53'02"E, 100.83 feet to an iron rod at the end of said curve and the beginning of a reverse curve to the left;  
THENCE NORTHEASTERLY, 54.22 feet along said curve to the left having a radius of 594.84 feet, a central angle of 05°13'22" and a long chord bearing N 41°07'59"E, 54.20 feet to an iron rod at the end of said curve and the beginning of a reverse curve to the right;  
THENCE NORTHEASTERLY, 391.31 feet along said curve to the right having a radius of 1055.00 feet, a central angle of 21°15'05" and a long chord bearing N 49°08'51"E, 389.07 feet to an iron rod at the end of said curve;  
THENCE N 59°46'23"E, 1258.13 feet to an iron rod and the beginning of a curve to the right;  
THENCE NORTHEASTERLY, 924.90 feet along said curve to the right having a radius of 2255.00 feet, a central angle of 23°30'01" and a long chord bearing N 71°31'24"E, 918.44 feet to an iron rod at the end of said curve;  
THENCE N 83°16'24"E, 58.77 feet to an iron rod;  
THENCE N 38°16'24"E, 21.21 feet to an iron rod;  
THENCE N 06°43'36"W, 159.73 feet to an iron rod and the beginning of a curve to the left;  
THENCE NORTHEASTERLY, 545.99 feet along said curve to the left having a radius of 1310.15 feet, a central angle of 23°52'39" and a long chord bearing N 18°39'55"W, 542.05 feet to an iron rod at the end of said curve;  
THENCE N 30°36'14"W, 245.67 feet to an iron rod;  
THENCE N 59°33'13"E, 60.09 feet to an iron rod;  
THENCE S 30°35'02"E, 245.50 feet to an iron rod and the beginning of a curve to the right;  
THENCE SOUTHEASTERLY, 571.00 feet along said curve to the right, having a radius of 1370.15 feet, a central angle of 23°52'39" and a long chord bearing S 18°39'55"E, 566.97 feet to an iron rod at the end of said curve;  
THENCE S 06°43'36"E, 159.73 feet to an iron rod;  
THENCE S 51°43'36"E, 21.21 feet to an iron rod;  
THENCE N 83°16'24"E, 703.91 feet to an iron rod;  
THENCE N 38°16'24"E, 21.21 feet to an iron rod;  
THENCE N 06°43'36"W, 435.00 feet to an iron rod;  
THENCE N 83°16'24"E, 60.00 feet passing an iron rod in total a distance of 737.85 feet to an iron rod;  
THENCE S 06°43'36"E, 450.00 feet to an iron rod;  
THENCE N 83°16'24"E, 192.15 feet to an iron rod;  
THENCE N 38°16'24"E, 21.21 feet to an iron rod;  
THENCE N 06°43'36"W, 7.00 feet to an iron rod and the beginning of a curve to the right;  
THENCE NORTHEASTERLY, 644.03 feet along said curve to the right having a radius of 410.00 feet, a central angle of 90°00'00" and a long chord bearing N 38°16'24"E, 579.83 feet to an iron rod at the end of said curve;  
THENCE N 83°16'24"E, 580.24 feet to an iron rod intersecting the aforementioned Westerly right-of-way line of U.S. Highway No. 287;  
THENCE S 21°53'42"E, 27.32 feet along the West right-of-way line of U.S. Highway No. 287 to an existing concrete monument;  
THENCE S 21°54'38"E, 45.21 feet continuing along the West right-of-way line of U.S. Highway No. 287 to an iron rod;  
THENCE S 83°16'24"W, 599.23 feet to an iron rod and the beginning of a curve to the left;

FINAL PLAT  
OF  
LOT 1, BLOCK 'A'  
HILLCREST BUSINESS PARK  
SECTION ONE  
INCLUDING RIGHT-OF-WAY DEDICATION  
FOR  
HERITAGE PARKWAY, WISTERIA STREET, COMMERCE DRIVE  
AND JUSTICE LANE  
BEING 28.054 ACRES OF LAND SITUATED IN THE  
D. McQUEEN SURVEY, ABSTRACT No. 1025,  
J. ROBERTSON SURVEY, ABSTRACT No. 1317  
TARRANT COUNTY, TEXAS AND THE D. McQUEEN  
SURVEY, ABSTRACT No. 1123J, CITY OF MANSFIELD,  
JOHNSON COUNTY, TEXAS  
OWNER:  
STONYBROOKE INC.  
500 Grapevine Highway, Suite 400  
Hurst, Texas 76054  
PREPARED BY:  
WIER & ASSOCIATES, INC.  
ENGINEERING SURVEYING LAND PLANNING  
1000 BELLEVUE PLACE SUITE 200 ARLINGTON TEXAS 76010-4077  
3900 SOUTH FREWAY FORT WORTH TEXAS 76104-4077  
Volume 9021, Page 143, D.R.T.C.T.  
Volume 9133, Page 842, D.R.T.C.T.  
Volume 9133, Page 1249, D.R.T.C.T.  
MARCH, 1989  
W.A. 87-036  
89-010

PREVIOUSLY APPROVED PLATS



D191216264

APPROVAL BY PLANNING AND ZONING COMMISSION  
CITY OF MANSFIELD  
PLANNING AND ZONING COMMISSION  
APPROVED BY:  
SAMMONS CABLE T.V.  
TU ELECTRIC  
LONE STAR GAS COMPANY  
SOUTHWESTERN BELL TELEPHONE COMPANY

STATE OF TEXAS  
COUNTY OF TARRANT  
WHEREAS, CITY OF MANSFIELD PROPERTY FINANCE AUTHORITY, INC. AND T. WARREN INVESTMENTS, ACTING BY AND THROUGH THE UNDERSIGNED, THEIR DULY AUTHORIZED AGENTS, ARE THE SOLE OWNERS OF A TRACT OF LAND LOCATED IN THE D. McQUEEN SURVEY, ABSTRACT NO. 1025, TARRANT COUNTY, TEXAS, BEING A PORTION OF THAT CERTAIN 263.0452 ACRE TRACT DESCRIBED IN DEED TO STONYBROOKE, INC., RECORDED IN VOLUME 9021, PAGE 132 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEING 14.230 ACRES OF LAND LOCATED IN THE D. McQUEEN SURVEY, ABSTRACT NO. 1025, CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, BEING A PORTION OF A 263.0452 ACRE TRACT DESCRIBED IN DEED TO STONYBROOKE, INC., RECORDED IN VOLUME 9021, PAGE 132 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS AND MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:  
BEGINNING AT A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF LOT 1, BLOCK A, HILLCREST BUSINESS PARK, SECTION ONE, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, BEING THE NORTHWEST CORNER OF JUSTICE LANE,  
THENCE S 83°16'24"W, 60.00 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHWEST CORNER OF JUSTICE LANE,  
THENCE N 06°43'36"W, 698.67 FEET TO A 1/2" IRON ROD SET,  
THENCE N 83°16'24"E, 863.93 FEET TO A 1/2" IRON ROD SET IN THE EAST BOUNDARY LINE OF SAID STONYBROOKE, INC. 263.0452 ACRE TRACT, BEING THE WEST BOUNDARY LINE OF A 48.130 ACRE TRACT DESCRIBED IN DEED TO A & G, LTD., RECORDED IN VOLUME 7804, PAGE 489 OF THE DEED RECORDS OF TARRANT COUNTY, TEXAS,  
THENCE S 30°19'10"E, 472.78 FEET ALONG THE EAST BOUNDARY LINE OF SAID STONYBROOKE, INC. TRACT AND THE WEST BOUNDARY LINE OF SAID A & G TRACT TO A 1/2" IRON ROD FOUND,  
THENCE S 06°43'36"E, 210.00 FEET TO A 1/2" IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID LOT 1, BLOCK A, HILLCREST BUSINESS PARK, SECTION ONE ADDITION,  
THENCE S 83°16'24"W ALONG THE NORTH LINE OF SAID LOT 1, 617.85 FEET TO THE PLACE OF BEGINNING, CONTAINING 14.230 ACRES (1619,869 SQUARE FEET) OF LAND.  
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
THAT, CITY OF MANSFIELD PROPERTY FINANCE AUTHORITY, INC. AND T. WARREN INVESTMENTS, ACTING BY AND THROUGH THE UNDERSIGNED, THEIR DULY AUTHORIZED AGENTS, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINBOVE DESCRIBED REAL PROPERTY AS LOTS 2 AND 3, BLOCK A, HILLCREST BUSINESS PARK, SECTION ONE, AN ADDITION TO THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, AND DOES HEREBY DEDICATE TO THE PUBLIC THE STREETS, ALLEYS, PARKS AND EASEMENTS SHOWN HEREON.

WITNESS MY HAND AT MANSFIELD, TEXAS THIS 22 DAY OF August, 1991  
CITY OF MANSFIELD PROPERTY FINANCE AUTHORITY, INC.  
CLAYTON W. SHANDLER, PRESIDENT  
WITNESS MY HAND AT MANSFIELD, TEXAS THIS DAY OF 1991  
TOMMY G. WARREN, OWNER

STATE OF TEXAS  
COUNTY OF TARRANT  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CLAYTON W. SHANDLER, PRESIDENT, OF CITY OF MANSFIELD PROPERTY FINANCE AUTHORITY, INC., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED, AND AS THE ACT AND DEED OF SAID CORPORATION.  
JUDY HOWARD  
Notary Public  
STATE OF TEXAS  
My Comm. Exp. 09/17/94  
NOTARY PUBLIC, STATE OF TEXAS

STATE OF TEXAS  
COUNTY OF TARRANT  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TOMMY G. WARREN, OWNER OF T. WARREN INVESTMENTS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED, AND AS THE ACT AND DEED OF SAID CORPORATION.  
JUDY HOWARD  
Notary Public  
STATE OF TEXAS  
My Comm. Exp. 09/17/94  
NOTARY PUBLIC, STATE OF TEXAS

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 13 DAY OF June, 1991.  
JUDY HOWARD  
Notary Public  
STATE OF TEXAS  
My Comm. Exp. 09/17/94  
SURVEYOR'S CERTIFICATE  
THIS IS TO CERTIFY THAT I, ULYS LANE III, A REGISTERED PUBLIC SURVEYOR OF THE STATE OF TEXAS, HAVE PREPARED THIS PLAT FROM AN ACTUAL SURVEY ON THE GROUND, AND THAT ALL LOT CORNERS, ANGLE POINTS, AND POINTS OF CURVE SHALL BE PROPERLY MARKED ON THE GROUND, AND THAT THIS PLAT CORRECTLY REPRESENTS THAT SURVEY MADE BY ME.  
ULYS LANE III, R.P.L.S.  
TEXAS REGISTRATION NO. 2411

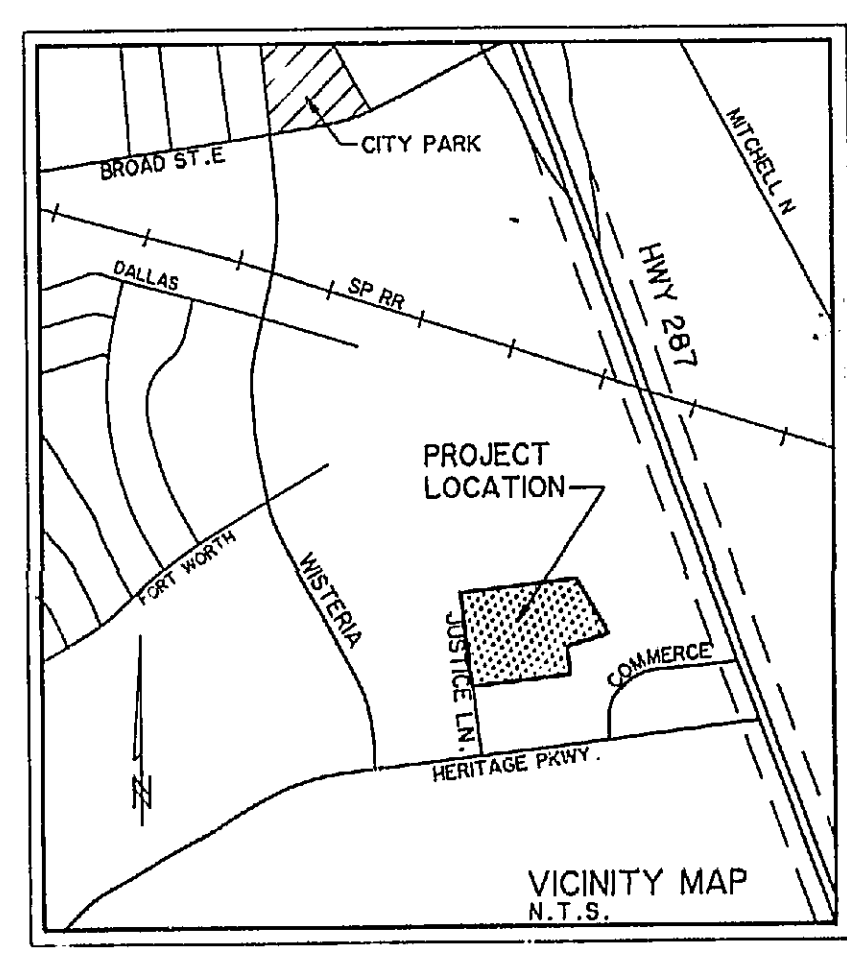
STATE OF TEXAS  
COUNTY OF TARRANT  
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ULYS LANE III, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 7 DAY OF June, 1991.  
JOHN L. HENDERSON  
Notary Public  
STATE OF TEXAS  
My Commission Expires 06-23-1:  
NOTARY PUBLIC, STATE OF TEXAS

FINAL PLAT  
LOT NOS. 2 AND 3, BLOCK 'A'  
HILLCREST BUSINESS PARK  
SECTION ONE

INCLUDING RIGHT-OF-WAY DEDICATION  
FOR  
JUSTICE LANE

AN ADDITION TO THE CITY OF MANSFIELD,  
TARRANT COUNTY, TEXAS  
BEING 14.230 ACRES OF LAND LOCATED IN THE  
D. McQUEEN SURVEY, ABSTRACT NO. 1025,  
TARRANT COUNTY, TEXAS

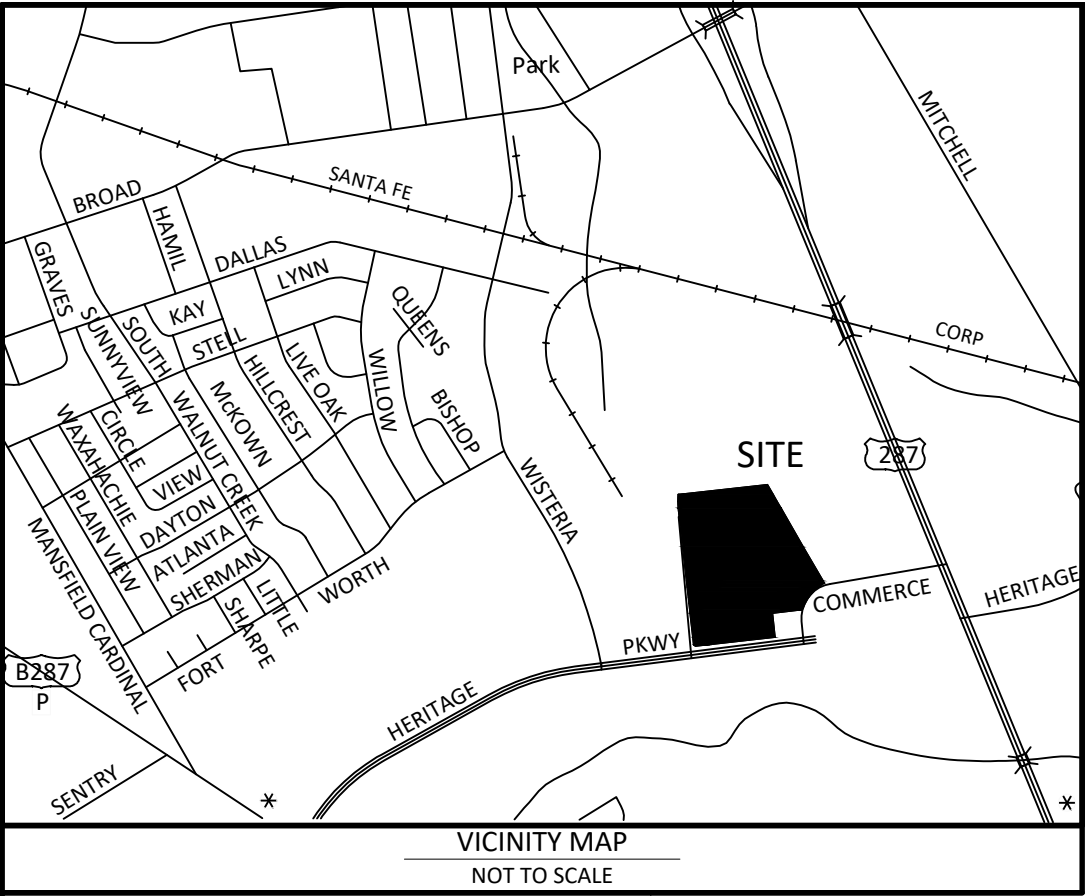
OWNER:  
LOT 3  
T. WARREN INVESTMENTS  
4675 WASHINGTON BOULEVARD  
SUITE E  
BEAUMONT, TEXAS 77707  
(409) 842-3010  
LOT 2  
CITY OF MANSFIELD  
PROPERTY FINANCE AUTHORITY, INC.  
1305 EAST BROAD  
MANSFIELD, TEXAS 76063  
(817) 473-9371  
PREPARED BY:  
WIER & ASSOCIATES, INC.  
ENGINEERS SURVEYORS LAND PLANNERS  
4300 BELLEVUE PLACE SUITE 130 ARLINGTON, TEXAS 76010 (817)467-7700  
3908 SOUTH FREEWAY FORT WORTH, TEXAS 76110 (817)326-0212



PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR LEASE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OF PERSON OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.  
12-17-91  
14:13  
John L. Henderson  
COUNTY CLERK  
TARRANT COUNTY, TEXAS

THIS PLAT FILED IN CABINET A, SLIDE # 919 DATE 12-17-91 MAY 30, 1991 W.A. No. 87-036





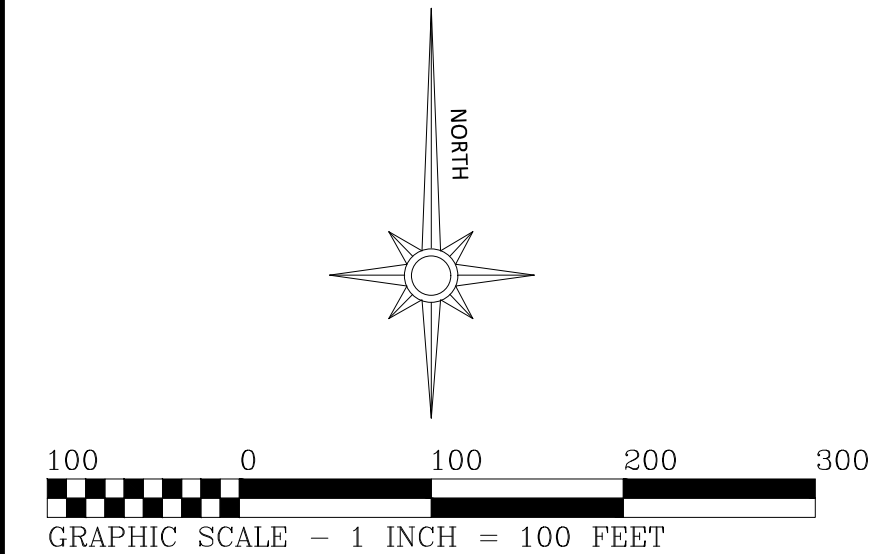
CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE property owners SHALL BE RESPONSIBLE FOR RECOMMENDED OR REQUIRED MAINTENANCE OF ANY PRIVATE STORM WATER FACILITY LOCATED ON THE PROPERTY IN PROPER FUNCTIONING CAPACITY. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR FOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORM WATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.



AFTER RECORDING RETURN TO:

CITY OF MANSFIELD  
1200 E. BROAD STREET  
MANSFIELD, TX 76063

PURPOSED NOTE:  
THE PURPOSE OF THIS PLAT IS TO  
CREATE TWO LOTS.

FLOOD NOTE:  
EXCEPT AS SHOWN, ALL OF THIS PROPERTY LIES  
WITHIN A 100-YEAR FLOOD HAZARD ZONE.  
ACCORDING TO THE NATIONAL FLOOD INSURANCE  
PROGRAM'S FLOOD INSURANCE RATE MAP FOR  
TARRANT COUNTY, TEXAS, AND INCORPORATED  
AREAS, COMMUNITY-PANEL NUMBER 48439C0490 K  
MAP REVISED SEPTEMBER 25, 2009.

NOTE:  
SELLING A PORTION OF ANY LOT IN THIS ADDITION  
BY METES AND BOUNDS IS A VIOLATION OF STATE  
LAW AND CITY ORDINANCE AND IS SUBJECT TO  
PENALTIES IMPOSED BY LAW.

BEARING BASE:  
THE BEARINGS SHOWN HEREON ARE BASED ON THE  
STATE PLANE COORDINATE SYSTEM, TEXAS NORTH  
CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983,  
REALIZATION OF 2011, NO SCALE AND NO PROJECTION

OWNER:  
CITY OF MANSFIELD  
1200 E BROAD STREET  
MANSFIELD, TEXAS 76063

SURVEYOR:  
BRITTAIN & CRAWFORD  
LAND SURVEYING &  
TOPOGRAPHIC MAPPING

TEL (817) 926-0211  
FAX (817) 926-9347  
P.O. BOX 11374 • 3908 SOUTH FREEWAY  
FORT WORTH, TEXAS 76110  
EMAIL: admin@brittain-crawford.com  
WEBSITE: www.brittain-crawford.com

FIRM CERTIFICATION# 1019000

Course	Bearing	Distance	Curve	Radius	Length	Delta	Chord	Chord Bear.
L1	N 83°37'19" E	83.39'	C1	30.00'	19.34'	36°56'44"	19.01'	S 77°54'19" E
L2	S 06°22'41" E	24.00'	C2	30.00'	47.12'	90°00'00"	42.43'	N 38°37'19" E
L3	S 20°24'43" E	25.60'	C3	54.00'	84.82'	90°00'00"	76.37'	N 38°37'19" E
L4	S 06°22'33" E	42.50'	C4	10.00'	15.71'	90°00'00"	14.14'	S 38°37'19" W
L5	N 06°22'33" W	14.20'	C5	54.00'	80.85'	85°47'15"	73.51'	S 38°30'56" W
L6	S 06°22'41" E	14.18'	C6	30.00'	44.92'	85°47'02"	40.84'	S 36°31'03" W
L7	N 06°22'41" W	8.18'	C7	30.00'	7.35'	14°02'10"	7.33'	S 13°23'38" E
L8	N 06°22'36" W	55.49'	C8	30.00'	7.35'	14°02'10"	7.33'	S 13°23'38" E
L9	N 14°13'22" E	23.21'	C9	20.00'	11.18'	32°01'15"	11.03'	S 22°23'10" E
L10	N 06°22'28" W	48.43'	C10	20.00'	11.17'	32°00'02"	11.03'	N 09°37'28" E
L11	S 54°38'01" W	17.50'	C11	20.00'	31.42'	90°00'09"	28.28'	N 51°22'37" W
L12	S 83°37'19" W	75.73'	C12	20.00'	31.42'	90°00'00"	28.28'	S 38°37'19" W
L13	N 04°28'08" E	58.16'	C13	20.15'	11.08'	31°30'39"	10.94'	S 22°19'54" E
L14	S 82°57'43" W	42.17'	C14	20.15'	11.08'	31°29'41"	10.94'	N 09°33'43" E
L15	S 04°33'44" W	45.57'	C15	50.00'	78.54'	90°00'00"	70.71'	N 38°37'19" E
L16	N 83°34'43" E	28.35'	C16	25.00'	39.27'	89°59'51"	35.35'	N 38°37'23" E
L17	N 83°37'19" E	144.15'	C17	30.00'	10.79'	20°35'54"	10.73'	N 03°55'25" E
L18	N 06°22'41" W	18.65'	C18	29.37'	10.79'	21°02'43"	10.73'	N 03°55'20" E
L19	N 66°22'41" W	73.49'	C19	30.00'	47.17'	90°04'46"	42.46'	N 51°24'56" W
L20	N 83°37'19" E	10.00'	C20	30.00'	15.18'	28°59'18"	15.02'	S 69°07'40" W
L21	S 06°22'41" E	73.49'	C21	30.00'	15.18'	28°59'18"	15.02'	S 69°07'40" W
L22	S 06°22'41" E	27.35'	C22	30.00'	19.24'	36°45'05"	18.91'	S 65°14'59" W
L23	N 83°37'19" E	5.06'	C23	30.00'	47.12'	89°59'57"	42.43'	N 51°22'40" W
L24	S 06°22'41" E	26.00'	C24	30.00'	47.12'	90°00'00"	42.43'	N 38°37'19" E
L25	S 83°37'19" W	20.00'	C25	30.00'	47.12'	89°59'57"	42.43'	S 51°22'41" E
L26	N 06°22'41" W	24.70'	C26	30.01'	47.63'	90°56'10"	42.78'	S 38°08'53" W
L27	S 83°37'19" W	149.21'	C27	30.00'	19.31'	36°52'12"	18.97'	N 77°56'36" W
L28	N 83°37'19" E	15.42'	C28	70.25'	40.55'	33°04'33"	39.99'	N 79°50'59" W
L29	N 02°57'44" W	55.24'	C29	36.45'	46.46'	73°01'30"	43.38'	N 26°47'57" W
L30	N 09°10'19" E	22.25'	C30	131.31'	77.34'	33°44'51"	76.23'	N 07°09'38" W
L31	S 68°54'19" E	18.62'	C31	85.85'	25.17'	16°47'56"	25.08'	N 15°38'06" W
L32	N 79°05'02" E	82.18'	C32	24.56'	38.86'	90°39'45"	34.93'	N 38°11'32" E
L33	S 02°57'44" E	46.85'	C33	11.50'	16.54'	82°22'25"	15.15'	S 55°13'37" E
			C34	58.27'	27.01'	26°33'33"	26.77'	S 01°49'35" E
			C35	83.47'	26.11'	17°55'11"	26.00'	S 02°29'36" W
			C36	28.29'	46.91'	95°01'06"	41.72'	S 55°32'02" E
			C37	49.53'	42.39'	49°01'41"	41.10'	S 78°11'58" E
			C38	42.62'	103.99'	139°46'40"	80.05'	S 14°07'35" W
			C39	5.00'	5.24'	60°00'00"	5.00'	N 36°22'41" W
			C40	15.00'	15.71'	60°00'00"	15.00'	S 36°22'41" E
			C41	31.12'	30.87'	56°50'07"	29.62'	N 32°03'24" W
			C42	2.00'	4.20'	120°16'00"	3.47'	N 30°57'41" E
			C43	10.00'	5.44'	31°10'32"	5.37'	S 84°29'35" E
			C44	20.00'	27.17'	77°49'56"	25.13'	S 61°26'51" E
			C45	20.00'	32.82'	90°00'53"	29.26'	S 24°28'33" W
			C46	31.12'	11.50'	21°10'35"	11.44'	S 79°36'36" W

STATE OF TEXAS  
COUNTY OF TARRANT

WHEREAS, the CITY OF MANSFIELD, acting by and through the undersigned, their duly authorized agent, is the sole owner of five tracts of land located in the D. McQUEEN SURVEY, Abstract No. 1025, City of Mansfield, Tarrant County, Texas, including all of Lots 1, 2 & 3, Block A, Hillcrest Business Park, Section One, according to the plats recorded in Cabinet A, Slide 164; and Cabinet A, Slide 919, of the Plat Records of Tarrant County, Texas. Said City of Mansfield ownership is reflected in the deeds recorded in Volume 13536, Page 57, and Instrument No. D213306258, D217285025, and D213260002, of the Deed Records of Tarrant County, Texas. The foregoing tracts of land contain a total of 26.512 acres of land, and being more particularly described as follows:

LEGAL DESCRIPTION

BEING 26.512 acres of land located in the D. McQUEEN SURVEY, Abstract No. 1025, City of Mansfield, Tarrant County, Texas, and containing all of Lots 1, 2 & 3, Block A, Hillcrest Business Park, Section One, an addition to the City of Mansfield, Tarrant County, Texas, according to the plats recorded in Cabinet A, Slide 164, and Cabinet A, Slide 919, of the Plat Records of Tarrant County, Texas, and all of the tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas, and a portion of the tract of land conveyed to the City of Mansfield, by the deed recorded in County Clerk's File No. D213260002, of the Deed Records of Tarrant County, Texas. Said 26.512 acres of land being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found at the most Westerly Southwest corner of aforesaid Lot 1, Block A, Hillcrest Business Park, Section One, being the intersection of the North right-of-way line of said Justice Lane and the West boundary line of said East right-of-way line of Justice Lane (a 60 foot wide public right-of-way);

THENCE N 06°22'11" W 1133.39 feet, along the East right-of-way line of said Justice Lane and the West boundary line of said Lots 1, 2 and 3, Hillcrest Business Park, Section One, to a 1/2" iron rod found at the Northwest corner of said Lot 3;

THENCE S 83°36'50" W 60.00 feet, crossing the North terminus of the right-of-way of said Justice Lane, to a 1/2" iron rod found in the West right-of-way line of said Justice Lane, lying in the East boundary line of Lot 1, Block B, of aforesaid Hillcrest Business Park, Section One, recorded in Cabinet A, Slide 1088, of the Plat Records of Tarrant County, Texas;

THENCE NORTHERLY 113.01 feet, along the East boundary line of said Lot 1, Block B, with a curve to the right, having a radius of 680.00 feet, a central angle of 09°31'20", and a chord bearing N 01°39'48" W 112.88 feet, to a 1/2" iron rod marked "Brittain & Crawford" set;

THENCE N 83°36'50" E 805.69 feet, crossing the aforesaid tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D213260002, of the Deed Records of Tarrant County, Texas, to a 1/2" iron rod marked "Brittain & Crawford" set;

THENCE S 29°55'38" E 595.47 feet, along the Northeast boundary line of aforesaid Lot 3, Block A, Hillcrest Business Park, Section One, to a 1/2" iron rod found at the Southeast corner of said Lot 3, lying at the Northeast corner of the tract of land conveyed to the City of Mansfield, by the deed recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas;

THENCE along the Northeast boundary line of said City of Mansfield Tract, as follows:

- S 30°02'44" E 323.14 feet, to a 1/2" iron rod found;
- S 28°18'29" E 23.16 feet, to a 1/2" iron rod found in the North right-of-way line of Commerce Drive (a 70 foot wide public right-of-way);

THENCE SOUTHWESTERLY 291.82 feet, along the Northwest right-of-way line of said Commerce Drive, with a curve to the left, having a radius of 410.00 feet, a central angle of 40°46'51", and a chord bearing S 39°38'50" W 285.70 feet, to a 1/2" iron rod found at the Southeast corner of aforesaid City of Mansfield Tract, recorded in Instrument No. D217285025, of the Deed Records of Tarrant County, Texas, also being the Northeast corner of the tract of land conveyed to Bobby Davis, by the deed recorded in Instrument No. D207098336, of the Deed Records of Tarrant County, Texas;

THENCE S 83°36'54" W 247.94 feet, along the North boundary line of said Davis Tract, to a 1/2" iron rod found at the Northwest corner of said Davis Tract, lying in the East boundary line of aforesaid Lot 1, Block A, Hillcrest Business Park, Section One;

THENCE S 06°22'13" E 199.42 feet, along the East boundary line of said Lot 1, Block A, to a 1/2" iron rod marked "Brittain & Crawford" set at the Southeast corner of said Lot 1, lying in the North right-of-way line of aforesaid Heritage Parkway;

THENCE along the South boundary line of said Lot 1, Block A, Hillcrest Business Park, Section One and the North right-of-way line of said Heritage Parkway, as follows:

- S 83°38'03" W 662.85 feet, to a 1/2" iron rod marked "Brittain & Crawford" set;
- N 51°21'57" W 21.21 feet, to the POINT OF BEGINNING containing 26.512 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, the CITY OF MANSFIELD, being the sole owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby add to the herein above described property as **LOTS 1R & 2R, BLOCK 1, MANSFIELD POLICE STATION**, an addition to the City of Mansfield, Tarrant County, Texas, and does dedicate to the public use the streets and easements as shown thereon.

WITNESS MY HAND at Mansfield, Tarrant County, Texas, this \_\_\_\_ day of \_\_\_\_\_, 2023.

CITY OF MANSFIELD

By:  
Title:

STATE OF TEXAS  
COUNTY OF TARRANT

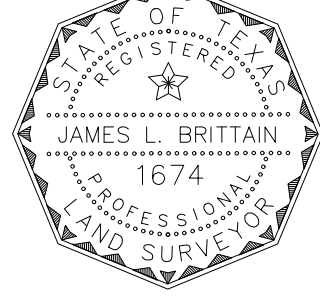
BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas

STATE OF TEXAS  
COUNTY OF TARRANT

THIS is to certify that I, JAMES L. BRITTAIN, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction or supervision.



REPLAT

LOT 1R AND 2R, BLOCK 1  
MANSFIELD POLICE STATION

BEING A REVISION OF LOT 1, BLOCK A, HILLCREST BUSINESS PARK  
ACCORDING TO THE PLAT FILED IN CABINET A, SLIDE 164, P.R.T.C.T.  
AND BEING A REVISION OF LOT 2 AND 3, BLOCK A, HILLCREST BUSINESS PARK,  
ACCORDING TO THE PLAT FILED IN CABINET A, SLIDE 919  
AND 6.092 ACRES IN THE D. McQUEEN SURVEY, ABSTRACT No. 1025,  
MANSFIELD, TARRANT COUNTY, TEXAS.

2 LOTS, 26.512 ACRES

PREPARED: JULY 2022

SD#22-046





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5404

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

**Title**

Public hearing on a Change of Zoning from PD, Planned Development District to S, South Mansfield Form-Based Development District on Approximately 79.41 acres out of the S. M. Blair Survey, Abstract Number 72, Johnson County, TX, and the C. Vela Survey, Abstract Number 1102, S. M. Blair Survey, Abstract Number 135, Ellis County, TX, City of Mansfield, Johnson and Ellis Counties, Texas on property generally located north of the intersection of S US 287 and S SH 360 (see location map); IPRR South Pointe-9, LLC and Ruby 07 SPMTGE LLC, Owners; TBG Partners, Applicant (ZC#23-010)

**Recommendation**

The Department of Planning and Development Services recommends approval.

**Description/History**

*Existing Use:* Vacant

*Existing Zoning:* PD, Planned Development District for Southpointe MU, Mixed Use Sub-district

*Land Use Plan:* Sub-Area 7

*Surrounding Land Use & Zoning:*

North - Single-family residential, PD, Planned Development District

South - PD, Planned Development District for Somerset and U.S. Highway 287

East - Vacant, C-2, Community Business District and State Highway 360

West - Vacant Single-family residential, PD, Planned Development District for Southpointe

*Thoroughfare Plan Specification:*

State Highway 360 - Frontage Road and Freeway

US Highway 287 - Frontage Road and Freeway

**Synopsis**

The applicant is requesting to rezone the property from the PD, Planned Development District (MU, Mixed Use Sub-district), to the S, South Mansfield Form-based Development District, on approximately 79.41 acres to accommodate a mixed-use development.

**Staff Analysis**

The primary intent of the S, South Mansfield Form-based Development District is to enable and to encourage a development pattern that is "compact, mixed-use, walkable,

and sustainable". To that end, the S, South Mansfield Form-based Development District is structured using the principles and practices of the rural-to-urban transect that, as used in this zoning district, create predictable urbanism by regulating building form and design.

The subject property consists of 79.41 acres. As proposed, the property will be developed for a wide variety of multi-family residential with ground floor retail / flex space, row houses, and civic space. It is expected that the design of the site and the arrangement of buildings will create a vibrant mixed-use destination that is focused on distinct architecture and complementary amenities. The property is also within a Regional Center Development District, requiring principal buildings to be a minimum of 4 stories.

If the applicant's request to rezone the property is approved, a development agreement will be required; and, because the property is greater than two (2) acres in area, a special land assemblage plan will also be required. The development agreement must be approved by the City Council, and it will reinforce a pattern of development that is mixed-use and will achieve the community's vision for sustainable growth. The special land assemblage plan informed by the development agreement --- ensures that the property is consistent with the development agreement and provides additional standards related to thoroughfares, block sizes, and civic spaces. The special land assemblage plan is approved administratively by the Department of Planning and Development Services.

The S, South Mansfield Form-based Development District relies extensively on transect zones and special districts to establish the allowable uses and building design standards. The transect zone(s) that will direct this proposed development must be shown on the required special land assemblage plan.

New development on the property (and any future renovation or redevelopment) must comply with the urban design and landscaping standards of the S, South Mansfield Form-based Development District. These urban design and landscaping standards will inform the required submittal of a special land assemblage plan as well as site plans and building plans for review and approval.

### **Summary**

The S, South Mansfield Form-based Development District provides a specific set of form-based development standards that enables and encourages a creative development that is mixed-use, connected, walkable and visually harmonious. The possible introduction of a range of residential options, neighborhood-oriented commercial and other related civic activities have the potential to create a dynamic locus of activity along State Highway 360. As such, the presence of civic and passive spaces with public art and other amenities are highly encouraged.

### **Attachment**

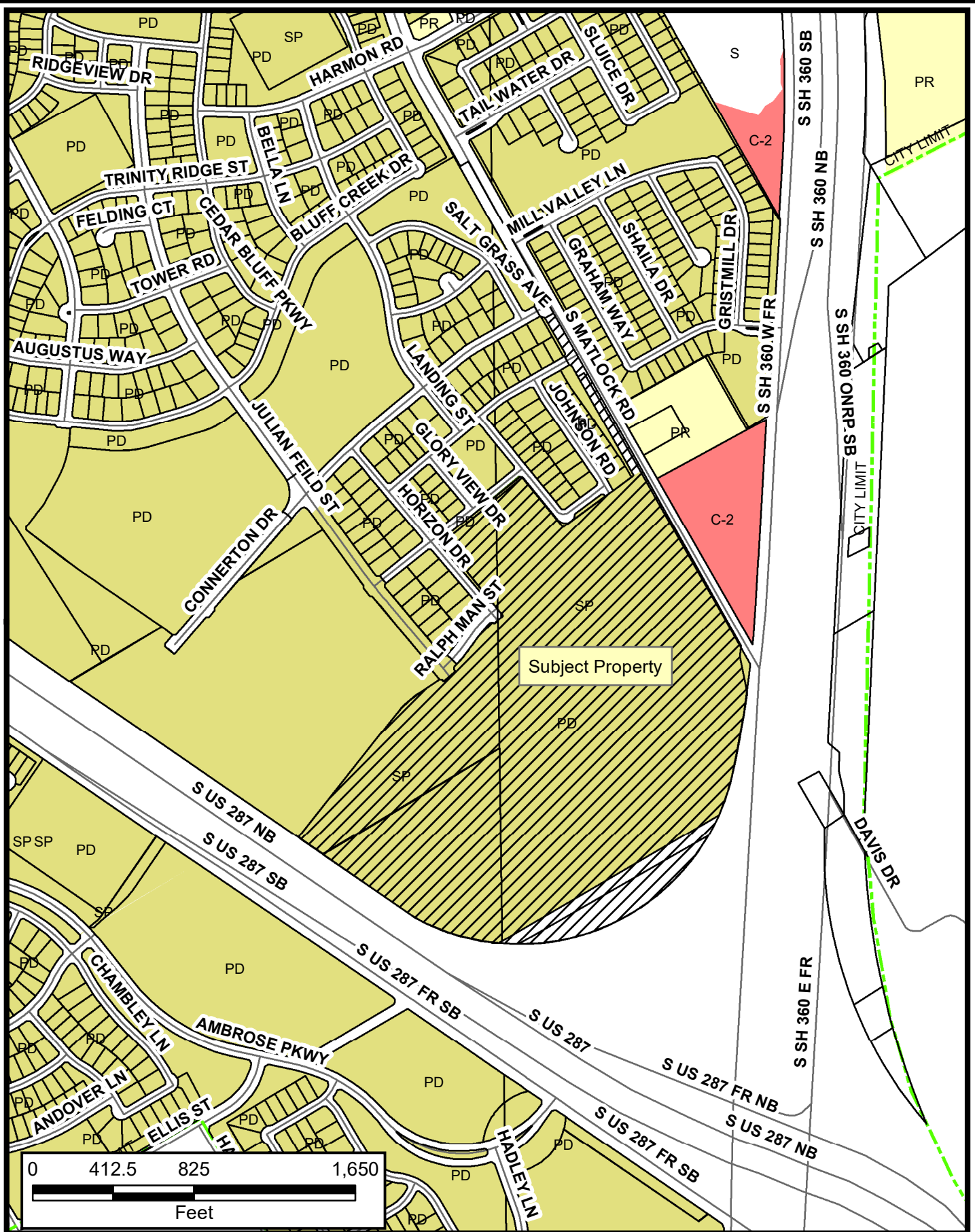
Maps and Supporting Information  
Exhibit A











## Property Owner Notification for ZC#23-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
135 S M BLAIR 2.35 ACRES		IPRR SOUTH POINTE-9 LLC	4001 N PERRYVILLE RD STE 29	LOVES PARK, IL	61111
135 S M BLAIR 52.8484 ACRES		IPRR SOUTH POINTE-9 LLC	4001 N PERRYVILLE RD STE 29	LOVES PARK, IL	61111
135 616 S M BLAIR J LAWRENCE 8.24 ACRES		MATLOCK EQUITY LTD	4740 W MOCKINGBIRD LN	DALLAS, TX	75209--5208
135 S M BLAIR;616 J LAWRENCE 4.26 ACRES		SWOFFORD ROGER D & LINDA D	2055 MATLOCK RD	MANSFIELD, TX	76063--3878
LOT 1 BLK 4 SOUTHPOINTE PH 8A 0.1961 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 10 BLK 2 SOUTHPOINTE PH 8A 0.2177 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 10 BLK 3 SOUTHPOINTE PH 8A 0.181 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 10 BLK 4 SOUTHPOINTE PH 8A 0.1745 AC		CANTU MARIA R & MARIO A	2018 JOHNSON RD	MANSFIELD, TX	76063--4677
LOT 10 BLK 5 SOUTHPOINTE PH 8A 0.1534 AC		DFW TX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 10R BLK 5 MILL VALLEY 0.15 AC		ROESSLER BRIAN R & CIERRA D	1902 GRAHAM WAY	MANSFIELD, TX	76063--5663
LOT 11 BLK 3 SOUTHPOINTE PH 8A 0.1803 AC		DFW TX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 11 BLK 5 SOUTHPOINTE PH 8A 0.1299 AC		DFW TX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 11R BLK 5 MILL VALLEY .15 AC		ROGERS DONEISHA D & MALCOLM J	1904 GRAHAM WAY	MANSFIELD, TX	76065
LOT 11X (COMMON AREA) BLK 4 SOUTHPOINTE PH 8A 0.5721 AC		DFW TX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 12 BLK 3 SOUTHPOINTE PH 8A 0.1803 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 12 BLK 5 SOUTHPOINTE PH 8A 0.1323 AC		DFW TX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248

Wednesday, May 31, 2023

Page 1 of 5

## Property Owner Notification for ZC#23-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
LOT 12R BLK 5 MILL VALLEY .15 AC		WITTEN AARON S	1906 GRAHAM WAY	MANSFIELD, TX	76063
LOT 13 BLK 5 SOUTHPOINTE PH 8A 0.1347 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 13R BLK 5 MILL VALLEY 0.15 AC		ITOKO JOHN R & MALAPA DRUSILE	1908 GRAHAM WAY	MANSFIELD, TX	76063
LOT 14 BLK 5 SOUTHPOINTE PH 8A 0.1371 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 14R BLK 5 MILL VALLEY .15 AC		NGOY ERICK M & KITATA GOGERICK	1910 GRAHAM WAY	MANSFIELD, TX	76063
LOT 15 BLK 5 SOUTHPOINTE PH 8A 0.1396 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 15R BLK 5 MILL VALLEY-REV 0.2 AC		PARKS ANASTASIA T & ALEXANDER	1912 GRAHAM WAY	MANSFIELD, TX	76063--5663
LOT 16 BLK 5 SOUTHPOINTE PH 8A 0.142 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 16R1 BLK 5 MILL VALLEY- REV 0.34 AC		TRAN VY P & LE TAI M	3200 SAWMILL WY	MANSFIELD, TX	76065
LOT 17 BLK 5 SOUTHPOINTE PH 8A 0.1444 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 18 BLK 5 SOUTHPOINTE PH 8A 0.1468 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 1X (COMMON AREA) BLK 11 SOUTHPOINTE PH 8A 0.7100 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 1X (COMMON AREA) BLK 6 SOUTHPOINTE PH 8A 0.2350 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 1X BLK 13 SOUTHPOINTE PH 8A 0.0027 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 1 BLK 4 SOUTHPOINTE PH 8A 0.1961 AC		ROSS BRADY & HEATHER	2000 JOHNSON RD	MANSFIELD, TX	76063-4677
LOT 2 BLK 4 SOUTHPOINTE PH 8A 0.1782 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 20X (COMMON AREA) BLK 3 SOUTHPOINTE PH 8A 0.0779 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 26XR BLK 5 MILL VALLEY- REV 0.38 AC		MILL VALLEY COMMUNITY ASSOCIAT	8668 JOHN HICKMAN PKWY STE 801	FRISCO, TX	75034
LOT 3 BLK 4 SOUTHPOINTE PH 8A 0.1716 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 4 BLK 4 SOUTHPOINTE PH 8A 0.1716 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248

## Property Owner Notification for ZC#23-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
LOT 4 BLK 5 SOUTHPONTE PH 8A 0.1962 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 4R BLK 5 MILL VALLEY .15 AC		LATHAM PATRICK & SHELLEY	1806 GRAHAM WAY	MANSFIELD, TX	76063--5653
LOT 5 BLK 4 SOUTHPONTE PH 8A 0.1716 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 5 BLK 5 SOUTHPONTE PH 8A 0.1926 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 5R BLK 5 MILL VALLEY .15 AC		ALLEN WYNTER J	1808 GRAHAM WAY	MANSFIELD, TX	76063
LOT 6 BLK 3 SOUTHPONTE PH 8A 0.2365 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 6 BLK 4 SOUTHPONTE PH 8A 0.1716 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 6 BLK 5 SOUTHPONTE PH 8A 0.1889 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 6R BLK 5 MILL VALLEY .15 AC		SELLERS MICHAEL T & VIRGINIA A	1810 GRAHAM WAY	MANSFIELD, TX	76065
LOT 7 BLK 3 SOUTHPONTE PH 8A 0.2365 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 7 BLK 4 SOUTHPONTE PH 8A 0.1716 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 7 BLK 5 SOUTHPONTE PH 8A 0.1853 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 7R BLK 5 MILL VALLEY 0.15 AC		NICHOLS JOHN C JR	1812 GRAHAM WAY	MANSFIELD, TX	76063--5653
LOT 8 BLK 3 SOUTHPONTE PH 8A 0.2312 AC		DFH COVENTRY LLC	14701 PHILIPS HWY STE 300	JACKSONVILLE, FL	32256--3742
LOT 8 BLK 4 SOUTHPONTE PH 8A 0.1716 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 8 BLK 5 SOUTHPONTE PH 8A 0.1816 AC		KOIRALA DEEP	2015 JOHNSON RD	MANSFIELD, TX	76063--4677
LOT 8 S M BLAIR 1.0 AC		SWOFFORD ROGER D & LINDA D	2055 MATLOCK RD	MANSFIELD, TX	76063--3878
LOT 8R BLK 5 MILL VALLEY .15 AC		CLAYTON CHARLES E & RICHARDSON	1814 GRAHAM WAY	MANSFIELD, TX	76063
LOT 9 BLK 3 SOUTHPONTE PH 8A 0.1551 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248

Wednesday, May 31, 2023

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## Property Owner Notification for ZC#23-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
LOT 9 BLK 4 SOUTHPOINTE PH 8A 0.1717 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 9 BLK 5 SOUTHPOINTE PH 8A 0.2173 AC		DFWTX DEVELOPMENT INC	16980 N DALLAS PKWY STE 100	DALLAS, TX	75248
LOT 9R BLK 5 MILL VALLEY .15 AC		PASAYAN VICTOR A & RENZ M	1900 GRAHAM WAY	MANSFIELD, TX	76065
S M BLAIR	TR 5	RUBY 07 SPMTGE LLC	4001 N PERRYVILLE RD STE D201	LOVES PARK, IL	61111-8644
S M BLAIR	TR 6	IPRR SOUTH POINTE 9 LLC	4001 N PERRYVILLE RD STE D201	LOVES PARK, IL	61111-8644
S M BLAIR	TR 6B	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 10	DFH COVENTRY LLC	14701 PHILLIPS HWY STE 300	JACKSONVILLE, FL	32256
SOUTHPOINTE PH 8A	BLK 10	FONSECA LUIS DELGADO ETUX	2210 JULIAN FIELD ST	MANSFIELD, TX	76063
SOUTHPOINTE PH 8A	BLK 10	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 10	WILKERSON ERNEST LEE JR	2207 HORIZON DR	MANSFIELD, TX	76063
SOUTHPOINTE PH 8A	BLK 10	DFH COVENTRY LLC	14701 PHILLIPS HWY STE 300	JACKSONVILLE, FL	32256
SOUTHPOINTE PH 8A	BLK 10	DFH COVENTRY LLC	7676 WOODWAY STE 104	HOUSTON, TX	77063
SOUTHPOINTE PH 8A	BLK 10	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 10	SOUTH POINTE MASTER HOMEOWNERS	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
SOUTHPOINTE PH 8A	BLK 12	SOUTH POINTE MASTER HOMEOWNERS	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
SOUTHPOINTE PH 8A	BLK 6	SOUTH POINTE MASTER HOMEOWNERS	1024 S GREENVILLE AVE STE 230	ALLEN, TX	75002
SOUTHPOINTE PH 8A	BLK 8	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 8	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 8	DFH COVENTRY LLC	14701 PHILLIPS HWY STE 300	JACKSONVILLE, FL	32256

Wednesday, May 31, 2023

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Property Owner Notification for ZC#23-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
SOUTHPOINTE PH 8A	BLK 8	DFH COVENTRY LLC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 8	DFH COVENTRY LLC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 9	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521
SOUTHPOINTE PH 8A	BLK 9	DFWTX DEVELOPMENT INC	7676 WOODWAY DR STE 104	HOUSTON, TX	77063-1521

## LEGAL DESCRIPTION

Being a 79.41 acre tract of land situated in the Seth M. Blair Survey, Abstract No. 72, Johnson County, Texas, and the Cresanto Vela Survey, Abstract No. 1102, Seth M. Blair Survey, Abstract No. 135, Ellis County, and being portion of the called 873.29 acre tract described by deed to Ruby-07-SPMTGE, LLC, as recorded in Instrument No. 2012-25181, Deed Records, Johnson County, Texas, and being more particularly described as follows:

BEGINNING at a found 1/2 inch iron rod with cap stamped "Graham Assoc. Inc." (GAI), being the most southern southwest corner of Southpointe Matlock Road Phase 2, as recorded in Instrument No. 2020-100, Plat Records, Johnson County, Texas, and being in the east line of Lot 20X, Block 3, Southpointe Phase 8A, as recorded in Instrument No. 2021-42, Plat Records, Johnson County, Texas;

THENCE North 60°36'11" East, a distance of 50.00 feet to a found 1/2 inch iron rod with "GAI" cap, being in the most southern southeast corner of said Southpointe Matlock Road Phase 2 and in the southeast line of said Ruby-07-SPMTGE, LLC tract;

THENCE South 29°23'49" East, along said southeast line a distance of 1,951.80 feet to a point, being in the existing west right-of-way line of State Highway 360 (having a variable width right-of-way) and the south line of said Ruby-07-SPMTGE, LLC tract, being a common line;

THENCE South 05°36'09" West, along said common line, a distance of 54.03 feet to a point;

THENCE South 11°03'24" East, continuing along said common line, a distance of 189.99 feet to a point for the beginning of a non-tangent curve to the right having a radius of 5,699.58 feet and a central angle of 4°05'18" and a long chord which bears South 10°06'47" West, 406.61 feet;

THENCE along said non-tangent curve to the right, an arc length of 406.70 feet to a point, for the beginning of a compound curve to the right having a radius of 1,115.92 feet, a central angle of 106°20'37", and a long chord which bears South 65°10'21" West, 1786.44 feet;

THENCE along said compound curve to the right, an arc length of 2,071.19 feet to a point, being in the existing northeast right-of-way line of US Highway 287 (having a variable width right-of-way) and the southwest line of said Ruby-07-SPMTGE, LLC tract, being a common line;

THENCE North 55°35'47" West, along said common line, a distance of 717.70 feet to a found 1/2 inch iron rod with "GAI" cap, being in the most southern southwest corner of a tract of land described by deed to 2021 South Pointe Holdings LTD, as recorded in Instrument No. 2021-6182, Deed Records, Johnson County, Texas,;

THENCE North 08°32'44" West, leaving said common line, along the south line of said 2021 South Pointe Holdings LTD tract, a distance of 13.63 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 38°30'20" East, continuing along said south line, a distance of 793.55 feet to a found 1/2 inch iron rod with "GAI" cap, for the beginning of a tangent curve to the right having a radius of 540.00 feet, a central angle of 18°18'05", and a long chord which bears North 47°39'23" East, 171.75 feet;

THENCE along said curve to the right, an arc length of 172.49 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 56°48'25" East, a distance of 87.69 feet to a found 1/2 inch iron rod with "GAI" cap, for the beginning of a tangent curve to the left having a radius of 610.00 feet, a central angle of 2°26'32", and a long chord which bears North 55°35'09" East, 26.00 feet;

THENCE along said curve to the left, an arc length of 26.00 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 83°02'49" East, a distance of 14.61 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 39°59'24" East, a distance of 10.00 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 50°00'36" East, a distance of 80.00 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 39°59'24" West, a distance of 10.48 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 02°43'22" East, a distance of 14.70 feet to a found 1/2 inch iron rod with "GAI" cap, for the beginning of a curve to the left having a radius of 610.00 feet and a central angle of 1°44'59" and a long chord which bears North 44°05'30" East, 18.63 feet;

THENCE along said curve to the left an arc length of 18.63 feet to a found 1/2 inch iron rod with "GAI" cap, being in the most easterly southeast corner of said 2021 South Pointe Holdings LTD tract and being in the existing south right-of-way line of Ralph Man Street (having a 70 foot right-of-way), as recorded in Instrument No. 2021-42, Plat Records, Johnson County, Texas, for the beginning of compound curve to the left having a radius of 610.00 feet and a central angle of 6°35'35" and a long chord which bears North 39°55'14" East, 70.15 feet;

THENCE along said existing south right-of-way line and along said compound curve to the left, an arc length of 70.19 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 36°37'26" East, continuing along said existing south right-of-way line, a distance of 118.61 feet to a found 1/2 inch iron rod with "GAI" cap, for the beginning of a tangent curve to the right having a radius of 490.00 feet, a central angle of 9°55'33", and a long chord which bears North 41°35'13" East, 84.78 feet;

THENCE along said tangent curve to the right, an arc length of 84.89 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 86°33'24" East, a distance of 13.82 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 40°14'56" East, a distance of 5.62 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 49°45'04" East, a distance of 60.66 feet to a found 1/2 inch iron rod with "GAI" cap, being the east corner of Lot 1X, Block 13, of said Southpointe Phase 8A;

THENCE North 39°21'18" West, a distance of 485.31 feet to a found 1/2 inch iron rod with "GAI" cap, being in the south line of Lot 1X, Block 12, of said Southpointe Phase 8A;

THENCE North 50°38'42" East, along said south line, a distance of 525.00 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE South 39°21'18" East, continuing along said south line, a distance of 329.28 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 53°15'53" East, a distance of 199.46 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 53°55'24" East, leaving said south line, a distance of 99.96 feet to a found 1/2 inch iron rod with "GAI" cap, being in the existing south right-of-way line of Keenland Parkway (having a variable width right-of-way);

THENCE North 60°36'11" East, continuing along said existing south right-of-way line of Keenland Parkway, a distance of 16.60 feet to a found 1/2 inch iron rod with "GAI" cap, being in the existing east right-of-way line of Johnson Road (having a 50 foot right-of-way);

THENCE North 29°23'49" West, along said existing east right-of-way line of Johnson Road, a distance of 1.94 feet to a found 1/2 inch iron rod with "GAI" cap, being in the southwest corner of Lot 10, Block 4, of said Southpointe Phase 8A;

THENCE North 53°55'24" East, along the south line of said Lot 10, a distance of 130.89 feet to a found 1/2 inch iron rod with "GAI" cap, being in the most southern southeast corner of Lot 11X, Block 4, of said Southpointe Phase 8A;

THENCE North 29°23'49" West, along the east line of said Lot 11X, a distance of 643.58 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 74°35'29" West, continuing along said east line, a distance of 14.09 feet to a found 1/2 inch iron rod with "GAI" cap, being in the existing south right-of-way line of Carter Parkway (having a 50' right-of-way);

THENCE North 29°23'49" West, leaving said east line, a distance of 50.00 feet to a found 1/2 inch iron rod with "GAI" cap, being in the existing north right-of-way line of said Carter Parkway and being in the southeast line of Block 3, of said Southpointe Phase 8A;

THENCE North 15°24'31" East, along said southeast line, a distance of 14.19 feet to a found 1/2 inch iron rod with "GAI" cap;

THENCE North 29°23'49" West, continuing along said southeast line, a distance of 210.41 feet to the POINT OF BEGINNING and CONTAINING 3,459,238 square feet, 79.41 acres of land, more or less.





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5406

Agenda Date: 6/13/2023

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Agenda Number:

#### Title

Public Hearing on a Change of Zoning from C-2, Community Business District to PD, Planned Development District for certain C-2, Community Business District uses plus Flex Office-Storage (maximum 50 percent storage) on approx. 1.82 acres out of the Margaret Rockerfellow Survey, Abstract No. 1267, Tarrant Co., TX, generally located on the south side of F.M. 1187 and east of North Hyview Drive on property addressed at 1863 F.M. 1187; Brian Cotter, Peyco Southwest, Applicant (ZC#23-003)

#### Requested Action

To consider the subject zoning change request.

#### Recommendation

The Department of Planning and Development Services recommends approval, with the following conditions:

- (1) That the first note under the section entitled "Zoning Notes" be revised to explicitly state the list of allowable uses are expressly and solely restricted to only those that are included within the PD, Planned Development District and that no other uses will be permitted on the property.
- (2) That where the provisions of this PD, Planned Development District are silent, the applicable provisions of the C-2, Community Business District shall govern.
- (3) That the building elevations draw design inspiration from historical or contemporary interpretations of Industrial Chic, Mercantile, or Warehouse Architectural Styles, subject to review and approval by the Director of Planning.
- (4) That no roll-up doors shall be permitted on any building façade fronting Farm-to-Market (FM) Road 1187.

#### Description/History

*Existing Use:* Vacant

*Existing Zoning:* C-2, Community Business District

*Land Use Plan:* Sub-Area 1

#### *Surrounding Land Use & Zoning:*

North - FM 1187 ROW

South - Vacant, PR, Pre-Development District

East - Vacant, PR, Pre-Development District

West - Vacant, PR, Pre-Development District

*Thoroughfare Plan Specification:*

Farm-to-Market (FM) Road 1187 - 6-lane divided principal arterial, currently 4-lanes

**Synopsis**

The applicant has initiated a zoning change on a 1.82-acre property requesting to rezone it from the C-2, Community Business District to PD, Planned Development District. The purpose of the zoning change request is to allow for the introduction of Flex Office as a use permitted by-right. The proposed provisions of this PD, Planned Development District, are intended to establish additional regulations for Flex Office while preserving opportunities to introduce neighborhood-oriented services into the area.

**Staff Analysis**

The current zoning on-site is C-2, Community Business District. Within the C-2, Community Business District standards, those uses that are similar to Flex-Office are only allowed by obtaining a Specific Use Permit (SUP). The purpose of an SUP is “[t]o provide for uses that require special consideration in certain settings or are of a public or semi-public character often essential or desirable for the general convenience and welfare of the community, which without specific consideration may have possible adverse impact on neighboring properties.” As there are properties currently zoned for heavy commercial (i.e., C-3, Commercial Manufacturing District) and light industrial (i.e., I-1, Light Industrial District) --- which uses are allowed by SUP approval or as a matter of right respectively --- the applicant’s request would not only be consistent with the land uses and development patterns in the area, but present an opportunity to elevate the aesthetic quality of the area.

As proposed, the applicant intends to construct a single building under the provisions of this PD, Planned Development District. The single building would be designed to allow for Flex Office to occur in one of the following ways: (i) as a showroom / office warehouse in which the showroom / office must be a minimum of 50 percent of the total building area or (ii) as storage or sales warehouse in which the storage or warehouse sales cannot exceed 50 percent of the total building area.

The proposal is intended to support business incubation while introducing space that allows for more intense commercial activity. Further, the introduction of neighborhood-oriented commercial uses also allows for increased flexibility in building use and needed flexibility to respond positively to changes in neighborhood needs. The new construction --- a commercial building --- is approximately 18,640 square feet and meets most minimum standards associated with developments in the C-2, Community Business District. Setbacks adjacent to vacant PR, Pre-Development Districts are required to be 52.5 feet. In this case, the building side yard setback is 50 feet from the property lines. To mitigate this deficiency, the applicant is proposing to provide a denser planting of ornamental trees along the side property lines. Screening walls are provided to screen the Flex-Office, specifically the associated roll up doors, from potential view of adjacent vacant and occupied residential lots. Any potential residential development surrounding the property would have pedestrian-based access via proposed access easements to the neighboring properties and are directed into the site via provided passive space and walkways from FM Road 1187.

From an aesthetic standpoint, the applicant has included elevations to ensure that the façade facing FM Road 1187 provides storefront type features with bulkheads, awnings, articulations, and defined cornices. All elevations provided are intended to show the minimum design standards associated with the final building product; however, there are opportunities to elevate the aesthetic character further, and ensure a physical result that has stronger visual presence and establishes an enduring example for similar projects in the future.

### **Summary**

The proposed PD, Planned Development District provides the City with the ability to provide control measures of the types and intensity of uses allowed within the proposed development. It also supports economic development opportunities by enabling and encouraging business incubation. Standards found within the development plan provide design controls that provide a predictable built environment --- based on existing and anticipated development patterns --- with appropriate buffers to the less intense land uses that surrounds the site.

### **Prepared By**

Arty Wheaton-Rodriguez  
Assistant Director-Planning  
817-276-4245

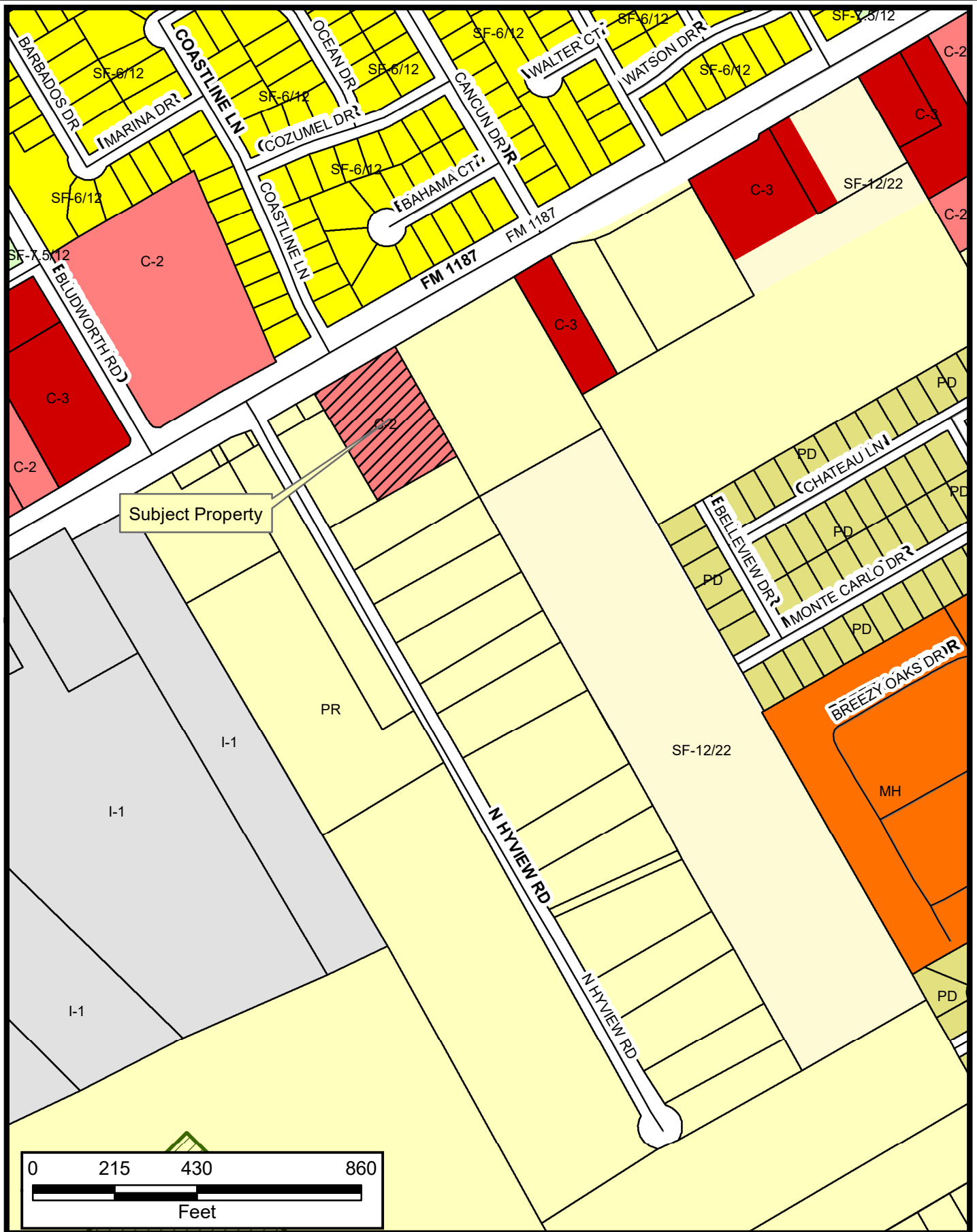
### **Attachment**

Maps and Supporting Information  
Exhibits A through D





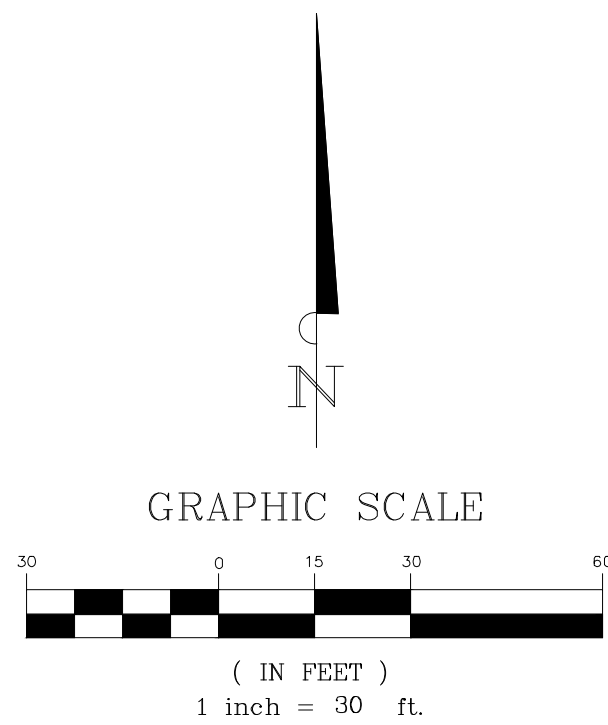
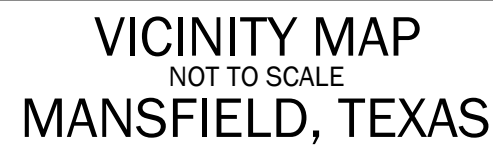




## Property Owner Notification for ZC 23-003

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 2	WALKER, SHELLEY DAWN	5 BAHAMA CT	MANSFIELD, TX	76063-5900
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 2	AGUIRRE, JUVENAL	7 BAHAMA CT	MANSFIELD, TX	76063-5900
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 2	DONAH, BRAD	6 BAHAMA CT	MANSFIELD, TX	76063
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 2	JACKSON, DARRELLE	1500 COASTLINE LN	MANSFIELD, TX	76063-8523
COUNTRY MEADOWS ADDN SEC 3 - 7	BLK 3	BULLARD, SHAWN	1501 COASTLINE LN	MANSFIELD, TX	76063
LAZY L RANCH ADDITION	BLK 1	LEMONS, BILLY D	1847 HWY 1187	MANSFIELD, TX	76063-5940
LAZY L RANCH ADDITION	BLK 1	LEMONS, BILLY D	1847 HWY 1187	MANSFIELD, TX	76063-5940
MCDONALD, JAMES SURVEY	A 997	BARRIGA, ANITA	3233 HEMPHILL ST	FORT WORTH, TX	76110
MCDONALD, JAMES SURVEY	A 997	BARRIGA, ANITA	3233 HEMPHILL ST	FORT WORTH, TX	76110
ROCKERFELLOW, MARGARET SURVEY	A 1267	GRAB THE MAP LLC	1676 CARDINAL RD	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	DOAR, NIZAR	5324 HIDDEN VALLEY CT	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	KNAPP BROTHERS	PO BOX 2243	MANSFIELD, TX	76063-0047
ROCKERFELLOW, MARGARET SURVEY	A 1267	KNAPP BROTHERS	PO BOX 2243	MANSFIELD, TX	76063-0047
ROCKERFELLOW, MARGARET SURVEY	A 1267	KNAPP BROTHERS	PO BOX 2243	MANSFIELD, TX	76063-0047
ROCKERFELLOW, MARGARET SURVEY	A 1267	KNAPP BROTHERS	PO BOX 2243	MANSFIELD, TX	76063-0047
ROCKERFELLOW, MARGARET SURVEY	A 1267	HYVIEW RANCH LLC	1019 WALNUT FALLS CIR	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	JONES, JAMES	3609 TRAILWOOD DR E	BURLESON, TX	76028
ROCKERFELLOW, MARGARET SURVEY	A 1267	GONZALES, ANDRES H	1360 N HYVIEW RD	MANSFIELD, TX	76063-6254

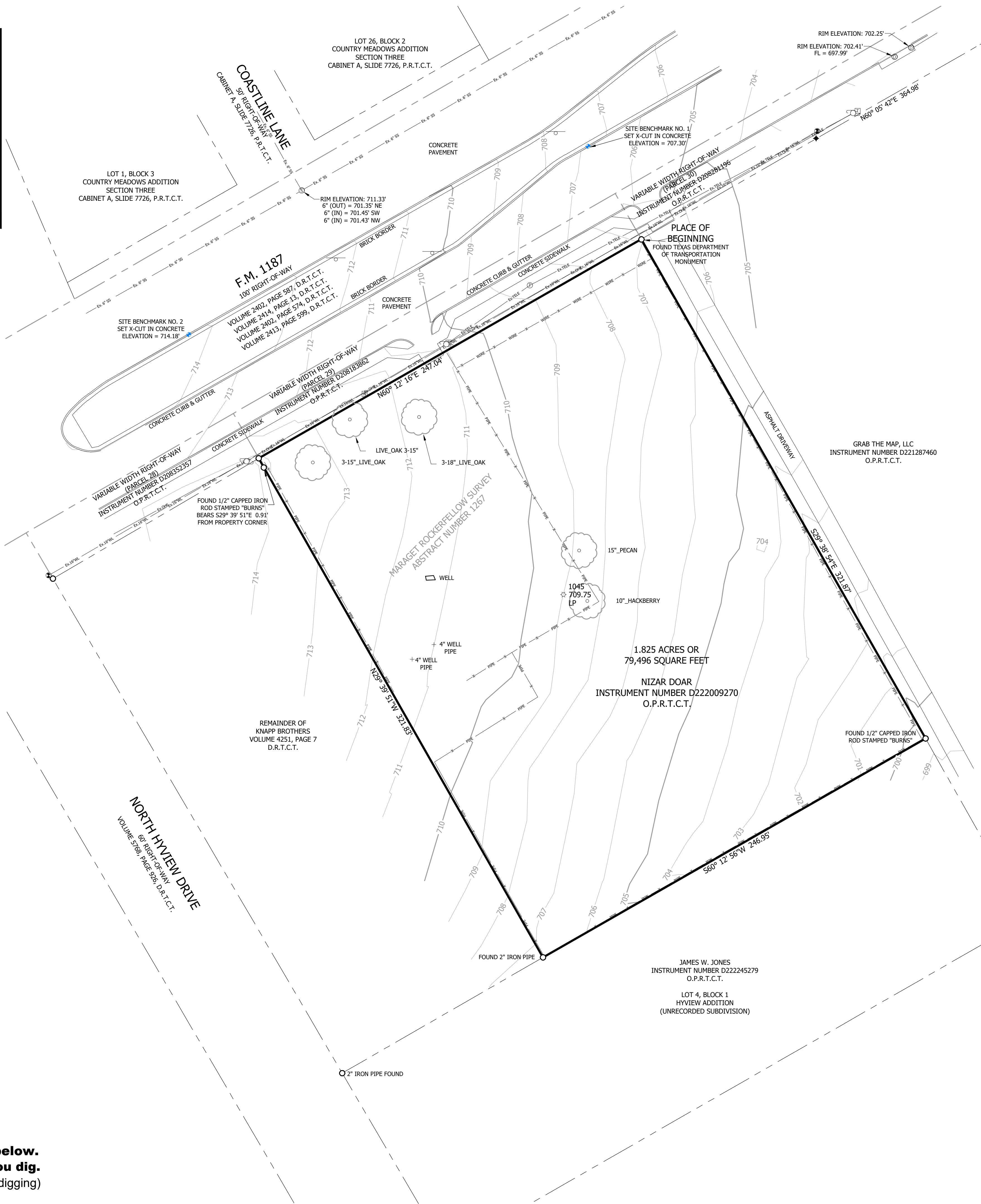




- LEGEND**
- O.P.R.T.C.T.  
OFFICIAL PUBLIC RECORDS  
TARRANT COUNTY, TEXAS
- D.R.T.C.T.  
DEED RECORDS  
TARRANT COUNTY, TEXAS
- P.R.T.C.T.  
PLAT RECORDS  
TARRANT COUNTY, TEXAS
- (P) PARKING COUNT**
- ⊗ GREASE TRAP  
⊗ AIR CONDITIONER UNIT  
▲ UTILITY PIN FLAG  
⊗ GAS MANHOLE  
⊗ GAS MARKER  
⊗ GAS METER  
⊗ TRANSFORMER  
⊗ ELECTRIC METER  
☐ TELEPHONE RISER  
⊗ MAIL BOX  
— SIGN  
⊗ ELECTRIC RISER  
⊗ POWER POLE  
⊗ LIGHT  
⊗ SANITARY SEWER  
MANHOLE  
● CLEAN-OUT  
● FIRE HYDRANT  
● WATER VALVE  
⊗ WATER METER  
⊗ WATER MANHOLE  
⊗ FIRE WATER CONNECTION  
⊗ IRRIGATION CONTROL  
VALVE
- TRAFFIC SIGNAL  
● BOLLARD  
⊗ GRATE INLET  
⊗ STORM MANHOLE
- N NORTH/NORTHING  
S SOUTH  
E EAST/EASTING  
W WEST
- ° DEGREES  
' MINUTES/FEET  
" SECONDS/INCHES
- \_\_\_\_\_
- FEMA ZONE**  
\_\_\_\_/500'\_\_\_\_  
FEMA BASE FLOOD ELEVATION
- (I) TITLE COMMITMENT ITEM**
- EX\_GAS— GAS LINE  
EX\_WL— WATER LINE  
EX\_SS—SEWER LINE  
EX\_SD—STORM DRAIN LINE  
EX\_OHE—OVERHEAD UTILITY  
EX\_TEL— UNDERGROUND TELEPHONE  
EX\_UGE—BURIED ELECTRIC  
EX\_CATV—BURIED CABLE LINE  
EX\_FOC—BURIED FIBER OPTIC  
GDRL—GUARD RAIL  
CHLK—CHALK LINE  
W—WIRE  
W—WIRE FENCE  
WOOD—WOOD FENCE  
METAL—METAL FENCE  
IRON—IRON FENCE  
PIPE—PIPE RAIL FENCE  
SILT—SILT FENCE  
— GUY WIRE



**Know what's below.  
Call before you dig.**  
(@ least 48 hours prior to digging)



LEGAL LAND DESCRIPTION:

BEING 1.825 acres (79,496 square feet) out of the Margaret Rockerfellow Survey, Abstract No. 1267, City of Mansfield, Tarrant County, Texas; said 1.825 acres (79,496 square feet) of land being all of that certain tract of land described in a General Warranty Deed to Nizar Doar (hereinafter referred to as Doar tract), as recorded in Instrument Number D222009270, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.825 acres (79,496 square feet) of land being more particularly described, by metes and bounds, as follows:

**BEGINNING** at a Texas Department of Transportation monument for the Northeastern corner of said Doar tract, same being the Northwest-easterly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Grab the Map, LLC (hereinafter referred to as Grab the Map tract), as recorded in Instrument Number D221287460, O.P.R.T.C.T., same also being the existing Southeast-easterly right-of-way line of F.M. 1187 (variable width right-of-way), as recorded in Instrument Number D208183862, O.P.R.T.C.T.;

**THENCE** South 29 degrees 38 minutes 54 seconds East, departing the existing Southeasterly right-of-way line of said F.M. 1187, with the common line between said Doar tract and said Grab the Map tract, a distance of 321.87 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Southeasterly corner of said Doar tract, same being the Northeasterly corner of that certain tract of land described in a Warranty Deed with Vendor's Line to James W. Jones (hereinafter referred to as Jones tract), as recorded in Instrument Number D222245279, O.P.R.T.C.T.;

**THENCE** South 60 degrees 12 minutes 56 seconds West, departing the Southwesterly line of said Grab the Map tract, with the common line between said Doar tract and said Jones tract, a distance of 246.95 feet to the two inch pipe found for the Southwesterly corner of said Doar tract, same being the Southeasterly corner of the remainder of that certain tract of land described in a Warranty Deed with Vendor's Lien to Knapp Brothers (hereinafter referred to as Knapp Brothers tract), as recorded in Volume 4251, Page 7, Deed Records, Tarrant County, Texas;

**THENCE** North 29 degrees 39 minutes 51 seconds West, departing the Northwesterly line of said Jones tract, with the common line between said Doar tract and the remainder of said Knapp Brothers tract, a distance of 321.83 feet to a one-half inch iron rod with plastic cap stamped "BURNS" found for the Northwesterly corner of said Doar tract, same being the Northeastly corner of said Knapp Brothers tract, same also being the existing Southeasterly right-of-way line of said F.M. 1187;

**THENCE** North 60 degrees 12 minutes 16 seconds East with the common line between said Doar tract and the existing Southeasterly right-of-way line of said F.M. 1187, a distance of 247.04 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 1.825 acres (79,496 square feet) of land.

GENERAL NOTES:

1. The tract shown herein and described above was not abstracted by the surveyor. Additional easements or other encumbrances, whether of record or not may affect the subject tract.
2. According to surveyor's interpretation of information shown on the National Flood Insurance Program ("NFIP") "Flood Insurance Rate Map" ("FIRM"), Community Panel No. 48439C0460K, dated September 25, 2009. The property appears to lie within Zone "X" and the entire property lies within a "Areas determined to be outside the 0.2% annual chance floodplain" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.
3. The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".
4. The surveyor has made no attempt to locate or define hazardous waste areas, habitats, endangered species or any other environmentally sensitive areas on the tract of land shown herein; nor does this survey make any representations of being an environmental assessment of the tract of land shown hereon.
5. The surveyor has made no attempt to locate or define archeological sites, historical sites or undocumented cemeteries on the tract of land shown herein: nor does this survey make any representation of being an archeological or historical survey of the tract of land shown hereon.
6. The surveyor has made no attempt to locate abandoned or plugged oil and gas wells, or any other wells on the tract of land shown herein; nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State agency: nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.
7. Existing utilities shown hereon are from above ground visible features coupled together with maps and plans provided to the surveyor. The surveyor does not make any representation of being a Quality Level A or B sub-surface utility survey of the tract of land shown hereon. Underground electric, gas and telephone lines shown hereon are from above ground markings associated with "Texas 811" dig request number 2286211201.
8. All found monuments shown hereon are deemed to be controlling monuments.
9. All bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202). All distances shown herein are surface distances.
10. **SOURCE BENCHMARK:** City of Mansfield MON-BC7 monument, being an aluminum disc in concrete monument found on the Northwest side of Newt Patterson Road, 0.6 of a mile Southeast of F.M. 1187 at a 90 degree bend to the right, 14 feet from the right-of-way fence.  
  
Elevation = 634.405'
11. **This survey was prepared without the benefit of title encumbrance research.**

SURVEYORS CERTIFICATE TO:

Nizar Doar, and their heirs and assigns:

I, Michael Dan Davis, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this map or plat and the survey on which it is based were made in accordance with and complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A, Condition 2 Survey. The field work was completed on December 28, 2022.

**PRELIMINARY**  
January 11, 2023

Michael Dan Davis                                      DATE:  
Registered Professional Land Surveyor No. 4838  
BANNISTER ENGINEERING, LLC  
T.B.P.L.S. REGISTRATION NO. 10193823  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
Office (817) 842-2094



**PROJECT:**

Address: 1863 F.M. Road 1187  
Being 1.825 acres or (79,496 square feet) out of the  
Margaret Rockerfellow Survey, Abstract No. 1267  
City of Mansfield, Tarrant County, Texas

CATEGORY 1A,  
CONDITION 2  
LAND  
TITLE  
SURVEY

PROJECT NO.:  
385-22-001

SCALE: 1" = 30'

DRAWN BY: sa

CKD BY: md2

SHEET NUMBER

1 OF 1



## EXHIBIT "A"

### LEGAL LAND DESCRIPTION:

BEING 1.825 acres (79,496 square feet) out of the Margaret Rockerfellow Survey, Abstract No. 1267, City of Mansfield, Tarrant County, Texas; said 1.825 acres (79,496 square feet) of land being all of that certain tract of land described in a General Warranty Deed to Nizar Doar (hereinafter referred to as Doar tract), as recorded in Instrument Number D222009270, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.); said 1.825 acres (79,496 square feet) of land being more particularly described, by metes and bounds, as follows:

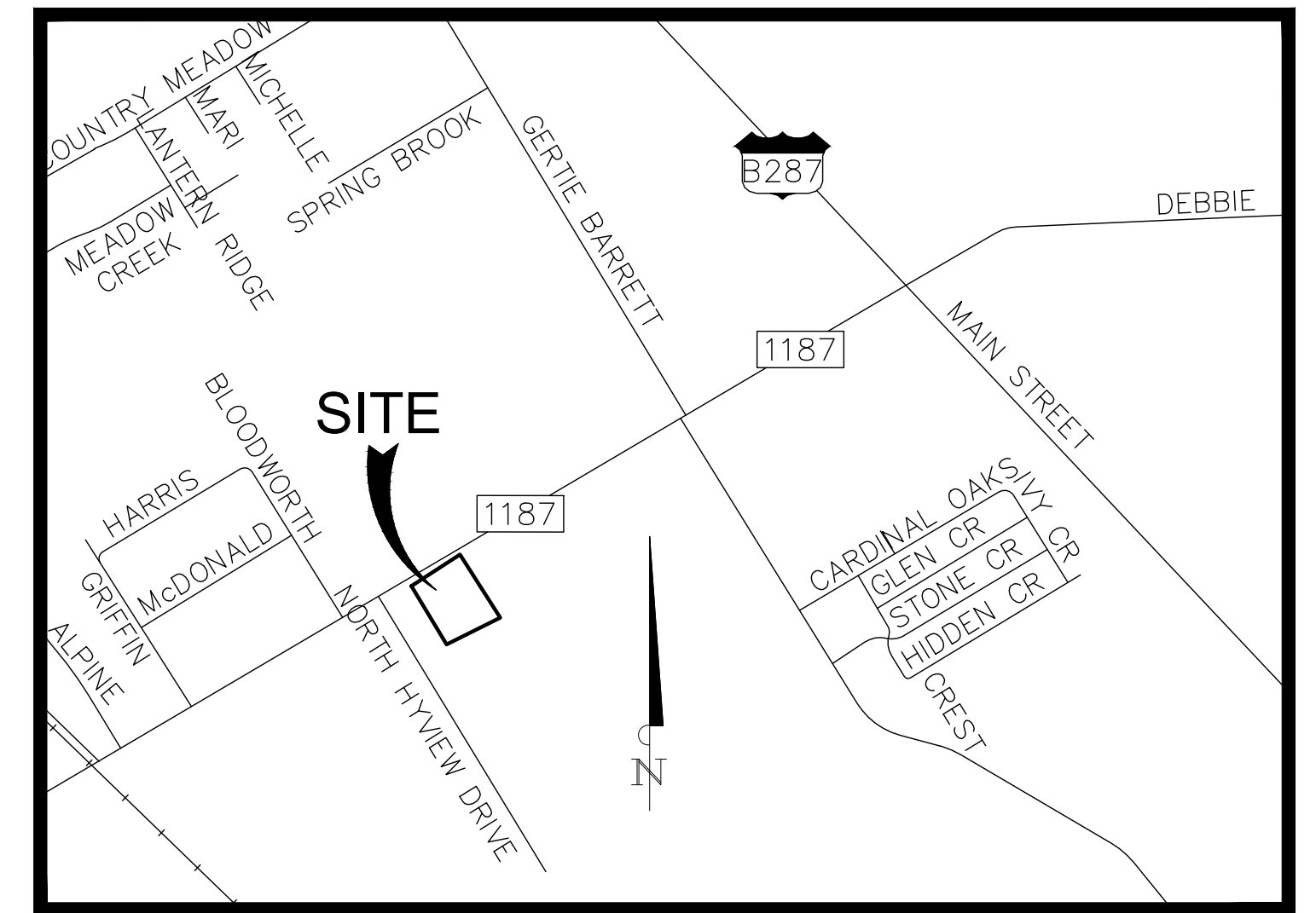
BEGINNING at a Texas Department of Transportation monument for the Northeasterly corner of said Doar tract, same being the Northwesterly corner of that certain tract of land described in a Warranty Deed with Vendor's Lien to Grab the Map, LLC (hereinafter referred to as Grab the Map tract), as recorded in Instrument Number D221287460, O.P.R.T.C.T., same also being the existing Southeasterly right-of-way line of F.M. 1187 (variable width right-of-way), as recorded in Instrument Number D208183862, O.P.R.T.C.T.;

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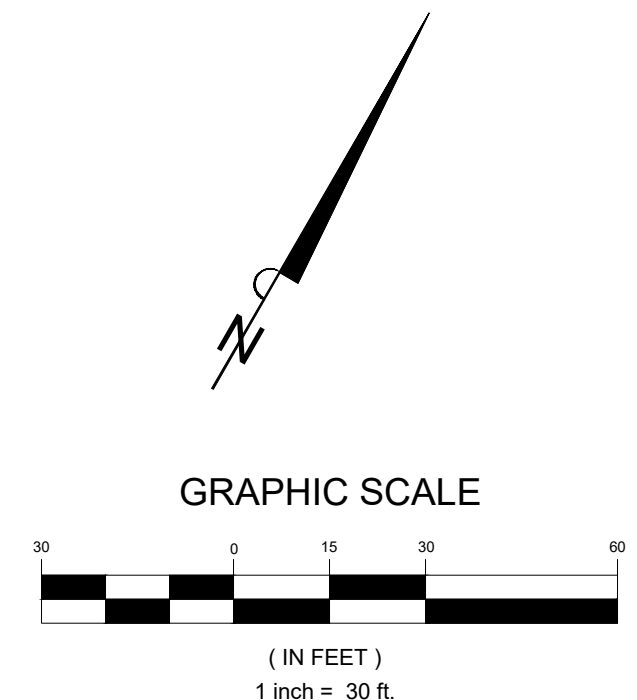
THENCE South 60 degrees 12 minutes 56 seconds West, departing the Southwesterly line of said Grab the Map tract, with the common line between said Doar tract and said Jones tract, a distance of 246.95 feet to a two inch pipe found for the Southwesterly corner of said Doar tract, same being the Southeasterly corner of the remainder of that certain tract of land described in a Warranty Deed with Vendor's Lien to Knapp Brothers (hereinafter referred to as Knapp Brothers tract), as recorded in Volume 4251, Page 7, Deed Records, Tarrant County, Texas;

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THENCE North 60 degrees 12 minutes 16 seconds East with the common line between said Doar tract and the existing Southeasterly right-of-way line of said F.M. 1187, a distance of 247.04 feet to the PLACE OF BEGINNING, and containing a calculated area of 1.825 acres (79,496 square feet) of land.



VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS



SITE DATA SUMMARY TABLE	
ZONING	PLANNED DEVELOPMENT
LOT SIZE	1.82 ACRES
BUILDING SQUARE FOOTAGE	18,640 S.F.
OFFICE SQUARE FOOTAGE	9,320 S.F. (50%)
WAREHOUSE SQUARE FOOTAGE	9,320 S.F. (50%)
PARKING	
OFFICE PARKING RATIO	1 PER 300 S.F.
WAREHOUSE PARKING RATIO	1 PER 3000 S.F. OF FLOOR AREA
NO. OF PARKING REQUIRED	36 SPACES
NO.OF PARKING PROVIDED	45 SPACES
NO. OF HC PARKING REQUIRED	2 SPACES
NO. OF HC PARKING PROVIDED (INCLUDED)	2 SPACES

ZONING NOTES AND ALLOWABLE COMMERCIAL USES ARE FOUND ON  
EXHIBIT B (PAGE 2 OF 2)

## GENERAL NOTES

1. NO TREES, SIGNS OR ANYTHING OVER 2' IN HEIGHT IS ALLOWED WITHIN THE 7' X 60' VISIBILITY TRIANGLES.

### LEGEND

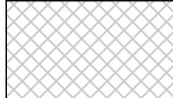


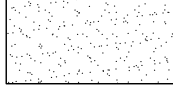

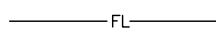


	HEAVY DUTY CONCRETE PAVEMENT
	MEDIUM DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	SIDEWALK/FLATWORK
	ACCESSIBLE PARKING SPACE
	PROPOSED FIRE LANE
LS	LANDSCAPE
BFR	BARRIER FREE RAMP
	EXISTING TRAFFIC DIRECTION
	PROPOSED TRAFFIC DIRECTION

EXHIBIT B (PAGE 1 OF 2)  
DEVELOPMENT PLAN  
DEBBIE LANE  
BUSINESS PARK

ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023



CONTACT: HECTOR SOTELO, P.E.  
EMAIL: [hsotelo@bannistereng.com](mailto:hsotelo@bannistereng.com)

ZONING NOTES

1. THE PROPOSED PLANNED DEVELOPMENT FOR A FLEX OFFICE WAREHOUSE FACILITY SHALL INCLUDE ALL RETAIL AND FLEX OFFICE WAREHOUSE USES PERMITTED IN THE EXISTING C-2 ZONING DISTRICT WITH WAREHOUSE TO OFFICE/SHOWROOM AT A MAXIMUM OF 50% WAREHOUSE IN ADDITION TO THE ALLOWABLE USES LISTED HEREIN.
2. THE SIDE YARD SETBACK REQUIREMENT OF 52.5' SHALL BE REDUCED TO 50.0'.
3. ELEVATIONS ARE PROVIDED ON EXHIBIT C TO SHOW MINIMUM DESIGN STANDARDS ASSOCIATED WITH THE FINAL BUILDING.

ALLOWABLE USES:

- a. RETAIL, PROVIDED THAT THE SPECIFIC USE SHALL BE FURTHER LIMITED TO:

i. APPAREL STORE

ii. ARTS AND CRAFTS STORE

iii. ART GALLERY

iv. AUTO PART OR ACCESSORY SALES (INDOOR)

v. BAKERY (NO DRIVE-THROUGH FACILITY).

vi. BIKE SHOP

vii. CAFÉ (NO DRIVE-THROUGH FACILITY)

viii. COFFEE SHOP (NO DRIVE-THROUGH FACILITY)

ix. CORNER MARKET OR CONVENIENCE GOODS STORE PROVIDED THAT:

• A MINIMUM OF 40 PERCENT OF ITS RETAIL SALES AND DISPLAY AREA SHALL BE DEDICATED EXCLUSIVELY TO THE SALE OF A GENERAL LINE OF FOOD AND BEVERAGES THAT ARE INTENDED FOR HOME PREPARATION AND CONSUMPTION;

• A MINIMUM OF 20 PERCENT OF ITS RETAIL SPACE AND DISPLAY AREA SHALL BE DEDICATED EXCLUSIVELY TO THE SALE OF PERISHABLE GOODS INCLUDING DAIRY, FRESH PRODUCE, FRESH MEATS, POULTRY, FISH AND FROZEN FOODS;

• A MAXIMUM 10 PERCENT OF ITS RETAIL SPACE AND DISPLAY AREA OF THE CORNER MARKET MAY BE DEVOTED TO THE SALE OF ALCOHOL FOR OFF-SITE CONSUMPTION; AND

• THE RETAIL SALE OF DISCOUNT AND USED MERCHANDISE IS EXPRESSLY PROHIBITED.

x. FLORIST

xi. FURNITURE SALES (NEW ONLY)

xii. GIFT STORE

xiii. HARDWARE STORE

xiv. HOBBY, TOY OR GAME STORE

xv. ICE CREAM PARLOR (NO DRIVE-THROUGH FACILITY)

xvi. JEWELRY STORE

xvii. PET SUPPLIES STORE

xviii. PHARMACY (NO DRIVE-THROUGH FACILITY)

xix. RESTAURANT (NO DRIVE-THROUGH FACILITY)

xx. MOBILE FOOD VENDOR
- b. PERSONAL SERVICE, PROVIDED THAT THE SPECIFIC USE SHALL BE FURTHER LIMITED TO:

i. BARBER

ii. DAY SPA

iii. DRY CLEANER (NO DRIVE-THROUGH FACILITY)

iv. FITNESS STUDIO

v. HAIRDRESSER

vi. PET GROOMING

vii. SALON

vii. SHOE REPAIR

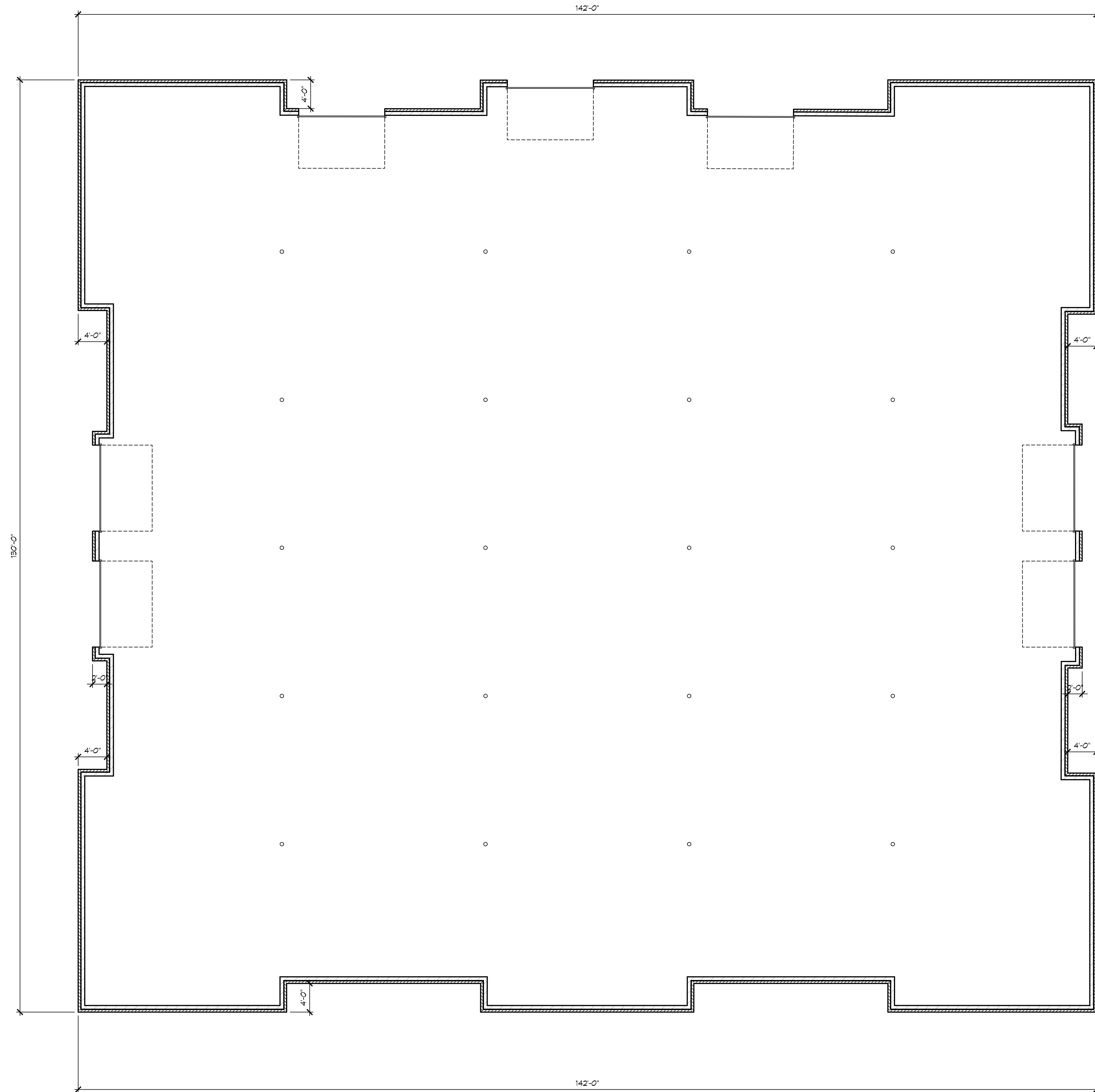
ix. TAILOR
- c. OFFICE
- d. MEDICAL CLINIC
- e. VETERINARIAN OFFICE (WITHOUT OUTSIDE ANIMAL RUN OR PENS)
- f. MAIL CENTER (MAY BE LOCATED WITHIN OR ADJACENT TO CORNER MARKET OR CONVENIENCE GOODS STORE OR FOOD SERVICE ESTABLISHMENT)
- g. SHOWROOM / OFFICE WAREHOUSE (SHOWROOM OR OFFICE MUST BE A MINIMUM OF 50% OF THE OVERALL BUILDING USE)
- h. STORAGE OR SALES WAREHOUSE (STORAGE OR WAREHOUSE CANNOT EXCEED 50% OF THE OVERALL BUILDING USE)



CONTACT: HECTOR SOTELO, P.E.  
EMAIL: hsotelo@bannistereng.com

EXHIBIT B (PAGE 2 OF 2)  
DEVELOPMENT PLAN  
DEBBIE LANE  
BUSINESS PARK  
ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023





230460



DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
----  
MANSFIELD, TEXAS  
----

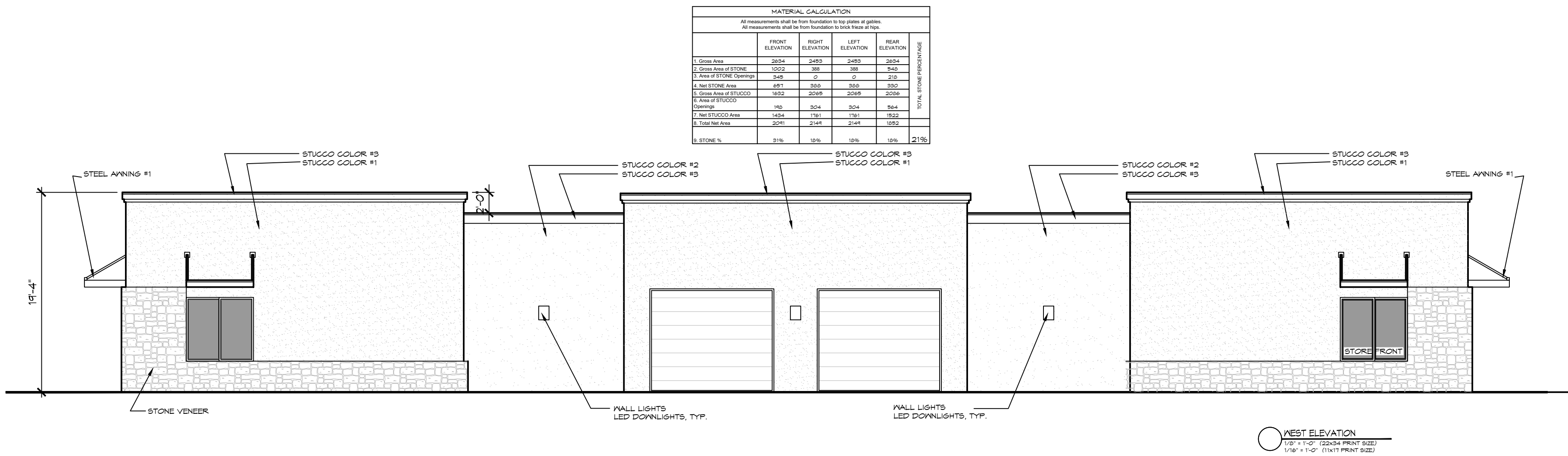
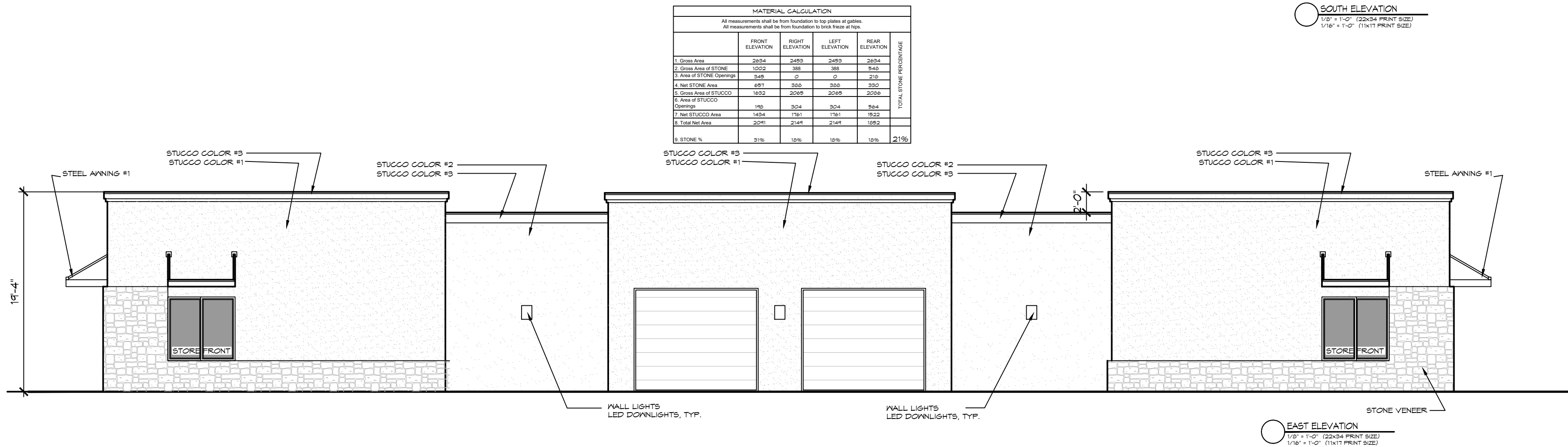
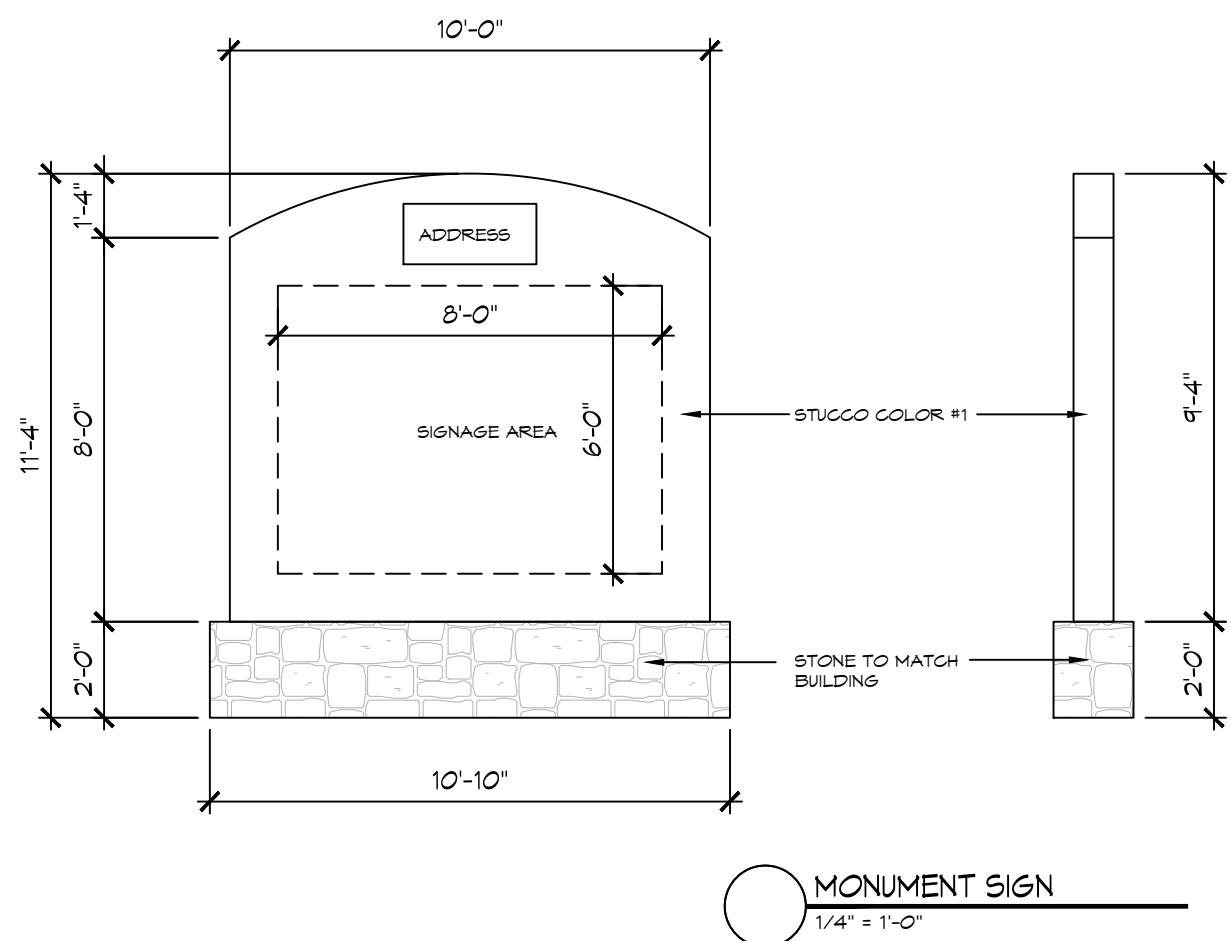
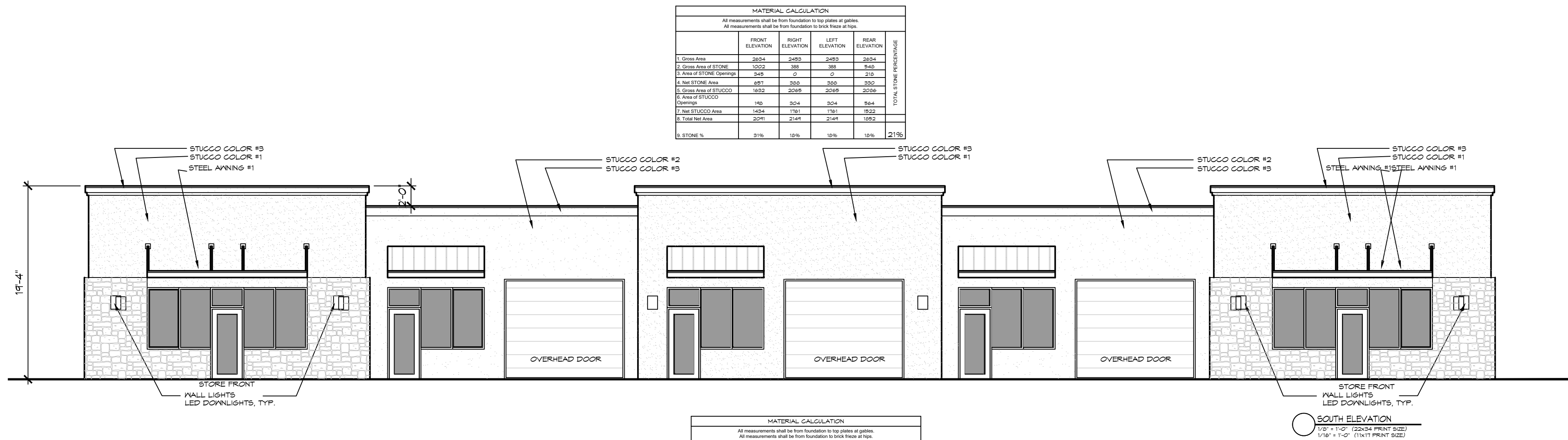
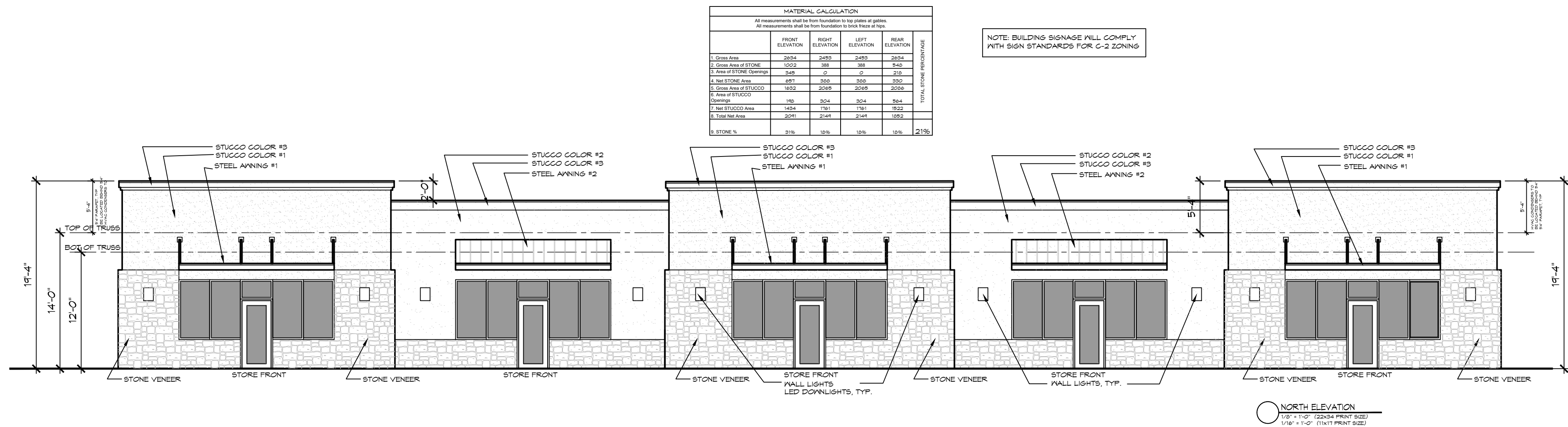
DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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SHEET Title:  
  
FLOOR  
PLAN  
  
1/8"=1'-0"

**No. 10**  
DESIGN  
GROUP  
  
218 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063  
817.471.1324 METRO 817.471.3853 FAX  
**ARCHITECTS**

© COPYRIGHT 2023 NO. 10 DESIGN GROUP

SHEET No.:  
  
A1-1



Case No. (ZC#23-003) 1863 FM 1187 C-2 to PD

230460



DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
MANSFIELD, TEXAS  
----

DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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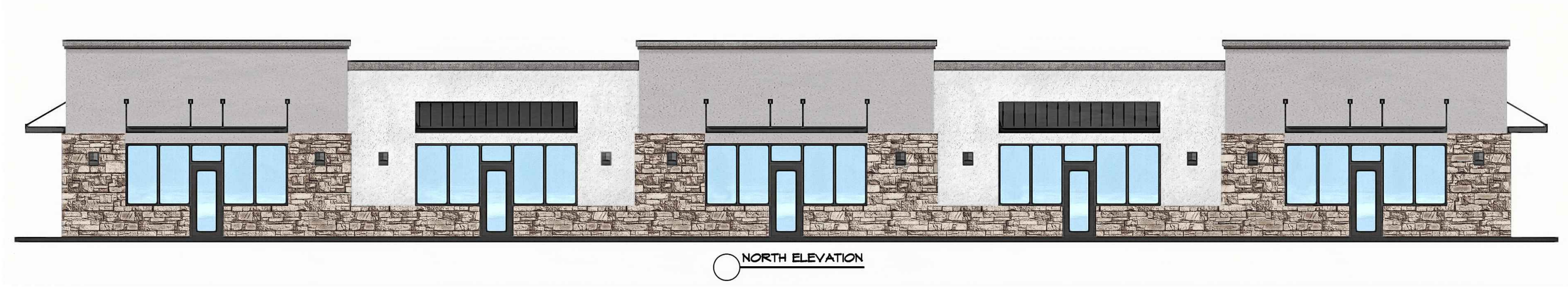
**No. 10  
DESIGN  
GROUP**  
211 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063  
817.471.1324 METRO 817.471.3853 FAX  
**ARCHITECTS**

© COPYRIGHT 2023 NO. 10 DESIGN GROUP

SHEET No.:

A2-1





NORTH ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/8" = 1'-0" (TEXT PRINT SIZE)



SOUTH ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/8" = 1'-0" (TEXT PRINT SIZE)



EAST ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/8" = 1'-0" (TEXT PRINT SIZE)



WEST ELEVATION  
1/8" = 1'-0" (250x4 PRINT SIZE)  
1/8" = 1'-0" (TEXT PRINT SIZE)

Case No. (ZC#23-003) 1863 FM 1187 C-2 to PD

230460



DEBBIE LANE  
BUSINESS PARK

1863 FM 1187  
LOT ---- BLOCK ----  
----  
MANSFIELD, TEXAS  
----

DATE: 2-6-23 PD1  
2-09-23 PD2  
3-13-23 PD3  
3-21-23 PD4  
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SHEET Title:

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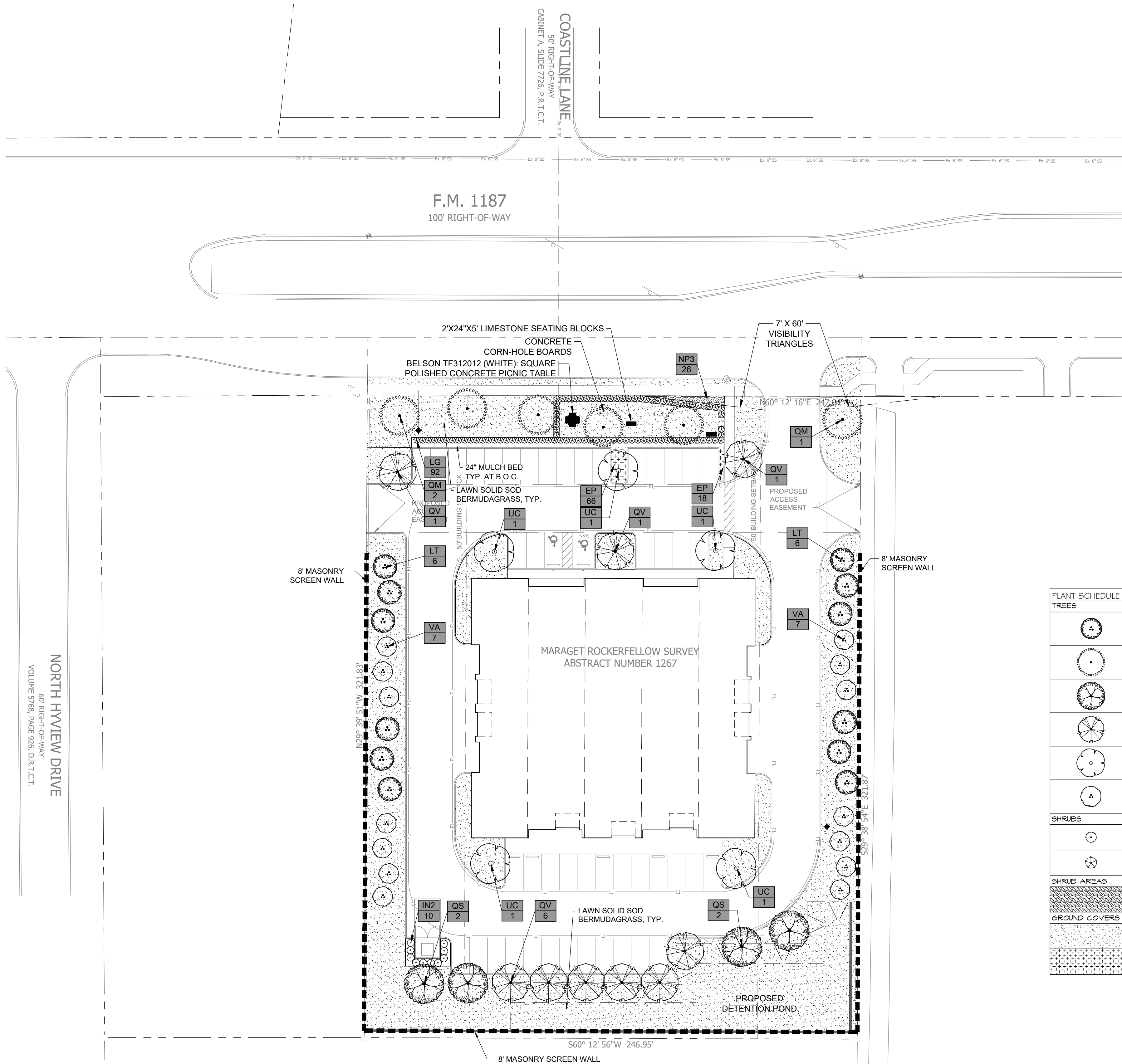
214 N. WALNUT CREEK DR. MANSFIELD TEXAS 76063  
817.471.1324 METRO 817.471.3853 FAX  
ARCHITECTS

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SHEET No.:

A2-2





SUMMARY CHART - INTERIOR LANDSCAPE				
PARCEL		LOT AREA (IN SQUARE FEET)	LANDSCAPE AREA (IN SQUARE FEET)	PASSIVE OPEN SPACE AREA (IN SQUARE FEET) 17,543 S.F. BUILDING AREA
LOT 1	RECD	79,496	7,950	1,754 S.F. (10%)
	PROVD		31,131	1,787 S.F. (10%)

SUMMARY CHART - INT. PARKING LOT LANDSCAPING		
LOT 1	# OF REQ'D PARKING SPACES:	8
	# OF PROVD PARKING SPACES:	48
	# OF TREE ISLANDS WITH TREES PROVD:	2

SUMMARY CHART - BUFFERYARDS / SETBACKS						
PARCEL	LOCATION OF BUFFERYARD OR SETBACK	BUFFERYARD OR SETBACK WIDTH / TYPE	LENGTH (IN FEET)	TREES REQ'D	TREES PROVD	SCREENING DEVICES
LOT 1	NORTH	20' BUFFERYARD	247	6	6	-
LOT 1	SOUTH	20' BUFFERYARD	247	10	10	8' MASONRY WALL
LOT 1	EAST	10' BUFFERYARD	322	13	13	8' MASONRY WALL
LOT 1	WEST	10' BUFFERYARD	322	13	13	8' MASONRY WALL

**NOTE**

1. The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding, and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

2. All areas disturbed by construction shall be fine graded and re-established by sod. These areas shall be irrigated and maintained until permanent stand of grass is achieved with a minimum of 70% coverage. This is to include all areas to the back of curb around the property.

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	NOTES
	LT	12	LAGERSTROEMIA INDICA 'TUSCARORA' / GRAPE MYRTLE	30	GAL	3'	6'-8'
	QM	6	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	45	GAL	3'	10'-12'
	QS	4	QUERCUS SHUMARDII / SHUMARD RED OAK	45	GAL	3'	10'-12'
	QV	9	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK	45	GAL	3'	10'-12'
	UC	5	ULMUS CRASSIFOLIA / CEDAR ELM	45	GAL	3'	10'-12'
	VA	14	VITEX AGNUS-CASTUS / CHASTE TREE	30	GAL	3'	6'-8'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING	NOTES
	IN2	10	ILEX X 'NELLIE R STEVENS' / NELLIE STEVENS HOLLY	15	GAL	48" HT	PER PLAN
	L6	42	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' TM / GREEN CLOUD TEXAS RANGER	3	GAL	24" HT	PER PLAN
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	SPACING	NOTES
	NP3	26	NASSELLA TENUISSIMA 'PONY TAILS' / MEXICAN FEATHERGRASS	1	GAL	12" HT	24" O.C.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	NOTES			
	GT	PER PLAN	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOLID SOD			
	EP	84	EUONYMUS COLORATUS / PURPLE WINTERCREEPER	1 GAL., 18" O.C., TRIANGULAR SPACING			

EXHIBIT D  
LANDSCAPE PLAN  
DEBBIE LANE  
BUSINESS PARK  
ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023

**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
REGISTRATION # F-10599 (TEXAS)

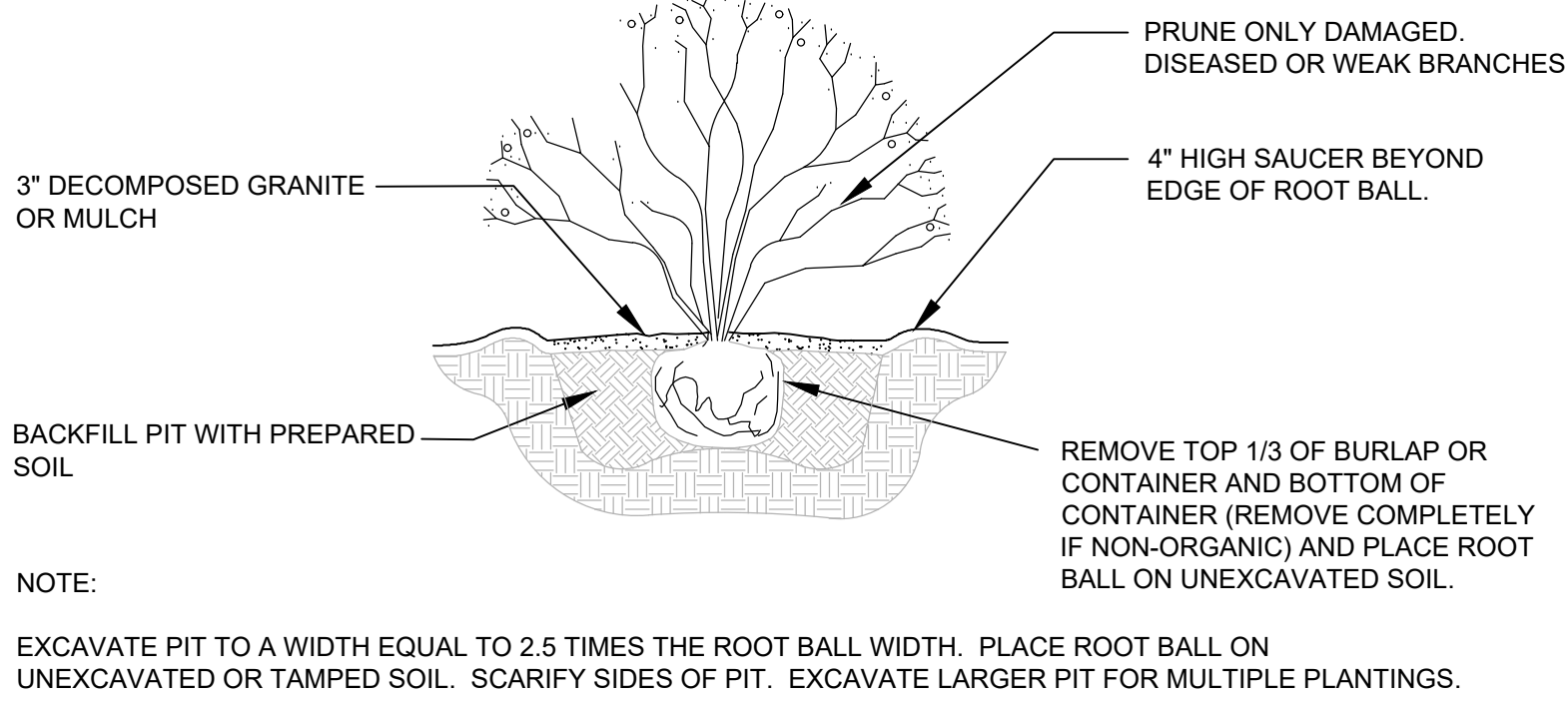
CONTACT: HECTOR SOTELO, P.E.  
EMAIL: hsotelo@bannistereng.com

PRELIMINARY  
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Construction, Bidding or  
Permit Purposes. They  
were prepared by, or  
under the supervision of:  
Drew J. Dubocq  
L.A.#3141  
05/24/2023



GENERAL NOTES :

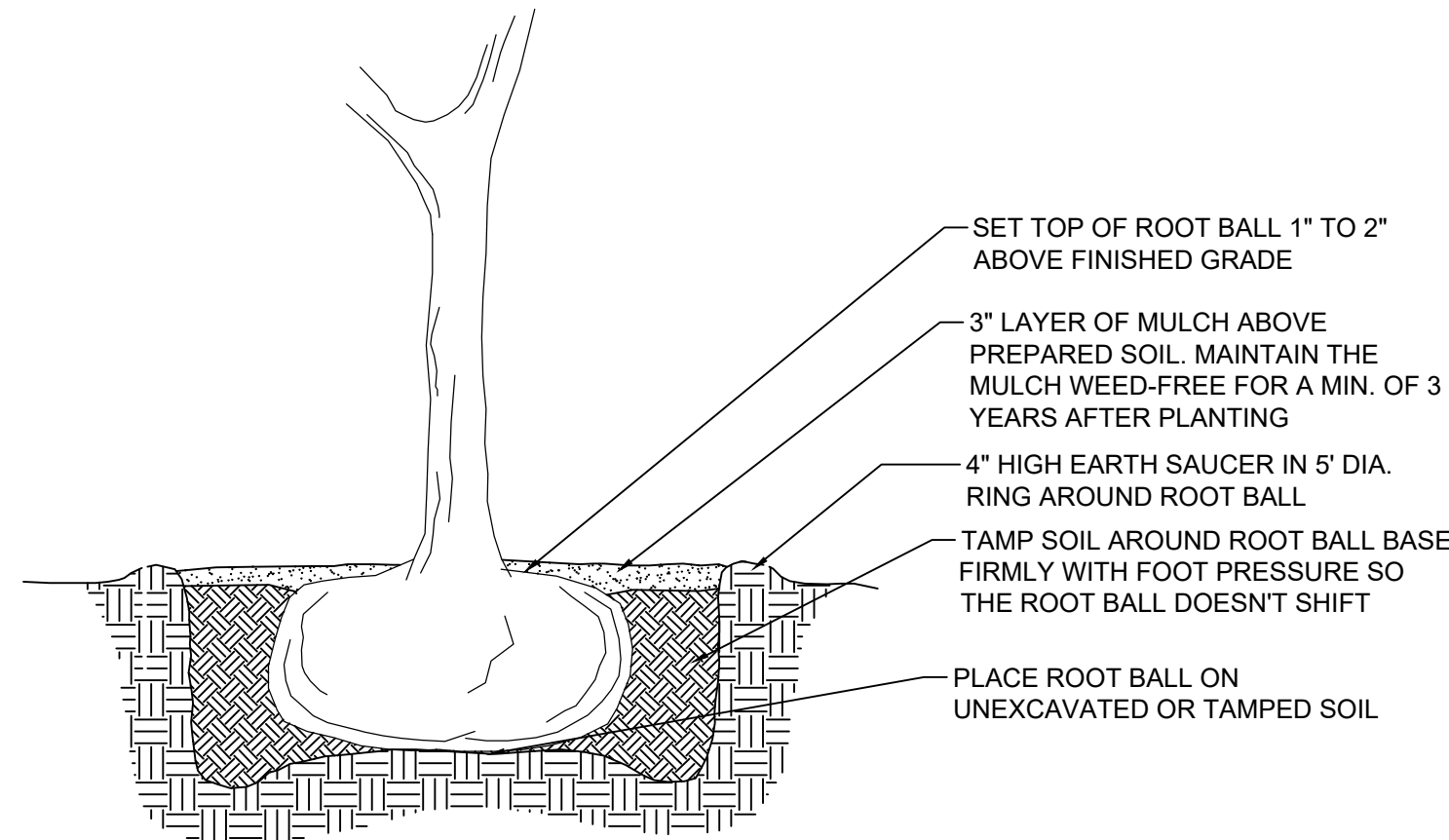
- LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED BY HIS OR HER WORK.
- CONTRACTOR SHALL ADVISE THE OWNER AND LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
- IF A DISCREPANCY BETWEEN DRAWINGS AND PLANT SCHEDULE IS FOUND, THE DRAWINGS SHALL TAKE PRECEDENT OVER THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL COMPLY WITH ALL SIZING AND GRADING STANDARDS OF THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK.'
- CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
- SUBSTITUTIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT INDICATED AS PLANTING BEDS SHALL BE SODDED OR SEEDED BY CONTRACTOR TO PROVIDE AN ESTABLISHED TURF AREA.
- CONTRACTOR SHALL REMOVE REASONABLE AMOUNT OF STONES, DEAD ROOTS, DETRITUS AND OTHER UNDESIRABLE MATERIAL FROM EXISTING SOIL.
- IF ROCKS ARE ENCOUNTERED, REMOVE TO A DEPTH OF 3" AND ADD 3" OF FRIABLE FERTILE TOPSOIL TO ALL SODDED AREAS. CONTRACTOR TO ENSURE THAT SITE IS GRADED ACCORDING TO THE ENGINEER'S GRADING PLAN.
- LAWN AREAS SHALL HAVE 3" MINIMUM FRIABLE TOPSOIL AND BE TREATED WITH FERTILIZER APPLIED AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
- SOIL PREPARATION FOR PLANTING BEDS SHALL BE AS FOLLOWS:
  - 3" OF ORGANIC COMPOST
  - 20 POUNDS OF ORGANIC FERTILIZER / 1,000 SF OF BED AREA
  - TILL BED TO A DEPTH OF 6" TO 8"
  - CHECK SOIL ACIDITY. SOIL ACIDITY SHOULD RANGE FROM 5.0 TO 7.0 PH. REGULATE IF NECESSARY.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM 3" OF NATIVE HARDWOOD MULCH.
- TREE PLANTING PITS SHALL BE CLEARED OF UNDESIRABLE MATERIAL AND BACKFILLED WITH PREPARED TOP SOIL. PLACE 1" OF COMPOST AND 3" OF SHREDDED HARDWOOD MULCH ON TOP OF ROOT BALL.
- THE CONTRACTOR WILL BE HELD LIABLE FOR ANY DAMAGE CAUSED TO TREES DUE TO IMPROPER STAKING METHODS, INCLUDING ABSENCE OF STAKING THROUGHOUT THE WARRANTY PERIOD.
- TREES SHALL BE PLANTED AT LEAST 2.5 FEET FROM ANY RIGHT-OF-WAY LINE, CURB, WALK OR FIRE HYDRANT, AND OUTSIDE ALL UTILITY EASEMENTS.
- TREES SHALL BE PLANTED AT LEAST 8 FEET FROM ANY PUBLIC UTILITY LINE WHERE POSSIBLE. IN THE EVENT THIS IS NOT POSSIBLE, CONTRACTOR SHALL INSTALL A ROOT BARRIER, PER THE DETAIL(S) NOTED ON THIS SHEET.
- TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF 7 FEET FROM FINISH SURFACE GRADE.
- CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER THE FINAL ACCEPTANCE. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH THE SEASON. DEAD, DAMAGED OR DESTROYED PLANT MATERIAL SHALL BE REPLACED IN KIND WITHIN THIRTY DAYS. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVERSPRAY ON STREETS IS PROHIBITED.
- INSTALLING CONTRACTOR TO MAINTAIN LANDSCAPING FOR 30 DAYS FROM OWNER OCCUPANCY TO ESTABLISH PLANTS AND GRASS, MOWING AND TRIMMING TO BE INCLUDED.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND RE-ESTABLISHED BY SOD. THESE AREAS SHALL BE IRRIGATED AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. THIS IS TO INCLUDE ALL AREAS TO THE BACK OF CURB AROUND THE PROPERTY.
- ANY HARDWOOD MULCHED BEDS ON SITE SHALL HAVE PERMEABLE WEED MAT INSTALLED PRIOR TO PLANT MATERIAL AND MULCH BEING INSTALLED.
- ALL BEDDING AREAS WITH GROUND COVER (ASIAN JASMINE, WINTERCREEPER, ETC.) SHALL BE TOP DRESSED WITH HARDWOOD MULCH UNTIL GROUND COVER HAS COVERED AREA COMPLETELY.
- ANY SWITCH GEAR DEVICES, ELECTRICAL TRANSFORMERS, TELEPHONE PEDESTALS, AND HVAC UNITS LOCATED ON THE PROPERTY ARE TO BE SCREENED. IF THESE DEVICES HAVE BEEN ALTERED FROM THE MOST RECENT PLANS, THE CONTRACTOR IS TO VERIFY PLACEMENT OF THESE UTILITIES AND CONTACT LANDSCAPE ARCHITECT FOR PLANT MATERIAL SPECIFICATIONS AND PLACEMENT.
- LANDSCAPE CONTRACTOR SHALL NOT PLACE TOPSOIL OR MULCH ABOVE BRICK LEDGE OF THE BUILDING AND SHALL NOT BLOCK WEEP HOLES ON THE BUILDING.
- IF THE GRADES ON SITE AT THE TIME THE LANDSCAPE CONTRACTOR IS SET TO BEGIN WORK DOES NOT ALLOW THE BRICK LEDGE AND WEEP HOLES TO REMAIN UNCOVERED, IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OR GENERAL CONTRACTOR IMMEDIATELY.



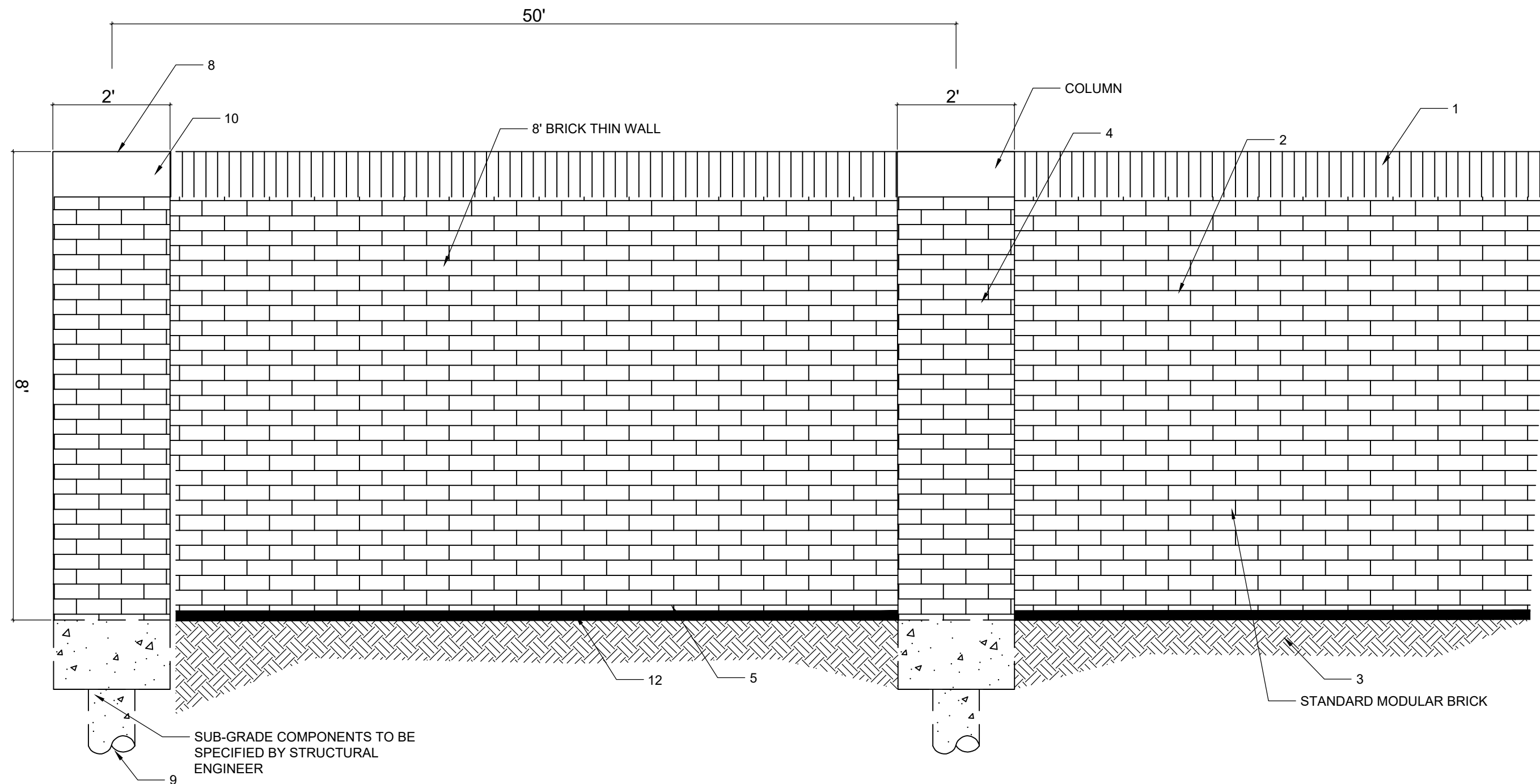
A SHRUB PLANTING DETAIL

NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.
- REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE.



B TREE PLANTING DETAIL



C 8' MASONRY SCREEN WALL DETAIL

ROOT ANCHOR ITEM #	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH
15-BG	10 / 15 OR 17" ROOT BALL	12-18" MINIMUM DEPTH
30-BG	20 / 39 GALLON OR 22" ROOT BALL	18-24" MINIMUM DEPTH
45/65-BG	45 / 65 GALLON OR 27-30" ROOT BALL	24-30" MINIMUM DEPTH
100-BG	95 / 100 GALLON OR 36" ROOT BALL	30-36" MINIMUM DEPTH
150-BG	150 GALLON OR 42" ROOT BALL	48" MINIMUM DEPTH
200-BG	200 GALLON OR 48" ROOT BALL	48" MINIMUM DEPTH
300-BG	300 GALLON OR 58" ROOT BALL	48" MINIMUM DEPTH
CUSTOM-BG	ROOT BALLS LARGER THAN 60"	TBD

STEP 1:

- SET TREE IN PLANTING PIT.
- PLACE ANCHOR WITH RING SIDE DOWN AGAINST TOP OF ROOT BALL.
- CENTER ROOT ANCHOR'S INNER RING(S) AROUND TRUNK OF TREE.
- ALIGN DRIVE ROD AS CLOSE AS POSSIBLE TO OUTSIDE EDGE OF U-BRACKET.

STEP 2:

- DRIVE ANCHOR STRAIGHT DOWN INTO UNDISTURBED SUBBASE SOIL.
- SEE CHART FOR RECOMMENDED DEPTHS PER TREE SIZE.

STEP 3:

- REMOVE DRIP ROD.
- REPEAT STEPS 1 & 2 FOR ALL THREE (3) ANCHOR LOCATIONS.
- PULL BACK ON STRAP APPROXIMATELY 3" FOR THE V-68 ANCHOR, OR 6" TO 7" FOR THE V-88 ANCHOR TO SET ANCHOR INTO A HORIZONTAL OR LOCKED POSITION. A FULCRUM MAY BE REQUIRED TO ASSIST IN SETTING THE ANCHOR.
- PLACE "S" HOOK OVER THE END OF THE U-BRACKET.
- PULL STRAP UP VERTICALLY UNTIL ROOT ANCHOR RINGS BITE INTO THE TOP OF THE ROOT BALL AND U-BRACKETS ARE SETTING FLUSH ON TOP OF THE ROOT BALL.
- TIE EXCESS STRAP OFF TO THE U-BRACKET ALLOWING ENOUGH REMAINING STRAP TO ADJUST TREE, IF NECESSARY.

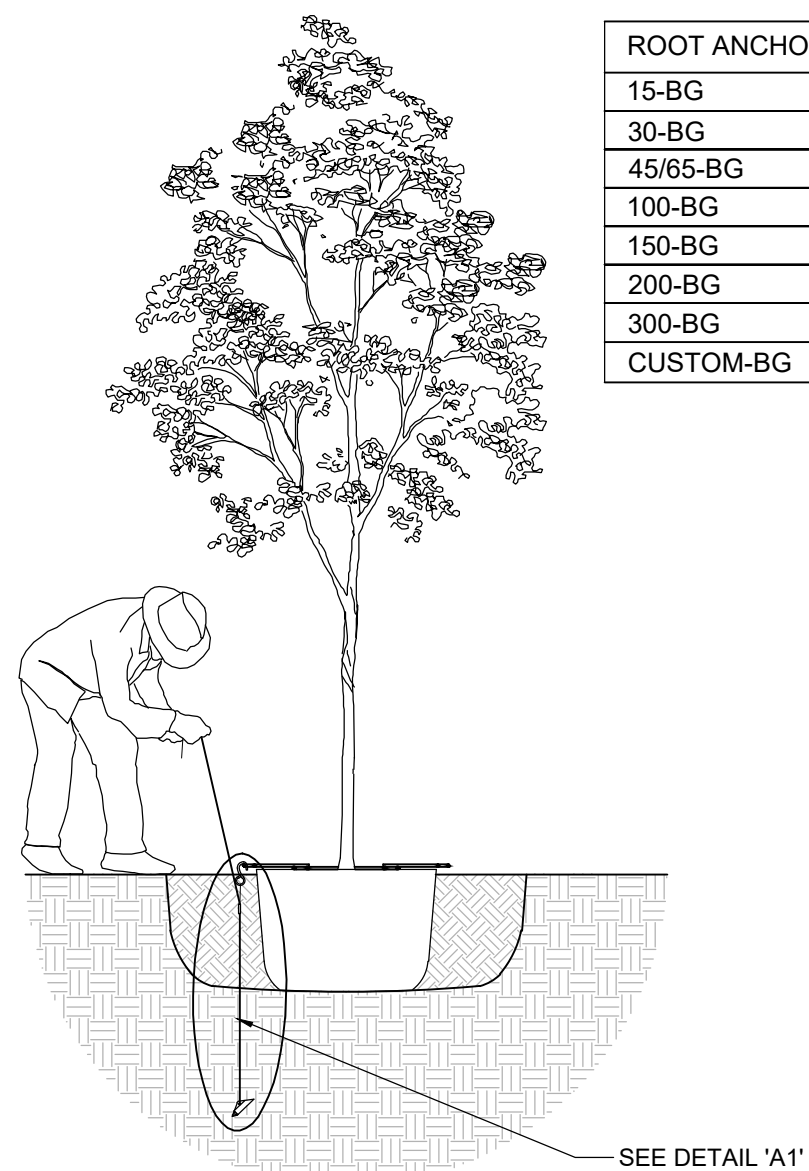
EXHIBIT D  
LANDSCAPE NOTES  
AND DETAILS  
DEBBIE LANE  
BUSINESS PARK

ZC#23-003  
1863 FM 1187  
City of Mansfield  
Tarrant County  
Date Prepared: MAY 25, 2023

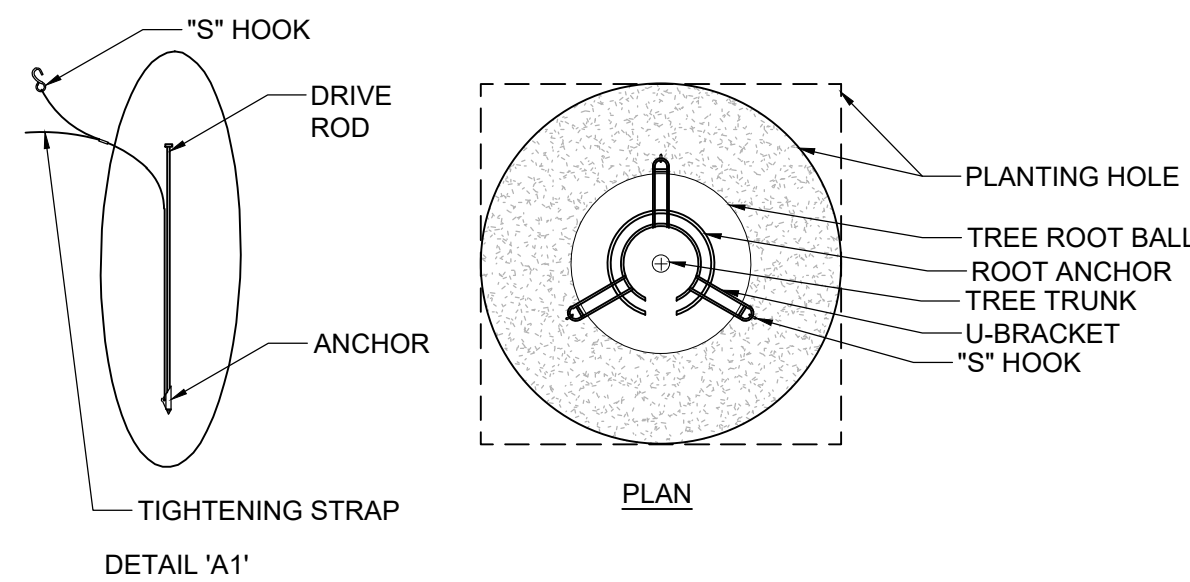


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Drew J. Dubocq  
L.A.#3141  
04/06/2023



D TREE STAKING DETAIL





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5419

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

**Title**

Public Hearing to Consider Amending Chapter 155 of the Code of Ordinances of the City of Mansfield, "Zoning" by Amending Special Purpose District Regulations and Creating a New Section 155.074 "T, Toll Road 360 Form-based Development District" (OA#23-002)

**Requested Action**

To consider the subject ordinance amendments.

**Recommendation**

The recommendation is to table this item indefinitely to allow for further review.

**Description/History**

This is a request to amend the provisions of Chapter 155, entitled "Zoning" of the City of Mansfield Code of Ordinances to introduce a new proposed form-based development district --- the T, Toll Road 360 Form-based Development District.

The general purpose and intent of the T, Toll Road 360 Form-based Development District is to encourage and enable:

- [H]armonious and coordinated development;
- [D]evelopment that considers natural features, community facilities, pedestrian / vehicular circulation in conformance with the Thoroughfare plan, and land use relationship with surrounding properties; AND
- [W]alkable pedestrian environments that complement the existing housing stock by offering a variety of building types to serve mixed generations.

This text amendment is intended to guide and direct future development along the State Highway 360 Corridor.

**Attachments**

N/A.



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 23-5420

**Agenda Date:** 6/13/2023

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

### Agenda Number:

#### Title

Public Hearing on a Change of Zoning from PR, Pre-Development District to the T, Toll Road 360 Form-based Development District on approx. 216 acres, being tracts situated in the M. Gregg Survey, Abstract No. 358, H. Henderson Survey, Abstract No. 432, and the J. Lawrence Survey, Abstract No. 616; City of Mansfield, Ellis County, Texas, located east of State Highway 360, south of Lone Star Road, and south of Britton Road, excluding all of Lot 1-R, Block 1, Maranatha Ranch Addition, according to the plan filed in Document# 0903697, Cabinet H, Slide 640, Ellis County, Texas, Plat Records, and a 5.068 acre tract of land situated in the J. Lawrence Survey, Abstract No. 616, belonging to the Tarrant County Water Control and Improvement District #1. Located along the 3500 and 3600 blocks of Lone Star and 3800 block of Britton Roads; Arcadia, Developer (ZC#23-005)

#### Requested Action

To consider the subject request for zoning change.

#### Recommendation

The recommendation is to table this item indefinitely to allow for further review.

#### Description/History

This is a request to rezone approximately 216 acres of property east of State Highway 360 and south of Lone Star and Britton Roads from PR, Pre-Development District to the T, Toll Road 360 Form-based Development District. The T, Toll Road 360 Form-based Development District intends to encourage and enable "harmonious and coordinated development and to create "walkable pedestrian environments that complement the existing housing stock by offering a variety of building types to serve mixed generations."

#### Attachments

Maps and Supporting Information









## Property Owner Notification for ZC 23-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
2;PT3 I O T BRITTON		BRITTON UNITED METHODIST	4510 BRITTON RD	MANSFIELD, TX	76065
385 M GREGG 0.0307 ACRES		TEXAS DEPARTMENT OF TRANSPORTA	125 E 11TH ST	AUSTIN, TX	78701
385 M GREGG 0.26 ACRES		TEXAS DEPARTMENT OF TRANSPORTA	125 E 11TH ST	AUSTIN, TX	78701
385 M GREGG 1.622 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725
385 M GREGG 15.81 ACRES		CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063--180
385 M GREGG 19.1659 ACRES		CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063--180
385 M GREGG 2.7571 ACRES		CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063--180
385 M GREGG 3.216 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725
385 M GREGG 7.85 ACRES		CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063--180
4;PT3& 5;6 I O T BRITTON 2.388 ACRES		MARTIN MARIA E	932 COOK ST	MIDLOTHIAN, TX	76065
432 LOTS 1-3 & PT4 & 10 & 11 & PT 12 BLK 10 432 H HENDERSON		SOUTHWEST DYNAMICS SERVICE INC	PO BOX 201807	ARLINGTON, TX	76006
432 H HENDERSON 0.5 ACRES		BALLARD JOE ETAL	1200 N HOUSTON ST	COMANCHE, TX	76442--178
432 H HENDERSON 1.5 ACRES		BRITTON CEMETERY	4510 BRITTON RD	MANSFIELD, TX	76065--400
432 H HENDERSON 65.603 ACRES		ABRAMS MYRNA P	2315 MEADOW DR SOUTH	WILMETTE, IL	60091--220
432 H HENDERSON & 616 J LAWRENCE 69.500 ACRES		MC VEAN MELINDA LOU & FRED BAL	1200 N HOUSTON ST	COMANCHE, TX	76442--178
616 385 J LAWRENCE M GREGG 0.223 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725

Thursday, April 20, 2023

Page 1 of 3

## Property Owner Notification for ZC 23-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
616 385 J LAWRENCE M GREGG 19.575 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725
616 385 J LAWRENCE M GREGG 1.755 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725
616 385 J LAWRENCE M GREGG 16.263 ACRES		THREE SIXTY REALTY INC	% MR ROSWELL M CURTIS III	DELRAY BEACH, FL	33483--725
616 385 J LAWRENCE M GREGG 36.26 ACRES		PHILLIPS FAMILY LIVING TRUST	3320 CHADWELL	DALLAS, TX	75234
616 J LAWRENCE 0.667 ACRES 75234--512		PHILLIPS JUDITH A	3320 CHADWELL DR	FARMERS BRANCH, TX	
616 J LAWRENCE 1.886 ACRES		SUNBELT LAND INVESTMENT 360 LT	*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
616 J LAWRENCE 101.284 ACRES		SUNBELT LAND INVESTMENT 360 LT	*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
616 J LAWRENCE; 432 H HENDERSON 5.217 ACRES		GREENWAY TRAILS OWNERS ASSOCIA	5757 ALPHA RD STE 680	DALLAS, TX	75240--478
8 1 O T BRITTON 0.517 ACRES		CLARK RONALD CHARLES	920 NOAH ST	MANSFIELD, TX	76065--902
E 225 OF 1 1 O T BRITTON 1.031 ACRES		MASSEY DANIEL J	4150 BRITTON RD	MANSFIELD, TX	76063--871
GREGG, MELTON SURVEY	A 560	CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063-1805
J LAWRENCE 5.068 AC		TARRANT CO WATER	800 E NORTHSIDE DR	FORT WORTH, TX	76102--101
LOT 1 BLK 1 CREED CONCEPTS ADDN .408 AC		CREED CONCEPTS LLC SERIES C	1105 HUNTINGTON TRL	MANSFIELD, TX	76063
LOT 10 BLK 1 O T BRITTON-REV 0.516 AC		MIZER BILLY & KIMBERLY KELLY	936 NOAH ST	MIDLOTHIAN, TX	76065
LOT 1R BLK 1 MARANATHA RANCH 5.392 AC		MASSEY DAN J	4000 BRITTON RD	MANSFIELD, TX	76063
LOT 6R1, 6R2 & 6R3 BLK 2 O T BRITTON-REV 0.594 AC		HARTMAN BEN	509 ALVARADO ST	MANSFIELD, TX	76063--193
LOT 7 BLK 2 O T BRITTON-REV 1.085 AC		MASON SANDRA L	936 COPE ST	MIDLOTHIAN, TX	76065
LOT 9 BLK 1 O T BRITTON-REV 0.691 AC		CUEVAS KENEDI H	950 E PLEASANT DR	DALLAS, TX	75217--446
LOT PT 4 BLK 6 O T BRITTON-REV 0.881 AC		MASSEY DAN J	4150 BRITTON RD	MANSFIELD, TX	76063--871

Thursday, April 20, 2023

Page 2 of 3



## Property Owner Notification for ZC 23-005

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
LOT PT 5 BLK 1 O T BRITTON-REV 0.37 AC		STORY HAROLD R & SUE	4224 BRITTON RD	MANSFIELD, TX	76063--872
LOT PT 6 O T BRITTON-REV	0.17 AC	MUWAQUET MARWAN F	9606 FAIRWAY VISTA DR	ROWLETT, TX	75089
LOT PT 7 BLK 1 O T BRITTON-REV .496 AC		TRIPLE K ASSETS LLC	2909 TURNER WARNELL RD	ARLINGTON, TX	76001
NEILL, SAMUEL C SURVEY	A 1159	CITY OF MANSFIELD	1200 E BROAD ST	MANSFIELD, TX	76063-1805
NEILL, SAMUEL C SURVEY	A 1159	BUTLER HERITAGE LLC	PO BOX 297	LANCASTER, TX	75146
W 150 OF 11 O T BRITTON	0.689 ACRES	MASSEY FRANK A	3953 BETTY LN	CLEBURNE, TX	76031--000
WPT 51 O T BRITTON	0.5 ACRES	MASSEY DANIEL JAY	4150 BRITTON RD	MANSFIELD, TX	76063--871