



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Agenda

### Planning and Zoning Commission

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Monday, August 3, 2020

6:00 PM

City Hall Council Chambers

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**PARTICIPATION IN THIS MEETING WILL BE AVAILABLE IN PERSON OR BY VIDEO  
CONFERENCING. To participate by video, please register at**

**[https://mansfieldtexas.zoom.us/webinar/register/WN\\_CfwUnQHoSS2Jbza9fH1crA](https://mansfieldtexas.zoom.us/webinar/register/WN_CfwUnQHoSS2Jbza9fH1crA)**

**by 6:00 pm on Monday, August 3, 2020 or join by telephone at 1-888-788-0099 (Toll Free). When you call into the meeting, provide the Webinar ID number and password below:**

**Webinar ID: 983 9648 0820**

**Password: 534142**

**Citizen comments on any agenda item for the August 3, 2020 Planning and Zoning Commission meeting may be submitted by email at [planning@mansfieldtexas.gov](mailto:planning@mansfieldtexas.gov). All comments must be received by 12:00 noon, Monday, August 3, 2020, for presentation to the Commissioners prior to the meeting.**

**1. CALL TO ORDER**

**2. APPROVAL OF MINUTES**

[20-3659](#)

Minutes - Approval of the July 20, 2020 Planning and Zoning Commission Meeting Minutes

**Attachments:** [07-20-20 Meeting Minutes](#)

**3. CITIZENS COMMENTS**

*Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".*

*In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.*

**4. PUBLIC HEARINGS**



- [20-3661](#) ZC#20-010: Public hearing for a zoning change from C-1, Neighborhood Business District to SF-7.5/18 Single-Family Residential District on approximately 1.46 acres located at 1557 Speers Drive; Cristina Salinas, owner/developer

**Attachments:** [Maps and Supporting Information.pdf](#)  
[Exhibit A.pdf](#)

- [20-3662](#) ZC#20-008: Public hearing for a change of zoning from C-2 Community Business District to PD Planned Development District for apartment and townhome uses on approximately 19.527 acres out of the J. Grimsley Survey, Abstract No. 578, generally located at 2880 Matlock Rd.; Miller Sylvan of JPI on behalf of Morreta A. & James A. Weatherford of Deblock, Ltd.

**Attachments:** [Maps and Supporting Information.pdf](#)  
[Exhibit A - Property Description.pdf](#)  
[Exhibit B - Development Plan.pdf](#)  
[Exhibit C - Elevations and Floor Plans.pdf](#)  
[Exhibit D - Landscape Plan.pdf](#)  
[Exhibit E - Sign Plan.pdf](#)

5. **COMMISSION ANNOUNCEMENTS**
6. **STAFF ANNOUNCEMENTS**
7. **ADJOURNMENT OF MEETING**
8. **NEXT MEETING DATE: Monday, August 17, 2020**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on July 30, 2020, in accordance with Chapter 551 of the Texas Government Code.

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Art Wright, Planner II

\* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

\* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.





# CITY OF MANSFIELD

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## STAFF REPORT

File Number: 20-3659

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**Agenda Date:** 8/3/2020

**Version:** 1

**Status:** Approval of Minutes

**In Control:** Planning and Zoning Commission

**File Type:** Meeting Minutes

**Agenda Number:**

**Title**

Minutes - Approval of the July 20, 2020 Planning and Zoning Commission Meeting  
Minutes

**Description/History**

The minutes of the July 20, 2020 Planning and Zoning Commission Meeting are in DRAFT form and will not become effective until approved by the Commission at this meeting.





# CITY OF MANSFIELD

1200 E. Broad St.  
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## Meeting Minutes - Draft

### Planning and Zoning Commission

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Monday, July 20, 2020

6:00 PM

City Hall Council Chambers

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**This meeting was open to the public and conducted by video conferencing with access to the public.**

#### 1. CALL TO ORDER

*Vice Chairman Knight called the meeting to order at 6:00 p.m. in the Multi-Purpose Room of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.*

*Staff Present:*

*Matt Jones, Director of Planning*

*Lisa Sudbury, Assistant Director of Planning*

*Art Wright, Planner II*

*Shirley Emerson, Planner*

*Andrew Bogda, Planner*

*Raymond Coffman, City Engineer*

*Commissioners:*

**Present** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

#### 2. 20-3653

##### ELECTION OF A CHAIR

*Vice-Chairman Knight turned the meeting over to Matt Jones, Director of Planning, for the election of a Chairman.*

*Mr. Jones called for nominees of the position of Chairman for the Commission.*

**Commissioner Weydeck made a motion to elect Vice Chairman Knight to the position of Chair. Commissioner Groll seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

#### 3. 20-3654

##### ELECTION OF A VICE-CHAIR

*Chairman Knight called for nominees of the position of Vice Chairman for the Commission.*



Commissioner Groll made a motion to elect Blake Axen as Vice Chairman. Commissioner Weydeck seconded the motion which carried by the following vote:

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

#### 4. **APPROVAL OF MINUTES**

[20-3613](#)

Minutes - Approval of the June 15, 2020 Planning and Zoning Commission Meeting Minutes

Commissioner Groll made a motion to approve the June 15, 2020 minutes as presented. Commissioner Weydeck seconded the motion which carried by the following vote:

**Aye:** 5 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight and Stephen Groll

**Nay:** 0

**Abstain:** 1 - Justin Gilmore

#### 5. **CITIZENS COMMENTS**

*None.*

#### 6. **CONSENT AGENDA**

[20-3628](#)

SD#20-020: Final Plat of Shady View Estates; Ron Crabtree of Twin A Holdings, LLC

Vice-Chairman Axen made a motion to approve the plat as presented. Commissioner Groll seconded the motion which carried by the following vote:

#### 7. **PUBLIC HEARINGS**

[20-3610](#)

SD#20-030: Public hearing on a replat to create Colby Crossing Phase 2, being a revision of Lot 1, Block 1, Kyle Addition, City of Mansfield, Tarrant County, TX, as filed in Vol. 388-206, Pg. 55, Plat Records, Tarrant County, TX and a revision of Lot 1, Block 1, Whaley Addition, City of Mansfield, Tarrant County, TX, as filed in Vol. 388-166, Pg. 85, Plat Records, Tarrant County, TX, on 9.533 acres located on the east side of Miller Road, approximately 480 feet south of Cannon Drive; John Arnold of Skorburg Company

*Mr. Jones stated that the plat is substantially in conformance with the approved*



*Planned Development that the Commissioners reviewed earlier this year.*

*Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.*

*After the vote, Chairman Knight moved to agenda Item 20-3609 (ZC#20-007).*

**After discussion, Vice-Chairman Axen made a motion to approve the plat with the staff conditions. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

[20-3609](#)

ZC#20-007: Public hearing for zoning change from SF-7.5/12 to PD for single family residential uses on approximately 0.547 acres located at 911 Noah Street and 906 Cope Street; Ben Hartman, owner/developer.

*Mr. Jones gave the Staff presentation and overview of the request and was available to answer questions.*

*Ben Hartman, the applicant, was available to answer any questions.*

*Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.*

**After discussion, Commissioner Groll made a motion to approve the zoning change with the condition that the applicant removes the minimum 8:12 roof pitch option as part of the development standards and relocates the existing carport at 911 Noah Street further from the proposed side property line. Commissioner Weydeck seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

[20-3627](#)

SD#20-029: Public hearing on a replat to create Lots 1 through 24, Block 1, Legacy Estates on approximately 6.95 acres located at 2305 and 2306 Alicia Court, by Rockwater Developments, LLC, owner; DeOtte Inc., engineer; and Kaz Surveying, Inc., surveyor

*Mr. Jones gave an overview of the request and was available to answer questions.*

*Troy Lewis, of Rockwater Developments, LLC, Curtis Young, of Sage, and Clayton Redinger, of Deotte Inc. all representing the applicant spoke regarding the application.*

*Chairman Knight opened the public hearing and called for anyone wishing to speak to come forward.*



*The following persons were Speakers Opposed to the request:  
Keith Harvey, Norman Leger, Jimmie Carson, Alan Kilpatrick.*

*The following person spoke and/or registered via Zoom:  
Mary Malkemes, Paul Campbell, Gaya Campbell, Sally Brown, Hal Mueller, Sarah  
Kilpatrick, Mike McCord, Brenda Jacks, Nannette Edwards, David Merster*

*The following persons submitted cards as Non-Speakers Opposed to the request:  
Chevita Goodman, Dennis Goodman, Randy Jeffries, Barry McClintic, Russell  
Nicholas, Rita Hudson*

*The following concerns were presented by the speakers and by letters and petitions:  
length of the street; flooding/drainage; density; 2-story houses; traffic; sidewalks; and  
public safety/crime.*

*Vice-Chairman Axen asked questions about drainage of Raymond Coffman. Mr.  
Coffman presented a PowerPoint presentation and explained the area drainage to the  
Commission.*

*Commissioner Gilmore stated that the length of the cul-de-sac was not appropriate.*

**Following this discussion, Commissioner Groll made a motion to disapprove  
the plat. Commissioner Gilmore seconded the motion which carried by the  
following vote:**

**Aye:** 5 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Stephen Groll and Justin  
Gilmore

**Nay:** 1 - Kent Knight

**Abstain:** 0

## **8. COMMISSION ANNOUNCEMENTS**

*The Commissioners congratulated Chairman Knight and Vice-Chairman Axen and  
welcomed Commissioner Gilmore.*

## **9. STAFF ANNOUNCEMENTS**

*Mr. Jones stated that the Commission should start to see the Downtown Zoning  
Ordinance for review and consideration in the coming month.*

## **10. ADJOURNMENT OF MEETING**

*With no further business, Chairman Knight adjourned the meeting at 8:15 p.m.*

**Commissioner Klenzendorf made a motion to adjourn the meeting.**

**Vice-Chairman Axen seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll  
and Justin Gilmore

**Nay:** 0

**Abstain:** 0



\_\_\_\_\_  
Kent Knight, Chairman

\_\_\_\_\_  
Lisa Sudbury, Asst. Director of Planning





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3661

Agenda Date: 8/3/2020

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Agenda Number:

#### Title

ZC#20-010: Public hearing for a zoning change from C-1, Neighborhood Business District to SF-7.5/18 Single-Family Residential District on approximately 1.46 acres located at 1557 Speers Drive; Cristina Salinas, owner/developer

#### Description/History

*Proposed Use:* Single-family Residential

*Existing Land Use:* Single-family Residential

#### *Surrounding Land Use & Zoning:*

North - Residential and vacant on the other side of Retta Road, SF-7.5/12

South - Vacant and Residential, C-1

East - Residential and vacant on the other side of Retta Road, SF-7.5/12

West - Residential, SF-7.5/12

#### *Land Use Plan Specification:*

The property is located in Sub-Area 2. The Land Use Plan recommends the following:

- Use the Residential Guidelines as a guide to any new residential development, where appropriate.
- Allow smaller, narrower lots to match the existing lots on the north side of W. Broad St.

#### *Thoroughfare Plan Specification:*

Retta Road is a proposed 6 lane divided principal arterial.

#### Comments and Considerations

The subject property consists of 1.46 acres on the west side of Retta Road and the south side of Speers Drive. There is an existing single-family residence on the property that may be retained on one of the lots.

The applicant is requesting Single-family 7.5/18 zoning. For this District, the minimum lot width is 65 feet, minimum lot depth is 110 feet and minimum lot area is 7,500 square feet. The minimum home size in this district is 1,800 square feet. Any subdivision would be required to meet the minimum standards of the SF-7.5/18 zoning district.

Any homes built on the subject property must meet the current standards in Section 4600 of the Zoning Ordinance. This will include a minimum roof pitch of 8:12 on the prominent



roof slope, no blank walls, 30 year laminated architectural shingles with a three dimensional appearance, and a well-defined front entry.

**Recommendation**

This proposed zoning change is consistent with the surrounding area and the recommendations in the Future Land Use Plan. Staff recommends approval

**Attachments:**

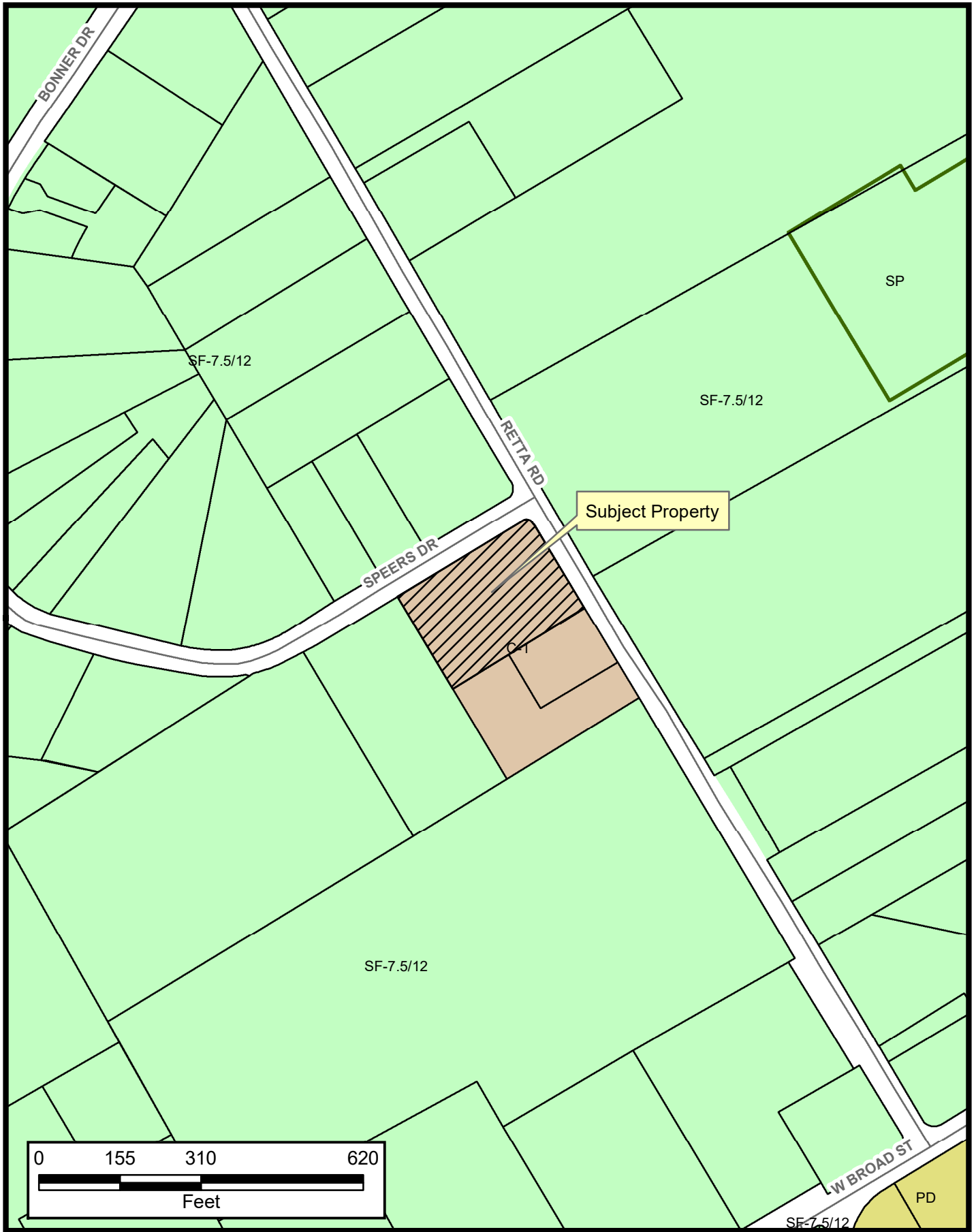
Maps and supporting information

Exhibit A









**ZC#20-010**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

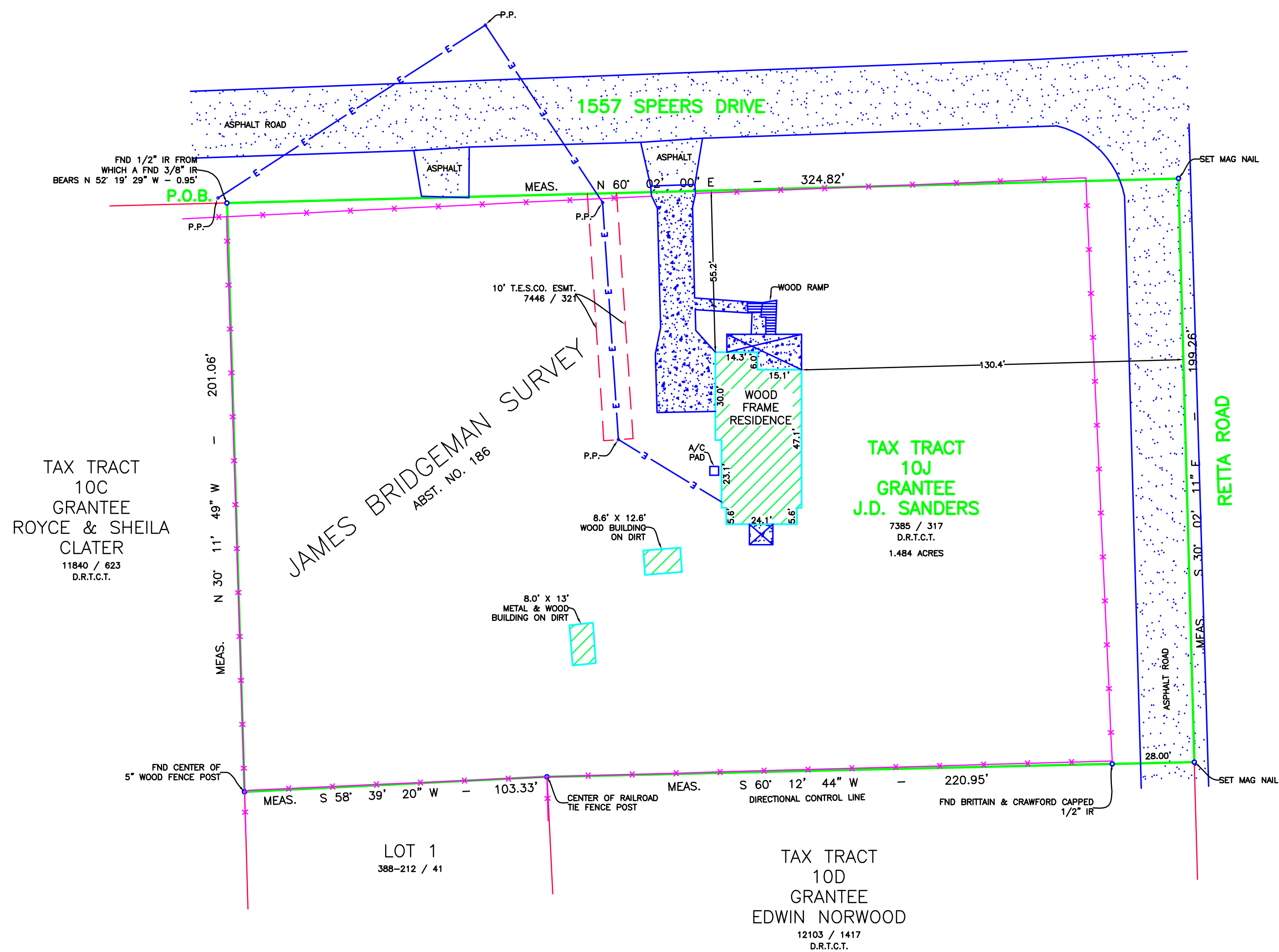
7/17/2020



## Property Owner Notification for ZC#20-010

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
			*** NO ADDRESS ***	*** NO CITY ***	* NO ZIP *
BRIDGEMAN, JAMES SURVEY	A 186	ALEMAN, SANTIAGO	1640 SPEERS DR	MANSFIELD, TX	76063-4317
BRIDGEMAN, JAMES SURVEY	A 186	GARCIA, WILFREDO	1536 SPEERS DR	MANSFIELD, TX	76063-4316
BRIDGEMAN, JAMES SURVEY	A 186	GUSANOC INVESTMENTS LLC	7104 MONTERRY ST	FORT WORTH, TX	76112
BRIDGEMAN, JAMES SURVEY	A 186	CLATER, ROYCE A	5217 COMANCHE DR	GODLEY, TX	76044
BRIDGEMAN, JAMES SURVEY	A 186	NORWOOD, EDWIN	2800 CATTLE DR	CROWLEY, TX	76036-9742
FRANKLIN ESTATES ADDITION	BLK 1	GREEN TREE SERVICING LLC	1100 LANDMARK TOWERS	SAINT PAUL, MN	55102
HANKS, THOMAS J SURVEY	A 644	WASHINGTON, LELO	436 DRUMMOND ST	PORT ARTHUR, TX	77640
HANKS, THOMAS J SURVEY	A 644	WASHINGTON, LELO	436 DRUMMOND ST	PORT ARTHUR, TX	77640
HANKS, THOMAS J SURVEY	A 644	WASHINGTON, LELO	436 DRUMMOND ST	PORT ARTHUR, TX	77640
JANSCHA ADDITION	BLK 1	JANSCHA, ROBERT	1500 SPEERS DR	MANSFIELD, TX	76063





Reference No: 2006051557      G.F. No: 20-206662  
Title Co: WFG NATIONAL TITLE COMPANY  
Purchaser: CAMPUZANO

## PROPERTY DESCRIPTION

BEING all that certain lot, tract or parcel of land situated in the JAMES BRIDGEMAN SURVEY, Abstract No. 186, Tarrant County, Texas, and being described in Warranty Deed from J.S. Harp to J.D. Sanders, dated May 2, 1980 and recorded in Volume 7385, Page 317, Deed Records, Tarrant County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2 inch iron rod for the most westerly or northwest corner of the herein described tract of land, same being the most northerly or northeast corner of that certain tract of land described in General Warranty Deed from China Lewis, Sr. and wife, Gretel K. Lewis to Royce A. Clater and wife, Sheila A. Clater, dated December 30, 1994 and recorded in Volume 11840, Page 623, Deed Records, Tarrant County, Texas and in the southeast right-of-way line of Speers Drive;

THENCE North 60 degrees 02 minutes 00 seconds East, in the southeast right-of-way line of said Speers Drive, a distance of 324.82 to a set "MAG" nail for corner, same being in the existing asphalt pavement for Retta Road;

THENCE South 30 degrees 02 minutes 11 seconds East, along said Retta Road, a distance of 199.26 feet to a set "MAG" nail for corner in said existing asphalt pavement;

THENCE South 60 degrees 12 minutes 44 seconds West, departing said Retta Road, passing at a distance of 28.00 feet a found 1/2 inch capped iron rod marked "BRITTAIN & CRAWFORD" for reference and continuing in the common boundary line between said herein described tract of land and that certain tract of land described in Warranty Deed from Nathaniel Ford and wife, Adell Ford to Edwin Norwood, dated September 15, 1995 and recorded in Volume 12103, Page 1417, Deed Records, Tarrant County, Texas, a total distance of 220.95 feet to the center of a found railroad tie fence post for corner;

THENCE South 58 degrees 39 minutes 20 seconds West, in the common boundary line between said herein described tract of land and that certain Lot 1, Block 1, Franklin Estates, an Addition to the City of Mansfield, Tarrant County, Texas, according to the Plat recorded in Volume 388-212, Page 41, Plat Records, Tarrant County, Texas, a distance of 103.33 feet to the center of a found 5 inch wood fence post for corner;

THENCE North 30 degrees 11 minutes 49 seconds West, in the common boundary line between said herein described tract of land and the aforementioned Clater tract of land, a distance of 201.06 feet to the POINT OF BEGINNING and containing 1.484 acres of land, more or less.

GENERAL NOTES:

Easement as set out in 6200/551, RPRTCT, does not affect this property.

Tax tract numbers shown on this survey plat are based on the mapping system of Tarrant Appraisal District and are used only to aid in identifying land parcels.








**SURVEYORS CERTIFICATION**

I, DAVID J. ROSE, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND CORRECTLY SHOWS THE BOUNDARY LINE, AND DIMENSIONS OF THE LAND INDICATED THEREON, AND THAT SAID SURVEY WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF TEXAS SUBJECT TO ANY AND ALL EASEMENTS, RESERVATIONS AND RESTRICTIONS THAT MAY BE OF RECORD, AND THAT ONLY THE EASEMENTS SHOWN ON THE REFERENCED PLAN OF RECORD, VISIBLE EASEMENTS AND THOSE OF WHICH THE SURVEYOR HAS BEEN GIVEN WRITTEN NOTICE FROM TITLE COMPANY OR SHOWN ON THE TITLE COMPANY RECORDS AND THE ADJACENT LANDS. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE TITLE COMPANY AND PURCHASER SHOWN AND IS LICENSED FOR ONE SINGLE USE. THIS SURVEY WILL BE VOID IF USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE.

**PROLINE**  
SURVEYING LTD

www.prolinesurveyors.com  
Ph# 817-276-1148 info@prolinesurveyors.com

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SURVEY CAN BE UPDATED FOR DISCOUNTED PRICE

	BOUNDARY LINE
	BUILDING
	OVERHEAD UTILITIES
	FENCE
	BRICK
	WOOD DECK
	CONCRETE

This survey is hereby  
accepted and approved.

Purchaser

Purchaser

Date \_\_\_\_\_

STATE FIRM REGISTRATION NUMBER 10193797





DRAWN BY: PW

DATE: 6-8-2020

**SURVEY ONLY VALID WITH ORIGINAL SIGNATURE**





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
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## STAFF REPORT

File Number: 20-3662

Agenda Date: 8/3/2020

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Agenda Number:

#### Title

ZC#20-008: Public hearing for a change of zoning from C-2 Community Business District to PD Planned Development District for apartment and townhome uses on approximately 19.527 acres out of the J. Grimsley Survey, Abstract No. 578, generally located at 2880 Matlock Rd.; Miller Sylvan of JPI on behalf of Morreta A. & James A. Weatherford of Deblock, Ltd.

#### Description/History

*Existing Use:* Vacant land

*Existing Zoning:* C-2, Community Business District

#### *Surrounding Land Use & Zoning:*

North - Debbie Lane and vacant land (C-2); fitness center (C-2) across the street

South - Single-family residential (PD)

East - Vacant land (PD for church and retail uses)

West - Matlock Road and vacant land (C-2); shopping center (C-2) across the street

#### *Thoroughfare Plan Specification:*

Debbie Lane - principal arterial (six-lane divided)

Matlock Road - principal arterial (six-lane divided)

#### Comments and Considerations

The subject property consists of 19.572 acres on the south side of Debbie Lane and the east side of Matlock Road, south of the Sprouts shopping center, west of Community of Hope United Methodist Church, and north of the Cypress Crossing single-family residential development. The property is currently vacant land. The applicant is requesting to re-zone the property from C-2 Community Business District to PD Planned Development District for a high-density multi-family residential development including apartments and townhomes.

#### Development Plan

The applicant plans to develop a multi-family residential development called The Jefferson - Debbie Lane, including 392 apartments, 32 rental townhomes, and 52 owner-occupied townhomes, for a total of 476 units. The 392 apartments will be located in three four-story multi-family buildings and the 32 rental townhomes will be located in five two-story buildings; the apartments and rental townhomes will be developed by JPI. The 52 owner-occupied townhomes will be located in 12 two-story buildings and will include a mix of three and five-unit buildings; the owner-occupied townhomes will be developed by



Ashton Woods. The apartment buildings will be 52'-8" in height, while the townhome buildings will be 25' - 27' in height. The development will be served by a 10,000 sq. ft. single-story detached amenity center building with a breezeway, located at the entry into the development in front of the largest of the apartment buildings. The apartment buildings will be served by interior corridors.

The number of units and floor area for each building is:

Building A-1: 129 units; 123,353 sq. ft. floor area

Building A-2: 129 units; 123,353 sq. ft. floor area

Building B: 134 units; 127,300 sq. ft. floor area

Building C (5 buildings): 32 units; 35,040 sq. ft. floor area (total)

Building D (12 buildings): 52 units; 91,000 sq. ft. floor area (total)

The multi-family density (Buildings A - C) is 28.72 units per acre and the townhome density (D Buildings) is 10.92 units per acre. The total density is 24.38 units per acre.

The applicant is proposing the following unit mix:

Efficiency (min. 685 sq. ft., avg. 694 sq. ft. floor area): 104 units (21.8%)

One-bedroom (min. 750 sq. ft., avg. 786 sq. ft. floor area): 109 units (22.9%)

Two-bedroom (min. 1,105 sq. ft., avg. 1,207 sq. ft. floor area): 179 units (37.6%)

Two-bedroom rental townhomes (min. 1,095 sq. ft. floor area): 32 units (6.7%)

Three-bedroom owner townhomes (min. 1,750 sq. ft. floor area): 52 units (10.9%)

For the apartments, the average unit size is 965 sq. ft.

The development will not be gated and the grading and installation of primary infrastructure will be completed in one phase. The owner-occupied townhomes will be for-sale product on individual lots, with typical lot dimensions of 22'x72' and 22'x84'.

#### Access, Circulation, and Parking

Direct access to the property from both Debbie Lane and Matlock Road is provided via an existing driveway around the Sprouts commercial development; this driveway will become part of this development. From there, access into the development will be provided by three driveways, including the main divided entrance located at the curve situated between Buildings A-1 and A-2 and two secondary entrances located on the north side of Building A-2 and the west side of Building A-1. The driveway on the north side of Building A-2 will also provide secondary off-site access to Debbie Lane and will be shared with the commercial tract to the north. In addition, a secondary access point will be provided to Matlock Road via off-site improvements to the commercial lots to the west. Internal driveways will generally travel the perimeter of the buildings. Buildings A-1 and A-2 will be located in their own pods on the north and west sides of the property. Building B and the amenity center area will be situated in a central pod. The C Buildings will be clustered in a pod at the southeast corner of the property. And the D buildings will be clustered in pods of three along the east and south sides of the property.

In order to achieve an urban-style design and encourage cross-access between the residential and commercial uses, parallel parking spaces will be provided along the



existing driveway; these spaces will also allow for visitor parking adjacent to Buildings A-1 and A-2. Much of the rest of the parking in the development will be uncovered surface parking spaces or garage spaces located in the buildings. Tuck-under garage spaces will be provided in Buildings A-1, A-2, and B. Two garage spaces will also be provided for each Type C and Type D townhome unit. The garage spaces will generally be located in the interior facades of the buildings so as not to face public streets. A handful of Type C and D garages will face Cypress Crossing and the vacant commercial tracts. However, landscaping and screening devices will be in place to screen the development; in addition, commercial development of the adjacent properties will provide further screening in the future. There will be 544 uncovered surface spaces, 74 tuck-under garage spaces with 74 tandem spaces, 64 Type C garage spaces, and 104 Type D garage spaces, for a total of 860 spaces. Using a calculation of 1 space per bedroom, 739 parking spaces would be required, which the applicant has exceeded by 121 spaces. The applicant has indicated that the tandem spaces will only be available to the tenant leasing the parking space in front of it. Near the amenity center, dedicated spaces will also be provided for rideshare pickup/dropoff and package deliveries. Building maintenance vehicles will be parked in garage spaces in Building B. To further achieve an urban-style design and interconnectedness with the commercial property, staff recommends that the north side of the property be redesigned to provide for parallel parking spaces along the shared access driveway.

To serve pedestrians, the development will include a sidewalk along the existing driveway, with four sidewalks directly into the development, and an additional sidewalk along the shared access driveway on the north side of the development. Direct connections will also be provided to the ground-floor units located along the existing driveway. Abundant internal sidewalks will also be provided around the perimeter of Buildings A-1 and A-2, the leasing/amenity center, and most of Building B. Direct access from the Type C Buildings to the amenity center will be provided via a sidewalk that will go through the parking lot and entrances through Building B. The Type C and Type D buildings will also include sidewalks to connect the individual units to the parking areas, as well as smaller amenity areas. A pedestrian circulation plan has been provided as part of the Landscape Plan exhibits. Staff recommends that the sidewalk along the existing driveway be extended north and west to connect to the existing sidewalks along Debbie Lane and Matlock Road.

#### Storage, Equipment/Service Area Screening, and Trash

The applicant notes that there will be no outside storage or outside operations on the property, no parking of boats/trailers/recreational vehicles, all utilities with the exception of electric transmission lines will be placed underground, all service areas and mechanical equipment will be located and screened in accordance with the requirements of Section 7301.A of the Zoning Ordinance, all trash enclosures will be screened in accordance with the requirements of Section 7302.B of the Zoning Ordinance, and all rooftop equipment will be screened by building parapets at least one foot taller than the tallest piece of equipment. Trash enclosures will be provided at the northeast and southwest corners of the development; these areas will be screened by masonry enclosures and landscaping as required.



### Architectural Elevations and Floor Plans

The elevations of the apartment buildings, Type C townhome buildings, and leasing/amenity center building include a mix of two types of brick, two types of fiber cement siding, stone, and stucco, with cast stone trim, and a mix of asphalt and standing seam roofing. The color scheme includes a mix of red, light gray, brown, and cream tones. The elevations include numerous facade recesses and projections and variations in wall height along all facades. In addition, the ground floors include walk-up entries and floor-to-ceiling windows with canopies, providing a retail appearance that blends with the surrounding commercial properties. The corners of the apartment buildings and the sides of the townhome buildings will include gables, while the balconies will include a mix of black metal railings and cedar screens. The garage doors will include a paneled design that is residential in character. Standing seam roofs (of two color varieties) over some of the windows will provide additional accents. The predominant roof pitch is 4:12, with the standing seam accents at 3:12, and the apartment gables at 6:12. Rooftop equipment on the apartment buildings will be screened by a fiber cement screening wall to match the building.

The amenity center will include a storefront-style window system, as well as a 30'-wide covered breezeway connecting the two indoor portions.

The materials percentages for the buildings are as follows:

Buildings A-1 & A-2: 45% brick, 10% stone, 20% fiber cement, 27% stucco

Building B: 44% brick, 10% stone, 20% fiber cement, 26% stucco

Buildings C-1 & C-4: 70.5% brick, 7.5% stone, 22% fiber cement

Buildings C-2 & C-3: 76.5% brick, 8.5% stone, 15% fiber cement

Building C-5: 62% brick, 8% stone, 30% fiber cement

Amenity Center: 53% brick, 39% stone, 8% fiber cement

Each apartment building will include no more than 25% glass, each townhome building will include no more than 14% glass, and the amenity center will include no more than 38% glass.

The elevations for the Type D townhome buildings include predominantly brick and stone materials with a tan and cream color scheme, as well as shingle roofing with a predominant pitch of 6:12, with 8:12 at the gables. The townhomes include wall plane recesses and projections and gable features to add architectural interest, as well as alternating colors from unit to unit. The buildings also include numerous windows and some false windows to break up each façade. The garage doors feature a paneled design that is residential in character.

The trash enclosures will include red brick walls and light gray metal gates and finishes to match the buildings.

Floor plans have been provided for each of the building types, showing layout details for each building and unit. To provide private outdoor spaces while encouraging neighbor interaction, each townhome unit will include a private outdoor patio and/or yard on the ground level and the second-floor of the Type C units will also include a balcony. The



patio areas for the Type C units are indicated to be at least 80 sq. ft. The size of the patio areas/yards for the Type D units is not indicated, but is estimated to be comparable in size to the patios for the Type C units. Most of the apartment units (except the efficiency units) will also include balconies.

A few perspectives have also been provided to illustrate the scale of the development, the depth of the different architectural elements, the outdoor gathering spots, and the lighting of the development as seen at dusk.

#### Landscaping, Screening, and Amenities

A Landscape Plan has been provided, showing the landscaping, hardscaping, and screening to be provided throughout the site, as well as tables detailing the planting types and quantities, the landscaping requirements, and detailed renderings for the screening devices.

A 14' landscape buffer with a mix of canopy trees and evergreen trees as well as a 6' masonry screening wall will be provided along the south side of the property adjacent to the Cypress Crossing single-family residential development. A 50' landscape buffer with 6' screening wall is typically required between a multi-family or townhome development and an existing single-family development. However, it should be noted that the buildings are generally at least 40' from the property line, as there is a 24' access drive in addition to the landscaped area. A 7' landscape buffer with canopy trees will be provided along the east side of the property adjacent to the vacant commercial and church land; a 10' buffer is typically required. A 10' landscape buffer with canopy trees and shrubs will be provided along the north side of the property adjacent to the shared access drive. A 20' landscape setback will be provided along the existing driveway. Finally, a 5' landscape buffer with ornamental trees and shrubs will be provided along the west side of the property; a 10' buffer with canopy trees and shrubs would typically be required. Staff had requested that the applicant adjust the site plan or acquire an additional 5' to accommodate a 10' buffer, however the applicant has indicated that their site is constrained since the future developers of the commercial lots along Matlock Road will require additional area for their development, in addition to meeting the landscape requirements applicable to C-2 property.

Shrubs will be provided to screen all parking lots from adjacent properties and nearby streets. In addition, foundation plantings will be provided around the perimeter of all buildings, except where garage entrances prohibit. The parking lot will also include islands with street trees and a few larger islands will be enhanced with sidewalks, shrubs, and ornamental trees. The divided main entrance will also include ornamental trees and groundcover and the amenity areas will be heavily landscaped as well.

A 6' masonry screening wall will be provided along the south property line. Otherwise, the perimeter of the development will not be fenced in order to encourage connectivity and cross-access between this development and the surrounding commercial properties. The townhomes will include private yard fencing in front of each unit; the fencing will be a 3'-6" open-style metal fence. In addition, the pool area will include a 4' open-style metal fence and the dog park will include a 4' wire mesh fence.



Hardscape amenities include benches, trash cans, decorative street lights, movable seating, and planter pots throughout the development to encourage pedestrian activity and provide for resting areas and gathering spots throughout. In addition, a large amenity center will be located in front of Building B in the center of the development. Amenities will include two 5,000 sq. ft. indoor spaces connected by a breezeway with enhanced paving, a large resort-style pool with sundeck, outdoor courtyard spaces, and a dog park. The indoor space includes the leasing center, clubhouse, fitness center, and mail center. The pool area and outdoor courtyards include seating/lounging areas, grilling stations, dining areas, fire pits, shade elements, informal gathering areas, and enhanced landscaping and lighting. A pocket park with seating areas, grilling area, shade elements, and enhanced landscaping will be located near the Type C townhome buildings.

#### Sign Plan

Signage will comply with the regulations applicable to MF-1 zoning. The development will include monument signs along Matlock Road and Debbie Lane in the existing medians, as well as a monument sign at the divided entry into the development, and a wall sign on the leasing center/amenity building. Artwork has been provided for the proposed signs. The monument signs will include a 2'-tall split-face CMU base, with a masonry background and wood finish sign face with aluminum lettering; all materials will match the materials used on the buildings. The wall sign located over the breezeway of the leasing/amenity center will feature the same style aluminum lettering.

#### Land Use Plan

In the Official Land Use Plan, it is noted that the sub-area in which this property is located is generally built out with few large tracts of land available to develop. It notes the Weatherford tract (the subject property) as one of the few tracts remaining for development and encourages infill development as suburban residential (greater than 3 units per acre) to match adjacent development.

#### **Recommendation**

The development plan includes a multi-family development with a mix of housing styles and unit sizes to accommodate different demographics, including three apartment types, rental townhomes, and owner-occupied townhomes. The Land Use Plan recommends suburban-style development consistent with adjacent development. However, the development is also proximate to existing multi-family developments Villas di Lucca, The Villagio, and The Atlantic, as well as the dense age-restricted single-family Ladera development, and several commercial developments. Development of this property for a mix of multi-family residential uses promotes a healthy transition of uses with the townhome uses being located closer to the single-family development to the south and the denser apartment uses being located closer to the commercial and multi-family uses to the north and being designed to promote an urban mixed-use feel and interconnectivity with the commercial uses.

The property has direct access to both Matlock Road and Debbie Lane as well as direct access to surrounding commercial properties. While the development does not meet the



standard landscape buffer requirements, the applicant has provided for a layout that is sensitive to surrounding properties, with the smaller townhome buildings located closer to the Cypress Crossing single-family residential neighborhood and the taller and larger apartment buildings located closer to the commercial development, with the apartment buildings located approximately 200 feet away from any single-family residential property. In addition, the applicant has worked to provide denser evergreen trees in addition to canopy trees in the landscape buffer adjacent to the single-family development, as well as a 6' masonry screening wall. The development has also been designed to promote interconnectedness with the commercial development by not being gated, as well as providing parallel parking on the existing drive, providing direct shared access driveways to the commercial tracts, and including numerous pedestrian sidewalks and connections. The development includes quality architecture with a mix of materials and colors, abundant articulation, and residential design elements, including a pitched-roof design, gables, paneled garage doors, and outdoor patios and yards for the vast majority of the units. Numerous amenities have also been provided to support the residents, including a resort-style pool, outdoor courtyards, dog park, indoor fitness area, pocket park, and numerous hardscape elements throughout the development including seating areas, trash receptacles, and street lights.

Staff recommends approval with the following conditions:

1. The sidewalks along the existing driveway be extended to the sidewalks along Matlock Road and Debbie Lane.
2. The north side of the property is redesigned to provide for parallel parking along the shared access drive.

**Attachments:**

Maps and Supporting Information  
Exhibit A - Property Description  
Exhibit B - Development Plan  
Exhibit C - Elevations & Floor Plans  
Exhibit D - Landscape Plan  
Exhibit E - Sign Plan



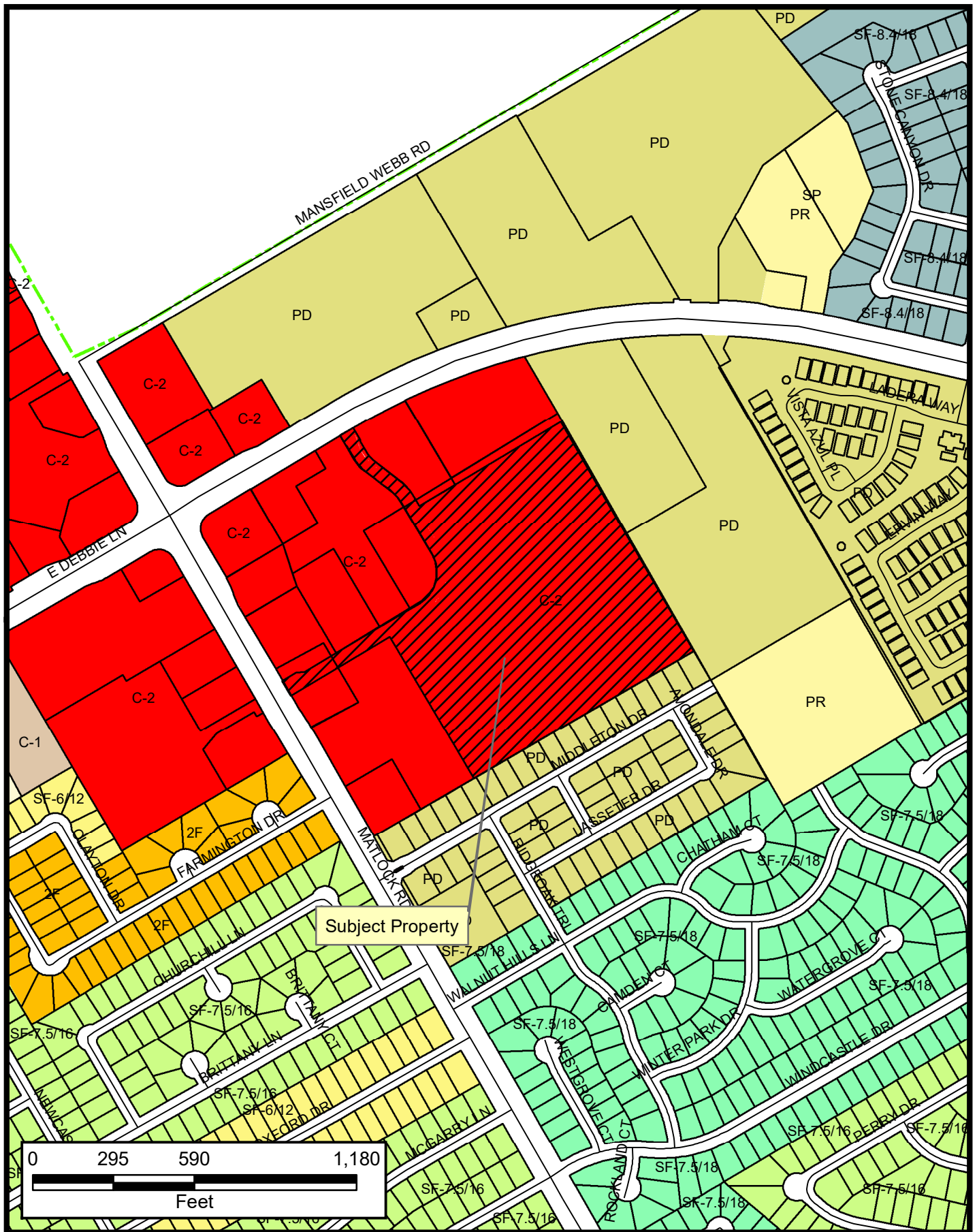


**ZC#20-008**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

7/23/2020







## Property Owner Notification for ZC#20-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
COMMUNITY OF HOPE	BLK 1	COMMUNITY OF HOPE UMC INC	PO BOX 2078	MANSFIELD, TX	76063-0019
COMMUNITY OF HOPE	BLK 1	LIDL US OPERATIONS LLC	3500 S CLARK ST	ARLINGTON, VA	22202
CYPRESS CROSSING ADDN	BLK 1	PAUL TAYLOR HOMES LIMITED	17950 PRESTON RD STE 700	DALLAS, TX	75252-5637
CYPRESS CROSSING ADDN	BLK 1	PAUL TAYLOR HOMES LIMITED	17950 PRESTON RD STE 700	DALLAS, TX	75252-5637
CYPRESS CROSSING ADDN	BLK 1	LAFEVERS, JAMES O & SANDRA	1921 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	PAUL TAYLOR HOMES LIMITED	17950 PRESTON RD STE 700	DALLAS, TX	75252-5637
CYPRESS CROSSING ADDN	BLK 1	PALMER, JOSHUA JAMES & FOX, COURTNEY ANN	1917 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	TRAN, TAI TROUNG, KAREN	1915 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	ALTURK, MICHAEL	1913 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	WINDSOR HOMES CUMBERLAND LLC	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225-6133
CYPRESS CROSSING ADDN	BLK 1	MANSFIELD CYPRESS CROSSING LTD	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225
CYPRESS CROSSING ADDN	BLK 1	MANSFIELD CYPRESS CROSSING LTD	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225
CYPRESS CROSSING ADDN	BLK 1	SINGH, UDEDEEP & RAVEEN	2508 ST MARIA DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	PAUL TAYLOR HOMES LP	17950 PRESTON RD STE 700	DALLAS, TX	75252
CYPRESS CROSSING ADDN	BLK 1	MARTIN, BRANDON AUSTIN	1901 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	MANSFIELD CYPRESS CROSSING LTD	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225
CYPRESS CROSSING ADDN	BLK 1	MANSFIELD CYPRESS CROSSING LTD	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225
CYPRESS CROSSING ADDN	BLK 1	WINDSOR HOMES CUMBERLAND LLC	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225-6133
CYPRESS CROSSING ADDN	BLK 1	THOMAS, ADAM & HEATHER	1805 MIDDLETON DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 1	PAUL TAYLOR HOMES LIMITED	17950 PRESTON RD STE 700	DALLAS, TX	75252-5637



## Property Owner Notification for ZC#20-008

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
CYPRESS CROSSING ADDN	BLK 2	PAUL TAYLOR HOMES LIMITED	17950 PRESTON RD STE 700	DALLAS, TX	75252-5637
CYPRESS CROSSING ADDN	BLK 3	MARTIN, EVERETT C & ROBIN L	2709 GRAINGER DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 3	WAGNER, MARK	2710 RIDGEOAK TR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 4	BRUCE, TRINITY F & CHELSIE J	2709 AVONDALE DR	MANSFIELD, TX	76063
CYPRESS CROSSING ADDN	BLK 4	CYPRESS CROSSING HOMEOWNERS AS	1024 S GREENVILLE AVE # 230	ALLEN, TX	75002
CYPRESS CROSSING ADDN	BLK 4	MANSFIELD CYPRESS CROSSING LTD	8214 WESTCHESTER DR STE 710	DALLAS, TX	75225
CYPRESS CROSSING ADDN	BLK 5	GERMAN, WILLIE G & DEIRDRE R	2710 AVONDALE DR	MANSFIELD, TX	76063
GRIMSLEY, JAMES SURVEY	A 578	ERVIN, FAYE D	1600 E DEBBIE LN	MANSFIELD, TX	76063
GRIMSLEY, JAMES SURVEY	A 578	DEBLOCK LTD	4704 BARKRIDGE TR	FORT WORTH, TX	76109-3210
GRIMSLEY, JAMES SURVEY	A 578	WEATHERFORD, MORRETA ANN	4704 BARKRIDGE TR	FORT WORTH, TX	76109-3210
GRIMSLEY, JAMES SURVEY	A A	DEBLOCK LTD	4704 BARKRIDGE TR	FORT WORTH, TX	76109-3210
LIFETIME MANSFIELD	LOT 2	SPIRIT MASTER FUNDING X LLC ATTN: STEVE KERZMAN	2902 CORPORATE PL	CHANHASSEN, MN	55317
LIFETIME MANSFIELD	LOT 3	PRD OWNER LLC	PO BOX 768	EFFINGHAM, IL	62401
WAL-MART NEIGHBORHOOD MKT ADDN	BLK 1	ALIBABA INVESTMENTS LLC	PO BOX 151465	ARLINGTON, TX	76015
WAL-MART NEIGHBORHOOD MKT ADDN	BLK 1	BANK OF AMERICA TEXAS NA	101 N TYRON ST NC1-001- 03-81	CHARLOTTE, NC	28255
WAL-MART NEIGHBORHOOD MKT ADDN	BLK 1	WM 47 SOUTH LLC	8350 N CENTRAL EXPW STE 1750	DALLAS, TX	75206
WAL-MART NEIGHBORHOOD MKT ADDN	BLK 1	WM 47 SOUTH LLC	8350 N CENTRAL EXPW STE 1750	DALLAS, TX	75206
WEATHERFORD ADDITION	BLK 2	MANSFIELD STATION LLC	11501 NORTHLAKE DR	CINCINNATI, OH	45249
WEATHERFORD ADDITION	BLK 2	MANSFIELD STATION LLC	11501 NORTHLAKE DR	CINCINNATI, OH	45249
WEATHERFORD ADDITION	BLK 2	BDR REALTY LLC BLDG 4	350 ROYAL LN STE 126	IRVING, TX	75039



## ZONING DESCRIPTION

**BEING** a tract of land situated in the James Grimsley Survey, Abstract No. 578, City of Mansfield, Tarrant County, Texas and being a part of a tract of land described in Warranty Deed to Weatherford Holland Family Partnership, L.P. recorded in Instrument Numbers D204209784, D204209785, D204209786 of the Official Public Records of Tarrant County, Texas, now known as DEBLOCK, LTD. as recorded in Instrument Number D214077438 of said Official Public Records, and being more particularly described as follows:

**BEGINNING** at the north corner of Lot 21, Block 1 of Cypress Crossing Addition, an addition to the City of Mansfield, Texas, according to the plat thereof recorded in Instrument Number D218018107 of said Official Public Records, and lying in the southwest line of a tract of land described in Warranty Deed with Vendor's Lien to Community of Hope United Methodist Church, Inc. recorded in Instrument Numbers D202074278 and D202074279, of said Official Public Records;

**THENCE** with the northwest line of said Cypress Crossing Addition, South 59°54'46" West, a distance of 924.97 feet to a point for corner;

**THENCE** departing said northwest line of Cypress Crossing Addition, North 30°42'47" West, a distance of 599.49 feet to a point in the southeast line of a Common Access & Utility Easement recorded in Instrument Number D214098837 of said Official Public Records;

**THENCE** with said southeast line, South 59°17'13" West, a distance of 419.44 feet to a point in the northeast right-of-way line of Matlock Road (a variable width right-of-way) for corner;

**THENCE** with said northeast right-of-way line, North 30°05'14" West, a distance of 63.00 feet to a point for corner;

**THENCE** departing said northeast right-of-way line with a northwest line of said Common Access & Utility Easement, the following courses and distances:

North 59°17'13" East, a distance of 57.48 feet to a point for corner;

North 82°48'58" East, a distance of 32.56 feet to a point for corner;

North 59°17'13" East, a distance of 133.89 feet to the south corner of a tract of land described in Special Warranty Deed to Mansfield Station LLC recorded in Instrument No. D217207594 of said Official Public Records;

**THENCE** with the southeast line of said Mansfield Station LLC tract, North 59°17'12" East, a distance of 351.52 feet to a point at the beginning of a tangent curve to the left having a central angle of 90°00'00", a radius of 132.00 feet, a chord bearing and distance of North 14°17'09" East, 186.68 feet;

**THENCE** in a northeasterly direction, with said curve to the left, an arc distance of 207.35 feet to a point for corner;

CONTINUED ON SHEET 2

J. ANDY DOBBS  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 6196  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER  
SUITE 700  
DALLAS, TEXAS 75240  
PH. (972) 770-1300  
ANDY.DOBBS@KIMLEY-HORN.COM

**PRELIMINARY**

THIS DOCUMENT SHALL  
NOT BE RECORDED FOR  
ANY PURPOSE AND  
SHALL NOT BE USED OR  
VIEWED OR RELIED  
UPON AS A FINAL  
SURVEY DOCUMENT

ZC 20-008 EXHIBIT A  
**ZONING EXHIBIT**  
JAMES GRIMSLEY SURVEY,  
ABSTRACT NO. 578  
CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS

**Kimley»Horn**

13455 Noel Road, Two Galleria Office  
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300  
Fax No. (972) 239-3820

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N/A	BAB	JAD	MAY 2020	064446485	1 OF 3



## ZONING DESCRIPTION CONTINUED

**THENCE** with the northeast line of said Mansfield Station LLC tract, the following courses and distances:

North 30°42'47" West, a distance of 220.07 feet to a point at the beginning of a tangent curve to the left having a central angle of 21°49'49", a radius of 132.00 feet, a chord bearing and distance of North 41°37'42" West, 49.99 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 50.29 feet to a point for corner;

North 52°32'37" West, a distance of 119.38 feet to a point at the beginning of a tangent curve to the right having a central angle of 21°49'45", a radius of 168.00 feet, a chord bearing and distance of North 41°37'42" West, 63.62 feet;

In a northwesterly direction, with said curve to the right, an arc distance of 64.01 feet to a point for corner;

North 30°42'47" West, a distance of 54.12 feet to a point for corner;

North 60°42'47" West, a distance of 4.00 feet to a point for corner;

North 30°42'47" West, a distance of 40.40 feet to the northwest corner of said Mansfield Station LLC tract, and a point in the southeast right-of-way line of East Debbie Lane (a variable width right-of-way) for corner;

**THENCE** with said southeast right-of-way line, North 59°17'54" East, a distance of 55.00 feet to the west corner of a tract of land described in Special Warranty Deed to BDR Realty, LLC recorded in Instrument No. D216303899 of said Official Public Records for corner;

**THENCE** with the southwest line of said BDR Realty, LLC tract, the following course and distances:

South 30°42'47" East, a distance of 50.11 feet to a point for corner;

South 7°09'39" East, a distance of 7.51 feet to a point for corner;

South 30°42'47" East, a distance of 40.98 feet to a point at the beginning of a tangent curve to the left having a central angle of 21°49'50", a radius of 118.00 feet, a chord bearing and distance of South 41°37'42" East, 44.69 feet;

In a southeasterly direction, with said curve to the left, an arc distance of 44.96 feet to a point for corner;

South 52°32'37" East, a distance of 119.38 feet to a point at the beginning of a tangent curve to the right having a central angle of 21°49'50", a radius of 182.00 feet, a chord bearing and distance of South 41°37'42" East, 68.93 feet;

In a southeasterly direction, with said curve to the right, an arc distance of 69.34 feet to a point for corner;

South 30°42'47" East, a distance of 46.37 feet to the south corner of said BDR Realty, LLC tract;

**THENCE** North 59°17'13" East, a distance of 599.47 feet to a point in the east line of said DEBLOCK, LTD. tract for corner;

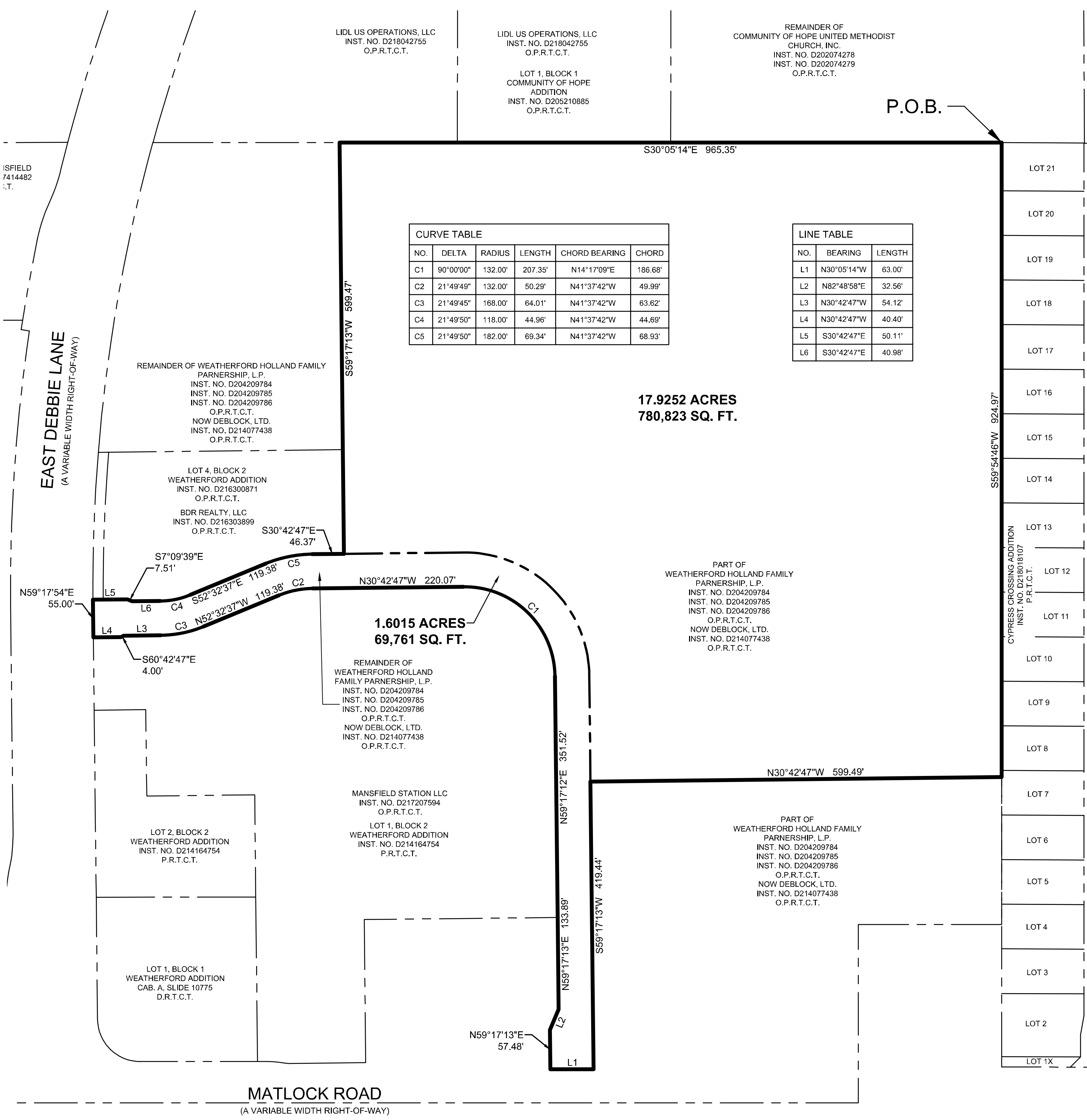
**THENCE** with said east line, South 30°05'14" East, a distance of 965.35 feet to the **POINT OF BEGINNING** and containing 19.5267 acres or 850,584 square feet of land.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

ZC 20-008 EXHIBIT A  
**ZONING EXHIBIT**  
JAMES GRIMSLEY SURVEY,  
ABSTRACT NO. 578  
CITY OF MANSFIELD  
TARRANT COUNTY, TEXAS

<b>Kimley»Horn</b>					
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820					
<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
N/A	BAB	JAD	MAY 2020	064446485	2 OF 3



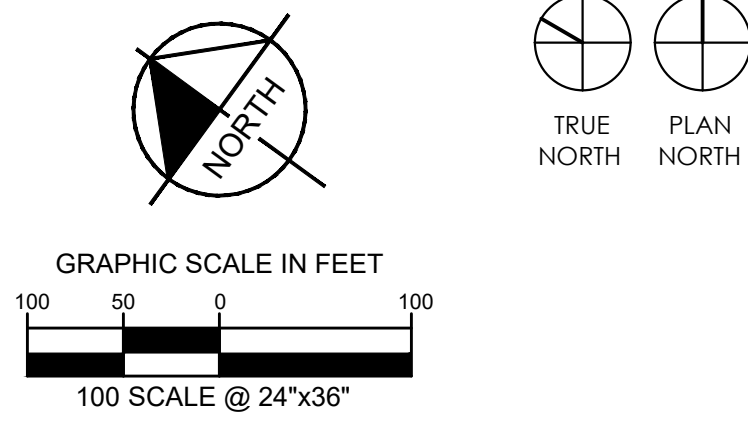
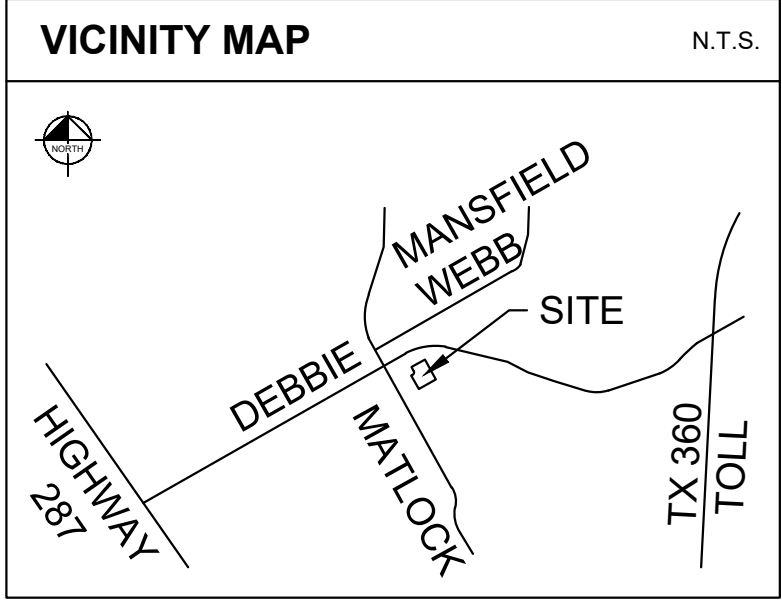
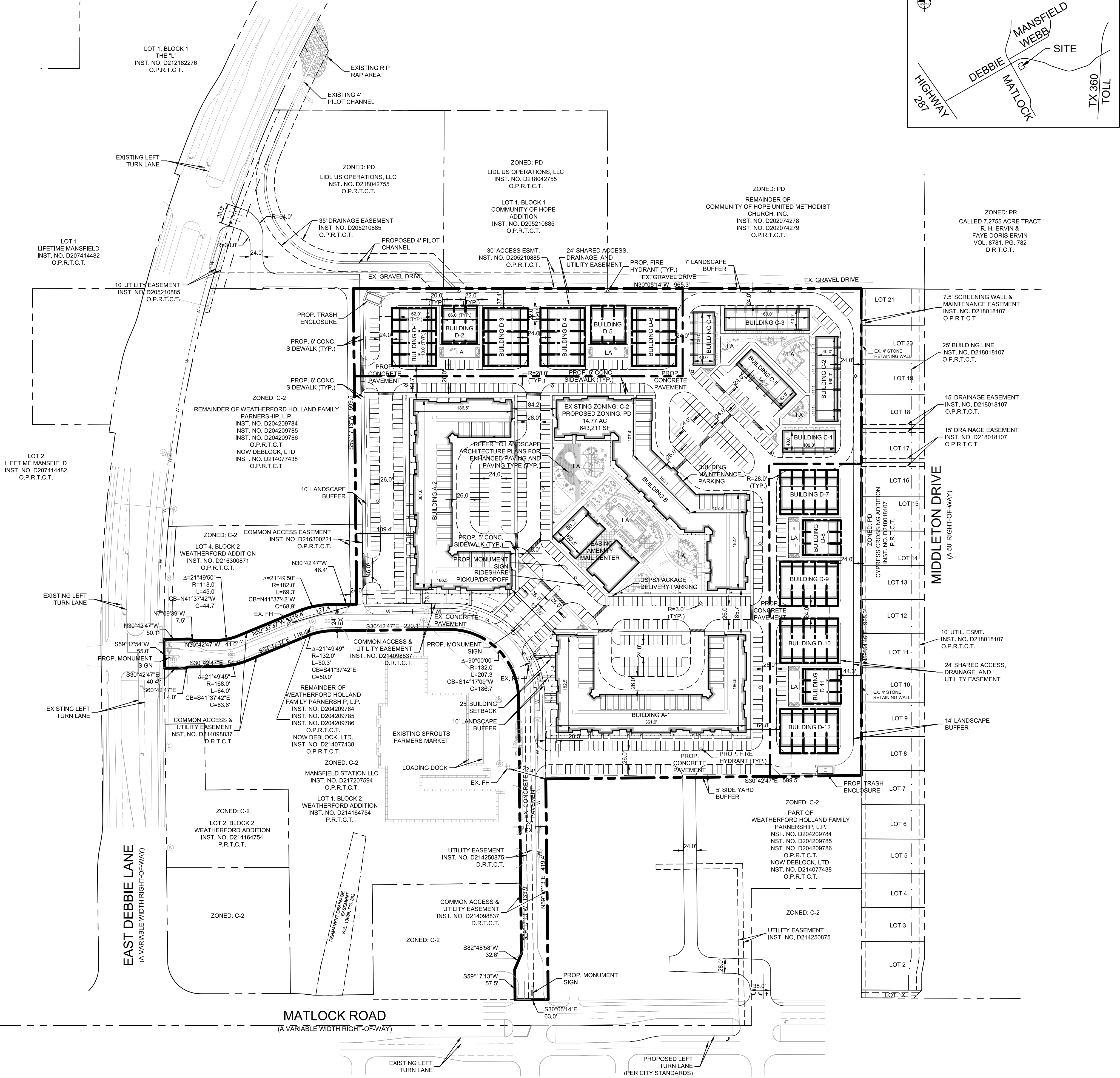




SITE DATA SUMMARY TABLE	
TOTAL LOT AREA	19.527 AC (850,584 SF)
TOTAL UNITS	476 UNITS
TOTAL DENSITY	24.38 UNITS/AC
MULTIFAMILY SITE AREA	14.766 AC (643,210 SF)
MULTIFAMILY UNITS	424 UNITS
MULTIFAMILY DENSITY	28.72 UNITS/AC
TOWNHOME SITE AREA	4.761 AC (207,373 SF)
TOWNHOME UNITS	52 UNITS
TOWNHOME DENSITY	10.92 UNITS/AC
TOTAL BUILDING LOT COVERAGE	6.018 AC (262,140 SF)
LOT COVERAGE (%)	31%
MAXIMUM HEIGHT	52'-8"

PARKING DATA SUMMARY TABLE	
PARKING REQ.	
213 1-BEDROOM UNITS @ 1/ UNIT	213
211 2-BEDROOM UNITS @ 2/ UNIT	422
TOWNHOME @ 2/UNIT	104
TOTAL PARKING REQ.	739
PARKING PROV.	
SURFACE	544
GARAGE WITH TANDEM	148
CARRIAGE GARAGE	64
TOWNHOME GARAGE	104
TOTAL PARKING PROV.	860
TOTAL SPACES PER BEDROOM (739 BEDROOMS)	1.16 SPACES/BEDROOM

BUILDING DATA SUMMARY TABLE	
MULTIFAMILY	
EFFICIENCY BEDROOM AVERAGE UNIT SIZE	694 SF
1- BEDROOM AVERAGE UNIT SIZE	786 SF
2- BEDROOM AVERAGE UNIT SIZE	1207 SF
TOTAL AVERAGE UNIT SIZE	965 SF
TYPE A	
BUILDING AREA (EACH)	123,353 SF
NUMBER OF STORIES (EACH)	4
NUMBER OF UNITS (EACH)	129
TOTAL NUMBER OF UNITS	258
TOTAL BUILDING AREA	246,706 SF
EFFICIENCY MINIMUM UNIT SIZE	685 SF
1-BEDROOM MINIMUM UNIT SIZE	750 SF
2-BEDROOM MINIMUM UNIT SIZE	1,105 SF
TYPE B	
BUILDING AREA	127,300 SF
NUMBER OF STORIES	4
NUMBER OF UNITS	134
TOTAL NUMBER OF UNITS	134
EFFICIENCY MINIMUM UNIT SIZE	685 SF
1-BEDROOM MINIMUM UNIT SIZE	750 SF
2-BEDROOM MINIMUM UNIT SIZE	1,084 SF
TYPE C	
BUILDING AREA (EACH)	1,445 GSF
MINIMUM UNIT SIZE	1,095 SF
NUMBER OF STORIES (EACH)	2
NUMBER OF UNITS (EACH)	1
TOTAL NUMBER OF UNITS	32
TOTAL BUILDING AREA	35,040 SF
TOWNHOMES	
TYPE D	
BUILDING AREA	2,625 GSF
MINIMUM UNIT SIZE	1,750 SF
NUMBER OF STORIES (EACH)	2
NUMBER OF UNITS (EACH)	1
TOTAL NUMBER OF UNITS	52
TOTAL BUILDING AREA	91,000 SF



LEGEND	
PROPERTY LINE	---
FIRE LANE	---
EX. SANITARY SEWER MANHOLE	(S)
EX. STORM MANHOLE	(D)
EX. CURB INLET	(=)
EX. WATER VALVE	(X)
EX. FIRE HYDRANT	(H)
PROP. FIRE HYDRANT	(H)
AMENITY AREA (REFER TO LANDSCAPE PLANS)	LA

- ### NOTES
1. THE PROPOSED DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED PLANNED DEVELOPMENT DISTRICT AND DEVELOPMENT PLANS RECORDED HEREUNDER SHALL BE BINDING UPON THE APPLICANT THEREOF, HIS SUCCESSORS AND ASSIGNS, AND SHALL LIMIT AND CONTROL ALL BUILDING PERMITS.
  2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  3. INNER FIRE LANE RADI ARE 28' UNLESS OTHERWISE NOTED.
  4. CURB RADI ARE 3' UNLESS OTHERWISE NOTED.
  5. PARKING STALL DIMENSIONS ARE 9' WIDE BY 16' DEEP UNLESS OTHERWISE NOTED.
  6. NO TREES, SIGNS, OR IMPROVEMENTS OVER 2' IN HEIGHT IS ALLOWED WITHIN VISIBILITY TRIANGLES.
  7. SUFFICIENT LIGHTING SHALL BE INSTALLED BY THE DEVELOPER AT ALL DRIVEWAY ENTRANCES FROM PUBLIC STREETS, DRIVEWAY INTERSECTIONS, PARKING LOTS, AND THROUGHOUT THE MULTIFAMILY RESIDENTIAL DEVELOPMENT PER THE ILLUMINATION LEVELS FOR SAFETY.
  8. ALL SERVICE AREAS AND MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH SECTION 7301 A OF THE ZONING ORDINANCE.
  9. NO OUTSIDE STORAGE OR OUTSIDE OPERATIONS OF ANY KIND SHALL BE PERMITTED.
  10. ALL UTILITIES EXCEPT ELECTRICAL TRANSMISSION LINES SHALL BE PLACED UNDERGROUND IN ACCORDANCE WITH THE CITY OF MANSFIELD CODE OF ORDINANCES.
  11. ALL TRASH ENCLOSURES WILL BE SCREENED IN ACCORDANCE WITH SECTION 7301 B OF THE ZONING ORDINANCE. PROPOSED DEVELOPMENT WILL BE SERVED BY SHARED TRASH LOCATIONS SHOWN. TOWNHOME DEVELOPMENT SHALL INCLUDE ROLL-OUT TRASH SERVICE.
  12. ALL ROOFTOP EQUIPMENT WILL BE SCREENED BY BUILDING PARAPETS AT LEAST ONE FOOT TALLER THAN THE TALLEST PIECE OF EQUIPMENT.
  13. NO BOATS, MOTOR HOMES, TRAILERS, RECREATIONAL VEHICLES, TOWED TRAILERS, OR SIMILAR VEHICULAR EQUIPMENT SHALL BE PARKED OR STORED ON THE PROPERTY OF ANY MULTIFAMILY RESIDENTIAL DEVELOPMENT. IN CASE OF AN APARTMENT OR OTHER RENTAL HOUSING DEVELOPMENT, THIS REQUIREMENT SHALL BE INCORPORATED INTO THE RENTAL CONTRACT.
  14. PROPOSED DEVELOPMENT WILL NOT BE GATED.
  15. TYPE D BUILDINGS WILL BE FOR-SALE TOWNHOMES ON INDIVIDUAL LOTS. TYPICAL TOWNHOME LOT SIZES ARE 22X72' AND 22X64'.
  16. GRADING AND INSTALLATION OF PRIMARY INFRASTRUCTURES FOR THE APARTMENTS AND TOWNHOMES WILL OCCUR IN ONE PHASE.
  17. PROPOSED BUILDING SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH CITY OF MANSFIELD MP-1 ZONING DISTRICT REQUIREMENTS.

- ### OWNERS' ASSOCIATION NOTES
1. A MANDATORY OWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SCREENING FENCES, DRIVEWAYS, PARKING LOTS, COMMON AREAS, AMENITY CENTER, LANDSCAPING, SIDEWALKS, HARDSCAPING, AND SIGNAGE.
  2. THE OWNERS' ASSOCIATION AND ASSOCIATED DOCUMENTS SHALL BE FILED IN ACCORDANCE WITH THE CITY OF MANSFIELD POLICES. THE DOCUMENTS SHALL BE FILED WITH THE FINAL PLAN. THE DOCUMENTS SHALL BE SUBMITTED IN A TIMELY MANNER TO ALLOW FOR A MINIMUM OF SIXTY (60) DAYS REVIEW. FAILURE TO SUBMIT THE DOCUMENTS OR INCOMPLETE DOCUMENTS MAY RESULT IN DELAY OF CONSTRUCTION. ACCEPTANCE OF THE DEVELOPMENT OR DELAY IN APPROVAL OF A BUILDING PERMIT. THE CITY DOES NOT ACCEPT THE RESPONSIBILITY FOR ANY DELAYS CAUSED BY THE FAILURE TO SUBMIT THE ASSOCIATION DOCUMENTS OR THE INACCURACY OF THE DOCUMENTS.

**Design Architect**  
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jsanford@wdgarch.com

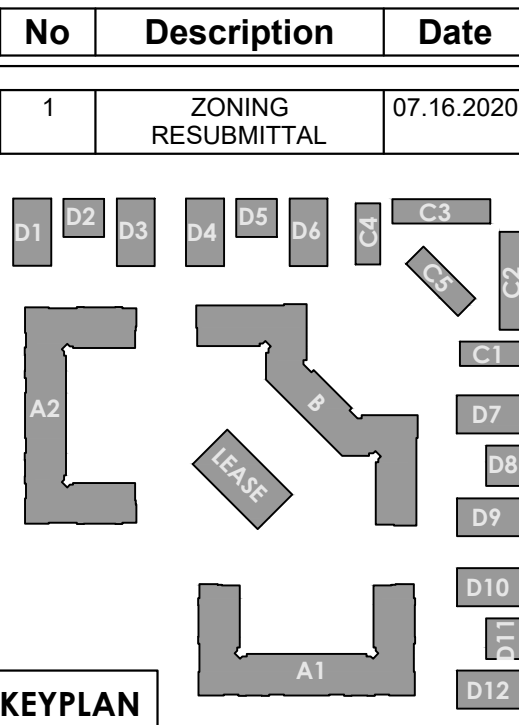
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Kimley-Horn Project Number:  
064446485

DEVELOPMENT PLAN

EXH

Zoning Case Number:  
ZC#20-008

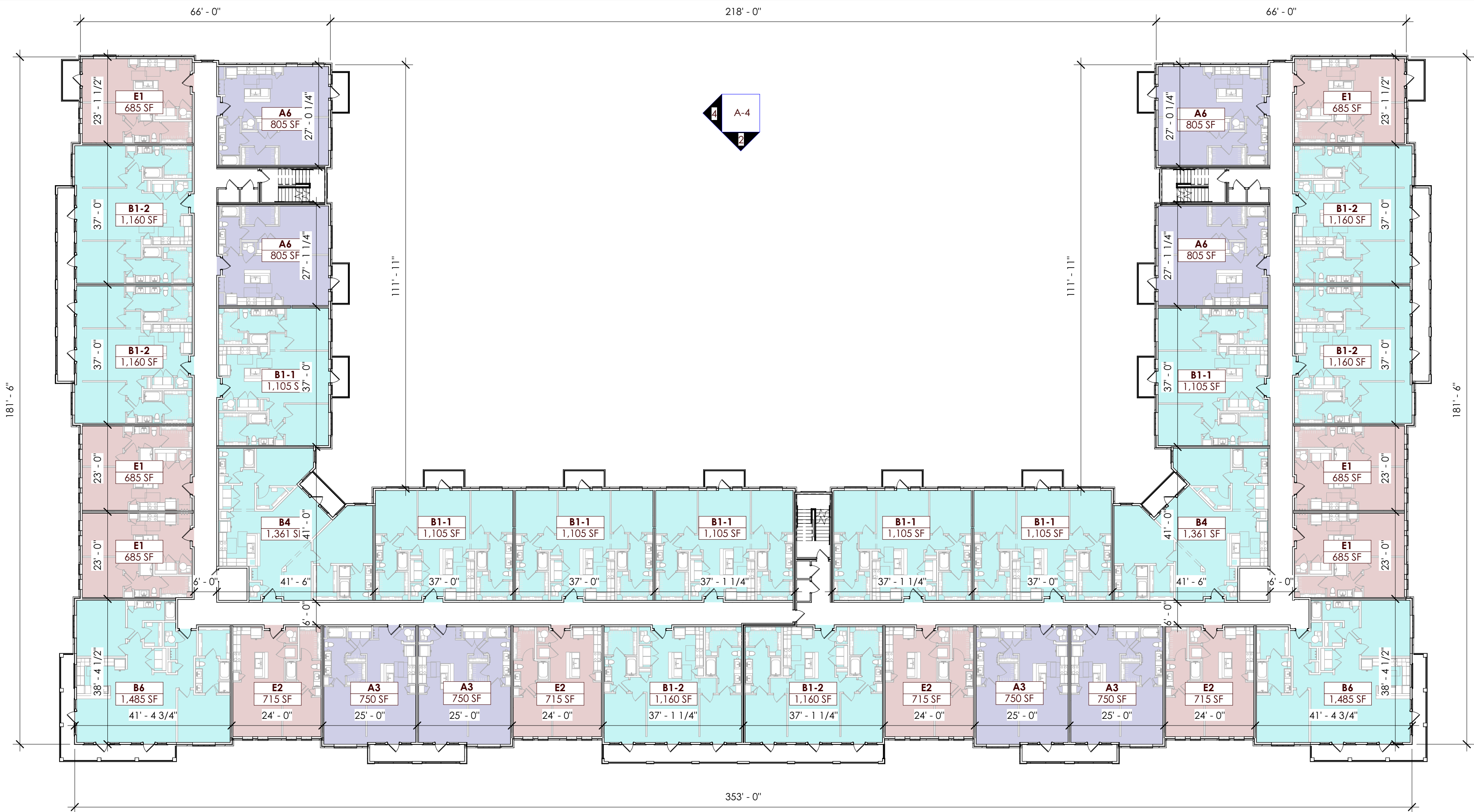
Exhibit: B

**DEVELOPMENT PLAN**  
**JEFFERSON - DEBBIE LANE**  
19.527 ACRES  
JAMES GRIMSLEY SURVEY, ABSTRACT NO. 578  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS  
SUBMITTED: JULY 2, 2020

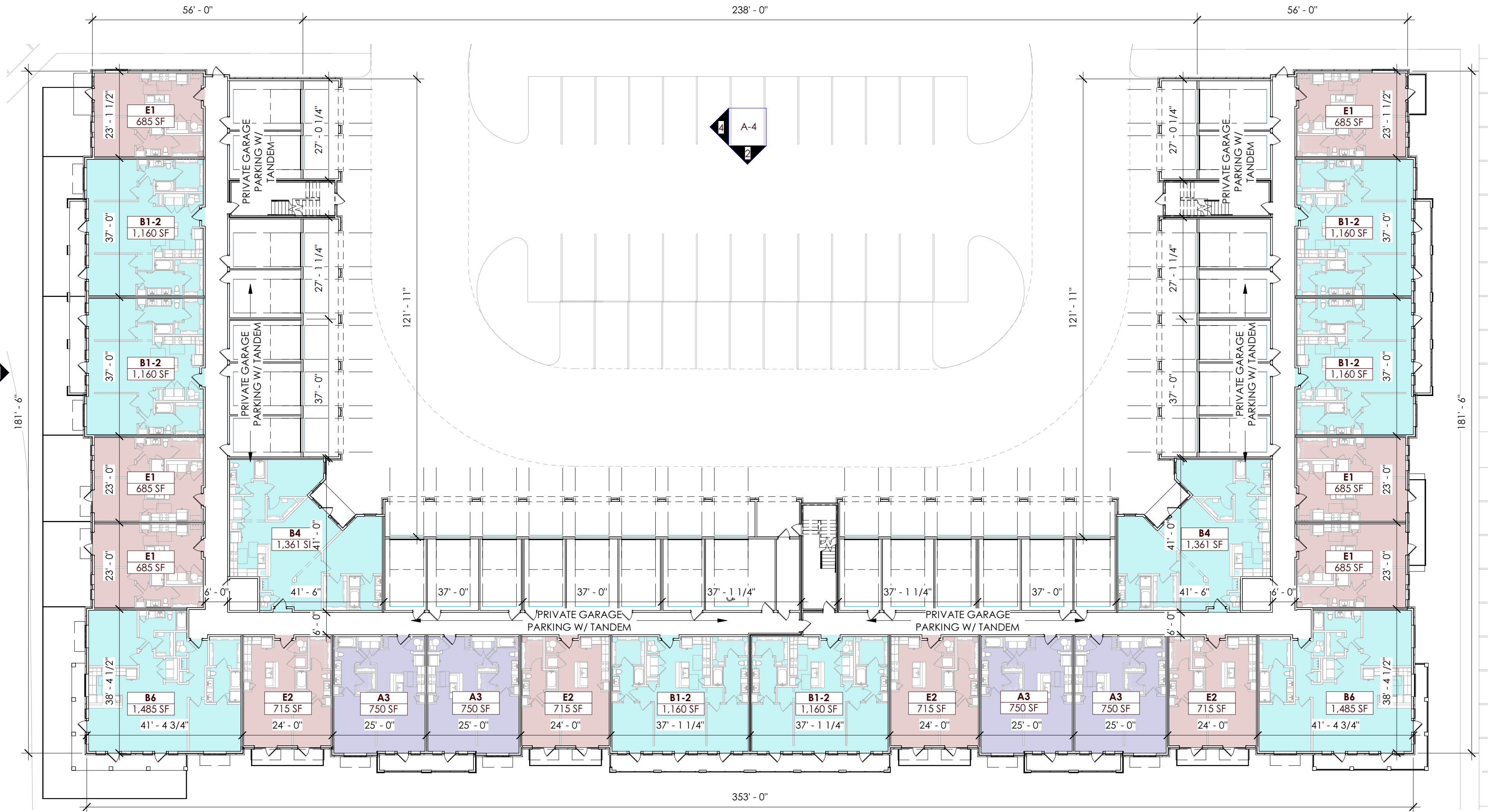
DEVELOPER: JPI  
600 E. LAS COLINAS BLVD.  
SUITE 1800  
IRVING, TEXAS 75039  
PHONE: 972-373-3931  
CONTACT: MILLER SYLVAN  
EMAIL: MILLER.SYLVAN@JPI.COM

ENGINEER/SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC.  
2201 WEST ROYAL LANE  
SUITE 275  
IRVING, TEXAS 75063  
PHONE: 214-420-5600  
CONTACT: JOE FRACCARO, P.E.  
EMAIL: JOE.FRACCARO@KIMLEY-HORN.COM





2 FLOOR PLAN - LEVELS 2-4 - BLDG A  
SCALE: 1" = 20'-0"



1 FLOOR PLAN - LEVEL 1 - BLDG A  
SCALE: 1" = 20'-0"

PARKING REQUIRED

213 1BR UNITS @ 1/UNIT = 213  
211 2BR UNITS @ 2/UNIT = 422  
TOWNHOUSE @ 2/UNIT = 104

TOTAL PARKING REQ'D = 739

PARKING

SURFACE	GARAGE W/TANDEM	CH GARAGE	TH GARAGE	TOTAL
544	148	64	104	860

UNIT SCHEDULE

UNIT	AREA/UNIT	QUANTITY	TOTAL AREA
BLDG A (2 BUILDINGS)			
E1	685 SF	48	32,880 SF
E2	715 SF	32	22,880 SF
A3	750 SF	32	24,000 SF
A6	805 SF	24	19,320 SF
B1-1	1,105 SF	42	46,410 SF
B1-2	1,160 SF	48	55,680 SF
B4	1,361 SF	16	21,776 SF
B6	1,485 SF	16	23,760 SF
		258	246,706 SF

BLDG B (1 BUILDING)

E1	685 SF	24	16,440 SF
A3	750 SF	18	13,500 SF
A6	805 SF	27	21,735 SF
A9	895 SF	8	7,160 SF
B1-1	1,105 SF	11	12,155 SF
B1-2	1,160 SF	24	27,840 SF
B4	1,361 SF	8	10,888 SF
B5	1,084 SF	8	8,672 SF
B6	1,485 SF	6	8,910 SF
		134	127,300 SF

BLDG C (5 BUILDINGS) CARRIAGE HOUSES

TH-C	1,095 SF	32	35,040 SF
		32	35,040 SF

BLDG D (12 BUILDINGS) TOWNHOMES

TH-D	1,750 SF	52	91,000 SF
		52	91,000 SF
TOTAL		476	500,046 SF

PROJECT AVERAGE UNIT SIZE = 965 SF

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JPI - Debbie Lane

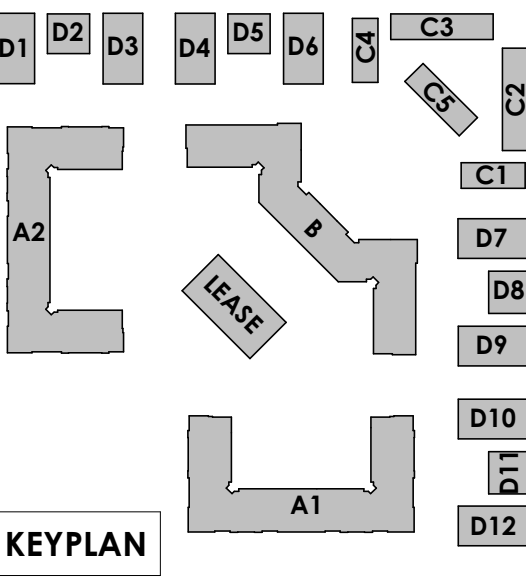
2800 Matlock Road  
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No	Description	Date
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1	ZONING RESUBMITTAL	07.16.2020
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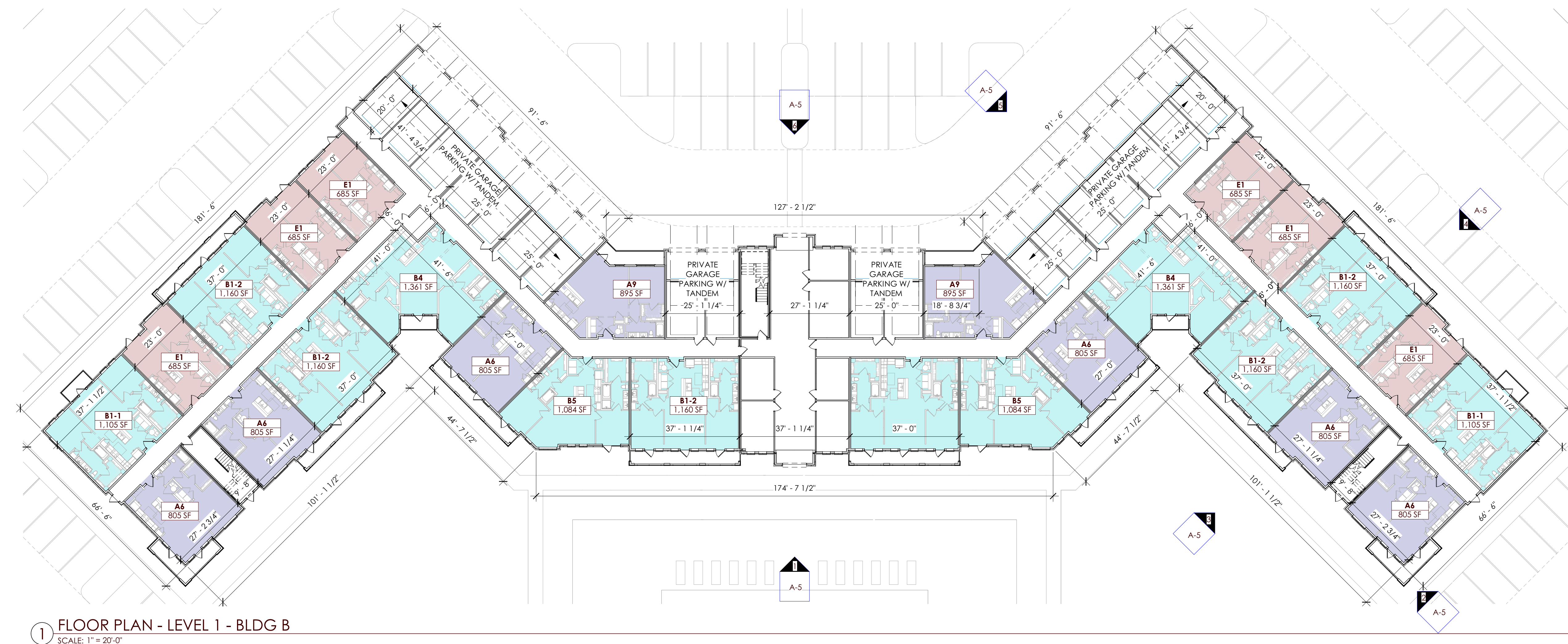
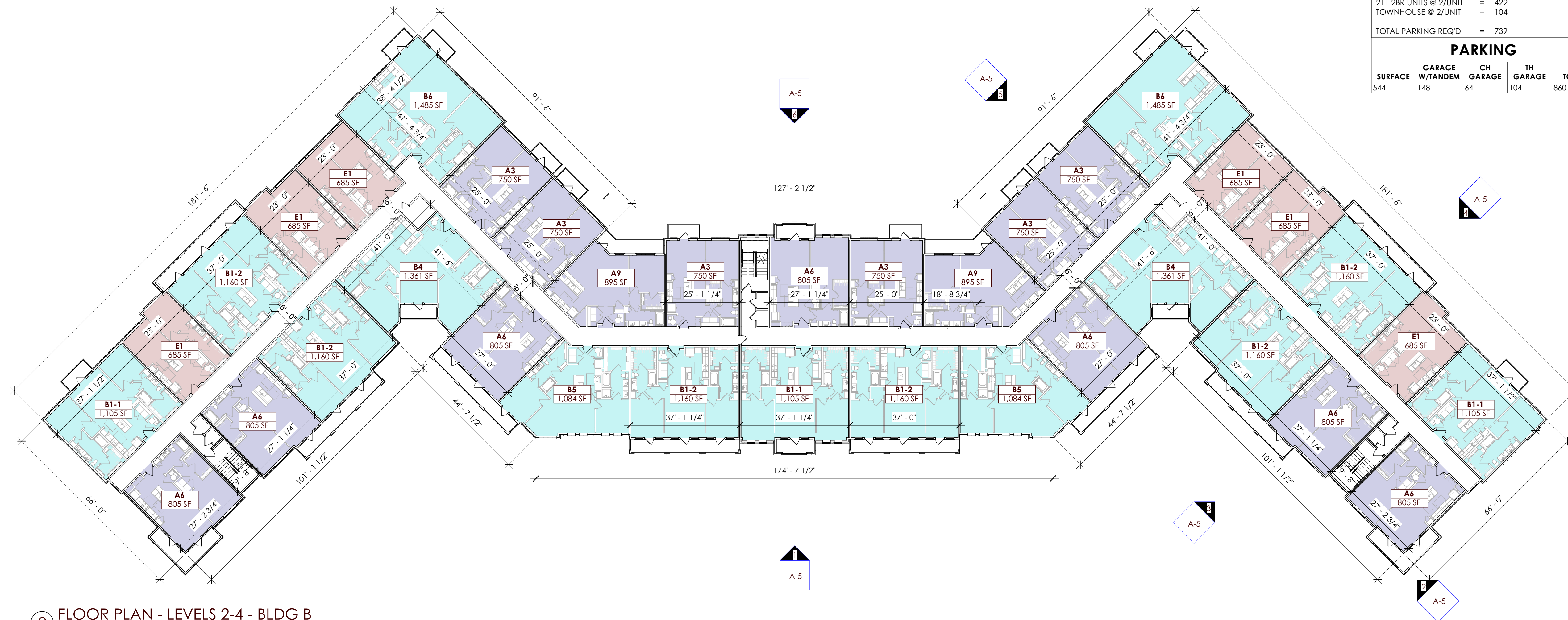
BLDG A - FLOOR  
PLANS

A-1

**Zoning Case Number:**  
ZC#20-008

**Exhibit: C**  
Page 1 of 16





**PARKING REQUIRED**

213 1BR UNITS @ 1/UNIT	=	213
211 2BR UNITS @ 2/UNIT	=	422
TOWNHOUSE @ 2/UNIT	=	104

TOTAL PARKING REQ'D	=	739
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PARKING				
SURFACE	GARAGE W/TANDEM	CH GARAGE	TH GARAGE	TOTAL
544	148	64	104	860

## UNIT SCHEDULE

UNIT	AREA/UNIT	QUANTITY	TOTAL AREA
BLDG A (2 BUILDINGS)			
E1	685 SF	48	32,880 SF
E2	715 SF	32	22,880 SF
A3	750 SF	32	24,000 SF
A6	805 SF	24	19,320 SF
B1-1	1,105 SF	42	46,410 SF
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B4	1,361 SF	16	21,776 SF
B6	1,485 SF	16	23,760 SF
258			246,706 SF

BLDG B ( BUILDING)			
E1	685 SF	24	16,440 SF
A3	750 SF	18	13,500 SF
A6	805 SF	27	21,735 SF
A9	895 SF	8	7,160 SF
B1-1	1,105 SF	11	12,155 SF
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		134	127,300 SF

BLDG C (5 BUILDINGS) CARRIAGE HOUSES			
TH-C	1,095 SF	32	35,040 SF
		32	35,040 SF

BLDG D (12 BUILDINGS) TOWNHOMES			
TH-D	1,750 SF	52	91,000 SF
		52	91,000 SF
TOTAL		476	500,046 SF

PROJECT AVERAGE UNIT SIZE = 965 SF

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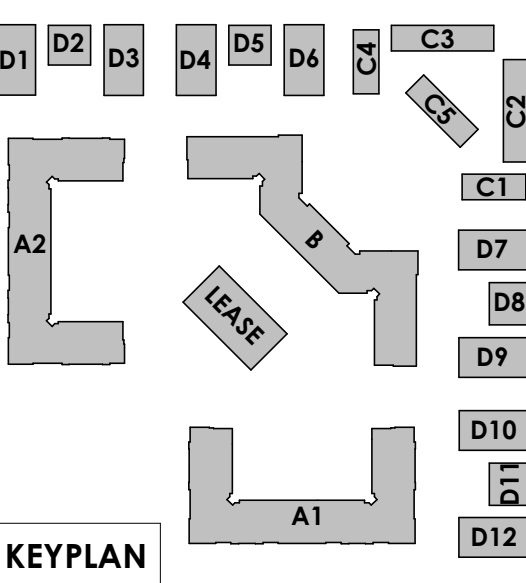
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Miller Sylvan  
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No	Description	Date
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1	ZONING REQUIREMENT	07.16.2020
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WDG Architecture Project No:

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BLDG B - FLOOR  
PLANS

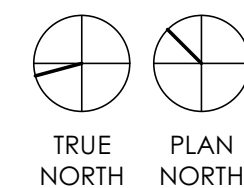
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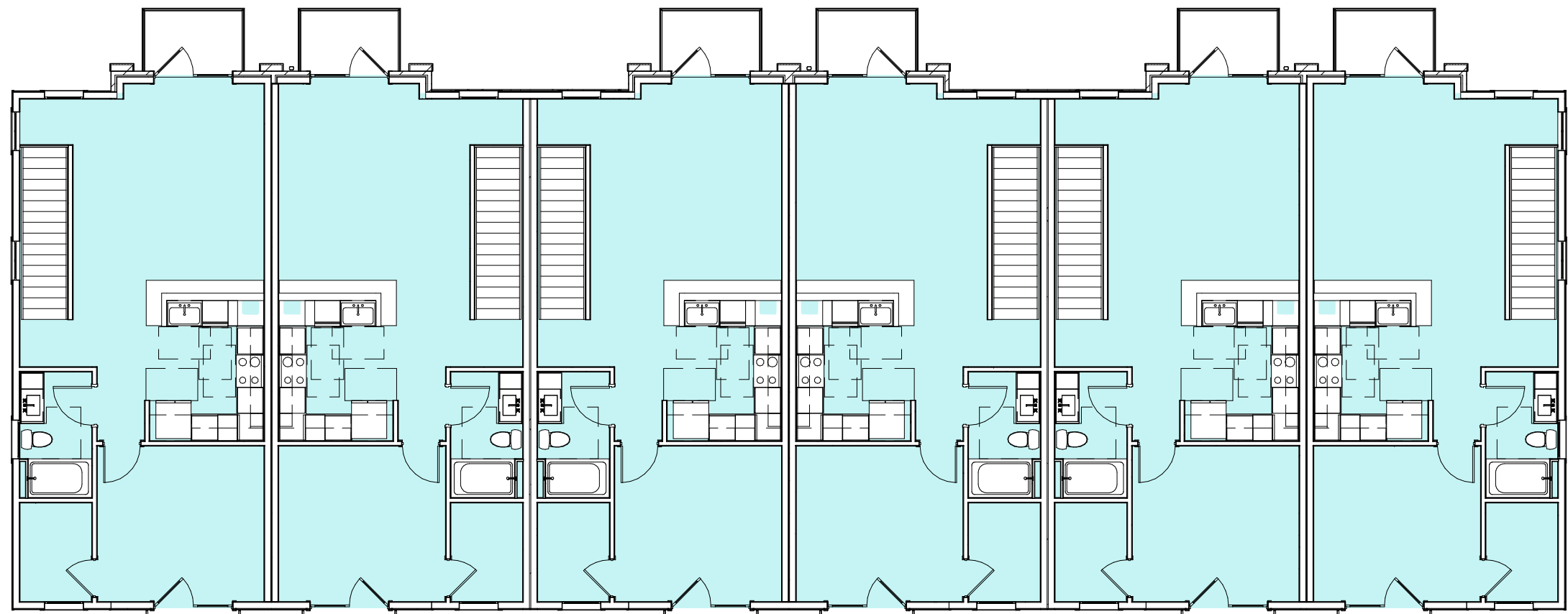
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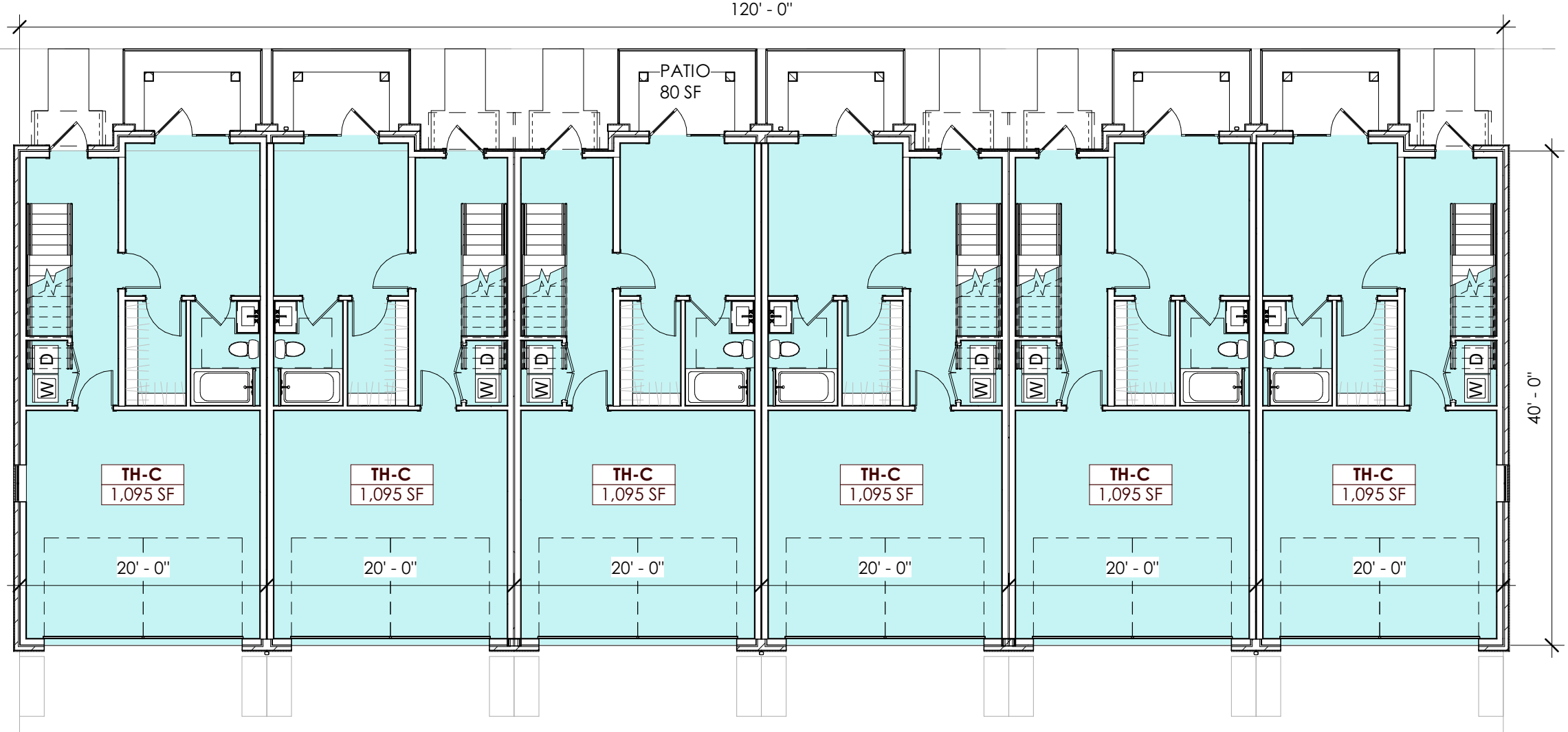
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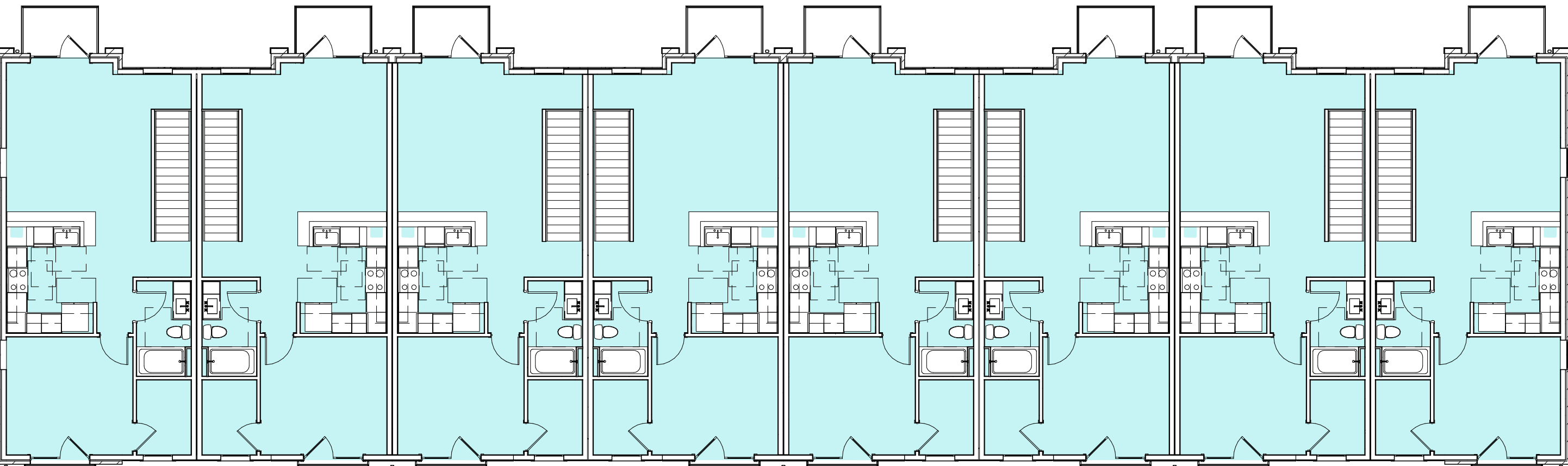




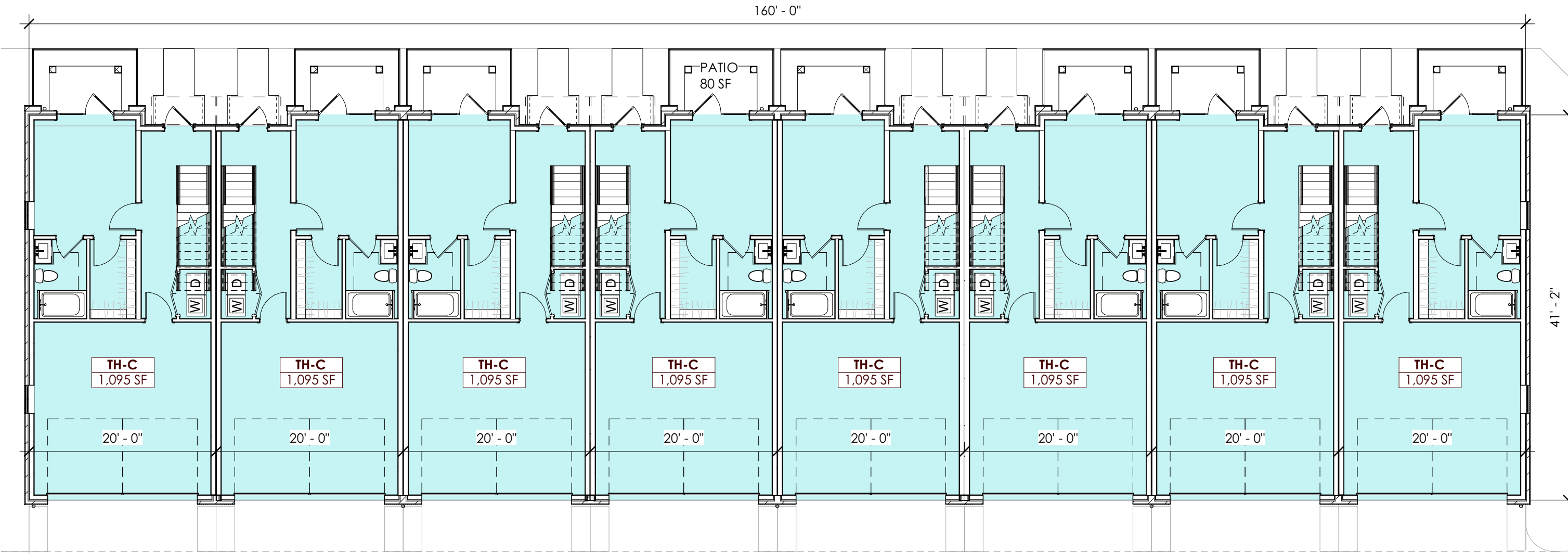
6 FLOOR PLAN - LEVEL 2 - BLDG C-5  
SCALE: 3/32" = 1'-0"



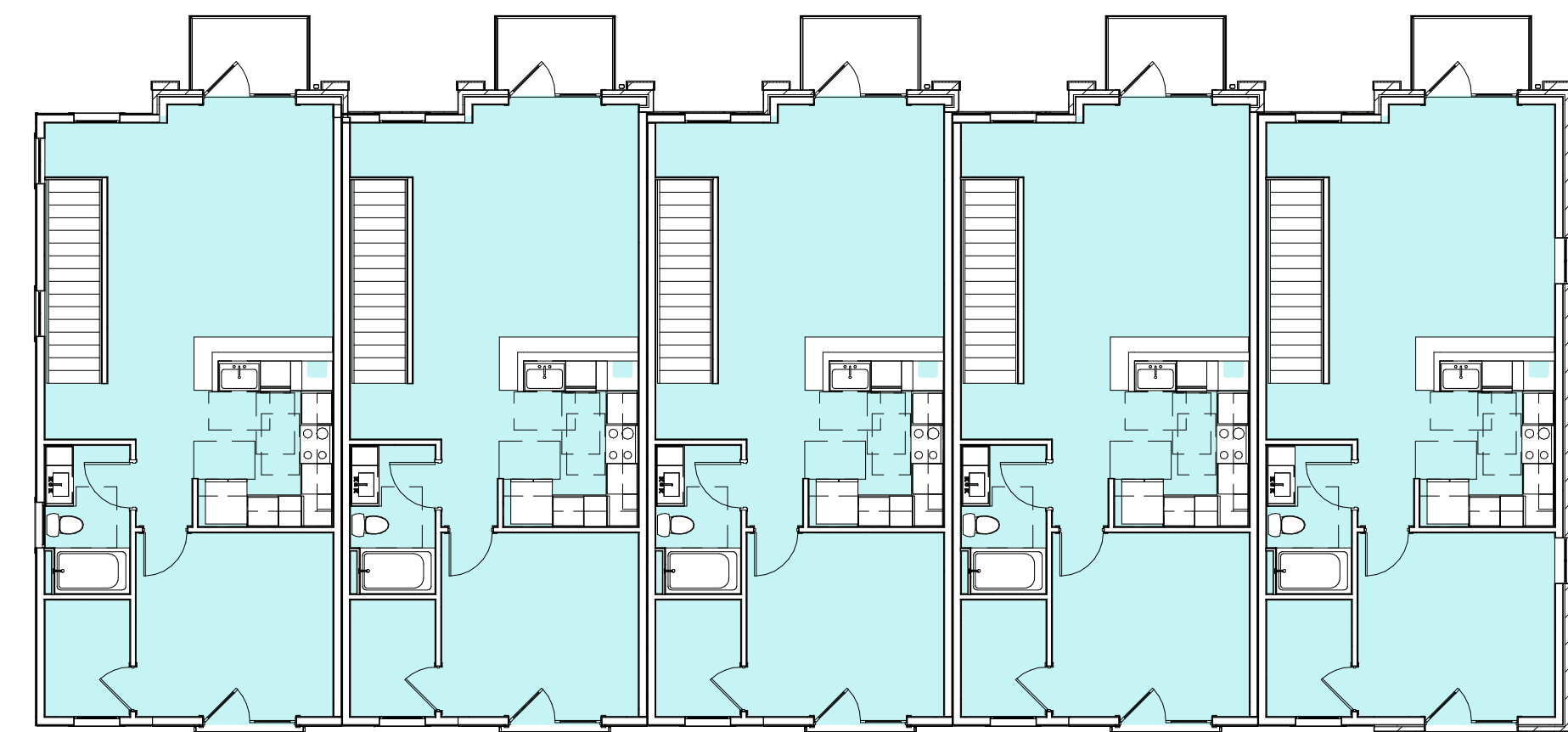
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SCALE: 3/32" = 1'-0"



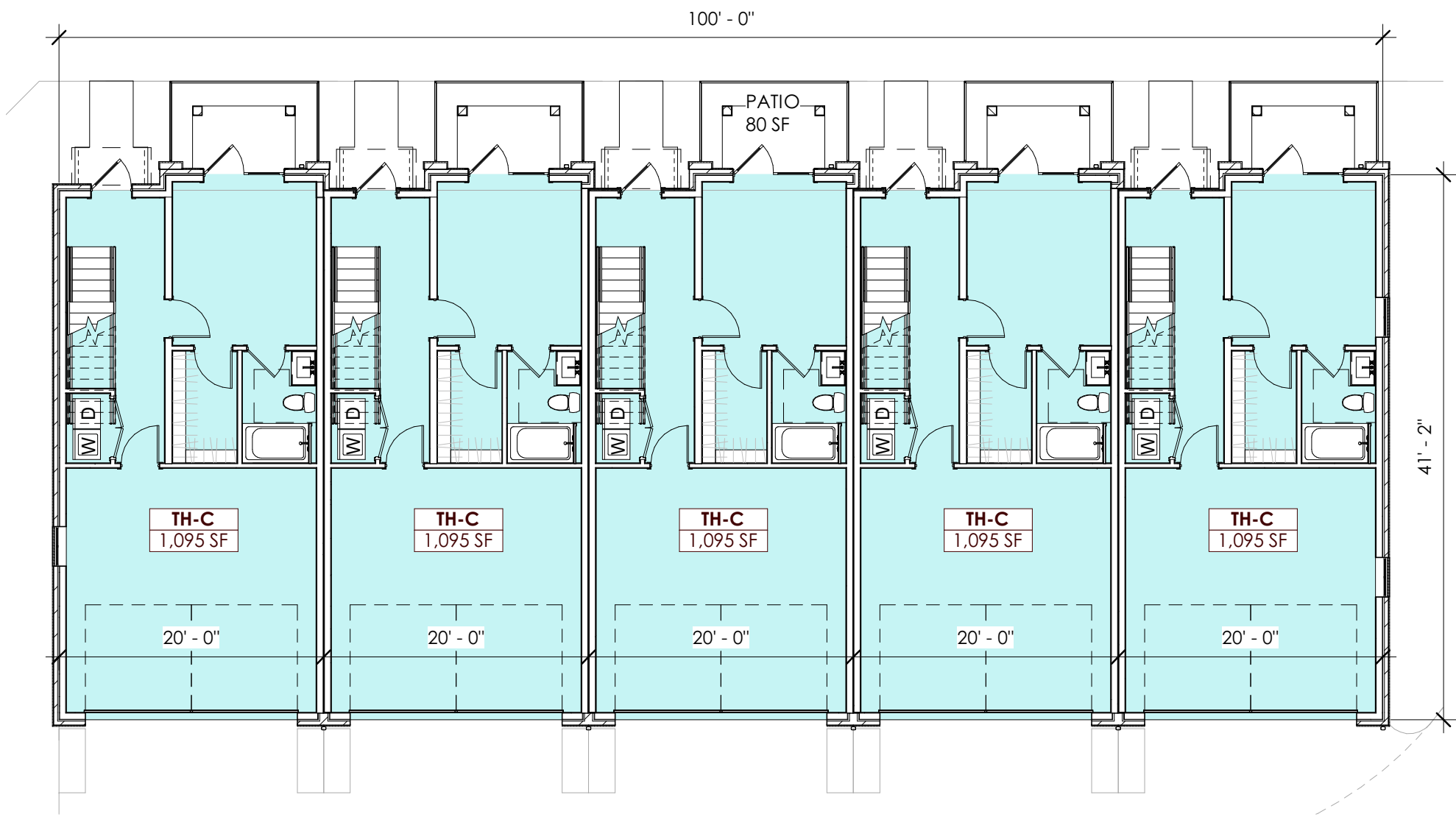
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SCALE: 3/32" = 1'-0"



3 FLOOR PLAN - LEVEL 1 - BLDG C-2/C-3  
SCALE: 3/32" = 1'-0"



2 FLOOR PLAN - LEVEL 2 - BLDG C-1/C-4  
SCALE: 3/32" = 1'-0"



1 FLOOR PLAN - LEVEL 1 - BLDG C-1/C-4  
SCALE: 3/32" = 1'-0"

PARKING REQUIRED

213 1BR UNITS @ 1/UNIT = 213  
211 2BR UNITS @ 2/UNIT = 422  
TOWNHOUSE @ 2/UNIT = 104  
TOTAL PARKING REQ'D = 739

PARKING

SURFACE	GARAGE W/TANDEM	CH GARAGE	TH GARAGE	TOTAL
544	148	64	104	860

UNIT SCHEDULE

UNIT	AREA/UNIT	QUANTITY	TOTAL AREA
BLDG A (2 BUILDINGS)			
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B1-1	1,105 SF	42	46,410 SF
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B4	1,361 SF	16	21,776 SF
B6	1,485 SF	16	23,760 SF
		258	246,706 SF
BLDG B (1 BUILDING)			
E1	685 SF	24	16,440 SF
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		134	127,300 SF
BLDG C (5 BUILDINGS) CARRIAGE HOUSES			
TH-C	1,095 SF	32	35,040 SF
		32	35,040 SF
BLDG D (12 BUILDINGS) TOWNHOMES			
TH-D	1,750 SF	52	91,000 SF
		52	91,000 SF
TOTAL		476	500,046 SF
PROJECT AVERAGE UNIT SIZE = 965 SF			

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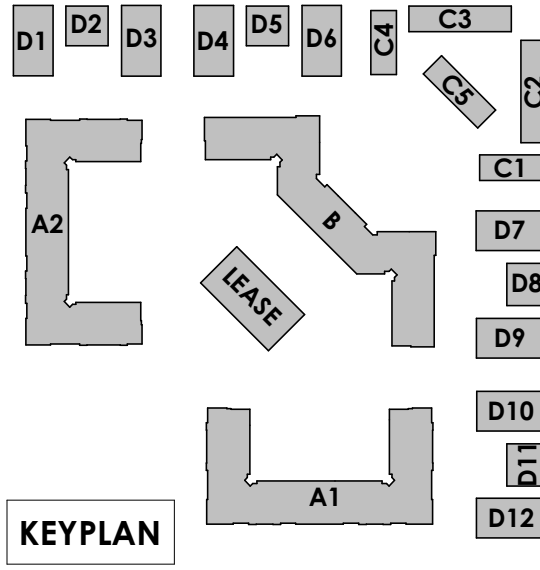
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No	Description	Date
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1	ZONING RESUBMITTAL	07.16.2020
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07.16.2020

WDG Architecture Project No:  
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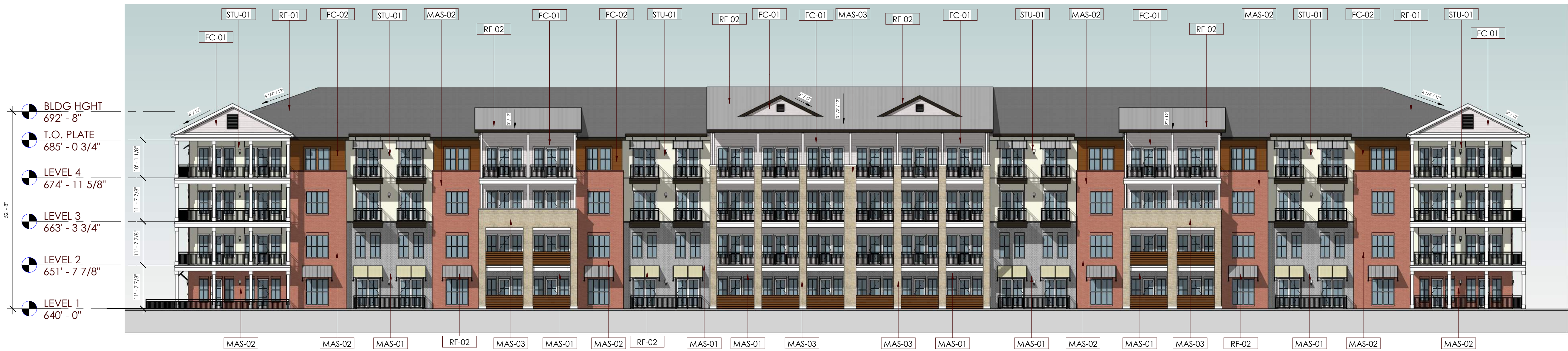
BLDG C - FLOOR  
PLANS

A-3

Zoning Case Number:  
ZC#20-008

Exhibit: C  
Page 3 of 16





1 BUILDING A - SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 52% STONE = 13%  
STUCCO = 25% FIBER CEMENT = 10%  
GLASS = 30%

MATERIAL PERCENTAGES (BLDG A):

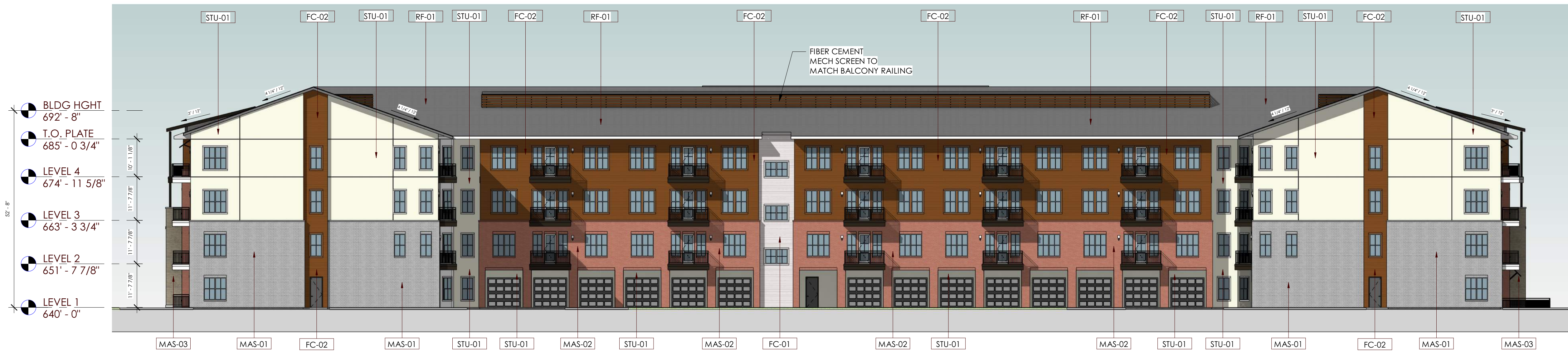
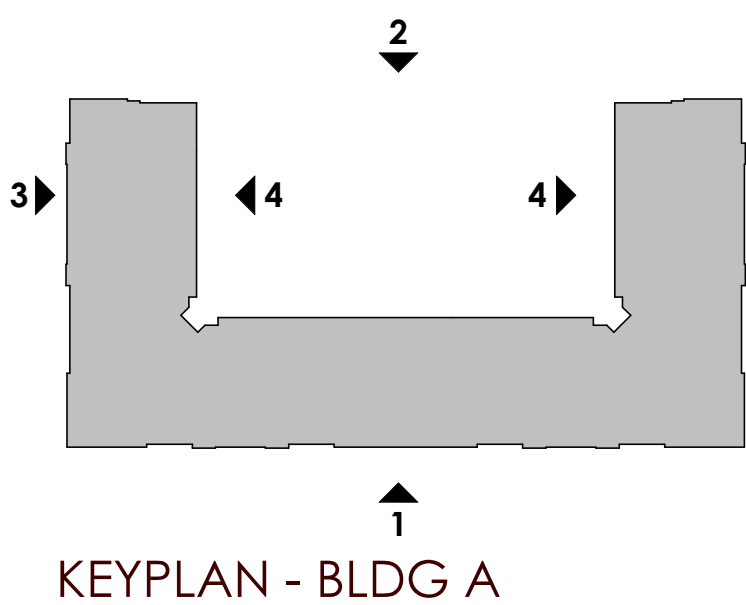
BRICK = 45%  
STONE = 9%  
FIBER CEMENT = 20%  
STUCCO = 27%

\*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 24%

EXTERIOR MATERIAL LEGEND

KEY	DESCRIPTION
CS-01	CAST STONE TRIM - TEXAS CREAM
FC-01	FIBER CEMENT SIDING - LIGHT GRAY
FC-02	FIBER CEMENT SIDING - BROWN
MAS-01	BRICK MASONRY - LIGHT GRAY
MAS-02	BRICK MASONRY - RED
MAS-03	LIMESTONE VENEER - SALADO CREAM
RF-01	ASPHALT SHINGLE ROOFING
RF-02	STANDING SEAM ROOFING
STU-01	STUCCO - LIGHT CREAM



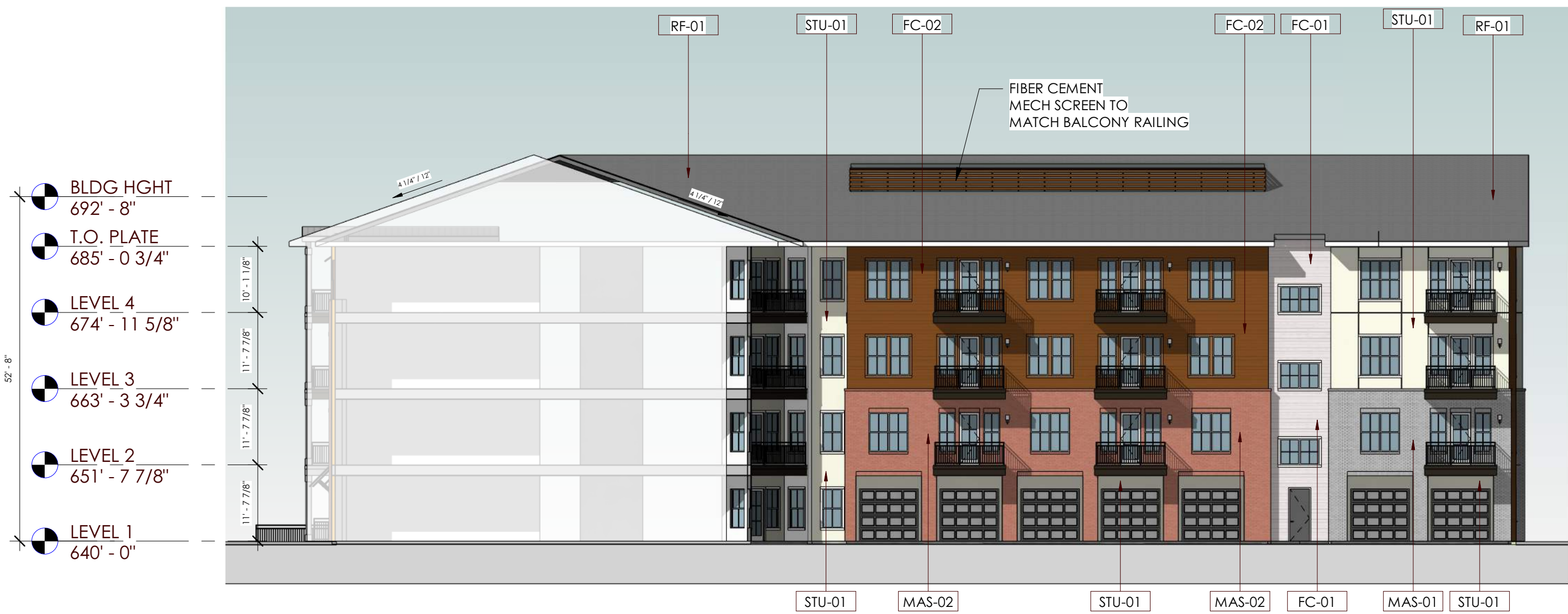
2 BUILDING A - NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 44% STONE = 0%  
STUCCO = 28% FIBER CEMENT = 28%  
GLASS = 19%



3 BUILDING A - WEST ELEVATION (EAST O.H.)  
SCALE: 1/16" = 1'-0"

BRICK = 43% STONE = 15%  
STUCCO = 32% FIBER CEMENT = 10%  
GLASS = 28%



4 BUILDING A - EAST COURT ELEVATION (WEST COURT O.H.)  
SCALE: 1/16" = 1'-0"

BRICK = 37% STONE = 0%  
STUCCO = 21% FIBER CEMENT = 42%  
GLASS = 20%

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1	ZONING RESUBMITTAL	07.16.2020

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BLDG A - ELEVATIONS

A-4

**Zoning Case Number:**  
ZC#20-008

**Exhibit: C**  
Page 4 of 16





1 BUILDING B - SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 47% STONE = 12%  
STUCCO = 18% FIBER CEMENT = 23%  
GLASS = 30%



2 BUILDING B - SE WING ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 41% STONE = 14%  
STUCCO = 18% FIBER CEMENT = 27%  
GLASS = 19%



3 BUILDING B - SW WING ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 48% STONE = 16%  
STUCCO = 14% FIBER CEMENT = 22%  
GLASS = 25%



4 BUILDING B - NE WING ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 48% STONE = 8%  
STUCCO = 31% FIBER CEMENT = 13%  
GLASS = 25%



5 BUILDING B - NW WING ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 35% STONE = 0%  
STUCCO = 39% FIBER CEMENT = 25%  
GLASS = 20%



6 BUILDING B - NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

BRICK = 34% STONE = 0%  
STUCCO = 37% FIBER CEMENT = 19%  
GLASS = 22%

MATERIAL PERCENTAGES (BLDG B):

BRICK = 44%  
STONE = 10%  
FIBER CEMENT = 20%  
STUCCO = 26%

\*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 25%

EXTERIOR MATERIAL LEGEND

KEY	DESCRIPTION
CS-01	CAST STONE TRIM - TEXAS CREAM
FC-01	FIBER CEMENT SIDING - LIGHT GRAY
FC-02	FIBER CEMENT SIDING - BROWN
MAS-01	BRICK MASONRY - LIGHT GRAY
MAS-02	BRICK MASONRY - RED
MAS-03	LIMESTONE VENEER - SALADO CREAM
RF-01	ASPHALT SHINGLE ROOFING
RF-02	STANDING SEAM ROOFING
STU-01	STUCCO - LIGHT CREAM

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No	Description	Date
1	ZONING RESUBMITTAL	07.16.2020

KEYPLAN

KEYPLAN - BLDG B

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BLDG B - ELEVATIONS

A-5

Zoning Case Number:  
ZC#20-008

Exhibit: C  
Page 5 of 16





1 BUILDING C1/C4 - FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

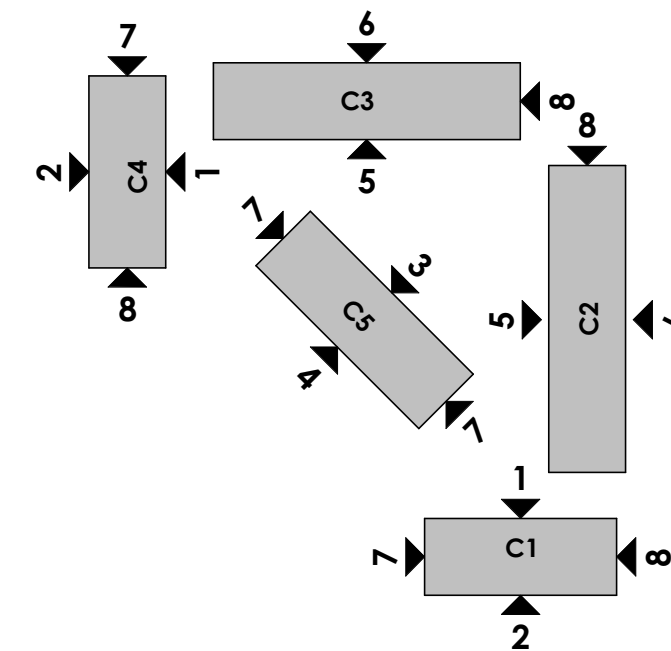
BRICK = 59%	STONE = 22%	<b>C1/C4 TOTAL</b>	BRICK = 70.5%	STONE = 7.5%
FIBER CEMENT = 19%			FIBER CEMENT = 22%	
GLASS = 19%			GLASS = 13%	



2 BUILDING C1/C4 - REAR ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 77%	STONE = 0%
FIBER CEMENT = 23%	
GLASS = 11%	

EXTERIOR MATERIAL LEGEND	
KEY	DESCRIPTION
CS-01	CAST STONE TRIM - TEXAS CREAM
FC-01	FIBER CEMENT SIDING - LIGHT GRAY
FC-02	FIBER CEMENT SIDING - BROWN
MAS-01	BRICK MASONRY - LIGHT GRAY
MAS-02	BRICK MASONRY - RED
MAS-03	LIMESTONE VENEER - SALADO CREAM
RF-01	ASPHALT SHINGLE ROOFING
RF-02	STANDING SEAM ROOFING
STU-01	STUCCO - LIGHT CREAM

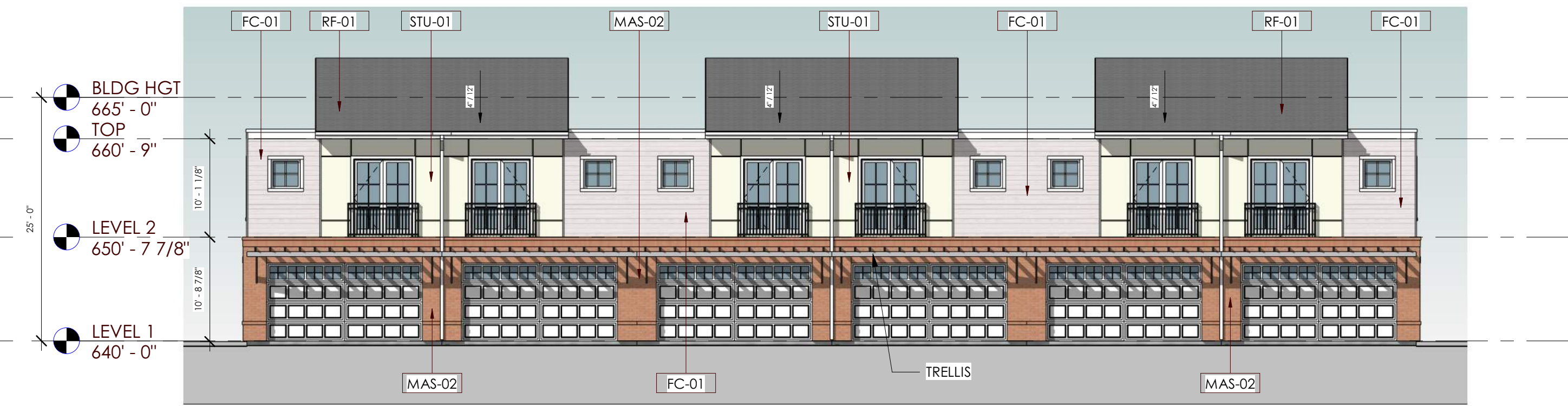


KEYPLAN - BLDG C



3 BUILDING C5 - FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 59%	STONE = 22%	<b>C5 TOTAL</b>	BRICK = 62%	STONE = 8%
FIBER CEMENT = 19%			FIBER CEMENT = 30%	
GLASS = 19%			GLASS = 13%	



4 BUILDING C5 - REAR ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 77%	STONE = 0%
FIBER CEMENT = 23%	
GLASS = 11%	



5 BUILDING C - SIDE ELEVATION - B  
SCALE: 3/32" = 1'-0"

BRICK = 51%	STONE = 0%
FIBER CEMENT = 49%	
GLASS = 7%	



6 BUILDING C2/C3 - FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 59%	STONE = 22%	<b>C2/C3 TOTAL</b>	BRICK = 76.5%	STONE = 8.5%
FIBER CEMENT = 19%			FIBER CEMENT = 15%	
GLASS = 19%			GLASS = 14%	



7 BUILDING C - SIDE ELEVATION - A  
SCALE: 3/32" = 1'-0"

BRICK = 100%	STONE = 0%
FIBER CEMENT = 0%	
GLASS = 8%	



8 BUILDING C2/C3 - REAR ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 77%	STONE = 0%
FIBER CEMENT = 23%	
GLASS = 11%	

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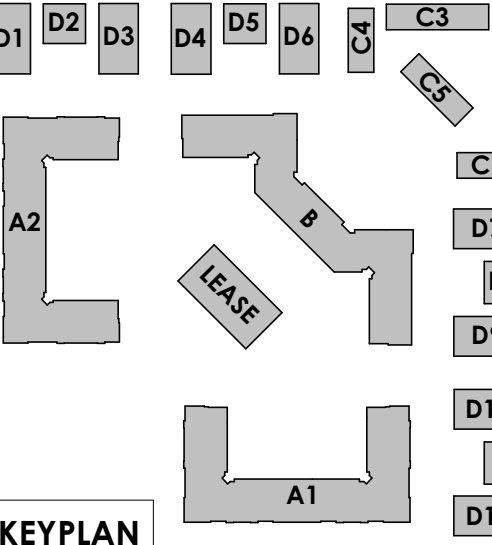
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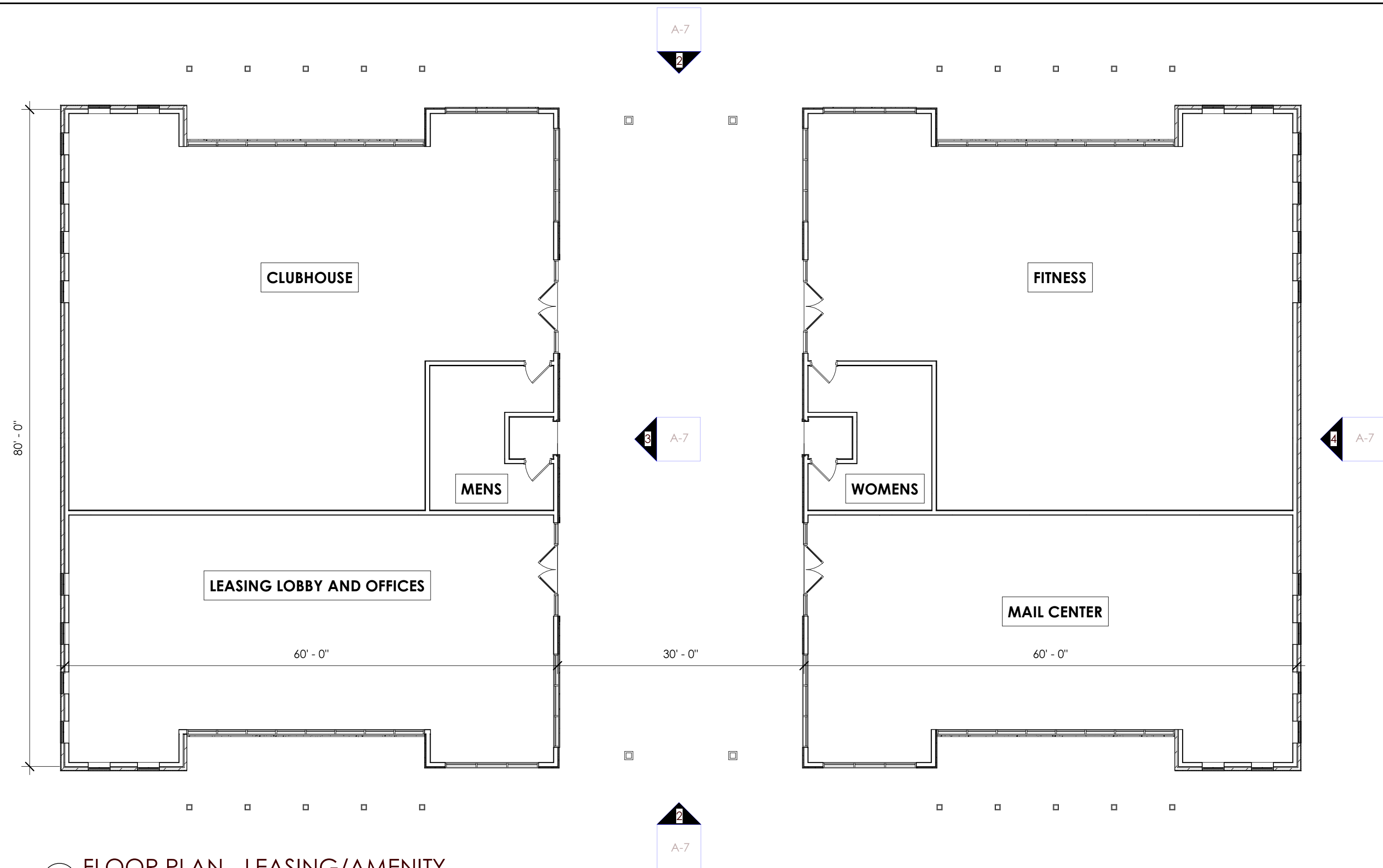
BLDG C - ELEVATIONS

A-6

**Zoning Case Number:**  
ZC#20-008

**Exhibit: C**  
Page 6 of 16





1 FLOOR PLAN - LEASING/AMENITY  
SCALE: 3/32" = 1'-0"

**MATERIAL PERCENTAGES (LEASING/AMENITY):**  
BRICK = 53%  
STONE = 39%  
FIBER CEMENT = 8%  
STUCCO = 0%

\*EXTERIOR WALL PERCENTAGE EXCLUDES ROOFS, AWNINGS, CANOPIES, DOORS, WINDOWS, GLASS WALLS AND FRAME ASSEMBLIES THEREOF, PER DESIGN STANDARDS.

GLASS PERCENTAGE = 38%

EXTERIOR MATERIAL LEGEND	
KEY	DESCRIPTION
CS-01	CAST STONE TRIM - TEXAS CREAM
FC-01	FIBER CEMENT SIDING - LIGHT GRAY
FC-02	FIBER CEMENT SIDING - BROWN
MAS-01	BRICK MASONRY - LIGHT GRAY
MAS-02	BRICK MASONRY - RED
MAS-03	LIMESTONE VENEER - SALADO CREAM
RF-01	ASPHALT SHINGLE ROOFING
RF-02	STANDING SEAM ROOFING
STU-01	STUCCO - LIGHT CREAM

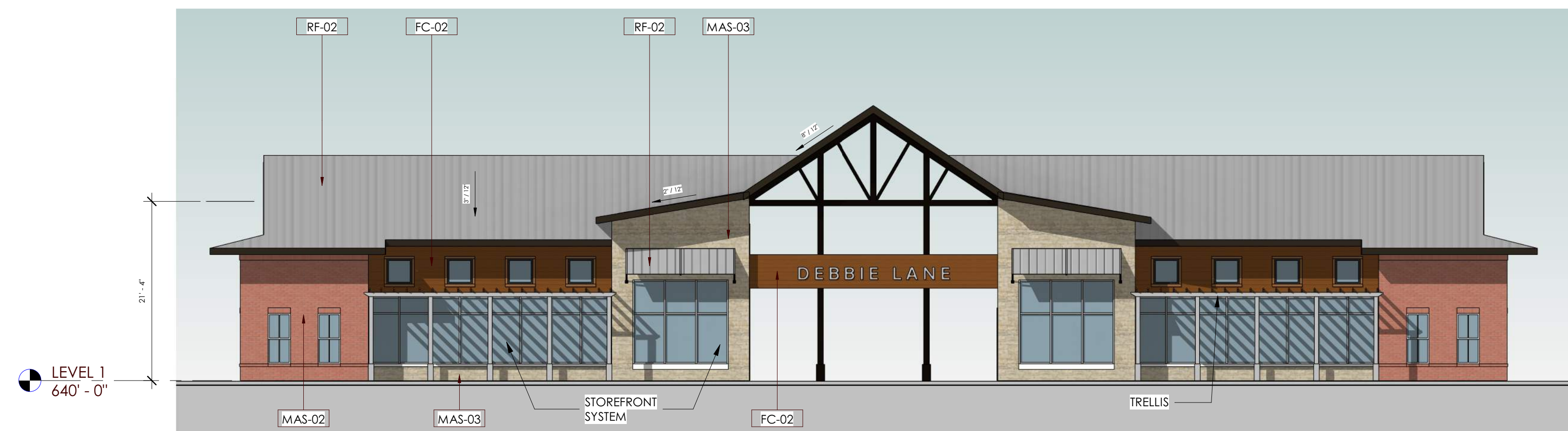
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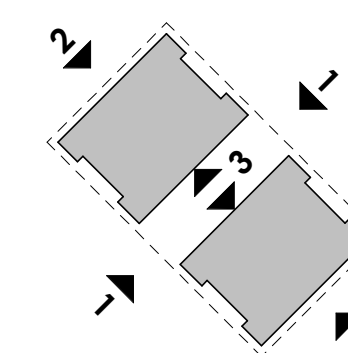
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2 LEASING/AMENITY BUILDING - SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 40% STONE = 38%  
FIBER CEMENT = 22%  
GLASS = 44%

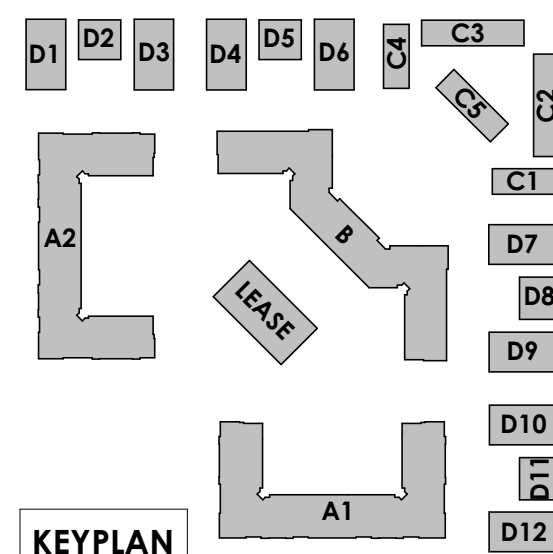


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LEASING/AMENITY BUILDING

A-7

**Zoning Case Number:**  
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**Exhibit: C**  
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3 LEASING/AMENITY BUILDING - BREEZEWAY ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 0% STONE = 100%  
FIBER CEMENT = 0%  
GLASS = 53%



4 LEASING/AMENITY BUILDING - WEST ELEVATION  
SCALE: 3/32" = 1'-0"

BRICK = 100% STONE = 0%  
FIBER CEMENT = 0%  
GLASS = 10%





KEY	DESCRIPTION
CS-01	CAST STONE TRIM - TEXAS CREAM
FC-01	FIBER CEMENT SIDING - LIGHT GRAY
FC-02	FIBER CEMENT SIDING - BROWN
MAS-01	BRICK MASONRY - LIGHT GRAY
MAS-02	BRICK MASONRY - RED
MAS-03	LIMESTONE VENEER - SALADO CREAM
RF-01	ASPHALT SHINGLE ROOFING
RF-02	STANDING SEAM ROOFING
STU-01	STUCCO - LIGHT CREAM

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**Exhibit: C**  
Page 8 of 16





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No	Description	Date
1	ZONING RESUBMITTAL	07.16.2020
D1	D2	D3
D4	D5	D6
C4	C3	C2
A2	A1	D7
LEASE	D8	D9
D10	D11	D12
KEY PLAN		

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PROJECT  
RENDERING

A-9

Zoning Case Number:  
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PROJECT RENDERING

A-10

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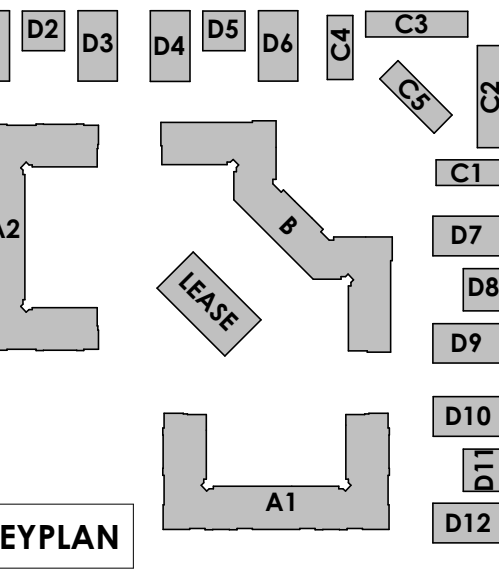
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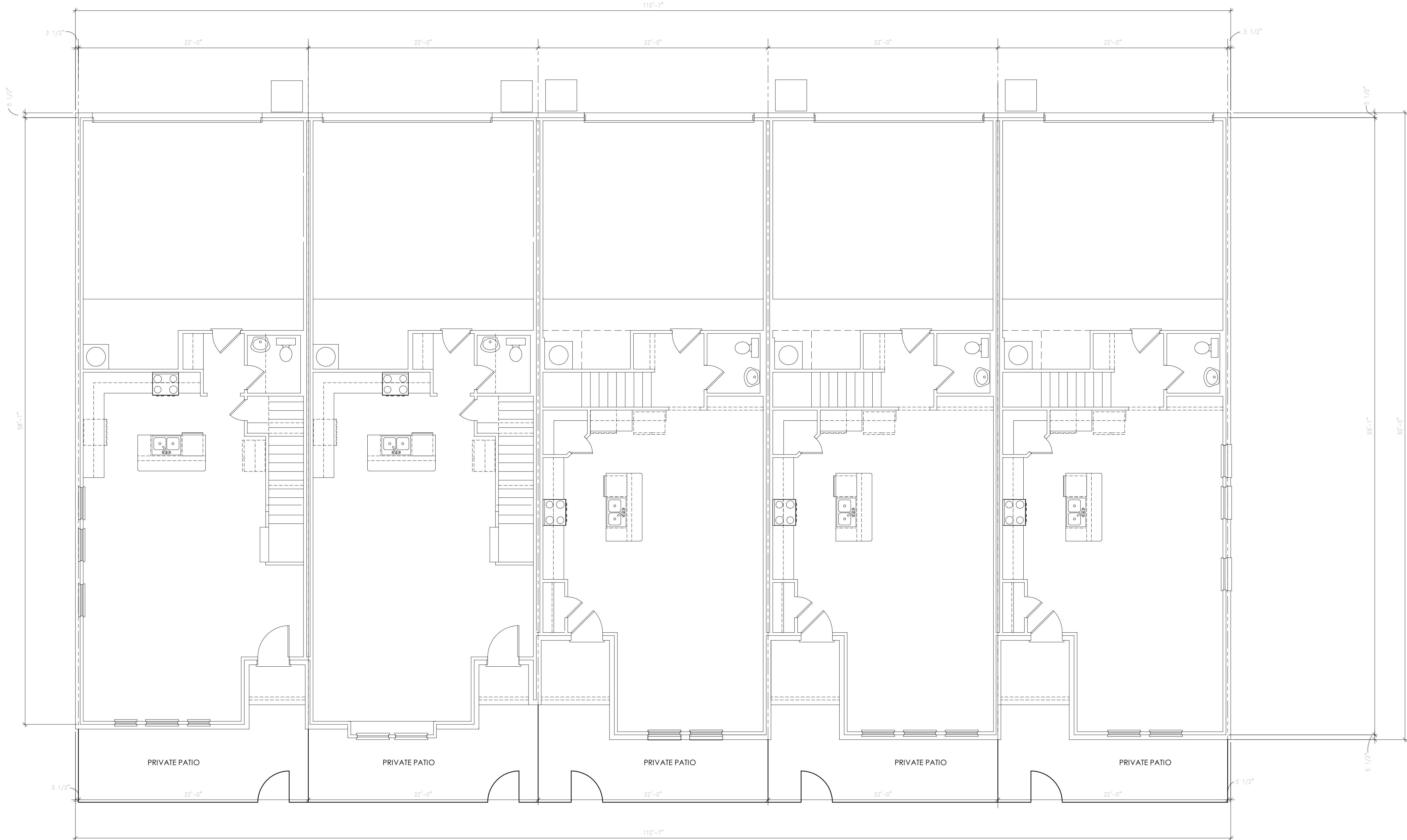
PROJECT  
RENDERING

A-11

Zoning Case Number:  
ZC#20-008

Exhibit: C  
Page 11 of 16





**1 FLOOR PLAN - LEVEL 1 - BLDG D**  
SCALE: 3/16" = 1'-0"

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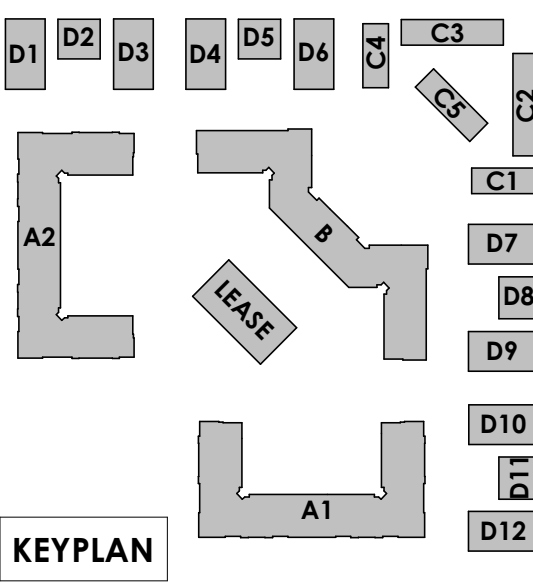
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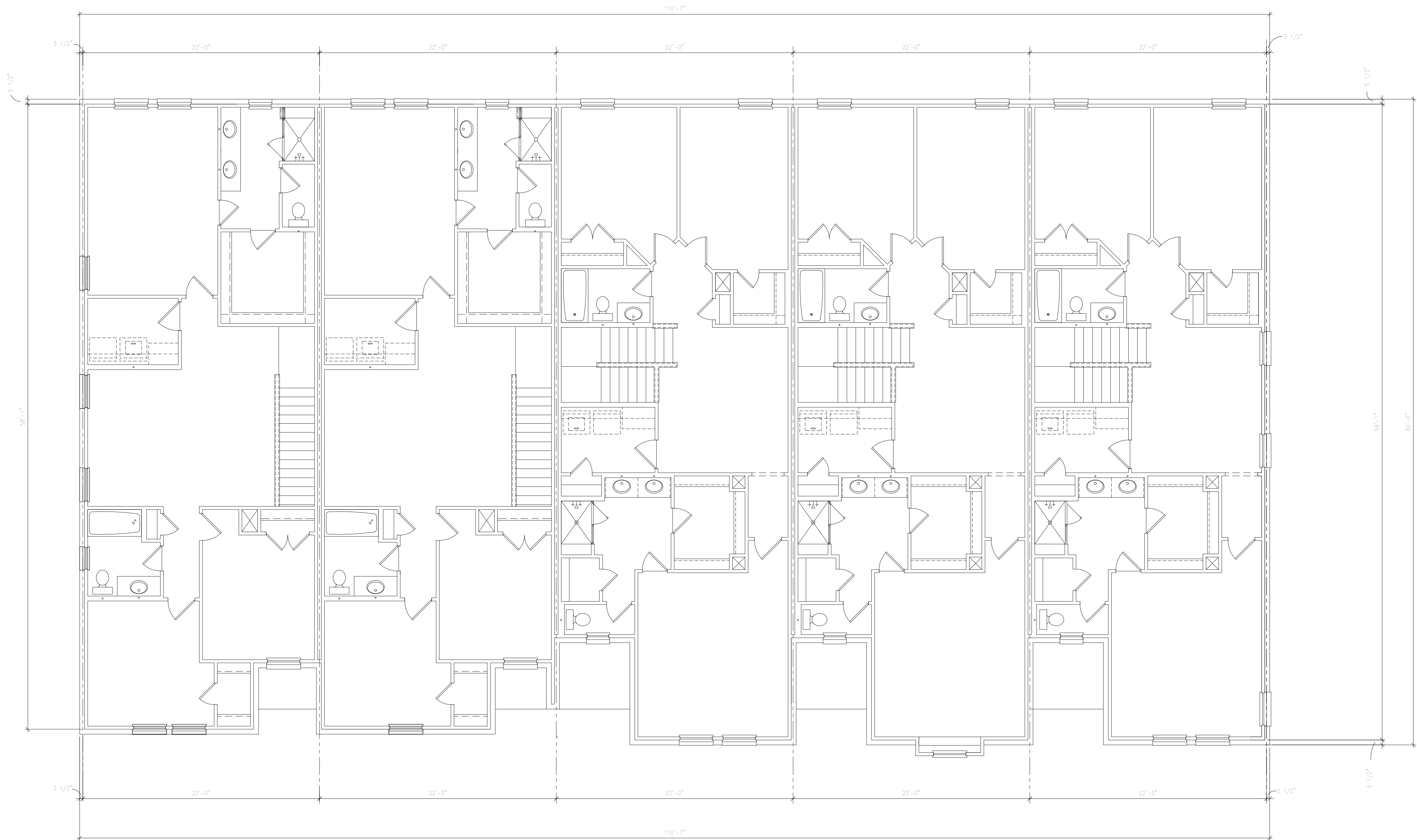
**BLDG D - FLOOR PLANS**

**A1-1**

**Zoning Case Number:**  
ZC#20-008

**Exhibit: C**  
Page 12 of 16





1 FLOOR PLAN - LEVEL 2 - BLDG D  
SCALE: 3/16" = 1'-0"


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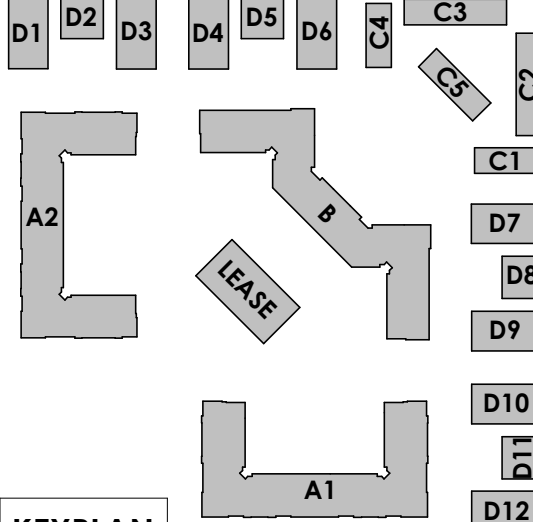
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BLDG D - FLOOR PLANS

A1-2

**Zoning Case Number:**  
ZC#20-008  
**Exhibit: C**  
Page 13 of 16



EXTERIOR MATERIAL LEGEND	
BR-1	BRICK - COLOR 1
BR-2	BRICK - COLOR 2
ST-1	STONE - COLOR 1
RF-1	SHINGLE ROOFING

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1 BUILDING D - FRONT ELEVATION  
SCALE: 3/16" = 1'-0"



2 BUILDING D - REAR ELEVATION  
SCALE: 3/16" = 1'-0"

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BLDG D - ELEVATIONS

A2-1

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**Exhibit: C**  
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EXTERIOR MATERIAL LEGEND	
BR-1	BRICK - COLOR 1
BR-2	BRICK - COLOR 2
ST-1	STONE - COLOR 1
RF-1	SHINGLE ROOFING

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1 BUILDING D - SIDE ELEVATION - A



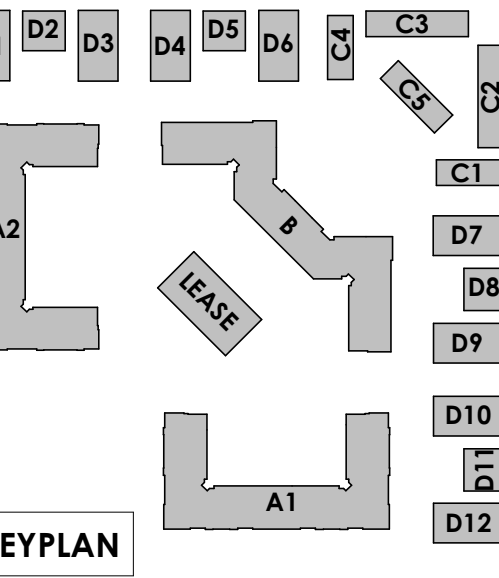
2 BUILDING D - SIDE ELEVATION - B  
SCALE: 3/16" = 1'-0"



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BLDG D - ELEVATIONS

A2-2

**Zoning Case Number:**  
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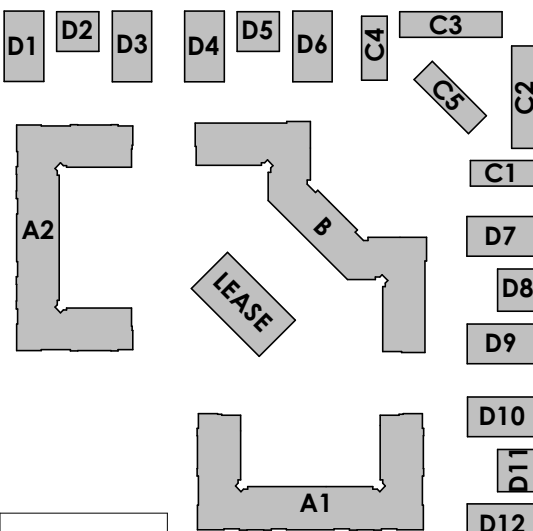
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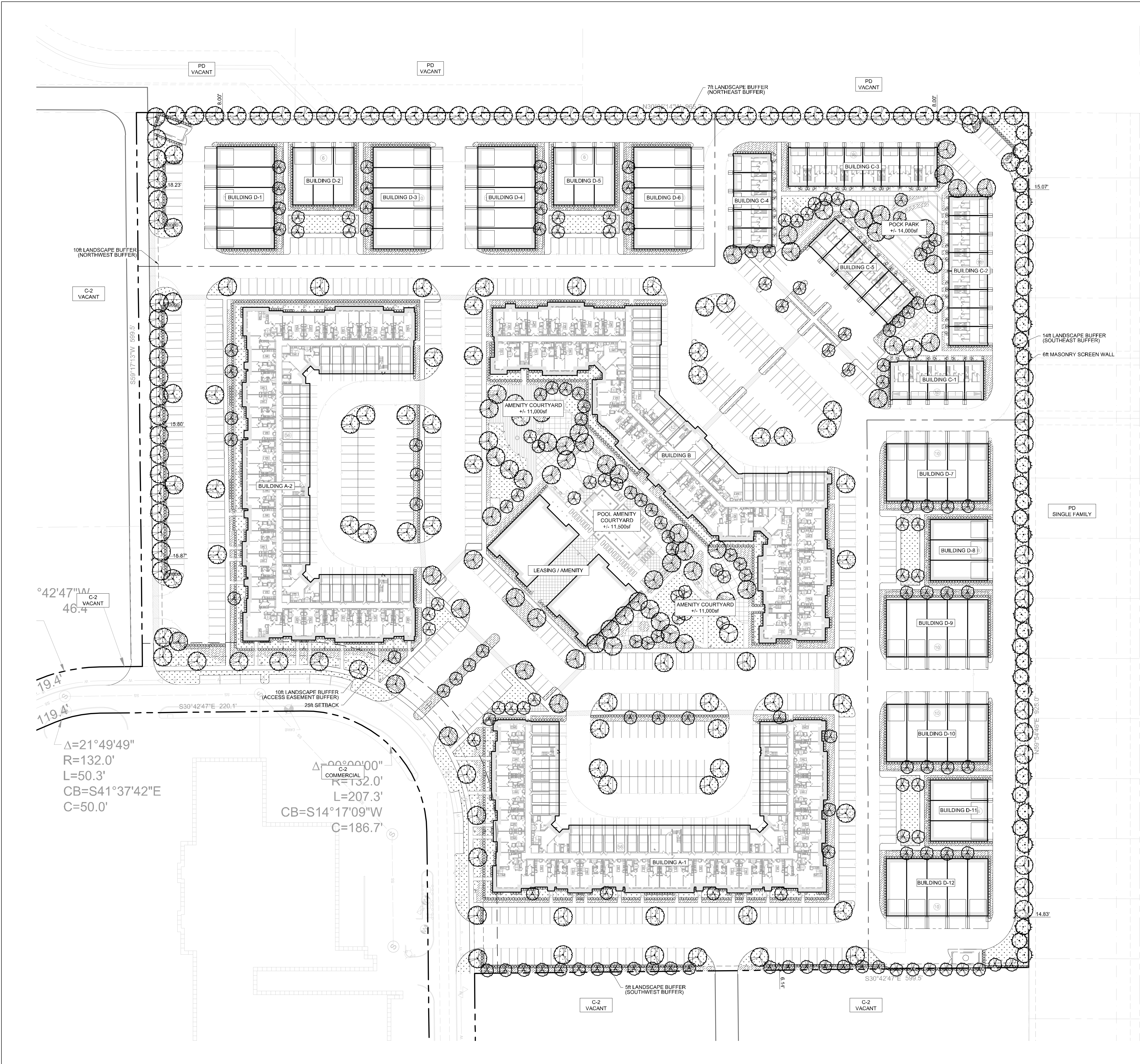
BLDG D -  
PERSPECTIVE

A3-1

**Zoning Case Number:**  
ZC#20-008

**Exhibit: C**  
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CONCEPT PLANT SCHEDULE

	STREET/SITE TREE	216
	Acer grandidentatum / Bigtooth Maple	
	Ginkgo biloba / Maidenhair Tree	
	Quercus muhlenbergii / Chinkapin Oak	
	Quercus virginiana / Cathedral / Cathedral Live Oak	
	Taxodium distichum / Bald Cypress	
	Ulmus crassifolia / Cedar Elm	
	Ulmus parvifolia / Emer II TM / Albio Elm	
	SMALL TREE	167
	Cercis canadensis texensis / Texas Redbud	
	Ilex coccinea / Possumhaw Holly	
	Koeleruteria paniculata / Golden Rain Tree	
	Lagerstroemia indica / Crape Myrtle	
	Magnolia x 'Jane' / Jane Magnolia	
	Prunus caroliniana / Carolina Laurel Cherry	
	Vibex agnus-castus / Chaste Tree	
	EVERGREEN TREE	29
	Ilex x attenuata 'Savannah' / Savannah Holly	
	Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Southern Magnolia	
	Pinus strobus / Afghan Pine	
	Pinus thunbergii / Japanese Black Pine	
	Taxodium distichum / Bald Cypress	
	SCREENING SHRUBS	405
	Abelia x grandiflora / Glossy Abelia	
	Elaeagnus x ebbingei / Ebbing Silverberry	
	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	
	Leucophyllum frutescens / Texas Sage	
	Photinia x fraseri / Red Tip Photinia	
	BUILDING FOUNDATION SHRUBS	2,885
	Abelia x 'Rose Creek' / Rose Creek Abelia	
	Hesperaloe parviflora / Red Yucca	
	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	
	Leucophyllum frutescens / Texas Sage	
	Ligustrum sinense 'Variegatum' / Variegated Chinese Privet	
	Loropetalum chinense 'Purple Diamond' / Fringe Flower	
	PLANTING AREA	51,182 sf
	TURF	76,609 sf
	Cynodon dactylon 'Tif 419' / Tif 419 Bermuda Grass	

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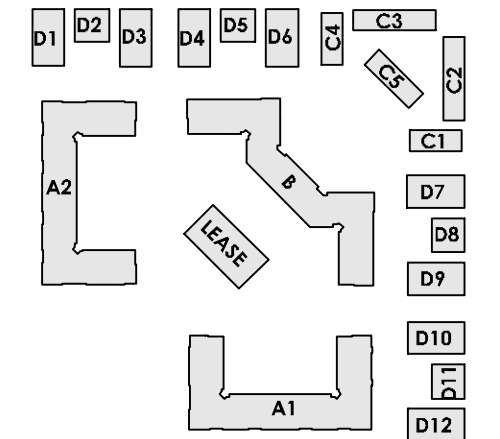
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No	Description	Date
1	ZONING RESUBMITTAL	07.02.2020



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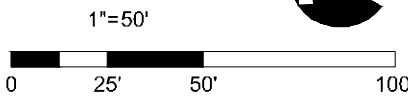
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LANDSCAPE PLAN

RZL1-01

**Zoning Case Number:**  
ZC#20-008

**Exhibit: D**  
Page 1 of 6





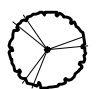





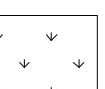
SUMMARY CHART - SITE DATA	
CURRENT ZONING CLASSIFICATION:	C-2
PROPOSED ZONING CLASSIFICATION:	PD * MF-2 ZONING APPLIED FOR LANDSCAPE REQUIREMENTS
TOTAL SITE AREA:	17.802 ACRES / 775,452 SF MULTI-FAMILY: 13.087 ACRES / 570,078 SF TOWNHOMES: 4.715 ACRES / 205,374 SF
PROPOSED USE:	MULTI-FAMILY APARTMENT FOR SALE TOWNHOMES
# UNITS (REFER TO CIVIL)	424 UNITS (MF) 52 UNITS (TOWNHOMES)
# PARKING SPACES REQUIRED (REFER TO CIVIL)	635 SPACES (MF) 104 SPACES (TOWNHOMES)

LANDSCAPE REQUIREMENTS	
SECTION 7300 - LANDSCAPING AND SCREENING REQUIREMENTS	
<b>P. STREET LANDSCAPE SETBACK:</b> (2) WHEN ANY APARTMENT OR MULTIPLE FAMILY DWELLING OTHER THAN TOWNHOUSE IS CONSTRUCTED ON A LOT IN A MF-1 OR MF-2 DISTRICT, A FIFTY (50) FOOT WIDE LANDSCAPE SETBACK SHALL BE PROVIDED ALONG THE ENTIRE BOUNDARY OF THE LOT THAT ABUTS A PUBLIC STREET. THE SETBACK SHALL NOT INCLUDE ANY PAVED AREA, EXCEPT FOR PEDESTRIAN WALKWAYS OR PATHS OR VEHICULAR DRIVES THAT MAY INTERSECT THE LANDSCAPE SETBACK AND WHICH SHALL BE THE MINIMUM WIDTH NECESSARY TO PROVIDE PEDESTRIAN OR VEHICULAR ACCESS. OTHER BUILDING SETBACKS MAY ALSO APPLY; REFER TO TABLE 4500B.	N/A
<b>Q. PARKING LOT PERIMETER LANDSCAPING:</b> (1) IN THE MF-1, MF-2, OP, C-1, C-2, C-3, I-1, AND I-2 ZONING DISTRICTS AND ALL NONRESIDENTIAL DEVELOPMENT SUCH AS CHURCHES, SCHOOLS, AND PUBLIC FACILITIES IN ANY ZONING DISTRICT, ALL PARKING LOT, VEHICULAR USE AND MANEUVERING AREAS THAT ARE NOT SCREENING BY ONSITE BUILDINGS SHALL BE SCREENING FROM VIEW OF PUBLIC STREETS IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:	
(a) THE SCREENING SHALL BE A MINIMUM HEIGHT OF THREE (3) FEET AT MATURITY (IN THE CASE OF PLANTS) ABOVE THE GRADE OF THE PARKING LOT, VEHICLE USE AND/OR MANEUVERING AREAS.	
(b) THE SCREENING SHALL CONSIST OF ONE OF A COMBINATION OF THE FOLLOWING. 1) SCREENING SHRUBS, AND/OR 2) SODDED BERMS	SHRUBS
(c) THE SCREENING MAY OCCUR WITHIN THE STREET LANDSCAPE SETBACK.	
(d) WHEEL STOPS SHALL BE PROVIDED FOR PARKING SPACES ADJACENT TO THE SCREENING TO PROHIBIT ANY VEHICLE FROM OVERHANGING THE PLANTING AREA.	
<b>R. PARKING LOT INTERNAL LANDSCAPING:</b> ANY PARKING LOT THAT CONTAINS TEN (10) OR MORE PARKING SPACES SHALL PROVIDE INTERNAL LANDSCAPING EXCEPT AS PRESCRIBED HEREIN BELOW.	
(1) A RATIO OF ONE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE PROVIDED THROUGHOUT ANY SURFACE PARKING LOT. (2) PLANTING AREAS FOR THE TREES WITHIN THE PARKING ROWS OF A SURFACE PARKING LOT SHALL BE ACHIEVED BY ONE OR BOTH OF THE FOLLOWING:	PROVIDED
(a) A CONTIGUOUS LANDSCAPE MEDIAN STRIP, AT LEAST SIX (6) FEET WIDE (BACK-OF-CURB TO BACK-OF-CURB) BETWEEN ROWS OF PARKING SPACES. TREES SHALL BE PLACED AT INTERVALS NO GREATER THAN FORTY (40) FEET APART OF FRACTION THEREOF.	
(b) LANDSCAPE ISLANDS, AT LEAST THE MINIMUM SIZE OF A REGULAR PARKING SPACE OF NINE BY EIGHTEEN FEET (9' X 18' OR ONE HUNDRED SIXTY-TWO (162) SQUARE FEET, NO MORE THAN FIFTEEN (15) CONTIGUOUS SPACES SHALL BE LOCATED TOGETHER WITHOUT A TREE-ISLAND.	
(3) PARKING LOTS THAT ARE DESIGNED WITH PLANTED OR RAISED LANDSCAPE ISLANDS SHALL DESIGN THE ISLANDS SO AS NOT TO INTERFERE WITH THE OPENING OF CAR DOORS IN ADJACENT SPACES.	PROVIDED
(4) EVERY REQUIRED LANDSCAPE ISLAND MUST INCLUDE ONE (1) CANOPY TREE.	PROVIDED
<b>S. PARKING END CAPS:</b> ONE (1) LANDSCAPE ISLAND SHALL BE LOCATED AT THE TERMINUS OF EACH ROW OF PARKING AND SHALL CONTAIN ONE (1) TREE. ROWS WITH HEAD-TO HEAD PARKING ARRANGEMENT SHALL HAVE TWO (2) ISLANDS AND TWO (2) TREES.	PROVIDED
<b>AA. RESIDENTIAL FOUNDATION PLANTINGS:</b>	
2. IN THE MF-1 AND MF-2 ZONING DISTRICTS, A SINGLE ROW OF SHRUBS IS REQUIRED ALONG THE ENTIRE FAÇADE OF EACH MULTI-FAMILY RESIDENTIAL OR ACCESSORY BUILDING, EXCLUDING ACCESS DRIVEWAYS OR PEDESTRIAN WAYS.	PROVIDED
3. IN MF-1 AND MF-2 ZONING DISTRICTS, EVERGREEN SHRUBS SHALL BE PLANTED AROUND HVAC UNITS, METERS, TRANSFORMERS, AND OTHER UTILITY UNITS; TRASH CONTAINERS, REFUSE OR RECYCLING STORAGE FACILITIES; POOL EQUIPMENT, OR SERVICE AREAS, AS WELL AS AROUND AND ADJACENT TO THE SCREENING WALLS REQUIRED BY SECTION 7301. OPENINGS OR ACCESS TO THE EQUIPMENT SHALL NOT BE OBSTRUCTED. THE HEIGHT OF THE SHRUBS REQUIRED HEREIN SHALL NOT BE LESS THAN THE HEIGHT OF THE METERS BEING SCREENED.	PROVIDED

SUMMARY CHART - BUFFER YARDS/ SETBACKS							
LOCATION OF BUFFERYARD OR SETBACK	REQUIRED/ PROVIDED	LENGTH	BUFFER YARD OR SETBACK WIDTH/ TYPE	CANOPY TREES	EVERGREEN TREES	ORNAMENTAL TREES	SCREENING WALL/ DEVICE HEIGHT AND MATERIAL
NORTHEAST BUFFER	REQUIRED (1 TREE / 25 LF)	953 LF	7' BUFFER YARD	39	N/A	N/A	N/A
	PROVIDED		7' BUFFER YARD	39	N/A	N/A	N/A
SOUTHEAST BUFFER	REQUIRED (1 CANOPY TREE / 50 LF) (1 EVERGREEN TREE / 50 LF)	925 LF	14' BUFFER YARD	19	19	N/A	6FT SCREEN WALL
	PROVIDED		14' BUFFER YARD	19	19	N/A	6FT SCREEN WALL
SOUTH-WEST BUFFER	REQUIRED (1 TREE / 25 LF)	599.5 LF	5' BUFFER YARD	N/A	N/A	24	N/A
	PROVIDED		5' BUFFER YARD	N/A	N/A	24	N/A
NORTHWEST BUFFER	REQUIRED (1 TREE / 25 LF)	599.3 LF	10' BUFFER YARD	24	N/A	N/A	N/A
	PROVIDED		10' BUFFER YARD	24	N/A	N/A	N/A
SHARED ACCESS EASEMENT	REQUIRED (1 TREE / 50 LF)	601.5 LF	10' BUFFER YARD	12	N/A	N/A	N/A
	PROVIDED		10' BUFFER YARD	12	N/A	N/A	N/A
NOTE ANY CREDITS USED IN CALCULATIONS: N/A							
OTHER COMMENTS: N/A							

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING	
# OF REQUIRED PARKING SPACES	739
# OF PROVIDED PARKING SPACES	860
# OF TREES PROVIDED (1 TREE/ 10 SPACES)	86
NOTE ANY CREDITS USED IN CALCULATIONS: N/A	
OTHER COMMENTS: N/A	

CONCEPT PLANT SCHEDULE MAY INCLUDE BUT NOT LIMITED TO

	<b>STREET/SITE TREE</b> Acer grandidentatum / Bigtooth Maple Ginkgo biloba / Maidenhair Tree Quercus muhlenbergii / Chinquapin Oak Quercus virginiana 'Cathedral' / Cathedral Live Oak Taxodium distichum / Bald Cypress Ulmus crassifolia / Cedar Elm Ulmus parvifolia 'Emer II' TM / Alee Elm	216
	<b>SMALL TREE</b> Cercis canadensis texensis / Texas Redbud Ilex decidua / Possumhaw Holly Koeberlinia paniculata / Golden Rain Tree Lagerstroemia indica / Grape Myrtle Magnolia x 'Jane' / Jane Magnolia Prunus caroliniana / Carolina Laurel Cherry Vibex agrus-castus / Chaste Tree	167
	<b>EVERGREEN TREE</b> Ilex x attenuata 'Savannah' / Savannah Holly Magnolia grandiflora 'Bracken's Brown Beauty' / Bracken's Southern Magnolia Pinus eklandica / Afghan Pine Pinus thunbergii / Japanese Black Pine Taxodium distichum / Bald Cypress	29
	<b>SCREENING SHRUBS</b> Abelia x grandiflora / Glossy Abelia Elaeagnus x eboingeri / Ebbing Silverberry Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Photinia x fraseri / Red Tip Photinia	405
	<b>BUILDING FOUNDATION SHRUBS</b> Abelia x 'Rose Creek' / Rose Creek Abelia Hesperaloe parviflora / Red Yucca Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly Leucophyllum frutescens / Texas Sage Ligustrum sinense 'Variegatum' / Variegated Chinese Privet Loropetalum chinense 'Purple Diamond' / Fringe Flower	2,885
	<b>PLANTING AREA</b> -	51,162 sf
	<b>TURF</b> Cynodon dactylon 'Tif 419' / Tif 419 Bermuda Grass	76,609 sf

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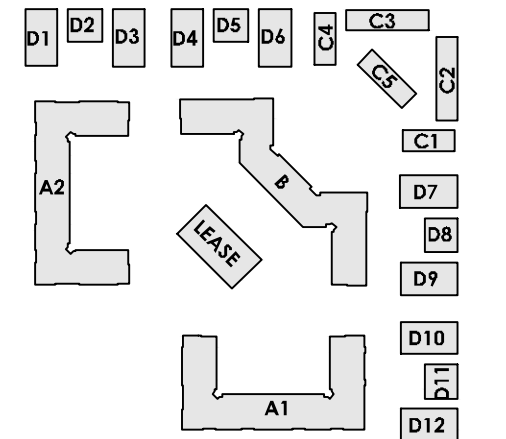
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LANDSCAPE REQUIREMENTS  
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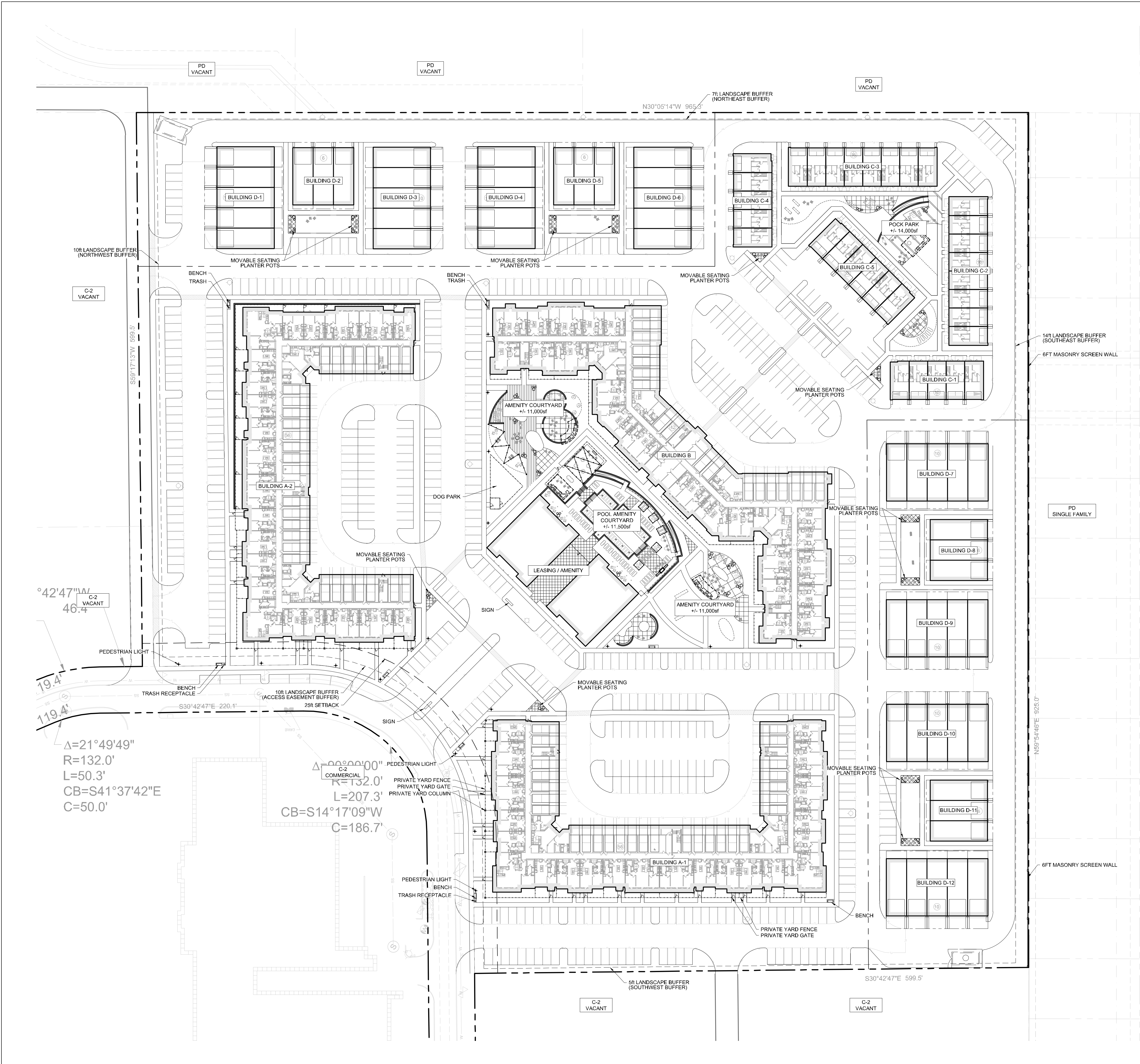
RZL1-02

**Zoning Case Number:**  
ZC#20-008

**Exhibit: D**  
Page 2 of 6







AMENITY AREAS:

DESIGN ELEMENTS WITHIN EACH AMENITY AREA

POOL AMENITY COURTYARD

- LEASING/CLUB/FITNESS BUILDING AS EXTENSION OF THE POOL COURTYARD
- RESORT STYLE POOL
  - SUNSHEL
  - UNDERWATER BENCHES
  - BUBBLERS
- POOL CABANAS
- GRILL AREAS
- SHADE ELEMENTS
- DINING BISTRO STYLE TABLE AND CHAIRS
- OUTDOOR FIRE PIT / FIREPLACE
- PEDESTRIAN SCALE LIGHTING, PATIO STRING LIGHTS AND LANDSCAPE LIGHTING
- SUN DECK AREAS WITH LOUNGE CHAIRS AND OUTDOOR FURNITURE
- COMFORTABLE LOUNGE STYLE SEATING AREAS
- LANDSCAPING
  - SHADE TREES
  - ORNAMENTAL TREES
  - LUSH LANDSCAPE AREAS
  - PLANTER POTS

AMENITY COURTYARDS

- GRILL AREAS
- COMFORTABLE LOUNGE SEATING
- SOCIAL GATHERING AREAS WITH BENCH SEATING
- SMALL SHADE ELEMENTS
- OPEN SPACE AREAS FOR INFORMAL EVENTS AND PLAY
- PEDESTRIAN SCALE LIGHTING, PATIO STRING LIGHTS AND LANDSCAPE LIGHTING
- OUTDOOR FIRE PIT OR FIREPLACE
- INFORMAL GATHERING AREAS
- LANDSCAPING
  - SHADE TREES
  - ORNAMENTAL TREES
  - LUSH LANDSCAPE AREAS
  - PLANTER POTS

POCKET PARK

- SEATING AREAS
- SMALL GRILL AREA
- SMALL SHADE ELEMENT
- LANDSCAPE LIGHTING
- LANDSCAPING
  - SHADE TREES
  - ORNAMENTAL TREES
  - LUSH LANDSCAPE AREAS
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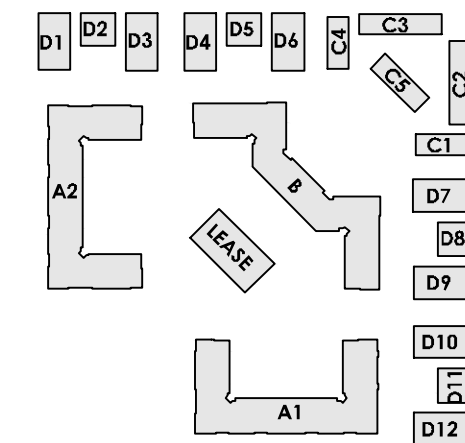
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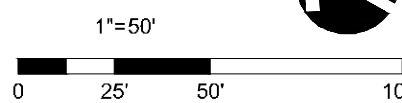
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MATERIALS PLAN

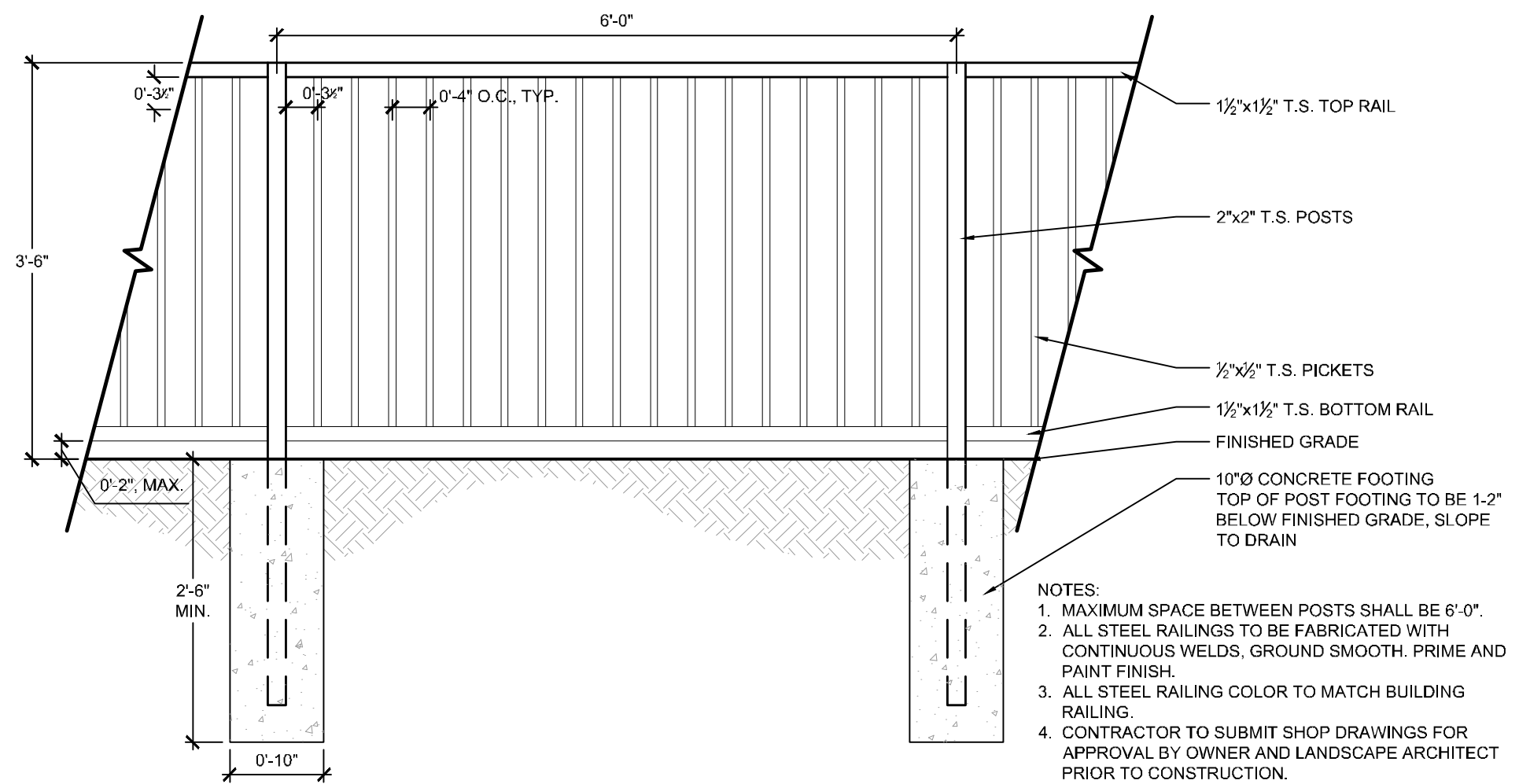
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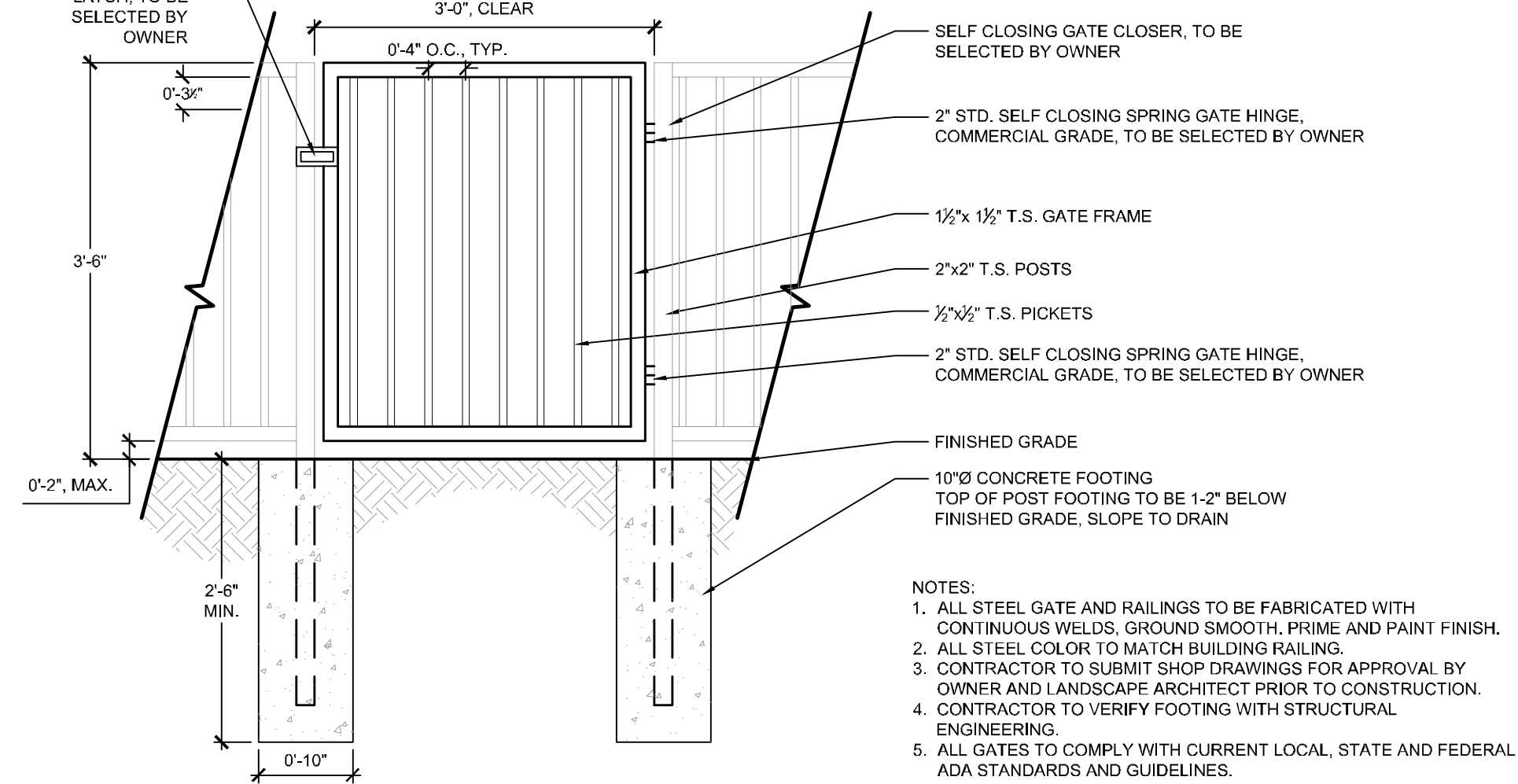
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Page 3 of 6



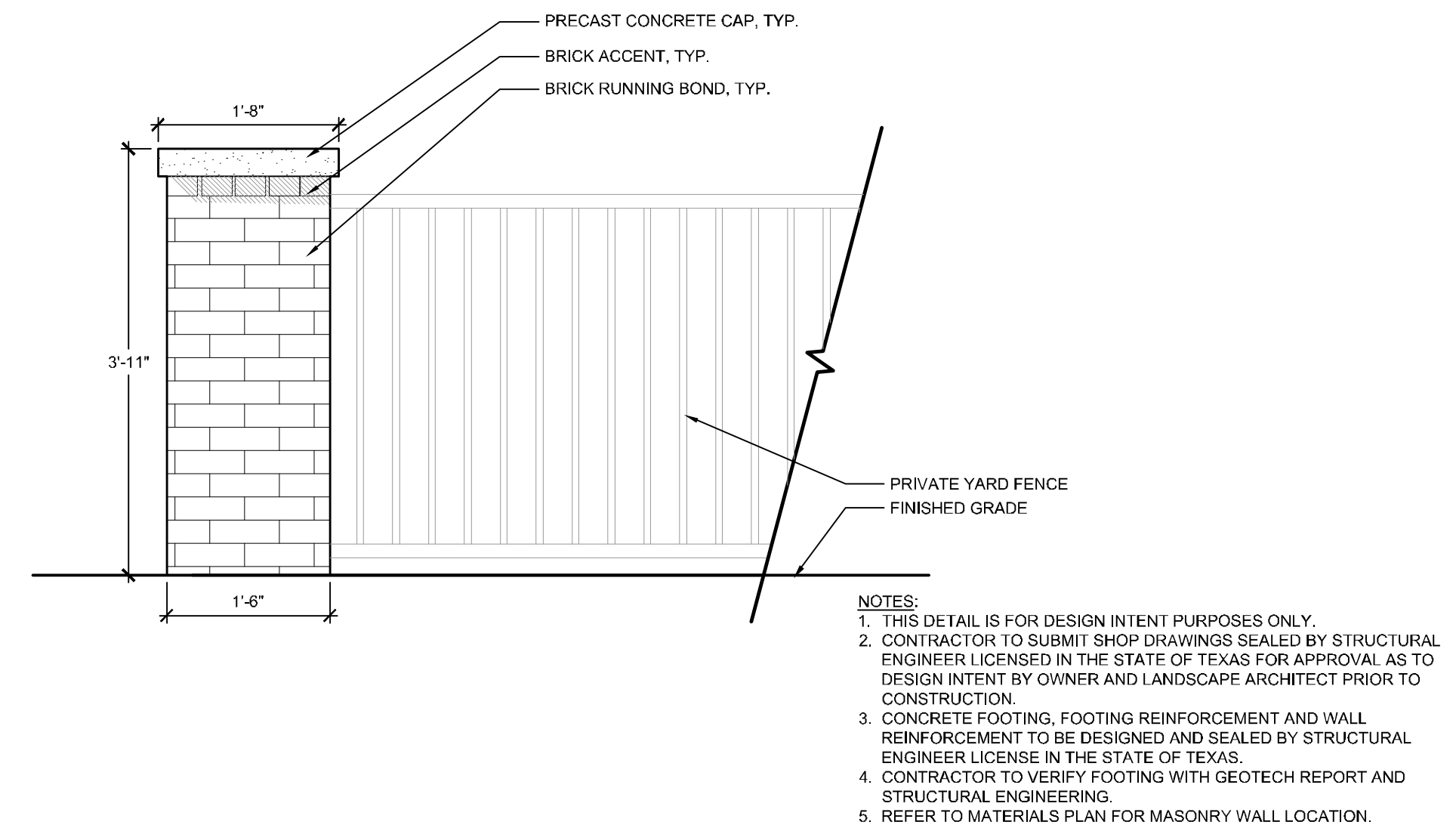




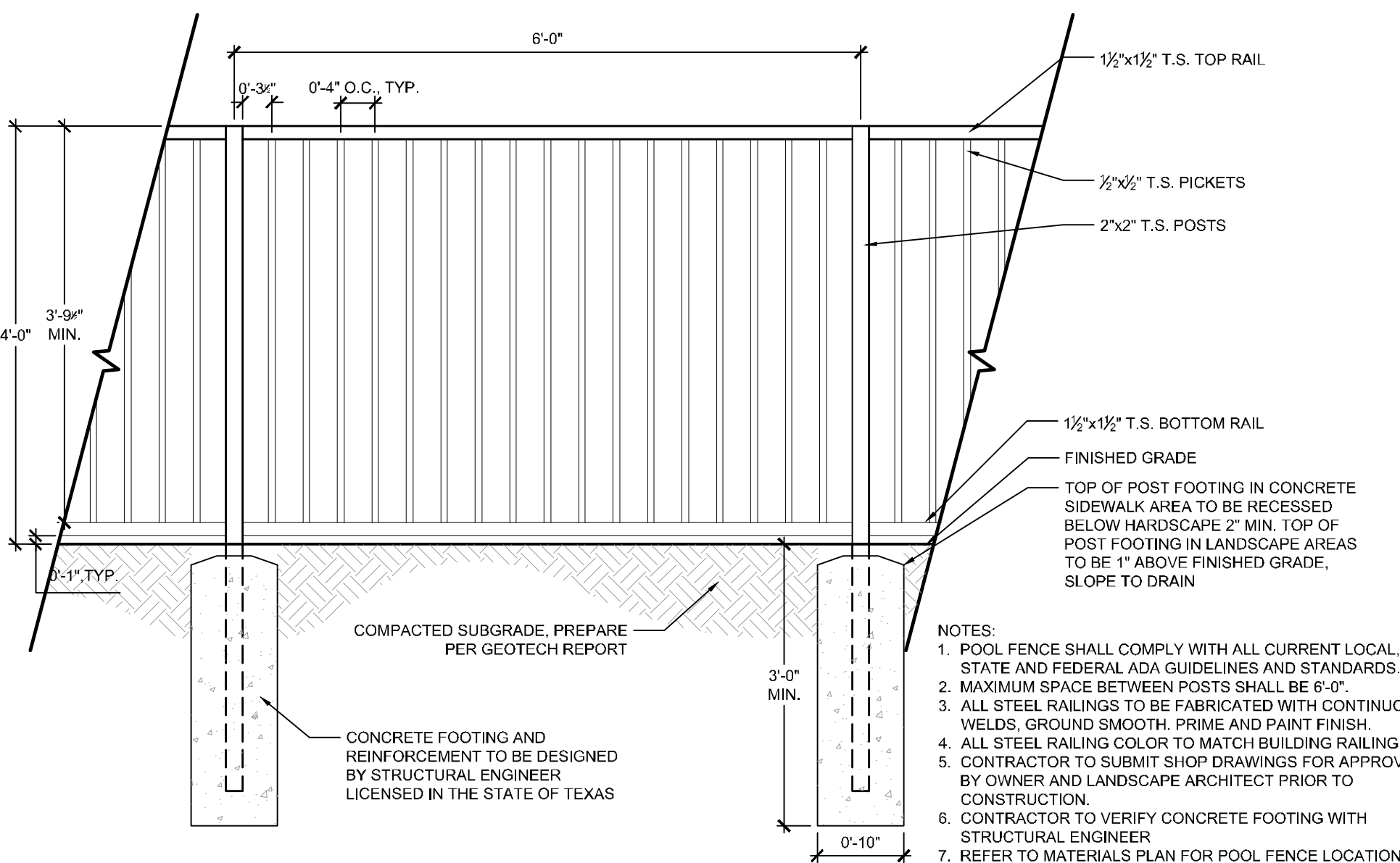
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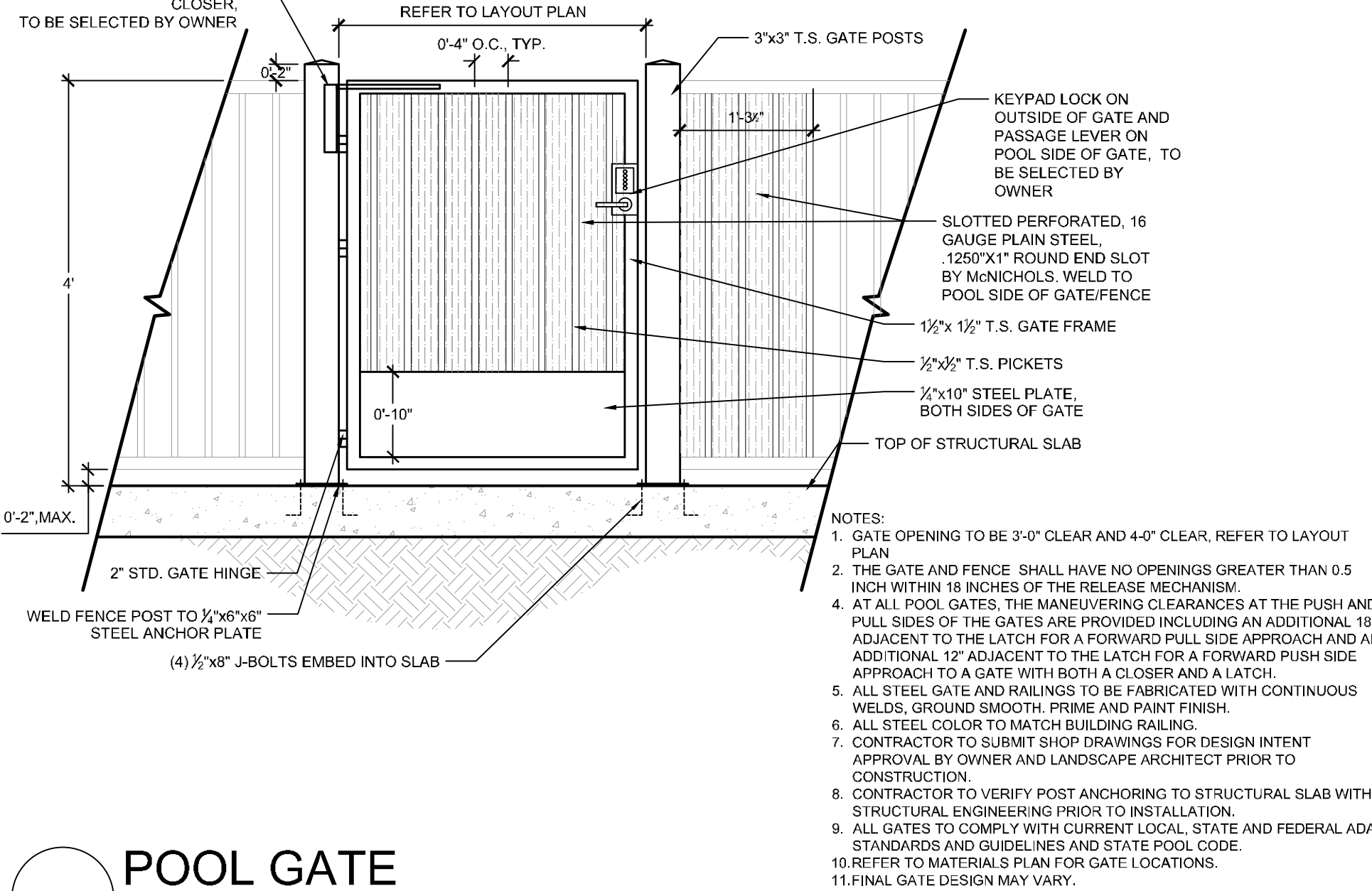
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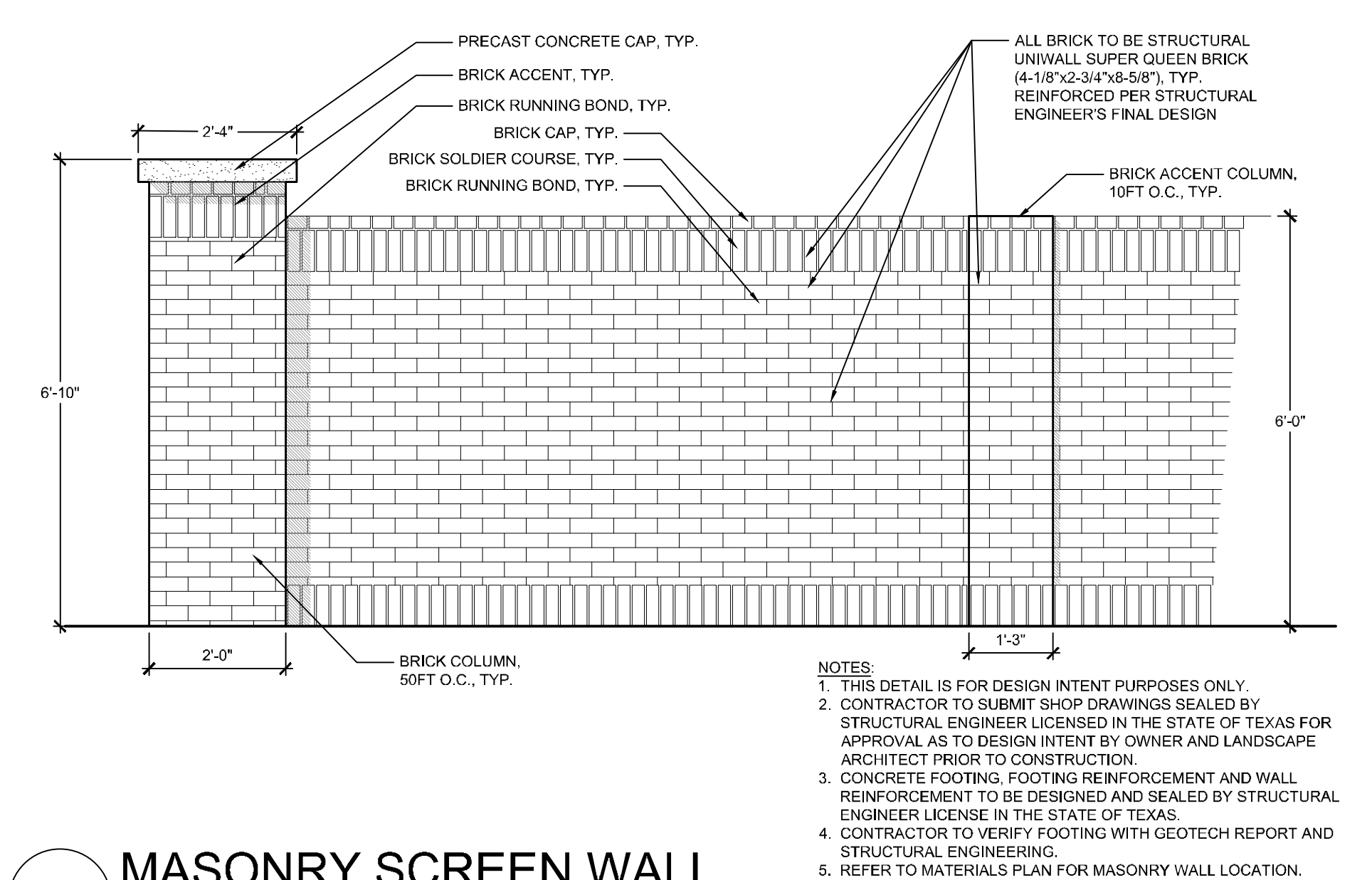
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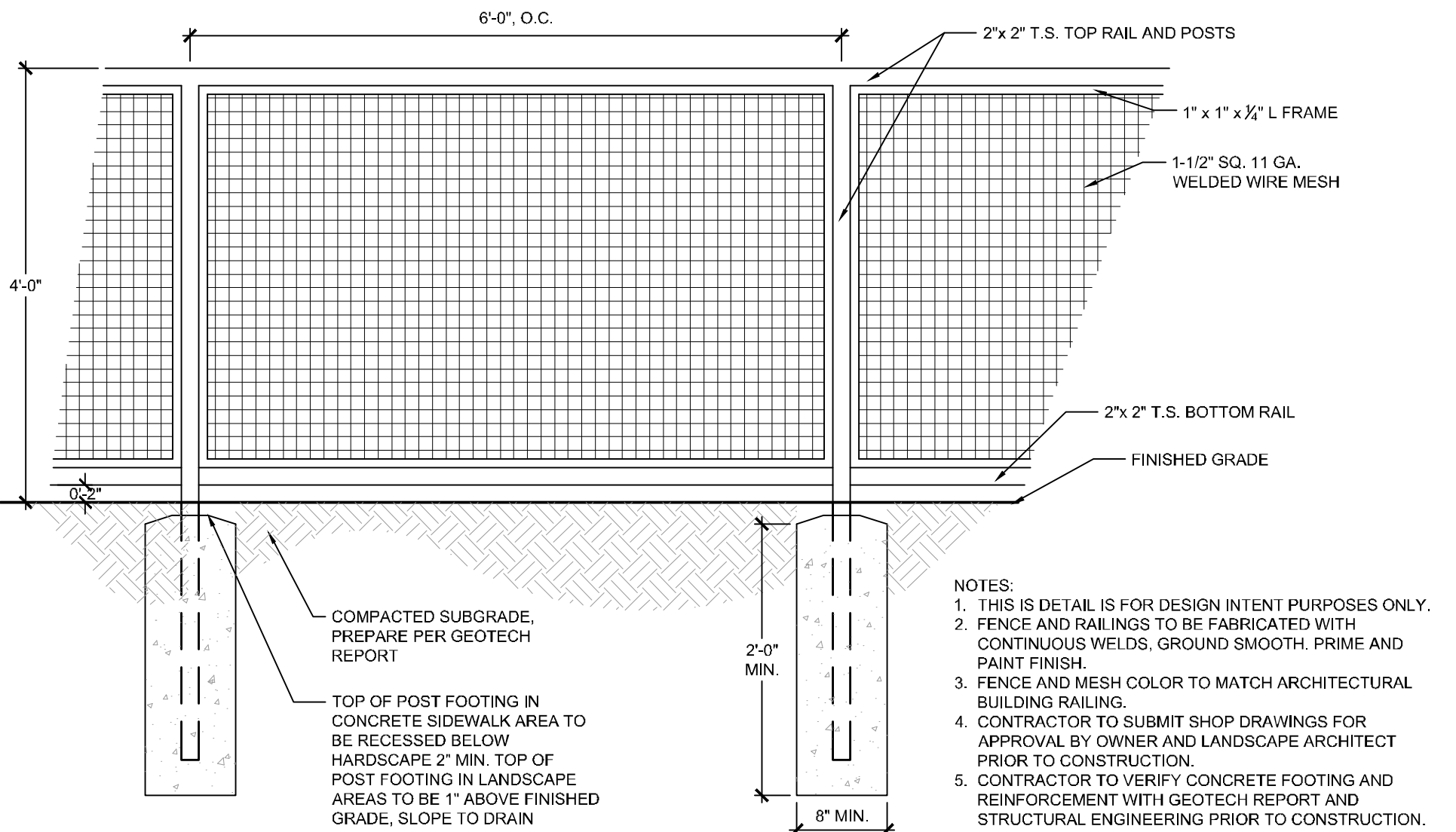
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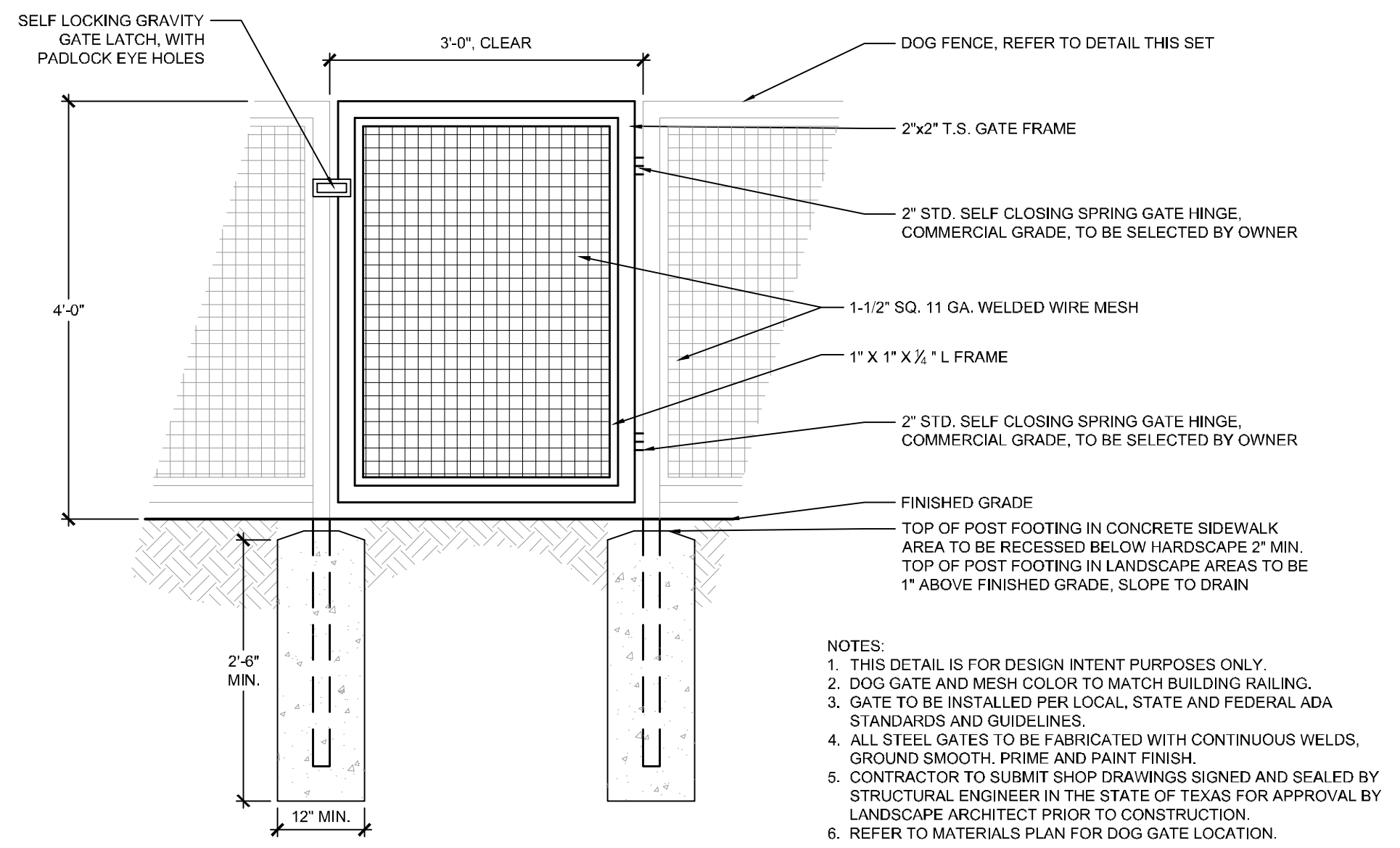
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NOT TO SCALE



**MASONRY SCREEN WALL**  
ELEVATION  
NOT TO SCALE



**DOG FENCE**  
ELEVATION / SECTION  
NOT TO SCALE



**DOG GATE**  
ELEVATION / SECTION  
NOT TO SCALE

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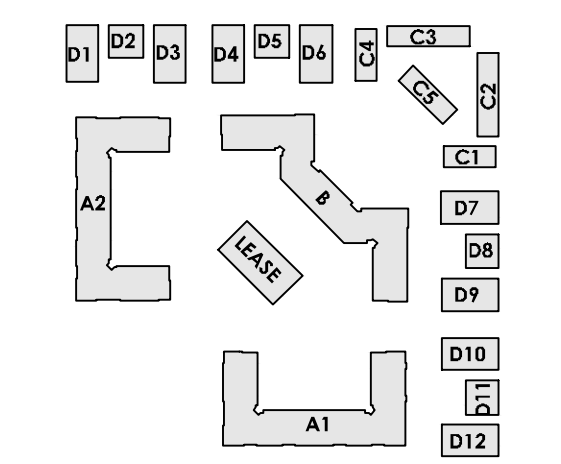
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**SITE DETAILS**  
**RZL2-02**

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**Exhibit: D**  
Page 4 of 6





- [KEY]**
- 1. BUILDING TYPE A
  - 2. BUILDING TYPE B
  - 3. BUILDING TYPE C
  - 4. BUILDING TYPE D
  - 5. LEASING AND AMENITY BUILDING
  - 6. MAIN ENTRY
  - 7. POOL AMENITY COURTYARD
  - 8. AMENITY COURTYARDS
  - 9. POCKET PARK
  - 10. DOG PARK

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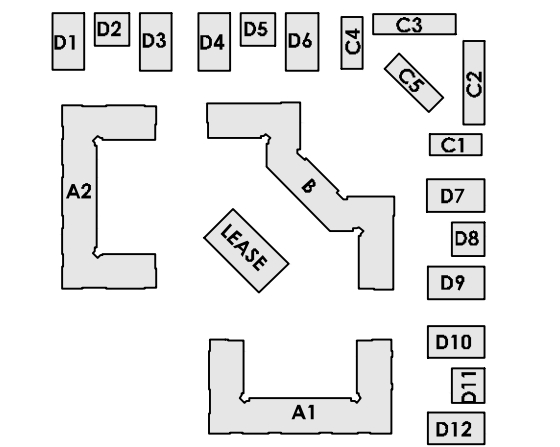
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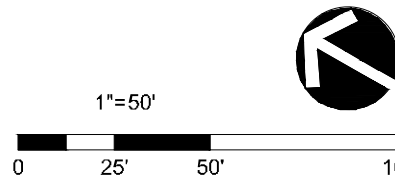
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CONCEPTUAL SITE  
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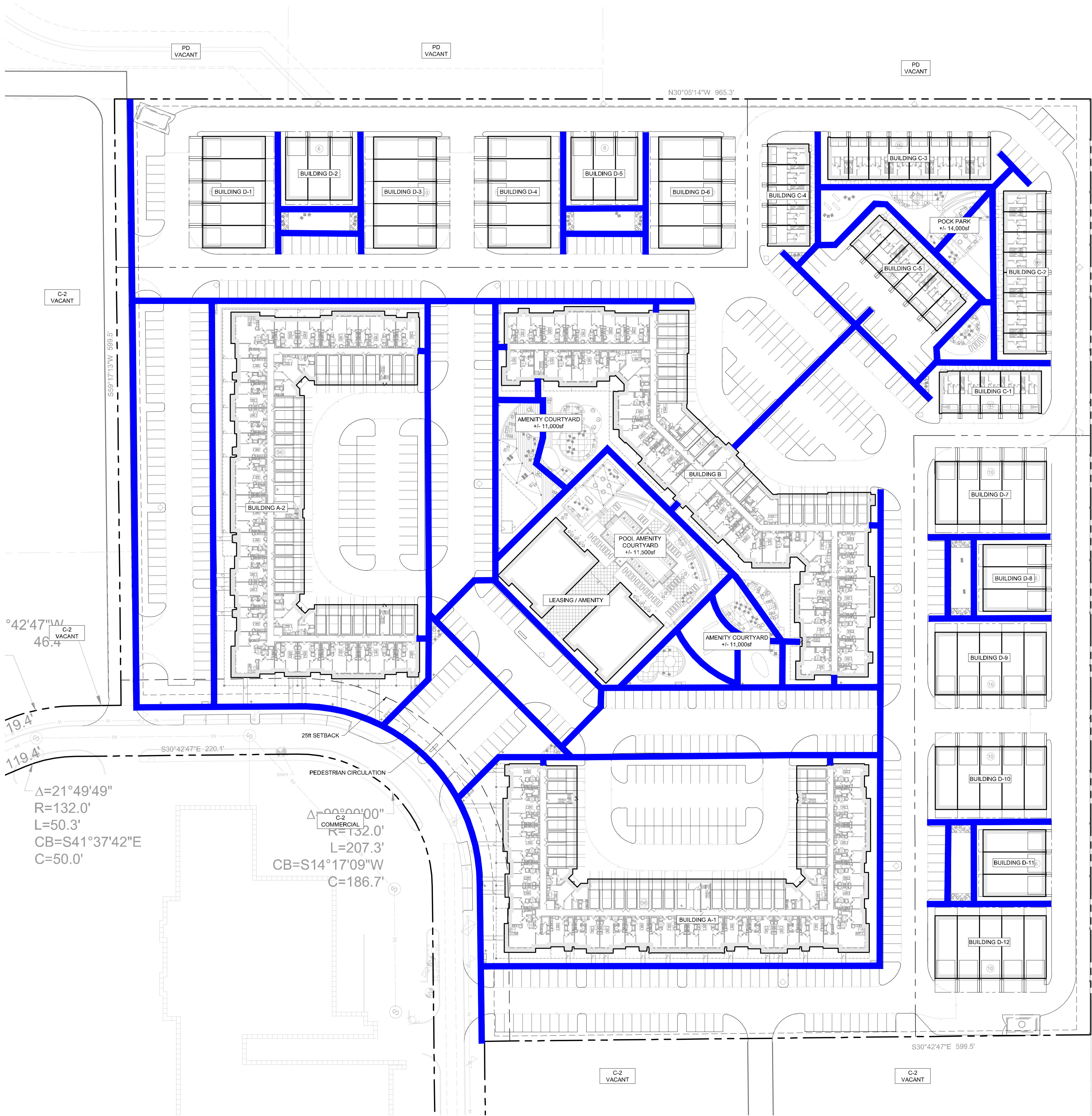
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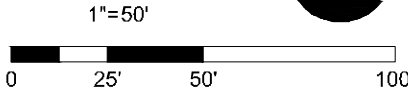
**Exhibit: D**  
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LEGEND:  
PEDESTRIAN CIRCULATION



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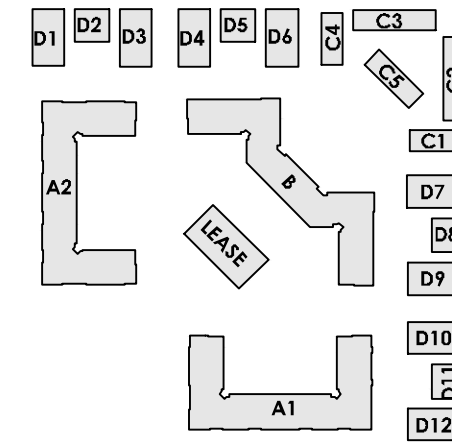
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miller.sylvan@jpi.com

No	Description	Date
1	ZONING RESUBMITTAL	07.02.2020



KEYPLAN

**PRELIMINARY**  
FOR REVIEW PURPOSES ONLY AND  
SHALL NOT BE USED FOR BIDDING,  
PERMITTING, OR CONSTRUCTION.

**Matthew S. Vinten**  
Registered Landscape Architect of the  
State of TEXAS  
Registration Number: 2946  
07.16.2020

WDG Architecture Project No:  
© 2020 LDI# 8520043 DA19040

PEDESTRIAN  
CIRCULATION

RZL3-02

**Zoning Case Number:**  
ZC#20-008

**Exhibit: D**  
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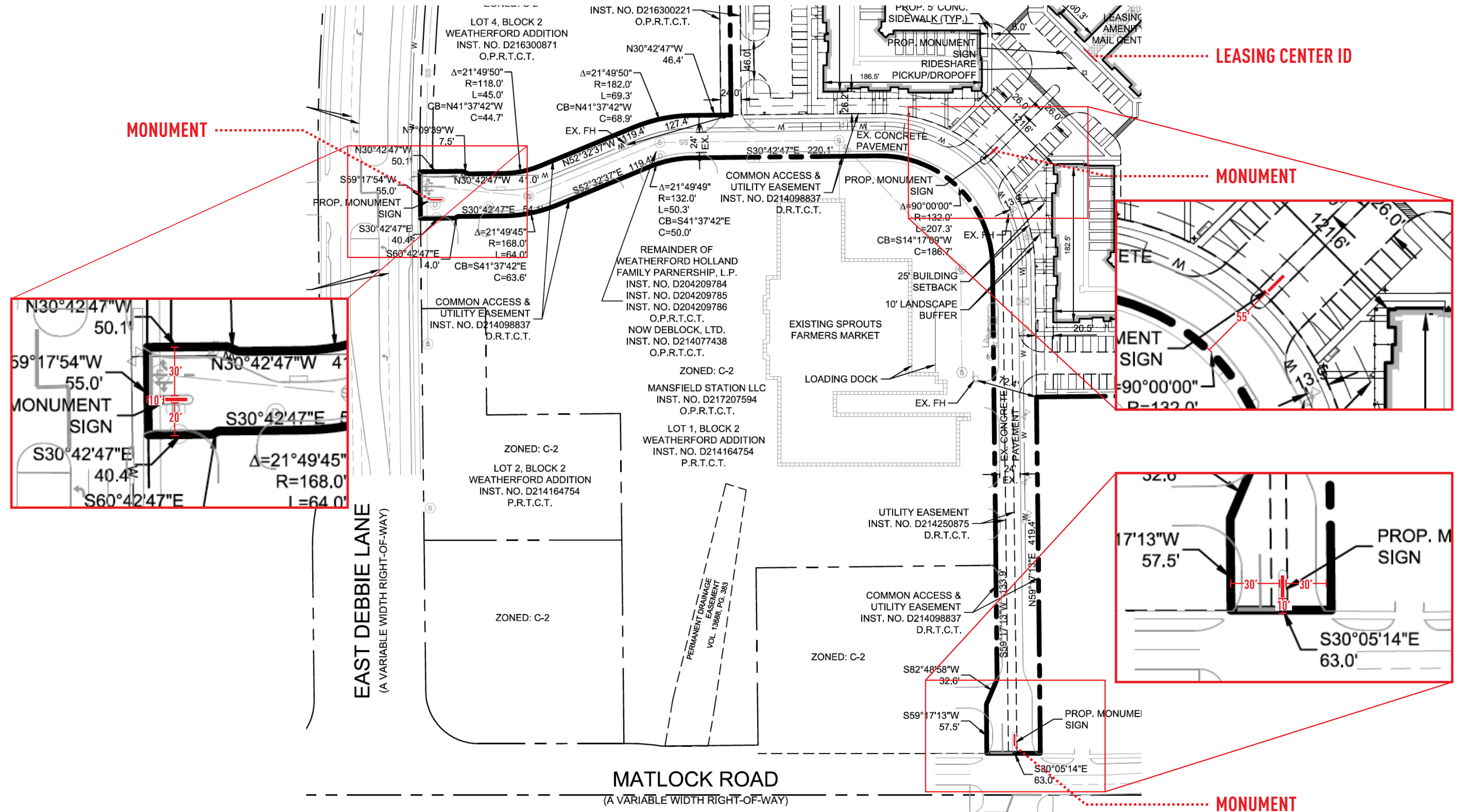


# JPI JEFFERSON DEBBIE LANE

July 16, 2020



## SIGNAGE LOCATIONS





# MONUMENT SIGN DESIGN



Double sided-Size 10'x5'

Side View



# MONUMENT SIGN DESIGN





# LEASING CENTER ID DESIGN

