



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Agenda

### Planning and Zoning Commission

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Monday, September 21, 2020

6:00 PM

City Hall Council Chambers

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**PARTICIPATION IN THIS MEETING WILL BE AVAILABLE IN PERSON OR BY VIDEO  
CONFERENCING. To participate by video, please register at**

**[https://mansfieldtexas.zoom.us/webinar/register/WN\\_zBXW78zUQGGrROpludG5Q](https://mansfieldtexas.zoom.us/webinar/register/WN_zBXW78zUQGGrROpludG5Q)**

**by 6:00 pm on Monday, September 21, 2020 or join by telephone at 1-888-788-0099 (Toll Free). When you call into the meeting, provide the Webinar ID number and password below:**

**Webinar ID: 990 5342 9085**

**Passcode: 687732**

**Citizen comments on any agenda item for the September 21, 2020, Planning and Zoning Commission meeting may be submitted by email at [planning@mansfieldtexas.gov](mailto:planning@mansfieldtexas.gov). All comments must be received by 12:00 noon, Monday, September 21, 2020, for presentation to the Commissioners prior to the meeting.**

**1. CALL TO ORDER**

**2. APPROVAL OF MINUTES**

**[20-3765](#)**

Minutes - Approval of the September 8, 2020 Planning and Zoning Commission Meeting Minutes

**Attachments:** [09-08-20 Meeting Minutes.pdf](#)

**3. CITIZENS COMMENTS**

*Citizens wishing to address the Commission on non-public hearing agenda items and items not on the agenda may do so at this time. Once the business portion of the meeting begins, only comments related to public hearings will be heard. All comments are limited to 5 minutes. Please refrain from "personal criticisms".*

*In order to be recognized during the "Citizens Comments" or during a public hearing (applicants included), please complete a blue "Appearance Card" located at the entry to the Chambers and present it to the Planning Secretary.*

**4. CONSENT AGENDA**

[20-3752](#) SD#19-060: Final Plat of Birdsong Addition, Phase 1; JBI Partners, Inc, surveyor/engineer, and First Texas Homes, Inc., owner

**Attachments:** [Location Map.pdf](#)

[Approved Preliminary Plat.pdf](#)

[Final Plat.pdf](#)

## 5. **PUBLIC HEARINGS**

[20-3762](#) SD#20-043: Public hearing on a replat to create Lots 5R, 6, and 7, Block 1, Brentwood Park, Section Two on 3.195 acres located at 733 N US 287; Bannister Engineering, engineer/surveyor; Jim Tally, owner

**Attachments:** [Previously Approved Plat.pdf](#)

[Replat.pdf](#)

[20-3763](#) ZC#20-009: Public hearing continuation on a change of zoning from C-2 Community Business District to PD Planned Development District for single-family residential attached townhome uses on approximately 12.638 acres out of the M. Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at 1675 N. Main St.; Brian Cotter of Cotter Associates, LLC on behalf of Adlai Pennington of MKP Associates, Inc. (developer) and Randy Hague of Valdar Properties #4, LLC (owner)  
*(Tabled from the September 7, 2020, Planning and Zoning Commission meeting)*

**Attachments:** [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Development Plan.pdf](#)

[Exhibit C - Enhanced Entryway Plan.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Exhibit E - Elevations & Floor Plans.pdf](#)

[20-3764](#) SUP#20-014: Public hearing for a request for a Specific Use Permit for a crematorium on approximately 1.478 acres known as Lot 4R1, Block C, Hillcrest Business Park, located at 1556 Heritage Pkwy.; Christie Moore of Mansfield Funeral Home & Cremations

**Attachments:** [Maps and Supporting Information.pdf](#)

[Exhibit A - Property Description.pdf](#)

[Exhibit B - Site Plan.pdf](#)

[Exhibit C - Elevations & Floor Plan.pdf](#)

[Exhibit D - Landscape Plan.pdf](#)

[Letter from Applicant Regarding Impact Mitigation.pdf](#)

[20-3753](#) OA#20-001: Public hearing to consider proposed amendments of Sections 2200B, 4400.B Table G and 7800.B.38 of the Zoning Ordinance to create a Body Art & Piercing Studio Use; to permit such use in the I-1

and I-2 zoning districts; to require a Specific Use Permit in C-2 and C-3 zoning districts; and to establish separation criteria from such use from certain other land uses

**Attachments:** [Draft Ordinance.pdf](#)

[Draft Table G.pdf](#)

[20-3761](#)

OA#20-002: Public hearing to consider proposed amendments of Sections 5100.E.7, 5100.F.19, 6100.D.8 and 6400.D.8 to revise the submittal requirements for applications for Concept Plans, Planned Developments, Specific Use Permits and Industrial Use Permits.

**Attachments:** [Draft Ordinance.pdf](#)

6. **COMMISSION ANNOUNCEMENTS**
7. **STAFF ANNOUNCEMENTS**
8. **ADJOURNMENT OF MEETING**
9. **NEXT MEETING DATE: Monday, October 5, 2020**

I certify that the above agenda was posted on the bulletin board next to the main entrance of City Hall on September 15, 2020, in accordance with Chapter 551 of the Texas Government Code.

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Lisa Sudbury, Assistant Director of Planning

\* This building is wheelchair accessible. Disabled parking spaces are available. Request for sign interpreter services must be made 48 hours ahead of meeting to make arrangements. Call 817 473-0211 or TDD 1-800-RELAY TX,

\* In deciding a zoning change application, the Planning & Zoning Commission and City Council are required to determine the highest and best use of the property in question. The Commission may recommend and the Council may approve a change in zoning to the category or district requested by the applicant or to any zoning category or district of lesser intensity. Notice is presumed sufficient for every District up to the intensity set forth in the zoning change application.



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1200 E. Broad St.  
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## STAFF REPORT

File Number: 20-3765

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**Agenda Date:** 9/21/2020

**Version:** 1

**Status:** Approval of Minutes

**In Control:** Planning and Zoning Commission

**File Type:** Meeting Minutes

### Title

Minutes - Approval of the September 8, 2020 Planning and Zoning Commission Meeting  
Minutes

### Description/History

The minutes of the September 8, 2020, Planning and Zoning Commission Meeting are in DRAFT form and will not become effective until approved by the Commission at this meeting.





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## Meeting Minutes - Draft

### Planning and Zoning Commission

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Tuesday, September 8, 2020

6:00 PM

City Hall Council Chambers

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This meeting was open to the public and conducted by video conferencing with access to the public.

#### 1. CALL TO ORDER

*Chairman Knight called the meeting to order at 6:00 p.m. in the City Council Chambers of City Hall, 1200 East Broad Street, with the meeting being open to the public and notice of said meeting, giving date, place, and subject thereof, having been posted as prescribed by Chapter 551, Texas Government Code.*

*Staff Present:*

*Lisa Sudbury, Assistant Director of Planning*

*Art Wright, Planner II*

*Shirley Emerson, Planner*

*Andrew Bogda, Planner*

*Commissioners:*

**Present** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

#### 2. RECESS INTO EXECUTIVE SESSION

*In accordance with the Texas Government Code, Chapter 551, Chairman Knight recessed the meeting into executive session at 6:02 p.m. Chairman Knight called the executive session to order in the Council Conference Room at 6:03 p.m. Chairman Knight adjourned executive session at 6:50 p.m.*

#### 3. APPROVAL OF MINUTES

[20-3719](#)

Minutes - Approval of the August 17, 2020 Planning and Zoning Commission Meeting Minutes

**Commissioner Groll made a motion to approve the August 17, 2020 minutes as presented. Commissioner Gilmore seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

**4. CITIZENS COMMENTS**

*Tamera Bounds and Richard Dill spoke regarding Dolce Vita, a non-public hearing item on the agenda. The specific concerns were for the trees that were to be saved on the site per the recommendation of City Council. Dolce Vita was also to meet with the neighborhoods adjacent to the project before they went too far with construction plans. Mr. Dill indicated he had not heard from the developer since Council action 6 months ago.*

**5. OTHER AGENDA ITEMS****20-3723**

SD#19-046: Consideration of an extension of the expiration date for a Preliminary Plat of Dolce Vita at Mansfield; Jamie Hora of Terra Associates, Inc. on behalf of John Pierret and Dr. Bernardo Pana of Dolce Vita at Mansfield, LLC and Mark Grawe of Eagle Ridge Energy II, LLC

*Mr. Bogda presented the applicants request to extend the preliminary plat approval for an additional 6 month period.*

*Commissioner Groll asked that the applicant reach out to the adjacent home owners associations. Vice-Chairman Axen stated he would be interested in seeing the drainage analysis and a copy of the Environmental Phase II details that have been prepared.*

**Vice-Chairman Axen made a motion to approve the extension for a 6-month period. Commissioner Weydeck seconded the motion which carried by the following votes:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

**6. PUBLIC HEARINGS****20-3721**

ZC#20-012: Public hearing for a change of zoning from SF-7/5/12 Single-Family Residential District to PD Planned Development District for single-family residential and accessory dwelling uses on approximately 0.258 acres known as a portion of Lot 1, Block 29, Original Town of Mansfield, located at 106 S. 2nd Ave.; Sheri Bumgardner of SSB Designs, Inc. on behalf of Janell Pendergast and Brian Clettenberg

*Mr. Bogda made a staff presentation and was available for questions. The applicant, Brian Clettenberg, answered questions from the Commission regarding sidewalks and whether or not stone siding would be provided at the base of the foundation on the accessory building.*

*Chairman Knight opened the public hearing at 7:07 p.m. and called for anyone wishing*

*to speak to come forward. Seeing no one come forward, Chairman Knight closed the public hearing.*

**Following discussion, Commissioner Gilmore made a motion to approve subject to the applicant providing sidewalks on Alvarado and South 2nd Avenue. Commissioner Groll seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

[20-3720](#)

ZC#20-013: Public hearing for a zoning change from SF-7.5/12, Single-Family Residential District to PD, Planned Development District for Multi-family residential uses on approximately 0.535 acres located at 505 W. Kimball Street; Ben Hartman, owner/developer

*Ms. Emerson made a staff presentation and was available for questions. Ben Hartman, the applicant, made a presentation and was available for questions.*

*Chairman Knight opened the public hearing at 7:25 p.m. and called for anyone wishing to speak to come forward. Seeing no one come forward, Chairman Knight closed the public hearing. There was one non-speaker card in support of the case from Krista Osmus.*

*Commissioner Gilmore requested that the motion include conditions that the applicant provide wood windows on the front of the house facing Kimball Street; provide sidewalk access separate from the driveway from the rear unit to Kimball Street; and provide decorative doors (like carriage doors) on the garage compatible with the architecture.*

**After discussion by the Commission, Commissioner Groll made a motion to approve the change with the following conditions: The applicant must provide wood windows on the front of the house facing Kimball Street; provide sidewalk access separate from the driveway from the rear unit to Kimball Street; and provide decorative doors (like carriage doors) on the garage compatible with the architecture. Commissioner Weydeck seconded the motion, as amended, which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

[20-3722](#)

ZC#20-009: Public hearing for a change of zoning from C-2 Community Business District to PD Planned Development District for single-family residential attached townhome uses on approximately 12.638 acres out of the M. Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at 1675 N. Main St.; Brian Cotter of Cotter Associates, LLC on behalf of Adlai Pennington of MKP Associates, Inc. (developer) and Randy Hague of Valdar Properties #4, LLC (owner)

*At this time, Chairman Knight moved to case number ZC#20-009 on the agenda.*

*Mr. Bogda gave the Staff presentation and overview of the request and was available to answer questions. He stated that at a late meeting on Friday, the applicant and staff agreed to table the case to work further on the outstanding issues and to get more rear facing products in the development.*

*Adlai Pennington, the developer, stated that he agreed to table the case until September 21, 2020.*

*At 7:40 p.m. Chairman Knight opened the public hearing. There was one card from Donna Timmons for this case. Ms. Timmons did not speak and did not mark the card in support or opposition. The Chairman continued the public hearing.*

*Vice Chairman Axen stated that C-2 zoning was appropriate at this location.*

**Chairman Knight made a motion to table until September 21, 2020.  
Commissioner Klenzendorf seconded the motion which carried by the following vote:**

**Aye:** 5 - Anne Weydeck; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 1 - Blake Axen

**Abstain:** 0

[20-3718](#)

SD#20-029: Public Hearing and Consideration of an Appeal of the Disapproval of Case No. SD#20-029: Lots 1 through 24, Block 1, Legacy Estates, Addressed at 2305 and 2306 Alicia Court, by Rockwater Developments, LLC, owner; DeOtte Inc., engineer; and Kaz Surveying, Inc., surveyor

*The applicant, Troy Lewis, made a brief presentation and was available to answer questions.*

*Chairman Knight opened the public hearing at 7:55 p.m. Doris Jaynes, Mark Belken, Keith Harvey and Alan Kilpatrick spoke in opposition to the request. Donna Belken, Dana McConnell and Russell Nicholas registered as non-speakers in opposition.*

*Chairman Knight read a paragraph from Judy Lamberts letter of opposition. Opposition centered on losing their community feel; traffic; drainage; safety; lack of sidewalks; density; and street conditions.*

*Seeing no one else come forward, Chairman Knight closed the public hearing at 8:08 p.m.*

**Following discussion, Commissioner Weydeck made a motion to approve the plat with the variance to the length of the cul-de-sac. Vice chairman Axen seconded the motion which carried by the following votes:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll and Justin Gilmore

**Nay:** 0

**Abstain:** 0

**7. COMMISSION ANNOUNCEMENTS**

*None.*

**8. STAFF ANNOUNCEMENTS**

*None.*

**9. ADJOURNMENT OF MEETING**

*With no further business, Chairman Knight adjourned the meeting at 8:21 p.m.*

**Commissioner Klenzendorf made a motion to adjourn the meeting.**

**Vice-Chairman Axen seconded the motion which carried by the following vote:**

**Aye:** 6 - Anne Weydeck; Blake Axen; Bob Klenzendorf; Kent Knight; Stephen Groll  
and Justin Gilmore

**Nay:** 0

**Abstain:** 0

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Kent Knight, Chairman

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Lisa Sudbury, Assistant Director of Planning



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3752

**Agenda Date:** 9/21/2020

**Version:** 1

**Status:** Consent

**In Control:** Planning and Zoning Commission

**File Type:** Plat

**Agenda Number:**

**Title**

SD#19-060: Final Plat of Birdsong Addition, Phase 1; JBI Partners, Inc, surveyor/engineer, and First Texas Homes, Inc., owner

**Description/History**

The purpose of this plat is to create 117 single-family residential lots, 10 open space lots, and one commercial lot. The property is 54.93 acres and zoned PD. All residential lots meet the minimum lot area, width and depth required by the PD standards. Lot 1, Block 24, located on the south side of the future FM 157, is the commercial lot.

The plat conforms to the approved preliminary plat except for the following:

- On the preliminary plat, Phase 1 has 118 residential lots. On the final plat, Phase 1 has 117 lots. The missing lot has been moved to a future phase.
- The entry median on Birdwatch Lane was relocated and resized to accommodate the future Lone Star Road (FM 157) extension and to correctly space the ingress and egress lanes at the subdivision entry.
- Some of the lots on Block 2 have been rearranged to fit around the 30-foot pipeline easement.
- Visibility easements have been added where the future Lone Star Road (FM 157) meets Birdwatch Lane and Spoonbill Drive.

The developer is dedicating 60 feet from the centerline of Bedford Road for the future Lone Star Road extension (FM 157) and rights-of-way for the internal residential streets. In addition, there is a 40-foot TxDOT right-of-way reserve on future Lone Star Road that will be maintained as part of an HOA lot.

Although the copy of the plat in the Commission's packet does not have signatures, the filing copies have been signed. The plat complies with the regulations of the Subdivision Control Ordinance.

**Recommendation**

Staff recommends approval.

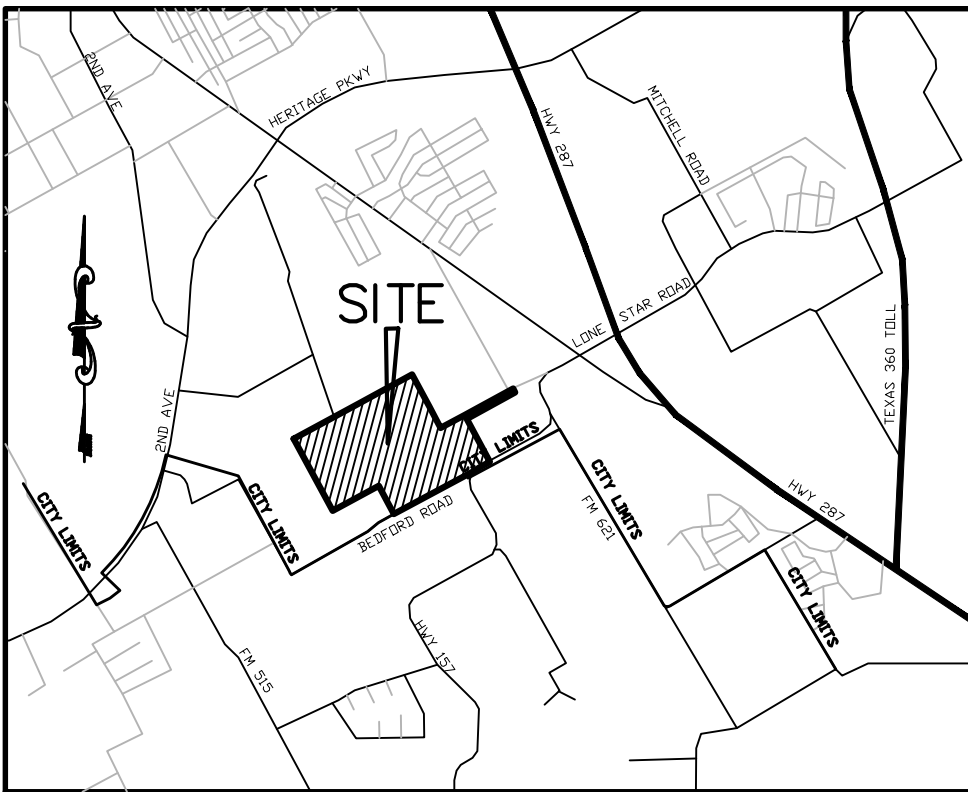
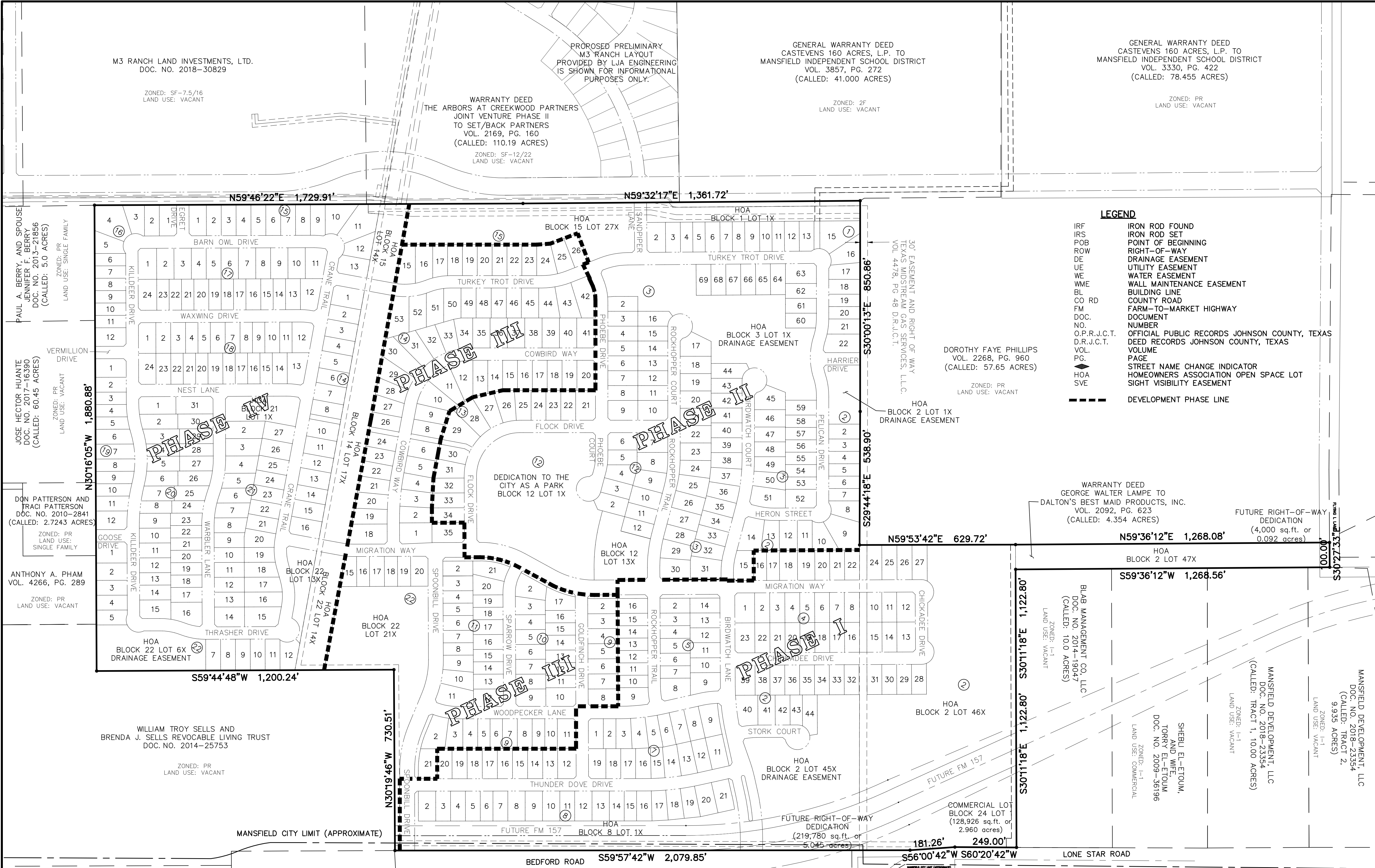
**Attachments**

Location Map  
Approved Preliminary Plat  
Final Plat

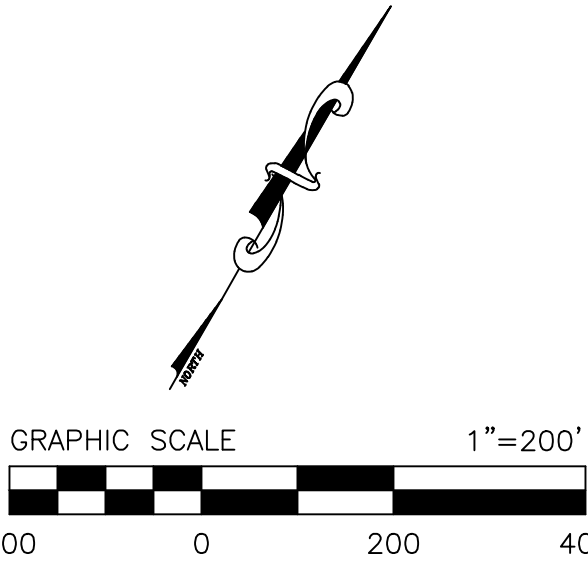








LOCATION MAP  
NOT TO SCALE



NOTE:

1. NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, AND IS SUBJECT TO FINES AND/OR WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
2. A MANDATORY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE AMENITIES, OPEN SPACES AND COMMON AREAS, INCLUDING BUT NOT LIMITED TO SCREENING WALLS AND FENCES AND THE PARKWAY BETWEEN A SCREENING WALL OR FENCE AND THE STREET; SUBDIVISION LANDSCAPING; MEDIANS; AMENITY CENTERS; AND ENHANCED ENTRYWAY FEATURES INCLUDING ENHANCED SCREENING WALLS, LANDSCAPING MONUMENTS, SIGNAGE AND ANY NON-STANDARD PAVEMENT.
3. LOTS ADJACENT TO PONDS AND CHANNELS WILL HAVE A FINISHED FLOOR ELEVATION TWO FEET ABOVE THE 100 YEAR WATER SURFACE ELEVATION. ELEVATIONS WILL BE DESIGNATED AT TIME OF FINAL PLATTING.
4. THE BEARINGS AND COORDINATES SHOWN HEREON FOR THE PLAT ARE CREATED FROM OUR ACTUAL FIELD SURVEY, RELATED TO THE TEXAS COORDINATE SYSTEM. TEXAS NORTH CENTRAL ZONE (4202), NAD83 GRID VALUES.
5. NO TREES, BUSHES, WALLS, SIGNS OR ANYTHING OVER 2' IS ALLOWED WITHIN THE VISIBILITY EASEMENTS.
6. A PEDESTRIAN ACCESS EASEMENT WILL BE PROVIDED FOR CITY TRAILS BUILT WITHIN THE SUBDIVISION. PEDESTRIAN ACCESS EASEMENTS SHALL BE SHOWN ON THE FINAL PLAT.

BENCHMARKS:

- BM 1) "X" CUT ON NORTH SIDE OF CONCRETE BRIDGE ALONG THE NORTH SIDE OF LONE STAR ROAD APPROXIMATELY 2,040 FEET WEST AND 167 FEET SOUTH OF THE APPROXIMATE CENTERLINE INTERSECTION OF LONE STAR ROAD AND CHAMBERS STREET. ELEVATION=614.01'
- BM 2) CITY OF MANSFIELD MONUMENT NUMBER 264 LOCATED AT THE SOUTHWEST CORNER OF A CURB INLET THAT IS AT THE MOST SOUTHWESTERLY CORNER OF FLYING L LANE. ELEVATION=634.62'

## PRELIMINARY PLAT

### BIRDSONG ADDITION

185.650 ACRES OUT OF  
THE A. BEDFORD SURVEY, ABSTRACT NO. 60;  
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83;  
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299

CITY OF MANSFIELD,  
JOHNSON COUNTY, TEXAS

540 RESIDENTIAL LOTS & 30 OPEN SPACE LOTS  
FEBRUARY 18, 2019

**FIRST TEXAS HOMES, INC.** **OWNER/DEVELOPER**  
500 Crescent Court, Suite 350 Phone: (214)633-3338  
Dallas, Texas 75201 Email: khardesty@firsttexashomes.com  
Contact: Keith Hardesty, Division President

**JB PARTNERS, INC.** **SURVEYOR/ENGINEER**  
2121 Midway Road, Suite 300  
Carrollton, Texas 75006 Phone: (972) 248-7676  
Contact: Daniel Dewey, PE Fax: (972) 248-1414  
TBPE No. F-438 TBLPS No. 10076000

Revised: June 13, 2019  
Submitted: February 18, 2019

SD#19-011  
Sheet 1 of 12

#### OPEN SPACE PROVIDED

LOT	BLOCK	S.F.	ACREAGE
1X	1	69,389	1.593
1X	2	31,273	0.718
45X	2	164,632	3.779
46X	2	404,780	9.292
47X	2	122,832	2.820
1X	3	199,930	4.576
1X	8	87,021	1.998
1X	12	234,995	5.395
13X	12	47,429	1.089
17X	14	120,497	2.766
14X	15	38,189	0.877
27X	15	159,574	3.663
1X	21	30,981	0.711
6X	22	70,773	1.625
13X	22	23,605	0.542
14X	22	55,710	1.279
21X	22	166,906	3.832
TOTAL		2,027,916	46.615
GROSS PROJECT AREA		8,086,921	185.65
% OPEN SPACE PROVIDED			25.1%

#### OPEN SPACE LOTS < 0.5 ACRE

LOT	BLOCK	S.F.	ACREAGE
14X	1	2,635	0.061
23X	2	4,237	0.097
9X	4	7,260	0.167
1X	5	3,530	0.081
1X	6	3,531	0.081
10X	7	3,734	0.086
1X	9	3,980	0.091
1X	10	3,459	0.079
1X	11	4,078	0.094
7X	13	4,994	0.115
9X	14	2,500	0.057
25X	14	2,420	0.056
1X	23	2,754	0.063
TOTAL		1,527,443	35.065

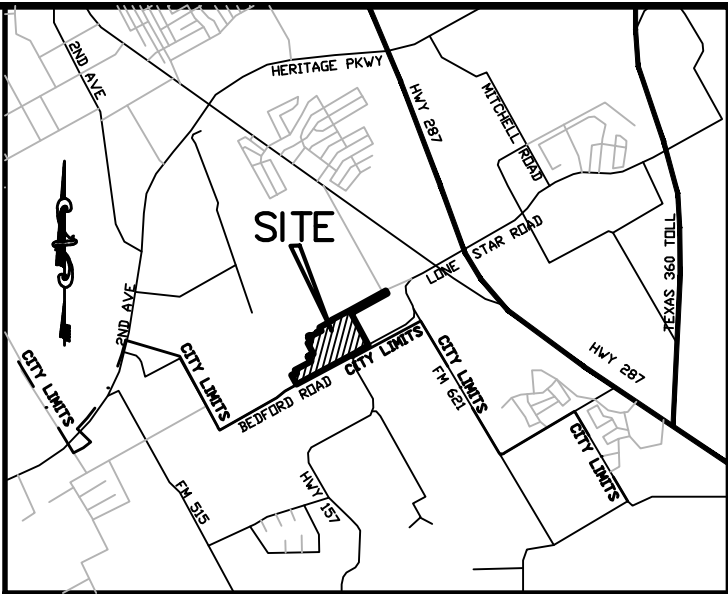
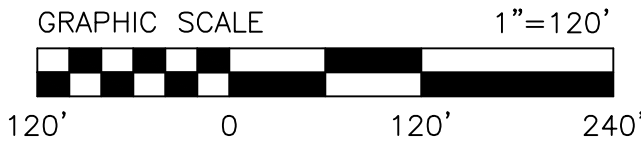
NOTE: Per the approved PD standards, open spaces less than one-half acre are not counted toward the percent of open space provided.

#### LOT SIZE SUMMARY PER PHASE FOR BIRDSONG ADDITION

LOT SIZE	PHASE 1	PHASE 2	PHASE 3	PHASE 4	TOTAL
50	20 17%	19 15%	21 17%	44 26%	104 19%
60	82 69%	87 68%	85 66%	102 61%	356 66%
70	16 14%	21 17%	21 17%	22 13%	80 15%
TOTAL	118	127	127	168	540

LEGEND

IRF IRON ROD FOUND  
IRS IRON ROD SET  
POB POINT OF BEGINNING  
ROW RIGHT-OF-WAY  
DE DRAINAGE EASEMENT  
UE UTILITY EASEMENT  
UE&SW UTILITY AND SIDEWALK EASEMENT  
WME WATER EASEMENT  
BL WALL MAINTENANCE EASEMENT  
CO RD COUNTY ROAD  
FM FARM-TO-MARKET HIGHWAY  
DOC DOCUMENT  
NO. NUMBER  
O.P.R.J.C.T. OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS  
D.R.J.C.T. DEED RECORDS JOHNSON COUNTY, TEXAS  
VOL. VOLUME  
PG. PAGE  
HOA STREET NAME CHANGE INDICATOR  
SVE HOMEOWNERS ASSOCIATION OPEN SPACE LOT  
SIGHT VISIBILITY EASEMENT



LOCATION MAP  
NOT TO SCALE

REMAINDER OF  
CALLED 185.64 ACRES  
FIRST TEXAS HOMES, INC.  
DOC. NO. 2019-571  
D.R.J.C.T.  
(FUTURE DEVELOPMENT)

CLARENCE RAY PHILLIPS  
& DOROTHY FAYE PHILLIPS  
VOL. 2268, PG. 960  
(CALLED: 60.973 ACRES)

CLARENCE RAY PHILLIPS  
& DOROTHY FAYE PHILLIPS  
VOL. 2268, PG. 960  
(CALLED: 60.973 ACRES)

LOT 1, BLOCK 1  
EATON ESTATES  
CAMPGROUND  
VOL. 6, PG 107  
P.R.J.C.T.

HOA  
OPEN SPACE  
BLOCK 2, LOT 47X  
(122,832 SF ~ 2.820 AC)

SHEBLI EL-ETOUM,  
AND WIFE,  
TERRY EL-ETOUM  
DOC. NO. 2009-36196

MANSFIELD DEVELOPMENT, LLC  
DOC. NO. 2018-23354  
(CALLED: TRACT 1, 10.00 ACRES)

MANSFIELD  
DEVELOPMENT, LLC  
DOC. NO. 2018-23354  
(CALLED: TRACT 2,  
9.935 ACRES)

PEREGRINE PRODUCTION, LLC  
DOC. NO. 2020-10220  
(CALLED: 10.0 ACRES)

HOA  
OPEN SPACE &  
DRAINAGE EASEMENT  
BLOCK 2, LOT 46X  
(411,803 SF ~ 9.454 AC)

HOA  
OPEN SPACE &  
DRAINAGE EASEMENT  
BLOCK 2, LOT 45X  
(166,563 SF ~ 3.824 AC)

COMMERCIAL LOT  
BLOCK 24, LOT 1  
(100,570 SF ~ 2.309 AC)

HOA OPEN SPACE  
BLOCK 25, LOT 1X  
(13,455 SF ~ 0.309 AC)

50' RIGHT-OF-WAY  
(BY THIS PLAT)

NOTE:

1. NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
2. Basis of Bearings and Coordinates shown hereon are grid values derived from the Texas North Central Zone (4202). NAD83 Texas Coordinate System by GPS observations in reference to the City of Mansfield's official GPS monuments: TNP Mansfield "F", MON-BC9, MM 9-07, and MM 17-07. Distances shown hereon are surface distances.
3. A mandatory owners association will be responsible for the maintenance of the private amenities; open spaces and common areas, including but not limited to screening walls and fences and the parkway between a screening wall or fence and the street; subdivision landscaping; medians; amenity centers; and enhanced entry features including screening walls, landscaping, monuments, signage and any non-standard pavement.
4. No trees, bushes, walls, fences or anything over 2' in height is allowed within the visibility easements.
5. 1/2" iron rod with cap stamped "JBI" set at all property corners, unless noted otherwise.

PLAT FILED \_\_\_\_\_, 20\_\_

INSTRUMENT # \_\_\_\_\_

DRAWER \_\_\_\_\_, SLIDE \_\_\_\_\_

BECKY IVEY, JOHNSON COUNTY, TEXAS

BY \_\_\_\_\_, DEPUTY CLERK

FINAL PLAT  
BIRDSONG ADDITION, PHASE 1  
54.930 ACRES OUT OF  
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83  
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299  
CITY OF MANSFIELD,  
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,  
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC. OWNER/DEVELOPER  
500 Crescent Court, Suite 350 Phone: (214)633-3338  
Dallas, Texas 75201 Email: khardesty@firsttexashomes.com  
Contact: Keith Hardesty, Division President

JBI PARTNERS, INC. SURVEYOR/ENGINEER  
2121 Midway Road, Suite 300 Phone: (972) 248-7676  
Carrollton, Texas 75006 Email: ddewey@jbipartners.com  
Contact: Daniel Dewey, PE  
TBPE No. F-438 TBPLS No. 10076000

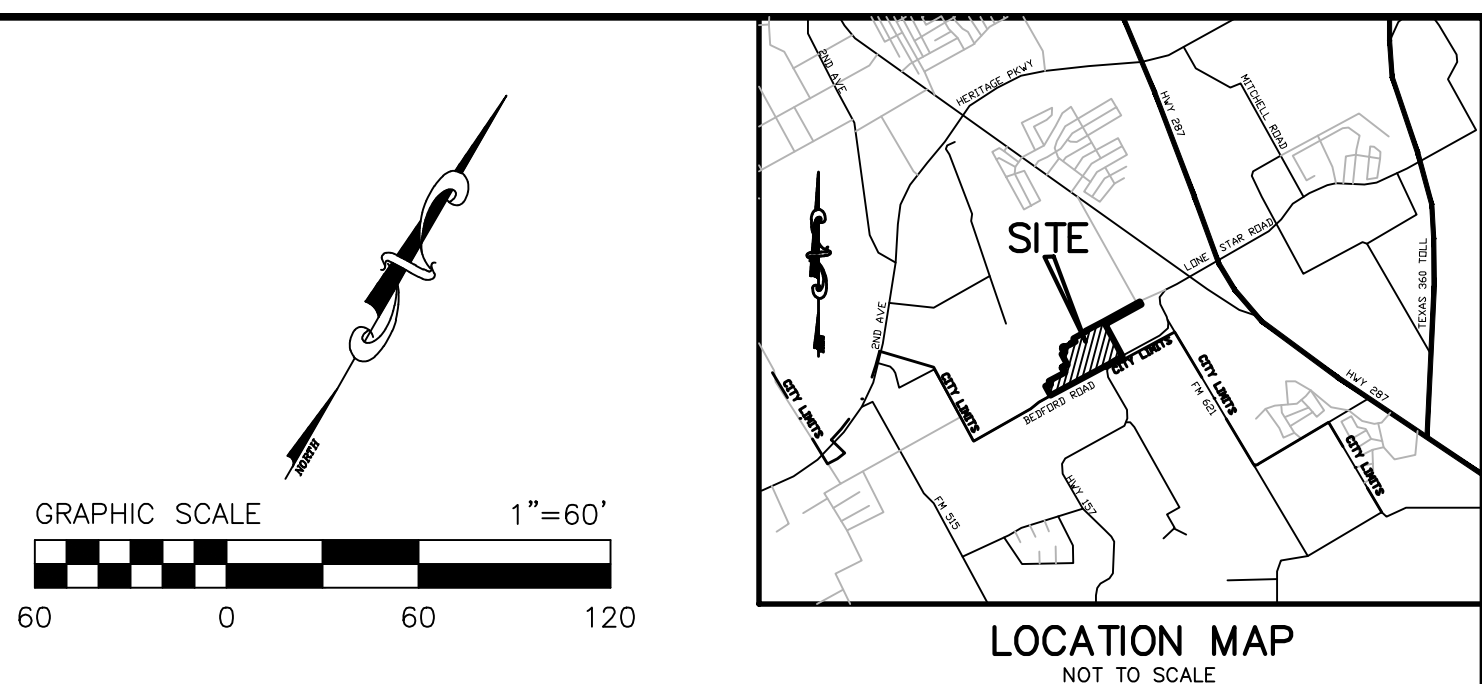
Revised: September 01, 2020 SD#19-060 Sheet 1 of 5

After recording, return to  
City of Mansfield  
1200 E. Broad Street,  
Mansfield, Texas 76063

"KEY MAP"

Plotted by: ddewey Plot Date: 9/14/2020 2:13 PM  
Drawing: H:\Projects\BB0001\dwg\Surveying\XBBC001-p1PH1.dwg Saved By: bjohnson Save Time: 9/3/2020 12:18 PM





- LEGEND**
- |                |   |
|----------------|---|
| IRON           | IRON ROD FOUND                                |
| IRS            | IRON ROD SET                                  |
| POB            | POINT OF BEGINNING                            |
| ROW            | RIGHT-OF-WAY                                  |
| DE             | DRAINAGE EASEMENT                             |
| UE             | UTILITY EASEMENT                              |
| UE&SW          | UTILITY AND SIDEWALK EASEMENT                 |
| WME            | WATER EASEMENT                                |
| BL             | WALL MAINTENANCE EASEMENT                     |
| CO RD          | BUILDING LINE                                 |
| FM             | COUNTY ROAD                                   |
| DOC.           | FARM-TO-MARKET HIGHWAY                        |
| NO.            | DOCUMENT                                      |
| O.P.R.J.C.C.T. | NUMBER  |
| D.R.J.C.T.     | OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS |
| VOL.           | DEED RECORDS JOHNSON COUNTY, TEXAS            |
| PG.            | VOLUME  |
| HOA            | PAGE  |
| SVE            | STREET NAME CHANGE INDICATOR                  |
|                | HOMEOWNERS ASSOCIATION OPEN SPACE LOT         |
|                | SIGHT VISIBILITY EASEMENT                     |

NOTES:

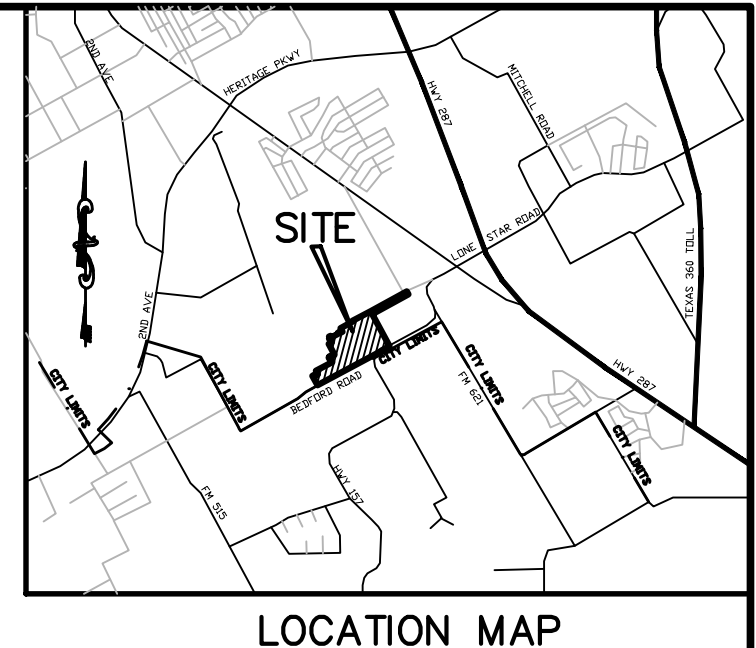
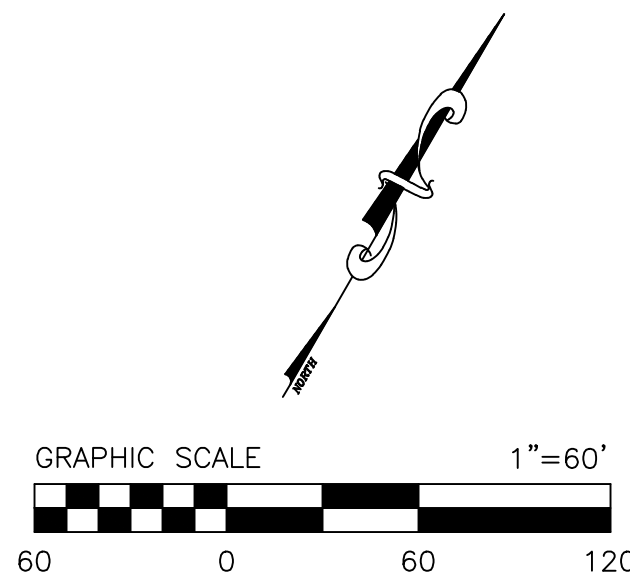
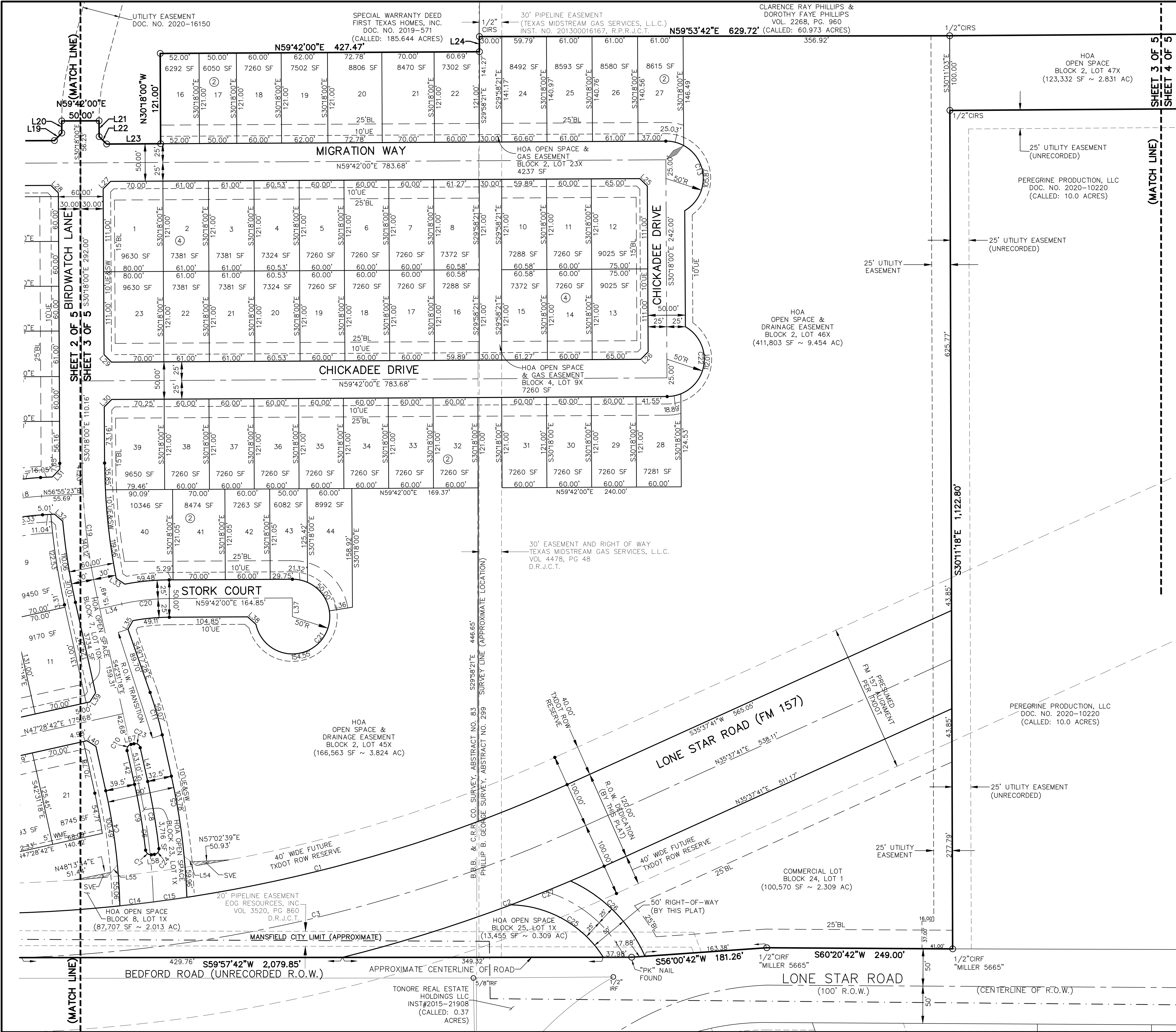
1. NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and/or withholding of utilities and building permits.
2. Basis of Bearings and Coordinates shown hereon are grid values derived from the Texas North Central Zone (4202). NAD83 Texas Coordinate System by GPS observations in reference to the City of Mansfield's official GPS monuments: TNP Mansfield "T", MON-BC9, MM 9-07, and MM 17-07. Distances shown hereon are surface distances.
3. A mandatory owners association will be responsible for the maintenance of the private amenities; open spaces and common areas, including but not limited to screening walls and fences and the parkway between a screening wall or fence and the street; subdivision landscaping; medians; amenity centers; and enhanced entry features including screening walls, landscaping, monuments, signage and any non-standard pavement.
4. No trees, bushes, walls, fences or anything over 2' in height is allowed within the visibility easements.
5. 1/2" iron rod with cap stamped "JBI" set at all property corners unless noted otherwise.

PLAT FILED \_\_\_\_\_, 20\_\_  
INSTRUMENT # \_\_\_\_\_  
DRAWER \_\_\_\_\_, SLIDE \_\_\_\_\_  
BECKY IVEY, JOHNSON COUNTY, TEXAS  
BY \_\_\_\_\_, DEPUTY CLERK

**FINAL PLAT**  
**BIRDSONG ADDITION, PHASE 1**  
54.930 ACRES OUT OF  
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83  
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299  
CITY OF MANSFIELD,  
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,  
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

<b>FIRST TEXAS HOMES, INC.</b>		<b>OWNER/DEVELOPER</b>
500 Crescent Court, Suite 350 Dallas, Texas 75201		Phone: (214)633-3338
Contact: Keith Hardesty, Division President		Email: khardesty@firsttexashomes.com
<b>JBIP PARTNERS, INC.</b>		<b>SURVEYOR/ENGINEER</b>
2121 Midway Road, Suite 300 Carrollton, Texas 75006		Phone: (972) 248-7676
Contact: Daniel Dewey, PE		Email: ddewey@jbipartners.com
TBPE No. F-438    TBPLS No. 10076000		
Revised: September 01, 2020		Sheet 2 of 5



LEGEND

- IRF IRON ROD FOUND
- IRS IRON ROD SET
- POB POINT OF BEGINNING
- ROW RIGHT-OF-WAY
- DE DRAINAGE EASEMENT
- UE UTILITY EASEMENT
- UE&SW UTILITY AND SIDEWALK EASEMENT
- WME WATER EASEMENT
- BL WALL MAINTENANCE EASEMENT
- CO RD BUILDING LINE
- FM COUNTY ROAD
- DOC. FARM-TO-MARKET HIGHWAY
- NO. DOCUMENT
- O.P.R.J.C.T. OFFICIAL PUBLIC RECORDS JOHNSON COUNTY, TEXAS
- D.R.J.C.T. DEED RECORDS JOHNSON COUNTY, TEXAS
- PG. VOLUME
- PG. PAGE
- HOA STREET NAME CHANGE INDICATOR
- SVE HOMEOWNERS ASSOCIATION OPEN SPACE LOT
- SIGHT VISIBILITY EASEMENT

PLAT FILED \_\_\_\_\_, 20\_\_\_\_  
INSTRUMENT # \_\_\_\_\_  
DRAWER \_\_\_\_\_, SLIDE \_\_\_\_\_  
BECKY IVEY, JOHNSON COUNTY, TEXAS  
BY \_\_\_\_\_, DEPUTY CLERK

FINAL PLAT

BIRDSONG ADDITION, PHASE 1

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OWNER/DEVELOPER

JB PARTNERS, INC.

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Carrollton, Texas 75006 Email: ddewey@jbipartners.com  
Contact: Daniel Dewey, PE  
TBPE No. F-438 TBPLS No. 10076000

SURVEYOR/ENGINEER

Revised: September 01, 2020

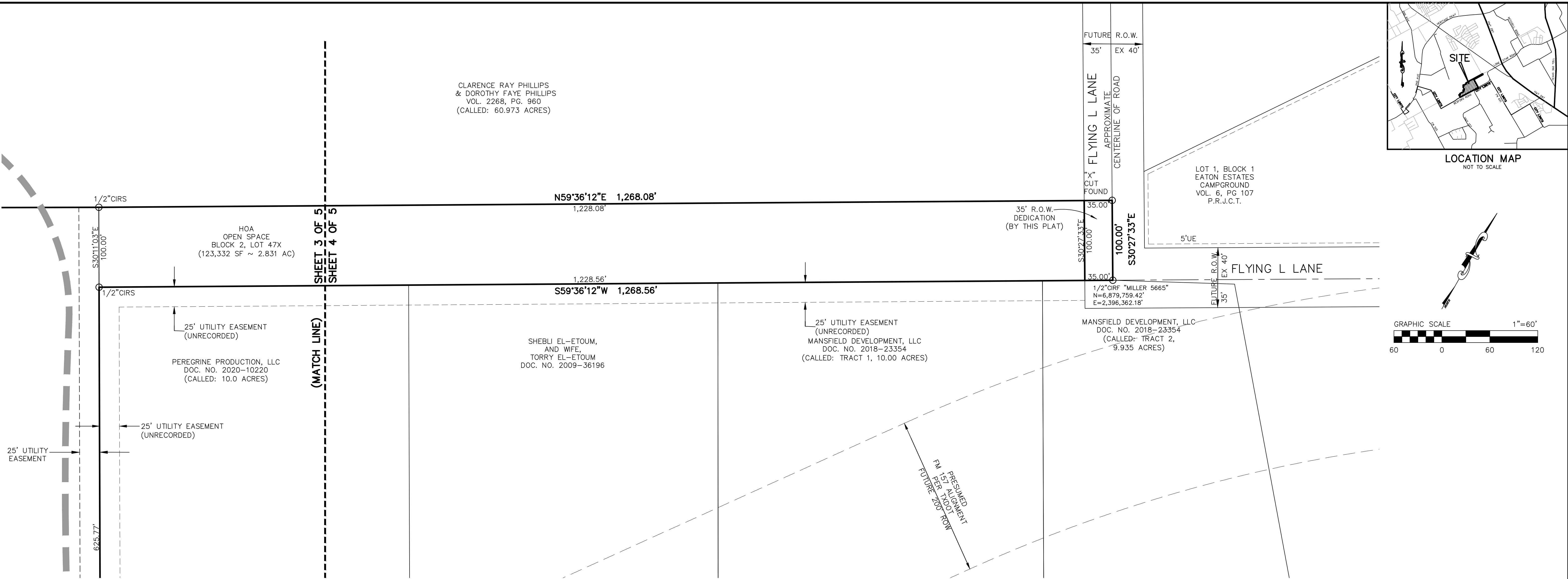
SD#19-060

Sheet 3 of 5

Plotted by: ddewey Plot Date: 9/14/2020 2:13 PM

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LINE TABLE		
NO.	BEARING	LENGTH
L1	S30°02'18"E	27.60'
L2	S75°02'18"E	14.14'
L3	N59°57'42"E	81.09'
L4	N75°10'09"W	14.17'
L5	S59°57'42"W	15.00'
L6	N59°57'42"E	15.00'
L7	N14°49'51"E	14.11'
L8	N30°18'00"W	15.00'
L9	S30°18'00"E	15.00'
L10	S75°10'09"E	14.17'
L11	N30°18'00"W	65.00'
L12	N75°18'00"W	14.14'
L13	S59°42'00"W	20.00'
L14	N59°42'00"E	20.00'
L15	N14°42'00"E	14.14'
L16	N30°18'00"W	40.59'
L17	S30°18'00"E	40.59'
L18	S75°18'00"E	14.14'
L19	N14°42'00"E	14.14'
L20	N30°18'00"W	16.23'
L21	S30°18'00"E	21.23'
L22	S75°18'00"E	14.14'
L23	N59°42'00"E	72.30'
L24	N29°58'21"W	20.27'
L25	S75°18'00"E	14.14'
L26	S14°42'00"W	14.14'
L27	N14°42'00"E	14.14'
L28	S75°18'00"E	14.14'
L29	N75°18'00"W	14.14'
L30	N14°42'00"E	14.14'

LINE TABLE		
NO.	BEARING	LENGTH
L31	S12°53'59"W	14.38'
L32	N79°03'13"W	14.38'
L33	N86°35'17"W	14.12'
L34	S47°28'42"W	30.21'
L35	N00°25'57"W	13.16'
L36	N51°07'34"E	31.35'
L37	S30°18'00"E	25.00'
L38	N78°10'10"W	14.83'
L39	N02°28'42"E	14.14'
L40	S87°31'18"E	14.14'
L41	N42°31'18"W	46.27'
L42	S42°31'18"E	46.27'
L43	N15°00'33"E	21.20'
L44	S75°10'09"E	14.17'
L45	N14°49'51"E	14.11'
L46	N56°50'55"E	111.23'
L47	S48°04'51"W	53.87'
L48	S14°49'51"W	14.11'
L49	S05°11'48"W	13.87'
L50	N40°54'45"W	36.02'
L51	N86°43'02"W	13.94'
L52	N14°42'00"E	14.14'
L53	N14°57'42"E	14.14'
L54	S82°01'58"E	20.48'
L55	N09°40'50"E	21.39'
L56	S74°59'27"E	21.23'
L57	N47°29'40"E	4.00'
L58	N52°23'22"E	4.03'

CURVE TABLE					
NO.	LENGTH	DELTA	RADIUS	TANGENT	CHORD BEARING
C1	827.14'	024°25'43"	1940.00'	419.95'	N47°50'32"E
C2	371.60'	010°20'08"	2060.00'	186.31'	N40°47'45"E
C3	780.86'	022°22'12"	2000.00'	395.47'	N46°48'47"E
C4	100.49'	007°09'10"	805.00'	50.31'	N38°56'44"W
C5	103.78'	006°38'37"	895.00'	51.95'	N39°12'00"W
C6	160.17'	010°47'48"	850.00'	80.32'	N37°07'24"W
C7	11.13'	091°04'27"	7.00'	7.13'	S81°59'31"E
C8	91.26'	006°04'03"	861.76'	45.67'	N39°29'37"W
C9	89.42'	006°04'01"	844.50'	44.75'	N39°29'18"W
C10	10.98'	089°24'50"	7.04'	6.97'	S02°29'11"W
C11	59.07'	006°46'10"	500.00'	29.57'	N45°54'23"W
C12	217.88'	012°29'00"	1000.00'	109.37'	N53°43'12"E
C13	130.90'	150°00'00"	50.00'	186.60'	N45°18'00"W
C14	45.18'	001°20'03"	1940.00'	22.59'	N53°22'07"E
C15	45.26'	001°20'12"	1940.00'	22.63'	N52°01'59"E
C16	174.30'	012°29'00"	800.00'	87.50'	N53°43'12"E
C17	55.57'	010°36'45"	300.00'	27.86'	S35°36'22"E
C18	49.45'	009°26'41"	300.00'	24.78'	S52°12'02"W
C19	181.31'	012°13'18"	850.00'	91.00'	S36°24'39"E
C20	63.99'	012°13'18"	300.00'	32.12'	S53°35'21"W
C21	225.86'	258°49'06"	50.00'	60.85'	N08°48'45"E
C22	130.90'	150°00'00"	50.00'	186.60'	N15°18'00"W
C23	10.99'	089°59'01"	7.00'	7.00'	N87°30'49"W
C24	10.84'	089°09'25"	6.97'	6.86'	N07°55'49"E
C25	148.09'	056°33'54"	150.00'	80.71'	S89°35'06"W
C26	144.93'	041°31'05"	200.00'	75.81'	N74°39'58"W
C27	85.92'	002°23'23"	2060.00'	42.97'	N38°11'20"E

PLAT FILED \_\_\_\_\_, 20\_\_\_\_  
INSTRUMENT # \_\_\_\_\_  
DRAWER \_\_\_\_\_, SLIDE \_\_\_\_\_  
BECKY IVEY, JOHNSON COUNTY, TEXAS  
BY \_\_\_\_\_, DEPUTY CLERK

FINAL PLAT  
BIRDSONG ADDITION, PHASE 1  
54.930 ACRES OUT OF  
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83  
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299  
CITY OF MANSFIELD,  
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117 RESIDENTIAL LOTS,  
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TBPE No. F-438 TBPLS No. 10076000  
Revised: September 01, 2020 SD#19-060 Sheet 4 of 5

OWNER'S CERTIFICATE §

STATE OF TEXAS §

COUNTY OF JOHNSON §

WHEREAS, First Texas Homes, Inc., acting by and through the undersigned, its duly authorized agent, is the owner of a parcel of land located in the City of Mansfield, Johnson County, Texas, being part of the B.B.B. & C.R.R. Survey, Abstract No. 83, and the Phillip George Survey, Abstract No. 299, and being part of that called 185,644 acre tract of land described in a Special Warranty Deed to First Texas Homes, Inc. as recorded in Document Number 2019–571, Deed Records Johnson County, Texas, and being further described as follows:

BEGINNING at a one–half inch iron rod with cap stamped "MILLER 5665" found at the south corner of said 185.644 acre tract, said point also being in the approximate centerline of Bedford Road (an unrecorded right–of–way), said point also being the east corner of a called 55.61 acre tract of land described in deed to William Troy Sells, and wife, Brenda J. Sells Revocable Living Trust recorded in County Clerk's Document Number 2014–25753, Deed Records Johnson County, Texas;

THENCE North 30 degrees 19 minutes 46 seconds West, 327.60 feet along the southwest line of said 185.644 acre tract and along the northeast line of said 55.61 acre tract, to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

THENCE departing the northeast line of said 55.61 acre tract, over and across said 185.644 acre tract as follows:

North 59 degrees 57 minutes 42 seconds East, 81.43 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 02 minutes 18 seconds East, 27.60 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 02 minutes 18 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 81.09 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 02 minutes 18 seconds West, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 560.75 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 111.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 75 degrees 10 minutes 09 seconds West, 14.17 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 59 degrees 57 minutes 42 seconds West, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 49 minutes 51 seconds East, 14.11 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 15.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 10 minutes 09 seconds East, 14.17 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 57 minutes 42 seconds East, 111.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 375.16 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 65.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 75 degrees 18 minutes 00 seconds West, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 59 degrees 42 minutes 00 seconds West, 20.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 60.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 20.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 42 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 40.59 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 40.59 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 18 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

OWNER'S CERTIFICATE (CONT'D)

North 59 degrees 42 minutes 00 seconds East, 227.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 14 degrees 42 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 16.23 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 50.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 30 degrees 18 minutes 00 seconds East, 21.23 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

South 75 degrees 18 minutes 00 seconds East, 14.14 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 72.30 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 30 degrees 18 minutes 00 seconds West, 121.00 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 42 minutes 00 seconds East, 427.47 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 29 degrees 58 minutes 21 seconds West, 20.27 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner, being an inside "ell" corner of said in the northwesterly line of said 185.644 acre tract, being the southerly corner of a called 60.973 acre tract of land described in deed to Clarence Ray Phillips and Dorothy Faye Phillips as recorded in Volume 2268, Page 960, Deed Records, Johnson County, Texas;

THENCE along the northwesterly line of said 185.644 acre tract and the southeasterly line of said 60.973 acre tract as follows:

North 59 degrees 53 minutes 42 seconds East, 629.72 feet to a one–half inch iron rod with yellow cap stamped "JBI" set for corner;

North 59 degrees 36 minutes 12 seconds East, 1,268.08 feet to an "X" cut in concrete found for corner, said point being in the approximate centerline of Flying L Lane;

THENCE South 30 degrees 27 minutes 33 seconds East, 100.00 feet along the approximate centerline of Flying L Lane to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner, being in the northwesterly line of a 9.935 acre tract of land (Tract 2) described in deed to Mansfield Development, LLC as recorded in Document No. 2018–23354, Official Public Records, Johnson County, Texas;

THENCE South 59 degrees 36 minutes 12 seconds West, 1,268.56 feet, along the northwesterly line of said 9.935 acre tract, the northwesterly line of a called 10.00 acre tract of land (Tract 1) described in deed to Mansfield Development, LLC as recorded in Document No. 2018–23354, Official Public Records, Johnson County, Texas, and the northwesterly line of a 10.0 acre tract of land described in deed to Peregrine Production, LLC recorded in County Clerk's Document Number 2020–10220, Deed Records Johnson County, Texas, to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner, said point also being the west corner of that called 10.0 acre tract and an inside "ell" corner of said 185.644 acre tract;

THENCE South 30 degrees 11 minutes 18 seconds East, 1,122.80, along the southwest line of said 10.0 acre tract and a northeasterly line of said 185.644 acre tract to a one–half inch iron rod with cap stamped "MILLER 5665" found at the most southerly east corner of said 185.644 acre tract, said point being the south corner of said 10.0 acre tract, said point also being in the northwest right–of–way line of Lone Star Road (F.M. Hwy. 157, a variable width right–of–way);

THENCE along the southeast line of said 185.644 acre tract the northwest right–of–way line of Lone Star Road as follows:

South 60 degrees 20 minutes 42 seconds West, 249.00 feet to a one–half inch iron rod with cap stamped "MILLER 5665" found for corner;

South 56 degrees 00 minutes 42 seconds West, 181.26 feet to a "PK" nail found for corner in the approximate centerline of Bedford Road (an unrecorded right–of–way);

THENCE along said approximate centerline, South 59 degrees 57 minutes 42 seconds West, 2,079.85 feet to the POINT OF BEGINNING and containing 2,392,757 square feet or 54.930 acres of land.

BASIS OF BEARING:  
The basis of bearing is based on the coordinate system (North Central Zone 4202 State Plane Coordinates, NAD83).

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, FIRST TEXAS HOMES, INC. is the owner of the above described parcel, acting by and through the undersigned, its duly authorized agent, does hereby adopt the herein above describe property as **BIRDSONG ADDITION, PHASE 1**, an addition to the City of Mansfield, Johnson County, Texas and does dedicate to the public use the streets and esements shown thereon.

WITNESS, my hand at Dallas, Texas, this the \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
an Authorized Agent for First Texas Homes, Inc.,  
Keith Hardesty, Division President

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned authority in and for the State of Texas, on this day personally appeared Keith Hardesty, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

WITNESS MY HAND at Dallas, Texas, this \_\_\_\_ day of \_\_\_\_\_, 2020.

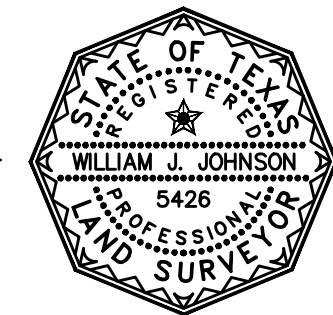
\_\_\_\_\_  
Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

This is to certify that I, WILLIAM J. JOHNSON, a Registered Professional Land Surveyor of the State of Texas, having platted the above subdivision from an actual survey on the ground, and that all lot corners, and angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me or under my direction and supervision.

Dated this 1ST day of SEPTEMBER, 2020.

\_\_\_\_\_  
WILLIAM J. JOHNSON, R.P.L.S. No. 5426

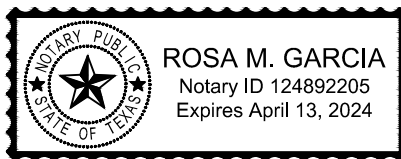


STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared WILLIAM J. JOHNSON, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this 1ST day of SEPTEMBER, 2020.



\_\_\_\_\_  
Notary Public, State of Texas

Conditions of Acceptance of  
Drainage and Floodway Easements

This plat is proposed by the Owners of properties described herein (hereinafter referred to as "property owners") and is approved by the City of Mansfield subject to the following conditions which shall be binding upon the property owners, his heirs, grantees, successors and assigns. No obstruction to the flow of stormwater run-off shall be permitted by filling or by construction of any type of dam, building, bridge, fence, or any other structure within the drainage easement shown herein on this plat, unless approved by the City of Mansfield. provided, however, it is understood that in the event it becomes necessary for the city of mansfield to erect drainage facilities in order to improve the storm drainage that may be occasioned by the streets and alleys in or adjacent to the subdivision, then in such event, the City of Mansfield shall have the right to enter said drainage easement at any point or points to erect, construct and maintain any facility deemed necessary for drainage purposes.

The property owners will be responsible for maintaining said drainage easement. The property owners shall keep said drainage easement clean and free of debris, silt, high weeds, and any substance which would result in unsanitary or undesirable conditions. the City of Mansfield shall have the right of ingress and egress for the purpose of inspecting and supervising maintenance work done by the property owners. If at any time the property owners fail to satisfy any of their aforementioned responsibilities or obligations, the City of Mansfield, upon ten (10) days prior notice to the owners, may enter said drainage easement at any point or points to perform maintenance or clean-up, and bill the property owners the cost incurred, or place a lien on said properties if the bill is not paid within thirty (30) days of its mailing. Said drainage easement, as in the case of all drainage easements, is subject to stormwater overflow and erosion to an extent which cannot be specifically defined. The City of Mansfield shall not be held liable for any damages resulting from the occurrence of these natural phenomena or the failure of any facilities within said drainage easement. Further, the City of Mansfield will not be responsible for erosion control or any damage to private properties or persons resulting from the flow of water within said drainage easement and properties.

APPROVED BY THE CITY OF MANSFIELD	
APPROVED _____ 2020	P & Z COMMISSION CHAIRMAN _____
ATTEST: _____ 2020	PLANNING & ZONING SECRETARY _____

PLAT FILED _____, 20____
INSTRUMENT # _____
DRAWER _____, SLIDE _____
BECKY IVEY, JOHNSON COUNTY, TEXAS
BY _____, DEPUTY CLERK

FINAL PLAT  
BIRDSONG ADDITION, PHASE 1  
54.930 ACRES OUT OF  
THE B.B.B. & C.R.R. SURVEY, ABSTRACT NO. 83  
AND THE PHILLIP GEORGE SURVEY, ABSTRACT NO. 299  
CITY OF MANSFIELD,  
JOHNSON COUNTY, TEXAS

117 RESIDENTIAL LOTS,  
11 OPEN SPACE LOTS & 1 COMMERCIAL LOT

FIRST TEXAS HOMES, INC. OWNER/DEVELOPER

500 Crescent Court, Suite 350 Phone:(214)633–3338  
Dallas, Texas 75201 Email: khardesty@firsttexashomes.com  
Contact: Keith Hardesty, Division President

JBI PARTNERS, INC. SURVEYOR/ENGINEER

2121 Midway Road, Suite 300 Phone:(972) 248–7676  
Carrollton, Texas 75006 Email: ddewey@jbipartners.com  
Contact: Daniel Dewey, PE  
TBPE No. F–438 TBPLS No. 10076000

Revised: September 01, 2020 SD#19-060 Sheet 5 of 5



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3762

**Agenda Date:** 9/21/2020

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Plat

### Title

SD#20-043: Public hearing on a replat to create Lots 5R, 6, and 7, Block 1, Brentwood Park, Section Two on 3.195 acres located at 733 N US 287; Bannister Engineering, engineer/surveyor; Jim Tally, owner

### Description/History

The purpose of the replat is to subdivide the existing Lot 5 into three lots. There are currently four commercial buildings under construction on the property. Two of the buildings will be located on Lot 5R, one building on Lot 6 and one building on Lot 7.

The property is zoned C-2 within the Freeway Overlay District.

Although the digital copy of the plat in the Commission's packet does not have signatures, the filing copy has been signed. This plat complies with the regulations of the Subdivision Control Ordinance.

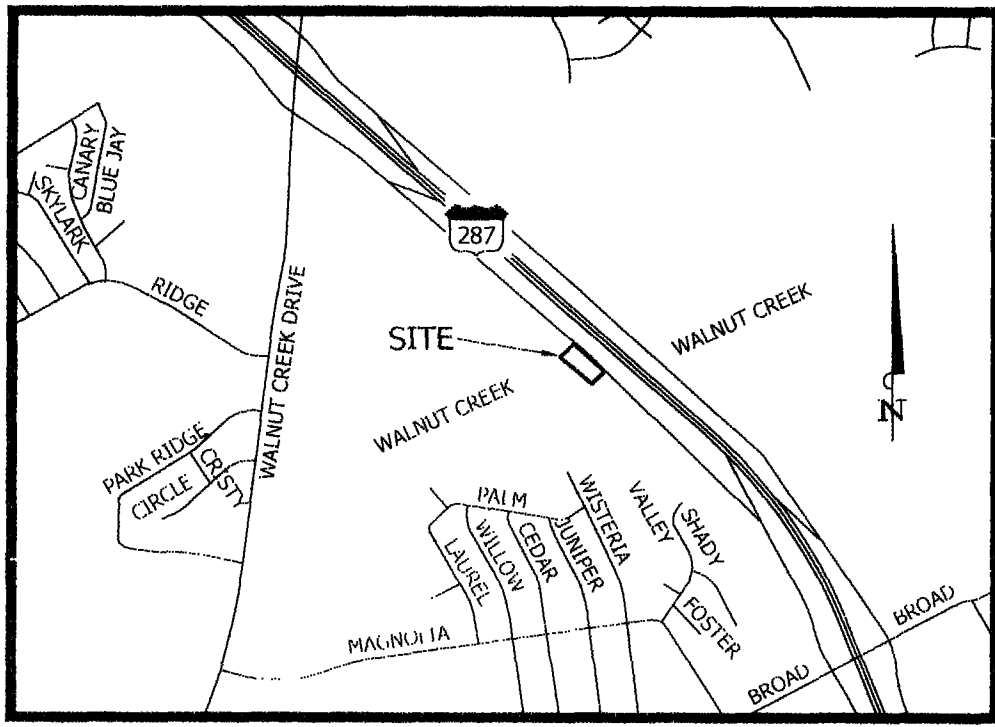
### Recommendation

Staff recommends approval.

### Attachments

Previously Approved Plat  
Replat





VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS

LEGEND	
N	NORTH
S	SOUTH
E	EAST
W	WEST
.	DEGREES
'	MINUTES / FEET
"	SECONDS / INCHES
SQ FT	SQUARE FEET
D.R.T.C.T.	DEED RECORDS
TARRANT COUNTY, TEXAS	
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS
TARRANT COUNTY, TEXAS	
P.R.T.C.T.	PLAT RECORDS
TARRANT COUNTY, TEXAS	



#### SURVEYOR'S CERTIFICATION:

This is to certify that I, Michael Dan Davis, Registered Professional Land Surveyor Number 4838, State of Texas, have platted the above described subdivision from an actual survey on the ground, and that all lot corners, and angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents the survey made by me or under my direction and supervision.

Michael Dan Davis DATE: 12/16/19  
Registered Professional Land Surveyor No. 4838  
BANNISTER ENGINEERING, LLC  
I.B.P.L.S. REGISTRATION NO. 10193823



#### GENERAL NOTES:

1. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM),

1% annual chance (100-Year) Floodplain based on Community Panel No. 48439C0460K and 48439C0480K, dated September 25, 2009

Zone "AE"

2. The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".

3. All iron rods set (IRS) are 5/8-inch with a plastic cap stamped "RPLS 4838". All found monuments shown hereon are deemed to be controlling monuments.

4. All coordinates and bearings shown herein are Texas State Plane Coordinate System, NAD83 (CORS), Texas North Central Zone (4202). All distances shown herein are surface distances.

5. Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.

6. The common access easement is for the use of Lot 4R and Lot 5. No improvements shall be made that impede the ingress and egress along this easement.

7. The common access easement shall be maintained by the property owners.

After recording return to City of Mansfield  
1260 E. Broad Street, Mansfield, TX 76063

**BANNISTER**  
ENGINEERING  
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
TBPLS REGISTRATION NO. 10193823 PROJECT NO.: 003-19-001

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	
C1	83.25'	53.00'	90°00'02"	N86° 46' 22"E	74.95'	
C2	22.42'	30.00'	42°49'36"	S69° 38' 26"E	21.91'	
C3	10.29'	13042.78'	0°02'43"	N88° 57' 31"E	10.29'	
C4	36.39'	53.00'	39°20'26"	S67° 53' 51"E	35.68'	
C5	83.25'	53.00'	90°00'00"	S3° 13' 37"E	74.95'	
C6	71.90'	53.00'	77°43'45"	S80° 38' 16"W	66.51'	
C7	29.97'	26.00'	66°03'07"	S85° 46' 50"W	28.34'	
C8	31.83'	25.00'	72°56'29"	S11° 45' 20"E	29.72'	
C9	10.38'	10.00'	59°26'54"	S77° 57' 05"E	9.92'	
C10	45.55'	29.00'	90°00'00"	N3° 13' 38"W	41.01'	
C11	45.55'	29.00'	90°00'00"	N86° 46' 22"E	41.01'	
C12	40.36'	54.00'	42°49'36"	S69° 38' 26"E	39.43'	
C13	9.42'	13021.28'	0°02'29"	N88° 57' 24"E	9.42'	
C14	19.32'	28.98'	38°11'05"	S67° 18' 52"E	18.96'	
C15	45.55'	29.00'	90°00'00"	S3° 13' 37"E	41.01'	
C16	45.55'	29.00'	90°00'02"	S86° 46' 25"W	41.01'	
C17	34.26'	162.67'	12°04'02"	S58° 48' 39"E	34.20'	
C18	105.30'	90.00'	67°02'10"	S86° 17' 43"E	99.40'	
C19	119.55'	210.00'	32°37'03"	N76° 29' 44"E	117.94'	

JIM TALLY  
(TRACT 2)  
INSTRUMENT NUMBER D218258395  
O.P.R.T.C.T.

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR FOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

Line Table		
Line #	Length	Direction
L1	94.90'	N41° 46' 22"E
L2	92.92'	S48° 13' 38"E
L3	64.50'	S41° 46' 24"W
L4	265.06'	S48° 13' 36"E
L5	319.57'	N48° 13' 35"W
L6	37.50'	N41° 46' 22"E
L7	92.92'	S48° 13' 38"E
L8	165.11'	S48° 13' 37"E
L9	64.50'	S41° 46' 24"W
L10	165.11'	S48° 13' 37"E
L11	106.02'	S52° 46' 38"E
L12	18.78'	S87° 11' 45"E

#### OWNER'S DEDICATION:

WHEREAS Jim Tally, is the sole owner of a 3.763 acre (163,927 square feet) tract of land located in the J. R. Worrall Survey, Abstract No. 1736, City of Mansfield, Tarrant County, Texas, and being all of that certain tract of land described as Tract 1 (hereinafter referred to as Tract 1), as recorded in Instrument Number D218258395, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.) and being all of that certain tract of land described as Lot 4, Block 1, Brentwood Park, Section Two (hereinafter referred to as Lot 4), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Volume 388-215, Page 20, Plat Records, Tarrant County, Texas (P.R.T.C.T.), and being more particularly described, by metes and bounds, as follows:

**BEGINNING** at an "X" cut found in concrete for the Northerly corner of said Tract 1, same being the Easterly corner of said Lot 4, same also being the existing Southwesterly right-of-way line of U.S. Highway 287 (variable width right-of-way), as recorded in Volume 4994, Page 359, Deed Records, Tarrant County, Texas (D.R.T.C.T.);

**THENCE** South 45 degrees 46 minutes 24 seconds East with the common line between said Tract 1 and the existing Southwesterly right-of-way line of said U.S. Highway 287, a distance of 413.57 feet to a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found for corner;

**THENCE** South 48 degrees 10 minutes 24 seconds East, continue with the common line between said Tract 1 and the existing Southwesterly right-of-way line of said U.S. Highway 287, a distance of 351.56 feet to a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found for the Easterly corner of said Tract 1, same being the Northerly corner of that certain tract of land described as Tract 2 in a Warranty Deed to the City of Mansfield (hereinafter referred to as Tract 2), as recorded in Volume 8805, Page 513, D.R.T.C.T.;

**THENCE** South 47 degrees 26 minutes 40 seconds West, departing the existing Southwesterly right-of-way line of said U.S. Highway 287 and with the common line between said Tract 1 and said Tract 2, a distance of 185.50 feet to an aluminum disk stamped "RPLS 2490" found in concrete for the Southerly corner of said Tract 1, same being the Westerly corner of said Tract 2, same also being the Northeastly line of that certain tract of land described as Second Parcel in a Warranty Deed to Tarrant County Water Control and Improvements District Number One (hereinafter referred to as Second Parcel), as recorded in Volume 4612, Page 23, D.R.T.C.T.;

**THENCE** North 48 degrees 13 minutes 38 seconds West with the common line between said Tract 1 and said Second Parcel, a distance of 748.61 feet to a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found for the Westerly corner of said Tract 1, same being the Southerly corner of said Lot 4;

**THENCE** North 48 degrees 13 minutes 29 seconds West with the common line between said Lot 4 and said Second Parcel, a distance of 100.02 feet to the Westerly corner of said Lot 4, same being the Southerly corner of that certain tract of land described as Lot 3-R-R, Block 1, Brentwood Park, Section One (hereinafter referred to as Lot 3-R-R), an addition to the City of Mansfield, Tarrant County, Texas, from which a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found bears South 46 degrees 05 minutes 59 seconds East, a distance of 0.39 feet;

**THENCE** North 42 degrees 39 minutes 31 seconds East, departing the Northeastly line of said Second Parcel and with the common line between said Lot 4 and said Lot 3-R-R, a distance of 206.88 feet to an "X" cut found in concrete for the Northerly corner of said Lot 4, same being the Easterly corner of said Lot 3-R-R, same also being the existing Southwesterly right-of-way line of said U.S. Highway 287;

**THENCE** South 45 degrees 46 minutes 33 seconds East with the common line between said Lot 4 and the existing Southwesterly right-of-way line of said U.S. Highway 287, a distance of 99.10 feet to the **PLACE OF BEGINNING** and containing 3.763 acres (163,927 square feet) of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, JIM TALLY, being the sole owner of the above described parcel, does hereby adopt the herein above described property as **Lot 4R and Lot 5, Block 1, BRENTWOOD PARK, SECTION TWO**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

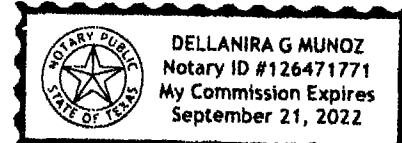
By: JIM TALLY

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared JIM TALLY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 19 day of December, 2019.

Dallanra G Munoz  
Notary Public, The State of Texas



#### PURPOSE NOTE:

To create a buildable lot (Lot 5) for future development and add easements onto existing Lot 4.

REPLAT  
Lot 4R and Lot 5, Block 1  
Brentwood Park, Section Two  
Being a revision of Lot 4, Block 1, Brentwood Park, Section Two, according to the plat filed in Volume 388-215, Page 20, P.R.T.C.T.

City of Mansfield, Tarrant County, Texas,  
2 Lots  
3.763 acres  
Date Prepared: October 2019  
Sheet 1 of 1

SD#19-031

APPROVED BY THE CITY OF MANSFIELD

APPROVED BY: P & Z COMMISSION CHAIRMAN  
ATTEST: PLANNING & ZONING SECRETARY

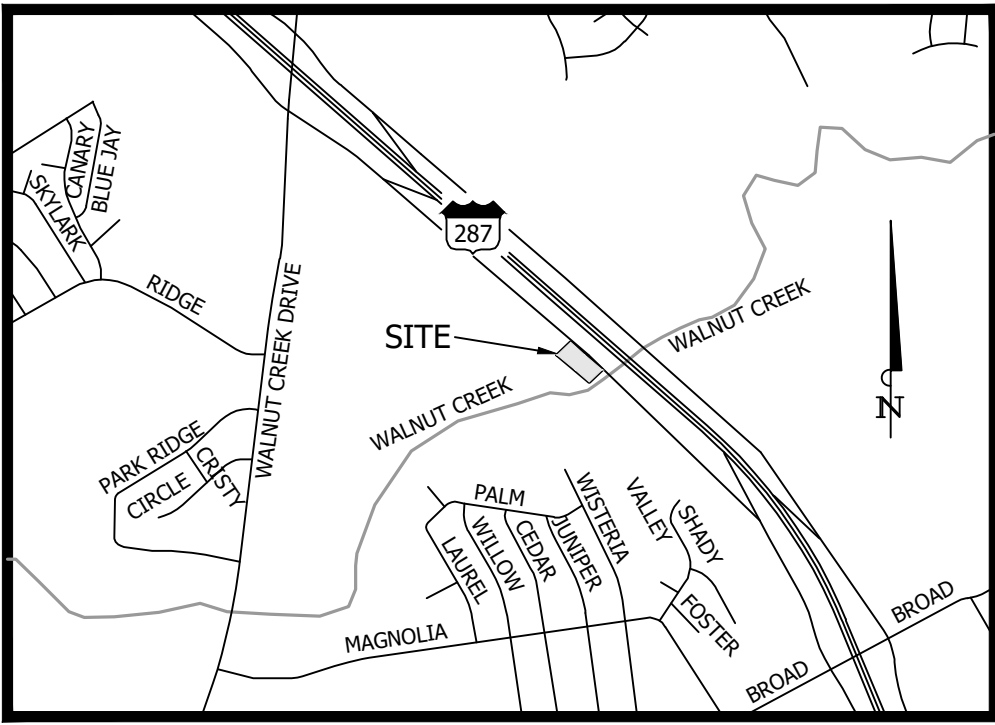
ENGINEER / SURVEYOR:  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
PHONE: 817-842-2094  
Mike@bannistereng.com

OWNER / DEVELOPER:  
JIM TALLY  
2101 BAY COVE COURT  
ARLINGTON, TEXAS 76013  
PHONE: 817-654-1301  
E-MAIL: newportbuild@aol.com

This plat filed in  
Instrument No. D22006572  
Date: 11/10/2020

PREVIOUSLY APPROVED PLAT





VICINITY MAP  
NOT TO SCALE  
MANSFIELD, TEXAS

**LEGEND**

N NORTH  
S SOUTH  
E EAST  
W WEST

• DEGREES  
• MINUTES/FEET  
• SECONDS/INCHES

SQ FT SQUARE FEET

D.R.T.C.T.  
DEED RECORDS  
TARRANT COUNTY, TEXAS

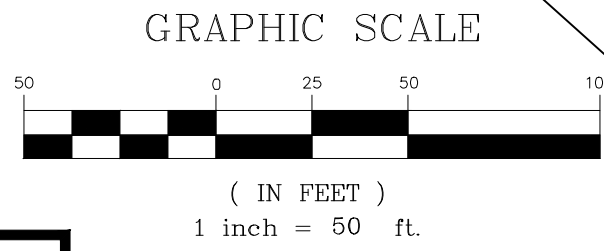
O.P.R.T.C.T.  
OFFICIAL PUBLIC RECORDS  
TARRANT COUNTY, TEXAS

P.R.T.C.T.  
PLAT RECORDS  
TARRANT COUNTY, TEXAS

—Asb FW—  
AS—BUILT FLOODWAY

—ASB100—  
AS—BUILT ULTIMATE 100—YEAR  
FLOODPLAIN

—ASB100—  
AS—BUILT 100—YEAR FLOODPLAIN



**SURVEYOR'S CERTIFICATION:**

This is to certify that I, Michael Dan Davis, Registered Professional Land Surveyor Number 4838, State of Texas, have platted the above described subdivision from an actual survey on the ground, and that all lot corners, and angle points and points of curve shall be properly marked on the ground, and that this plat correctly represents the survey made by me or under my direction and supervision.

**PRELIMINARY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR  
ANY PURPOSE AND SHALL NOT BE USED OR  
VIEWED AS A FINAL SURVEY DOCUMENT

Michael Dan Davis DATE:  
Registered Professional Land Surveyor No. 4838  
BANNISTER ENGINEERING, LLC  
T.B.P.L.S. REGISTRATION NO. 10193823

**GENERAL NOTES:**

- According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM),  
1% annual chance (100-Year) Floodplain based on Community Panel No.  
48439C0460K and 48439C0480K, dated September 25, 2009  
Zone "AE"

Revised by Flood Study prepared by this firm

FEMA Case Number 20-06-3367P, LOMR Report Date August 18, 2020

2. The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".

3. All iron rods set (IRS) are 5/8-inch with a plastic cap stamped "RPLS 4838". All found monuments shown hereon are deemed to be controlling monuments.

4. All coordinates and bearings shown herein are Texas State Plane Coordinate System, NAD83 (CORS), Texas North Central Zone (4202). All distances shown herein are surface distances.

5. Notice: Selling a portion of any lot in this addition by metes and bounds is a violation of state law and City ordinance and is subject to penalties imposed by law.

6. The common access easement is for the use of Lot 5R, 6 & 7. No improvements shall be made that impede the ingress and egress along this easement.

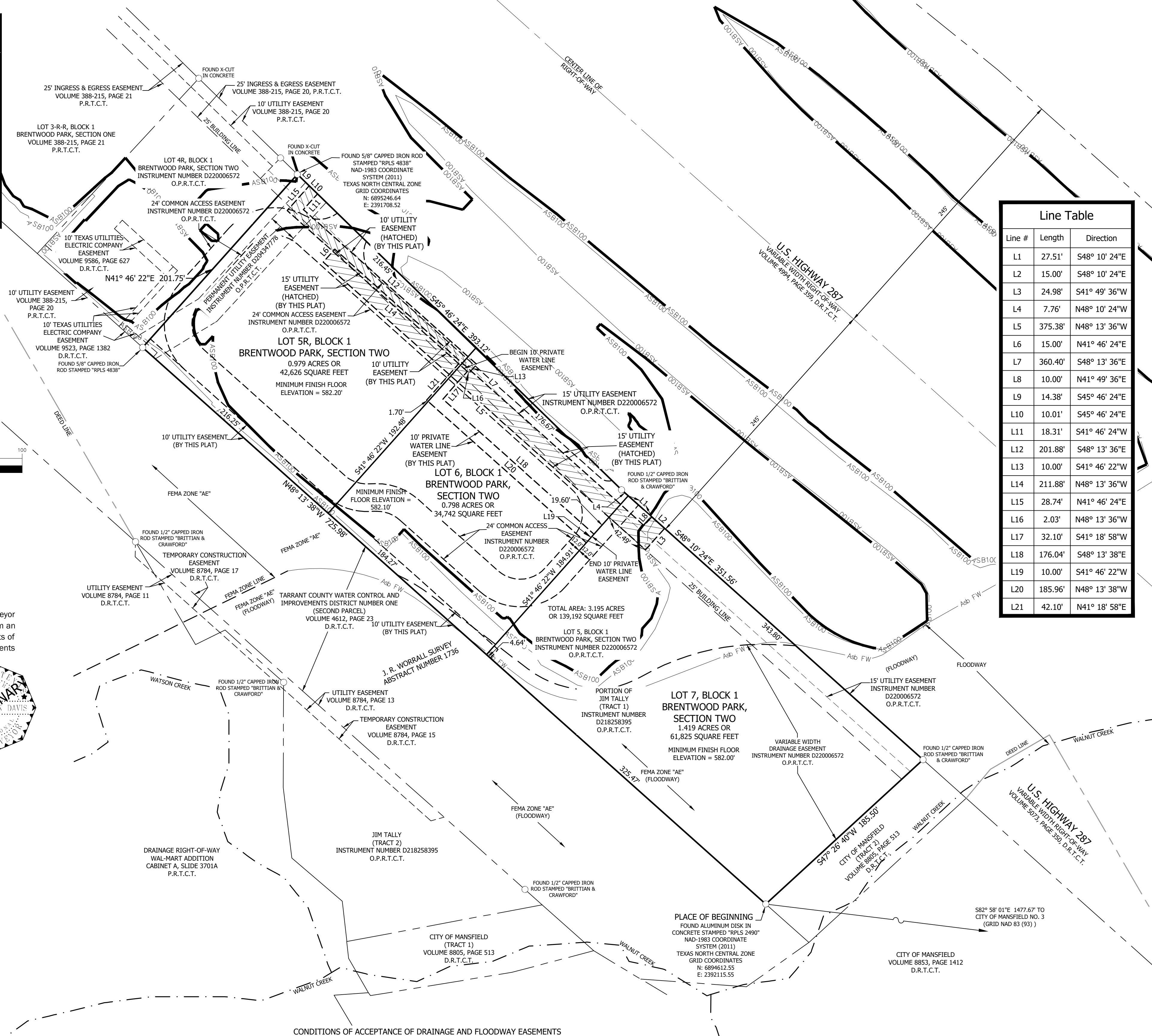
7. The common access easement shall be maintained by the property owners.

8. **10' Private Water Line Easement, purpose is for access and maintenance of private waster service serving Lot 7, Block 1, Brentwood Park, Section Two.**

After recording, return to City of Mansfield  
1200 E. Broad Street, Mansfield, TX 76063

**BANNISTER**  
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax  
TBPLS REGISTRATION NO. 10193823 PROJECT NO.: 9080-20-001



**CONDITIONS OF ACCEPTANCE OF DRAINAGE AND FLOODWAY EASEMENTS**

THIS PLAT IS PROPOSED BY THE OWNERS OF PROPERTIES DESCRIBED HEREIN (HEREINAFTER REFERRED TO AS "PROPERTY OWNERS") AND IS APPROVED BY THE CITY OF MANSFIELD SUBJECT TO THE FOLLOWING CONDITIONS WHICH SHALL BE BINDING UPON THE PROPERTY OWNERS, HIS HEIRS, GRANTEES, SUCCESSORS AND ASSIGNS.

NO OBSTRUCTION TO THE FLOW OF STORMWATER RUN-OFF SHALL BE PERMITTED BY FILLING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, BRIDGE, FENCE, OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE EASEMENT SHOWN HEREIN ON THIS PLAT, UNLESS APPROVED BY THE CITY OF MANSFIELD. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF MANSFIELD TO ERECT DRAINAGE FACILITIES IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCASIONED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISION, THEN IN SUCH EVENT, THE CITY OF MANSFIELD SHALL HAVE THE RIGHT TO ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES.

THE PROPERTY OWNERS WILL BE RESPONSIBLE FOR MAINTAINING SAID DRAINAGE EASEMENT. THE PROPERTY OWNERS SHALL KEEP SAID DRAINAGE EASEMENT CLEAN AND FREE OF DEBRIS, SILT, HIGH WEEDS, AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY OR UNDESIRABLE CONDITIONS. THE CITY OF MANSFIELD SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTING AND SUPERVISING MAINTENANCE WORK DONE BY THE PROPERTY OWNERS. IF AT ANY TIME THE PROPERTY OWNERS FAIL TO SATISFY ANY OF THEIR AFOREMENTIONED RESPONSIBILITIES OR OBLIGATIONS, THE CITY OF MANSFIELD, UPON TEN (10) DAYS PRIOR NOTICE TO THE OWNERS, MAY ENTER SAID DRAINAGE EASEMENT AT ANY POINT OR POINTS TO PERFORM MAINTENANCE OR CLEAN-UP, AND BILL THE PROPERTY OWNERS THE COST INCURRED, OR PLACE A LIEN ON SAID PROPERTIES IF THE BILL IS NOT PAID WITHIN THIRTY (30) DAYS OF ITS MAILING.

SAID DRAINAGE EASEMENT, AS IN THE CASE OF ALL DRAINAGE EASEMENTS, IS SUBJECT TO STORMWATER OVERFLOW AND EROSION TO AN EXTENT WHICH CANNOT BE SPECIFICALLY DEFINED. THE CITY OF MANSFIELD SHALL NOT BE HELD LIABLE FOR ANY DAMAGES RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA OR THE FAILURE OF ANY FACILITIES WITHIN SAID DRAINAGE EASEMENT. FURTHER, THE CITY OF MANSFIELD WILL NOT BE RESPONSIBLE FOR EROSION CONTROL OR ANY DAMAGE TO PRIVATE PROPERTIES OR PERSONS RESULTING FROM THE FLOW OF WATER WITHIN SAID DRAINAGE EASEMENT AND PROPERTIES.

**OWNER'S DEDICATION:**

WHEREAS **Jim Tally**, is the sole owner of a 3.195 acre (139,192 square feet) tract of land located in the J. R. Worrall Survey, Abstract No. 1736, City of Mansfield, Tarrant County, Texas, and being a portion of that certain tract of land described as Tract 1 (hereinafter referred to as Tract 1), as recorded in Instrument Number D218258395, Official Public Records, Tarrant County, Texas (O.P.R.T.C.T.) and being all of that certain tract of land described as Lot 5, Block 1, Brentwood Park, Section Two (hereinafter referred to as Lot 5), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D220006572, O.P.R.T.C.T., and being more particularly described, by metes and bounds, as follows:

**BEGINNING** at an aluminum disk stamped "RPLS 2490" found in concrete for the Southerly corner of said Tract 1, same being the Westerly corner of that certain tract of land described as Tract 2 in a Warranty Deed to the City of Mansfield (hereinafter referred to as Tract 2), as recorded in Volume 8805, Page 513, D.R.T.C.T., same also being the Northeasterly line of that certain tract of land described as Second Parcel in a Warranty Deed to Tarrant County Water Control and Improvements District Number One (hereinafter referred to as Second Parcel), as recorded in Volume 4612, Page 23, D.R.T.C.T.;

**THENCE** North 48 degrees 13 minutes 38 seconds West with the common line between said Lot 5 and said Second Parcel, a distance of 725.98 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Southerly corner of that certain tract of land described as Lot 4R, Block 1, Brentwood Park, Section Two (hereinafter referred to as Lot 4R), an addition to the City of Mansfield, Tarrant County, Texas, according to the plat recorded in Instrument Number D220006572, O.P.R.T.C.T.;

**THENCE** North 41 degrees 46 minutes 22 seconds East, departing the Northeasterly line of said Second Parcel with the common line between said Lot 5 and said Lot 4R, a distance of 201.75 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northerly corner of Lot 5, same being the Easterly corner of said Lot 4R, same also being the existing Southwestly right-of-way line of U.S. Highway 287 (variable width right-of-way), as recorded in Volume 4994, Page 359, D.R.T.C.T.;

**THENCE** South 45 degrees 46 minutes 24 seconds East with the common line between said Lot 5 and the existing Southwestly right-of-way line of said U.S. Highway 287, a distance of 393.12 feet to a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found for corner;

**THENCE** South 48 degrees 10 minutes 24 seconds East, continue with the common line between said Lot 5 and the existing Southwestly right-of-way line of said U.S. Highway 287, a distance of 351.56 feet to a one-half inch iron rod with plastic cap stamped "BRITTIAN & CRAWFORD" found for the Easterly corner of said Lot 5, same being the Northerly corner of the aforesaid Tract 2;

**THENCE** South 47 degrees 26 minutes 40 seconds West, departing the existing Southwestly right-of-way line of said U.S. Highway 287 with the common line between said Lot 5 and said Tract 2, a distance of 185.50 feet to the **PLACE OF BEGINNING** and containing 3.195 acres (139,192 square feet) of land.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, Jim Tally, being the sole owner of the above described parcel, does hereby adopt the herein above described property as **Lot 5R, Lot 6 and Lot 7, Block 1, Brentwood Park, Section Two**, an addition to the City of Mansfield, Tarrant County, Texas and does dedicate to the public use the streets and easements as shown thereon.

By: \_\_\_\_\_  
Jim Tally

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared Jim Tally, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said Partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Notary Public, The State of Texas

**PURPOSE NOTE:**

To create 3 buildable lots (Lot 5R, Lot 6 & Lot 7) for future development.

REPLAT  
Lot 5R, Lot 6 and Lot 7, Block 1  
**Brentwood Park, Section Two**  
Being a revision of Lot 5, Block 1, Brentwood Park, Section Two, according to the plat filed in Instrument Number D220006572, P.R.T.C.T.  
City of Mansfield, Tarrant County, Texas  
3 Lots  
3.195 acres  
Date Prepared: August 2020  
Revision Date: September 2, 2020  
Sheet 1 of 1 SD#20-043

ENGINEER / SURVEYOR:  
BANNISTER ENGINEERING, LLC  
240 NORTH MITCHELL ROAD  
MANSFIELD, TEXAS 76063  
CONTACT: MICHAEL DAVIS, RPLS  
PHONE: 817-842-2094  
Mike@bannistereng.com

OWNER / DEVELOPER:  
JIM TALLY  
2101 BAY COVE COURT  
ARLINGTON, TEXAS 76013  
PHONE: 817-654-1301  
E-MAIL: newportbuild@aol.com

This plat filed in Instrument No. \_\_\_\_\_, Date: \_\_\_\_\_



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3763

Agenda Date: 9/21/2020

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Title

ZC#20-009: Public hearing continuation on a change of zoning from C-2 Community Business District to PD Planned Development District for single-family residential attached townhome uses on approximately 12.638 acres out of the M. Rockerfellow Survey, Abstract No. 1267, Tarrant County, TX, located at 1675 N. Main St.; Brian Cotter of Cotter Associates, LLC on behalf of Adlai Pennington of MKP Associates, Inc. (developer) and Randy Hague of Valdar Properties #4, LLC (owner)

*(Tabled from the September 7, 2020, Planning and Zoning Commission meeting)*

### Requested Action - Continuation to September 21, 2020

The Planning & Zoning Commission held a public hearing on September 8, 2020 and voted 5-1 (Vice-Chairman Axen voting no) to table consideration until September 21, 2020 to allow the applicant time to address the outstanding staff comments and to revise the plans to provide for some alley-loaded garages. The applicant is actively working with staff on making changes to the plans and requests additional time to do so. The applicant requests to table consideration until October 5, 2020, which staff fully supports.

### Description/History

*Existing Use:* Vacant land

*Existing Zoning:* C-2, Community Business District

### *Surrounding Land Use & Zoning:*

North - Single-family residential, SF-6/12

South - Manufactured housing (MH)

East - N. Main St.; vacant land (C-2) and manufactured housing (MH) across the street

West - Single-family residential, PD

### *Thoroughfare Plan Specification:*

N. Main St. - major arterial (four-lane divided)

### Comments and Considerations

The subject property consists of 12.638 acres of vacant land. The applicant is requesting to rezone the property from C-2 Community Business District to PD Planned Development District for single-family residential attached townhome uses.

### Development Plan and Regulations

The applicant plans to develop a residential neighborhood called The Charleston,

containing 76 townhomes. Each residence will be on a separate lot and the units will be spread amongst 22 buildings, including a mix of 2, 3, and 4-unit buildings. A gas pipeline runs diagonally through the southern portion of the development and will require a curved street crossing to access 19 of the homes located south of the easement. The development will have a gross density of 6.01 dwelling units per acre and will have the following minimum standards:

Minimum Lot Area: 2,660 sq. ft.

Minimum Lot Width: 28'

Minimum Lot Depth: 95'

Minimum Front Yard: 10'; Front Porch Setback: 8' minimum

Minimum Rear Yard: 20'

Minimum Side Yard Abutting Street: 10'; Hidden Creek Drive Setback: 20'

Minimum Landscape Buffers: 20'; Minimum Setback to L.S. Buffers: 5'

Minimum Floor Area: 1,400 sq. ft. residence plus 2-car garage

While not specified in the minimum development standards, there will be a minimum of 15' in between buildings, with 5' on one lot and 10' on the other lot.

#### Access and Circulation

The development will be primarily served by a single access point on N. Main St. (Business U.S. 287). An additional access point from the west will allow for connection to the Cardinal Oaks Addition via an extension of Hidden Creek Drive. All of the homes will front on Charleston Circle, an interior street in a north-south configuration with cul-de-sacs on either-end; this street name will need to be changed since "Charleston" is already in use as a street name in the City. The development will not include sidewalks; staff recommends that sidewalks be provided to allow for pedestrian circulation and access to the amenities. In addition, in the current configuration, some additional off-street parking spaces will be required to accommodate guest parking and users of the amenities.

#### Enhanced Entryway Plan

Homeplace Drive will serve as the development's primary entrance and will include the enhanced entryway features. As indicated in the Enhanced Entryway Plan, the developer will be providing five enhanced entry features as required by the Zoning Ordinance. The five proposed elements are a boulevard section with median, enhanced pavers or stained concrete (stamped patterned colored concrete), decorative street lighting, enhanced architectural features (enhanced screening wall with signage and 8' architectural columns), and enhanced landscaping features (shrubs, ground cover, and ornamental trees).

#### Landscaping, Screening, and Amenities

The development will provide 20' landscape buffers on all sides of the property as well as a 20' landscape buffer along N. Main St. The buffers and landscape setback will allow for landscaping to enhance the property's frontage along N. Main St., as well as the preservation of trees along the west property line. While a 50' landscape buffer would typically be required between single-family homes and townhomes, staff feels the 20' buffer is adequate, particularly in combination with the proposed fencing, tree

preservation, and additional rear yard setback for each unit, which will create a buffer area closer to 35-40' when you include the rear yards. 51 oak trees in the west landscape buffer will be preserved. Three oak trees will need to be removed due to a location too close to the building pad or located in the right-of-way for the street connection. A mix of oak, elm, and evergreen trees will be planted in the landscape setback along N. Main St. and evergreen trees will be planted along and near the northern landscape buffer. The south buffer will also not include landscaping due to a proposed water main easement encompassing this area. Crepe myrtle and desert willow ornamental trees will be planted along the neighborhood streets in front of the units, with oak, elm, and evergreen trees interspersed in select spaces, such as in the open space areas and along the entrance drive. A 6' cedar fence with cap and galvanized post will be erected on the north, west, and south property lines adjacent to the single-family and manufactured home developments. In addition, a 6' masonry wall will be provided along N. Main St. Two retention ponds on the east side of the development will be enhanced with fountains. Additional neighborhood amenities include a gazebo with fireplace and grill, and a pickle ball court; the court will not include lighting in order to reduce impact to nearby properties.

#### Elevations and Floor Plans

The applicant has provided elevations and floor plans for the proposed units, which include predominantly brick and stone architecture, cementitious fiber board siding and shake as accent materials, a pitched roof design (predominantly 8:12), and front-loaded garages and front porches. The front elevations appear to be well articulated and the other elevations include numerous windows to break up the planes. Staff notes that the front porches appear to be designed too narrow to accommodate a sitting area without blocking the entrance; no rear covered porches are provided either. In addition, the masonry calculations are stated to be 100% and are not reflective of the cementitious fiber siding materials depicted.

#### **Recommendation**

The proposed development will provide for an infill development including attached single-family (townhome) uses. While the Land Use Plan recommends a density of 3 units or less, it also encourages cluster development that protects open space and preserves trees, which this development achieves. In addition, the City's housing stock currently includes very few townhomes and this development will provide for this type of housing. Furthermore, the density is fairly compatible with and serves as a good transitional buffer between the SF-6/12 densities to the north and west and the manufactured home uses to the south and east. The landscaping, ponds, neighborhood amenities, and entryway features will add value and interest to the development, while the preservation of trees, buffering, and screening help to reduce any impacts to surrounding properties. In addition, the street connection to the neighborhood to the west helps to promote neighborhood connectivity and provides for improved circulation and access.

However, staff does not support the front-loaded garages and the lack of front porches of adequate configuration, nor the lack of sidewalks. Staff would have preferred a previously-submitted product configuration that included rear-loaded garages with alleys with more space to accommodate front porches and opportunities for a more

pedestrian-friendly design. Staff does not support the plan in its current form. In addition to revising the plan to provide for a rear-loaded product, staff recommends that any action be conditioned on the following comments being addressed:

1. Sidewalks are provided throughout the development.
2. Off-street parking areas are provided for guests and amenities.
3. Charleston Circle is changed to a name not already in use in the City.
4. The lots are re-numbered to eliminate any instances of residential lots and open space "X" lots having the same number in the same block.
5. The minimum side setback between buildings is indicated in the minimum development standards: 5' on one side, 10' on the other side, for a total of 15'.
6. Detail renderings are provided for the masonry wall and cedar fence.
7. Larger front porches are provided to accommodate adequate sitting areas.
8. The masonry percentages are recalculated to include the cementitious fiber siding.
9. The architecture is indicated to comply with Section 4600 of the Zoning Ordinance.
10. Documentation is provided from the gas pipeline operator consenting to the street crossing as shown.
11. The preliminary drainage plan demonstrates that there is enough capacity to accommodate flow rates between the proposed berm and N. Main St.
12. A flood study is provided to confirm the capacity along N. Main St. and that there will be no rise or impacts outside of the development.

**Attachments:**

Maps and Supporting Information

Exhibit A - Metes & Bounds Legal Description

Exhibit B - Development Plan

Exhibit C - Enhanced Entryway Plan

Exhibit D - Landscape Plan

Exhibit E - Elevations



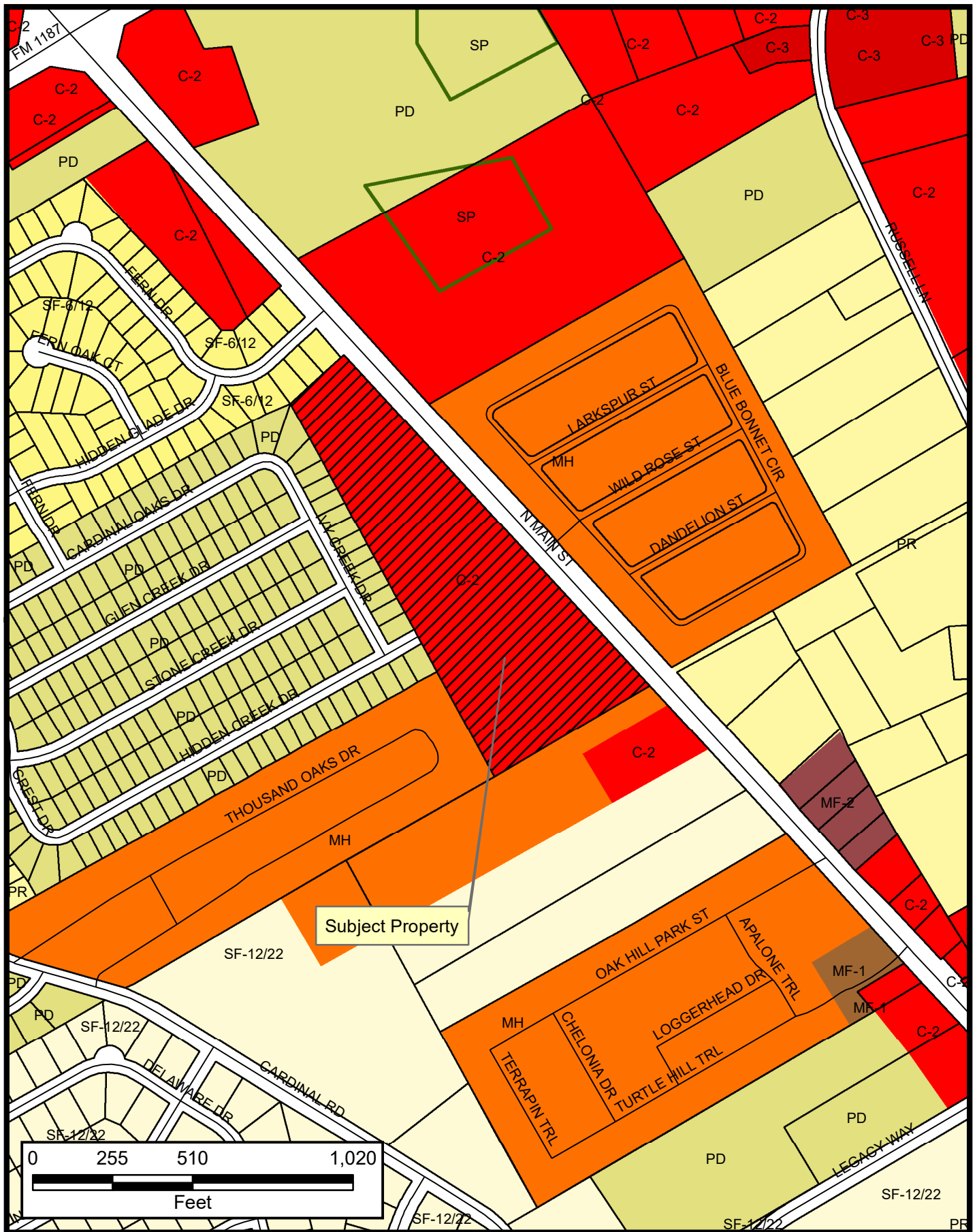


This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

**ZC#20-009**

8/27/2020





This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

**ZC#20-009**

8/27/2020

## Property Owner Notification for ZC#20-009

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
BEST MAID ADDITION	BLK 1	DALTON'S BEST MAID PRODUCTS INC	PO BOX 1809	FORT WORTH, TX	76101-1809
CARDINAL OAKS	BLK 3	TAH 2017-1 BORROWER LLC	PO BOX 15087	SANTA ANA, CA	92735-0087
CARDINAL OAKS	BLK 3	METROPLEX RENTALS-II LLC	121 N CREEKWOOD DR	MANSFIELD, TX	76063-5425
CARDINAL OAKS	BLK 3	EVANS, ROBERT & VIRGINIA	1101 HIDDEN CREEK DR	MANSFIELD, TX	76063-6212
CARDINAL OAKS	BLK 3	STEELE, JOSH & BRENDA	1103 HIDDEN CREEK DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 4	ONEAL, KEITH	1101 CARDINAL OAKS DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 4	BRANSON, DARRELL JR & BEVER	1100 GLEN CREEK DR	MANSFIELD, TX	76063-6204
CARDINAL OAKS	BLK 5	WITTE, JUSTIN & MICHELLE	1101 GLEN CREEK DR	MANSFIELD, TX	76063-6207
CARDINAL OAKS	BLK 5	SAFARI ONE ASSET COMPANY	5001 PLAZA ON THE LAKE SUITE 2	AUSTIN, TX	78746
CARDINAL OAKS	BLK 6	DE LA CRUZ, CARLOS VEGA, SOCORRO M	1100 CARDINAL OAKS DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	BURK, BRIAN K	1408 IVY CREEK DR	MANSFIELD, TX	76063-6225
CARDINAL OAKS	BLK 6	FLORES BONILLA, JUAN M	1102 CARDINAL OAKS DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	CERBERUS SFR HOLDINGS LP	1850 PARKWAY PL SUITE 900	MARIETTA, GA	30067
CARDINAL OAKS	BLK 6	NORTON, CHARLES	1404 IVY CREEK DR	MANSFIELD, TX	76063-6225
CARDINAL OAKS	BLK 6	MAN #1 LLC SERIES A	PO BOX 2016	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	SMTIH, CHRISTIAN	1400 IVY CREEK DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	PROGRESS RESIDENTIAL BORROWER I LLC	PO BOX 4090	SCOTTSDALE, AZ	85261
CARDINAL OAKS	BLK 6	TIMMONS, DONNA J	1314 IVY CREEK DR	MANSFIELD, TX	76063-6224
CARDINAL OAKS	BLK 6	HORTON, JAMES E	1312 IVY CREEK DR	MANSFIELD, TX	76063-6224

Thursday, August 27, 2020

Page 1 of 3



## Property Owner Notification for ZC#20-009

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
CARDINAL OAKS	BLK 6	NEWMAN, EUGENE R & KAREN S	1310 IVY CREEK DR	MANSFIELD, TX	76063-6224
CARDINAL OAKS	BLK 6	GUERRA, AMADOR MARTINEZ	1308 IVY CREEK DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	JONES, BOBBY DON	1306 IVY CREEK DR	MANSFIELD, TX	76063-6224
CARDINAL OAKS	BLK 6	KHAN, GHYAS UDDIN	1304 IVY CREEK DR	MANSFIELD, TX	76063-6224
CARDINAL OAKS	BLK 6	PIXLER, MARCUS ESPINOZA, GABRIELLA	1302 IVY CREEK DR	MANSFIELD, TX	76063
CARDINAL OAKS	BLK 6	MEEK, WILLIAM M	1300 IVY CREEK DR	MANSFIELD, TX	76063-6224
CARDINAL OAKS	BLK 7	BOFFARDI, LOUIS J III	1101 STONE CREEK DR	MANSFIELD, TX	76063-6240
CARDINAL OAKS	BLK 7	WINSTON, RICHARD E & CHRIS	1100 HIDDEN CREEK DR	MANSFIELD, TX	76063-6209
FERN OAK ADDITION	BLK 1	JOVIC, MARINKO & RUZICA	1000 FERN DR	MANSFIELD, TX	76063-6268
FERN OAK ADDITION	BLK 1	VELAZQUEZ, MARLO	1002 FERN DR	MANSFIELD, TX	76063
FERN OAK ADDITION	BLK 1	KAIR, MICHAEL	1004 FERN DR	MANSFIELD, TX	76063
FERN OAK ADDITION	BLK 1	BEAUFORD, DANIEL & NATALIE	1006 FERN DR	MANSFIELD, TX	76063-6268
FERN OAK ADDITION	BLK 3	MONIZ, JOSEPH	PO BOX 421	KENNEDALE, TX	76060
FERN OAK ADDITION	BLK 3	GUTIERREZ, DANIEL & MARIA C	1003 FERN DR	MANSFIELD, TX	76063-6269
FERN OAK ADDITION	BLK 3	SHAIKH, SAMIR & RAFIA	2502 MIDDLEFIELD RD	PALO ALTO, CA	94301
FERN OAK ADDITION	BLK 3	BAUSLEY, TRENT A	1007 FERN DR	MANSFIELD, TX	76063
FERN OAK ADDITION	BLK 3	CROMMEDY, BENJAMIN	1009 FERN DR	MANSFIELD, TX	76063-6269
FERN OAK ADDITION	BLK 3	CHOWDHURY, FARHAN S	1101 HIDDEN GLADE DR	MANSFIELD, TX	76063
FERN OAK ADDITION	BLK 3	YOUNG, JAMAAL & JENNIE	1103 HIDDEN GLADE DR	MANSFIELD, TX	76063

Thursday, August 27, 2020

Page 2 of 3

## Property Owner Notification for ZC#20-009

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ROCKERFELLOW ADDITION	BLK 1	SCHROEDEL, JOHN P	1504 N MAIN ST	MANSFIELD, TX	76063-3932
ROCKERFELLOW, MARGARET SURVEY	A 1267	VALDAR PROPERTIES #4 LLC	900 N WALNUT CREEK STE 100 PMB 243	MANSFIELD, TX	76063
ROCKERFELLOW, MARGARET SURVEY	A 1267	THOUSAND OAKS LLC	51 W CENTER ST STE 600	OREM, UT	84057
ROCKERFELLOW, MARGARET SURVEY	A 1267	MASSINGILL, GLADYS	1503 N MAIN ST	MANSFIELD, TX	76063-3963
SILVERLEAF MOBILE HOME PK SUB NO LEGAL LTR 8-06 WRG GRTR		YES COMPANIES #852	5050 S SYRACUSE ST STE 1200	DENVER, CO	80237

**PROPERTY DESCRIPTION**

**BEING** a 12.638 acre tract of land in the M. Rockerfellow Survey Abstract #1267 in the City of Mansfield, Tarrant County, Texas, conveyed to Valdar Properties #4, LLC by the deed recorded in Instrument D209146625, O.P.R.T.C.T. and being more particularly described by metes and bounds as follows:

**BEGINNING** at a 1/2 inch iron rod found with a cap "Beasley RPLS 4050 at the northeast corner of Lot 15, Block 6 Cardinal Oaks Addition as shown on the plat recorded in Instrument # D189078565, O.P.R.T.C.T., said iron rod also being an angle point in the south line of Lot 4, Block 3 Fern Oaks Addition as shown on the plat recorded in Instrument # D200176663, O.P.R.T.C.T.;

**THENCE** North 47 deg. 21 min. 15 sec. East with the common line between the south line of said block 3 Fern Oaks Addition and the north line of the subject tract a distance of 227.65 feet to a 1/2 inch iron rod found with a cap "Beasley RPLS 4050 in the West ROW of N. Main Street (BUS287) with an existing ROW width of 100 feet;

**THENCE** South 42 deg. 35 min. 48 sec. East with the west ROW line of N. Main (BUS287) a distance of 1,442.78 feet to a 1/2" iron rod set with a cap "RPLS 5544" in the north line of a tract conveyed to Gladys Massingill by the deed recorded in Volume 12735, Page 93, D.R.T.C.T.;

**THENCE** South 59 deg. 53 min. 10 sec. West with the common line between said Gladys Massingill tract and the south line of the subject tract, a distance of 568.35 feet to a 1/2 inch iron rod found with a cap "Beasley RPLS 4050, said iron rod also being at the southeast corner of a tract of land known as Thousand Oaks Mobil Home Park conveyed to Laura Zamora by the deed recorded in Instrument # MH00795755, O.P.R.T.C.T.;

**THENCE** North 28 deg. 40 min. 10 sec. West with the common line between the west line of the subject tract and said Thousand Oaks Mobil Home Park and Block 3 and Block 6 of Cardinal Oaks Addition as shown on the plat recorded in Instrument # D189078565, O.P.R.T.C.T., a distance of 1,359.71 feet to 1/2 inch iron rod found with a cap "Beasley RPLS 4050 at the POINT OF BEGINNING and containing 550,493 square feet or 12.638 acres of land more or less.



Matt Powell, RPLS  
Registered Professional Land Surveyor  
Texas Registration No. 5544

Dated: April 28, 2020

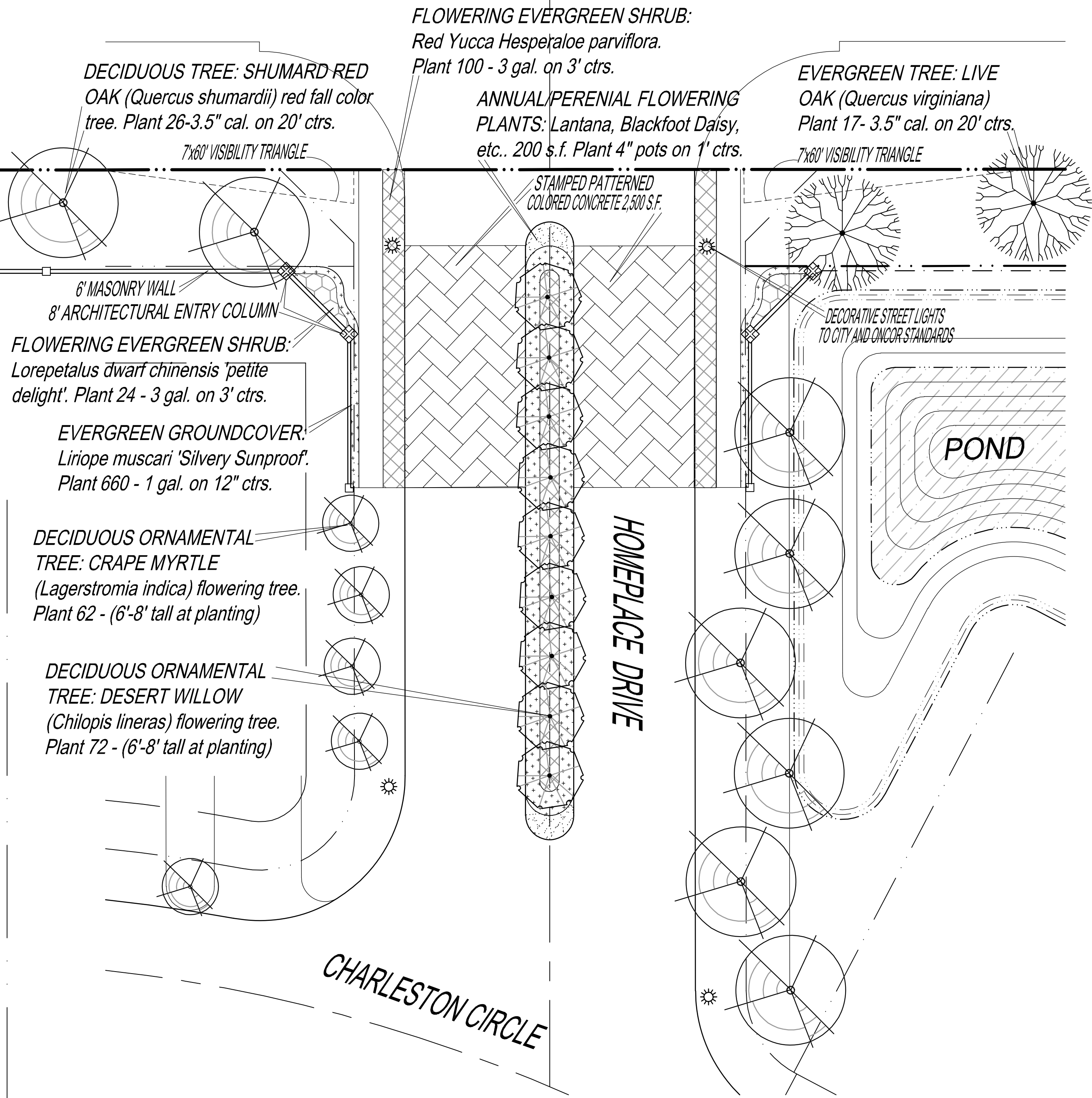




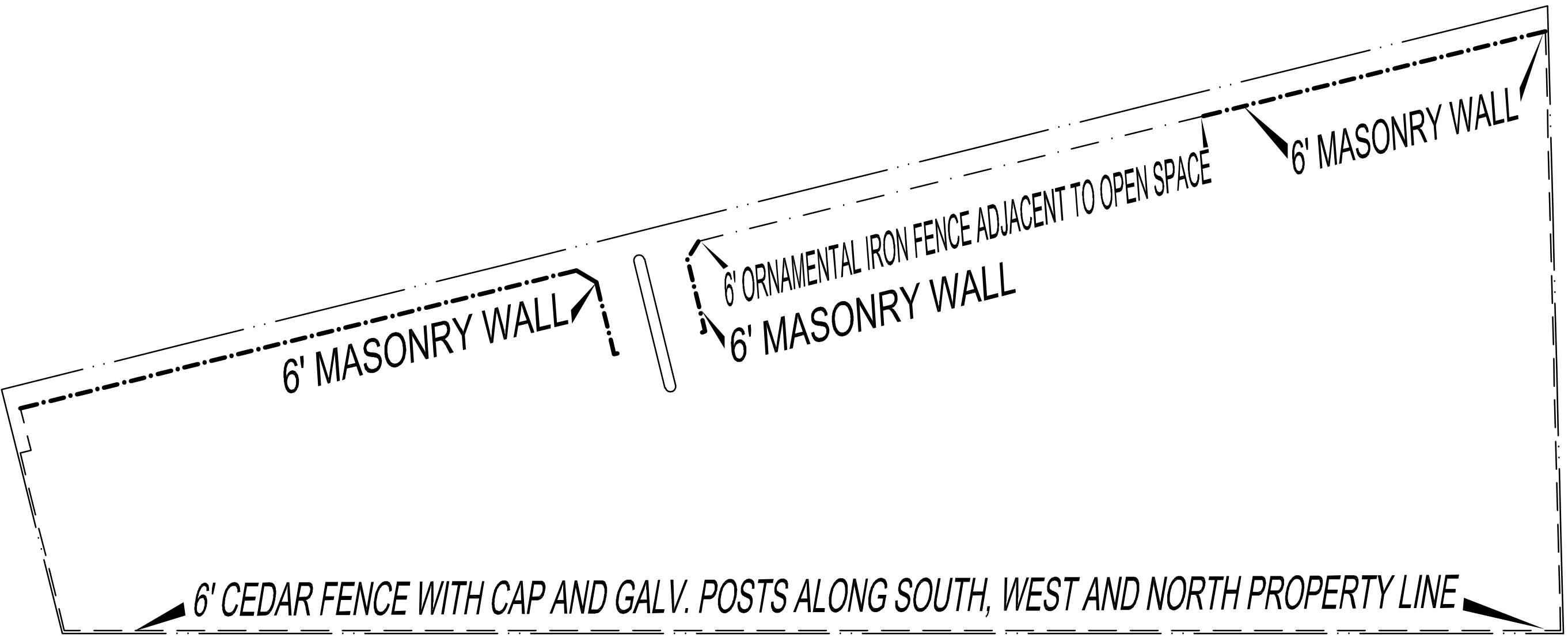




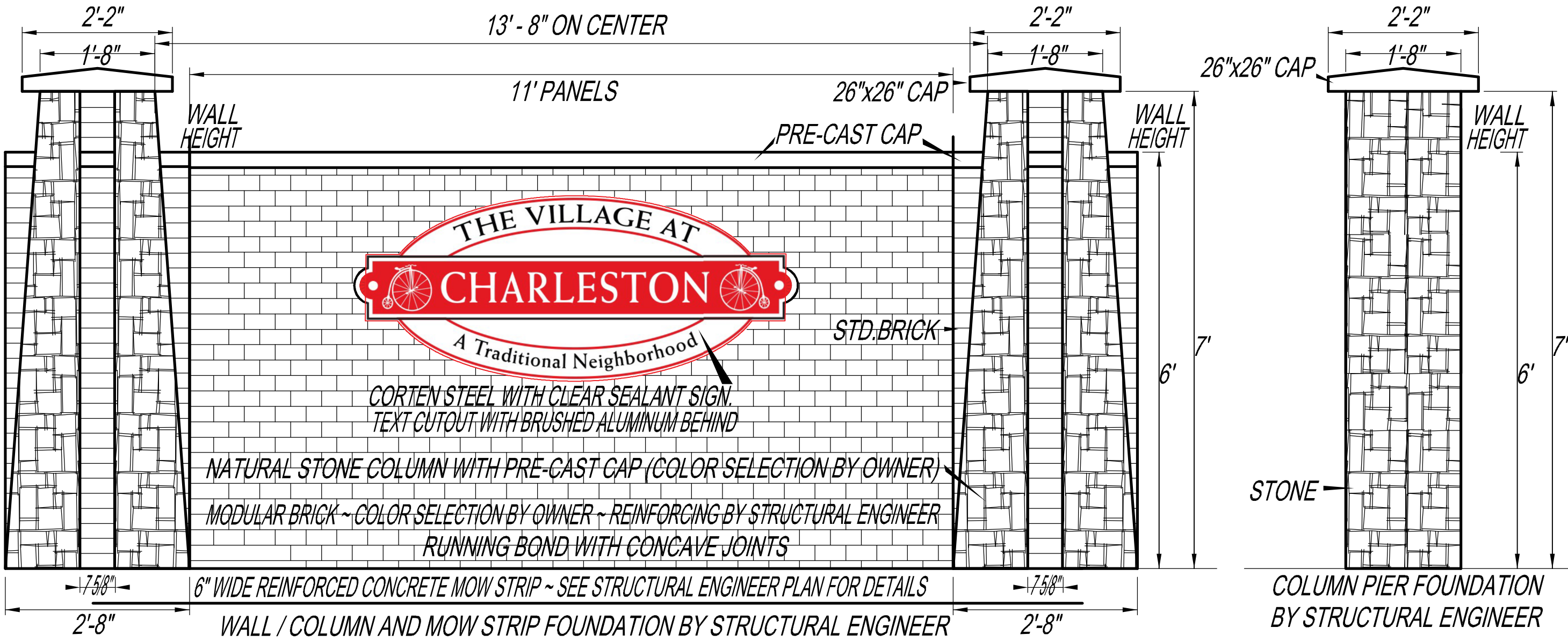
N. MAIN STREET ~ US BUS 287



ENHANCED ENTRYWAY PLAN



BRICK WALL, ORNAMENTAL IRON AND CEDAR FENCE PLAN



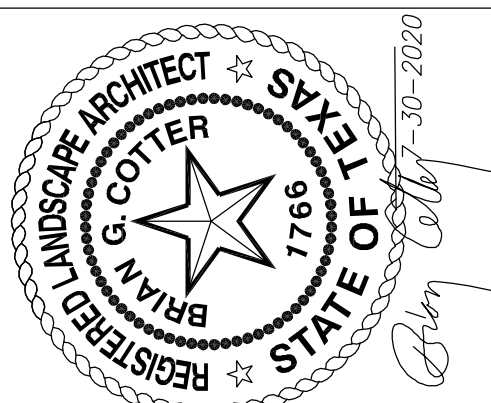
ARCHITECTURAL ENTRY COLUMNS AND SIGN ELEVATION

COLUMN FOR WALLS ON +/- 50' CTRS.

**COTTER G.A. DIXON & ASSOCIATES, LLC**

LAND DEVELOPMENT DESIGN CONSULTANTS  
LAND PLANNING PROJECT MANAGEMENT LANDSCAPE ARCHITECTURE  
1703 North Peyco Drive, Suite Q, Arlington, Texas 76001  
Phone: (817) 919-4415 - Email: CALLCOTTER@SBCGLOBAL.NET  
Tx. Arch. Reg. Board FIRM REG. # BR-1373

**COTTER G.A. DIXON & ASSOCIATES**  
CIVIL ENGINEERING \* HYDROLOGY \* FLOOD STUDIES  
4305 Mossridge Court, Arlington, Texas 76016  
Phone: (862) 808-3156 - Email: EGAD1258@gmail.com  
TEXAS ENGINEERING FIRM REGISTRATION #: 15836



DESIGN: BGC	DRAWN: DJC
DATE: 5-26-2020	REV.: 7-30-2020
PROJECT: 932 PD.dwg	

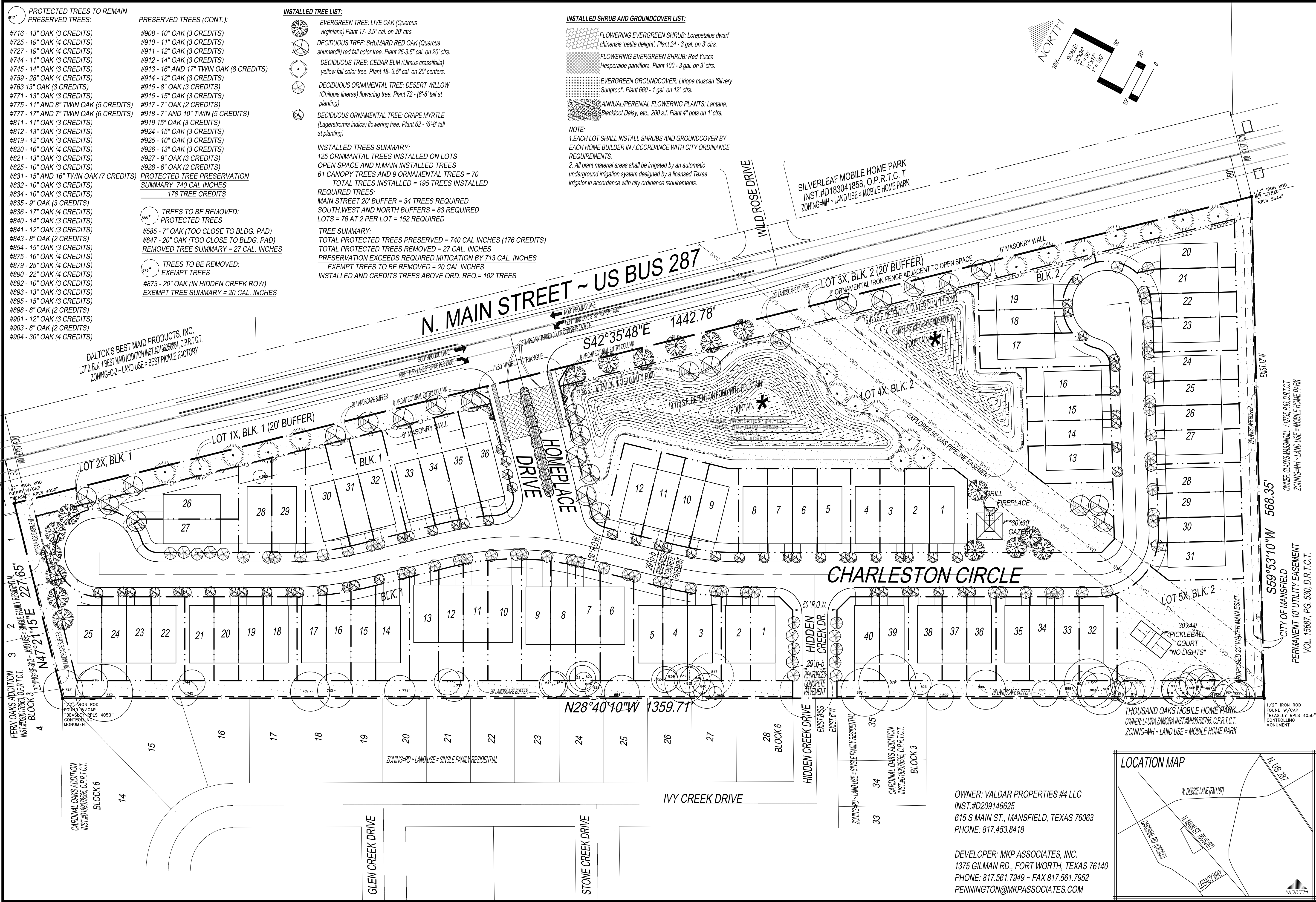
**CHARLESTON**

PD DEVELOPMENT PLAN ~ ENHANCED ENTRYWAY PLAN

12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267

1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS





COTTER G.A. DIXON & ASSOCIATES, LLC

CIVIL ENGINEERING • HYDROLOGY • FLOOD STUDIES

4305 Mossridge Court, Arlington, Texas 76016

Phone: (817) 919-4475 • Email: CALLCOTTER@SBCGLOBAL.NET

TEXAS ENGINEERING FIRM REGISTRATION #: 15836

COTTER ASSOCIATES, LLC

LAND DEVELOPMENT DESIGN CONSULTANTS

LAND PLANNING PROJECT MANAGEMENT LANDSCAPE ARCHITECTURE

1703 North Peyco Drive, Arlington, Texas 76001

Phone: (817) 919-4475 • Email: CALLCOTTER@SBCGLOBAL.NET

Tx. Arch. Reg. Board FIRM REG. # BR-1373

REGISTERED LANDSCAPE ARCHITECT

BRIAN G. COTTER

1766

STATE OF TEXAS

DESIGN: BGC

DRAWN: DJC

DATE: 5-26-2020

REV: 7-28-2020

PROJECT: 932 PD LA.dwg

CHARLESTON

77 LOT SINGLE-FAMILY ATTACHED PD LANDSCAPE PLAN

12.638 ACRES IN THE M. ROCKERFELLOW SURVEY ABSTRACT 1267

1675 N. MAIN ST., CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

4

OF

5

ZC#20-009 EXHIBIT "D"

34





SINGLE-FAMILY ATTACHED ELEVATION "A"



SINGLE-FAMILY ATTACHED ELEVATION "B"

**COTTER G.A. DIXON & ASSOCIATES, LLC**  
 LAND DEVELOPMENT DESIGN CONSULTANTS  
 LAND PLANNING PROJECT MANAGEMENT LANDSCAPE ARCHITECTURE  
 1870 North Park Drive, Suite C-1, Arlington, Texas 76010  
 Phone: (817) 499-8888 Email: EGADT258@gmail.com  
 T.E. Arch. Reg. Board FIRM REG. # BR-1373 TEXAS ENGINEERING FIRM REGISTRATION # 15038

DESIGN: BGC  
 DRAWING: D/C  
 DATE: 8-4-2020  
 PROJECT: 502 PLO.DWG

**CHARLESTON**  
 TOWNHOUSE ELEVATION RENDERINGS  
 12.638 ACRES IN THE M. ROCKERFELLOW SURVEY/ABSTRACT 1267  
 1675 N. MAIN ST., CITY OF MANSHIELD, TARRANT COUNTY, TEXAS

1 OF 1

ZC#20-009

\*EAVES SHALL EXTEND AT LEAST 12" FROM WALL



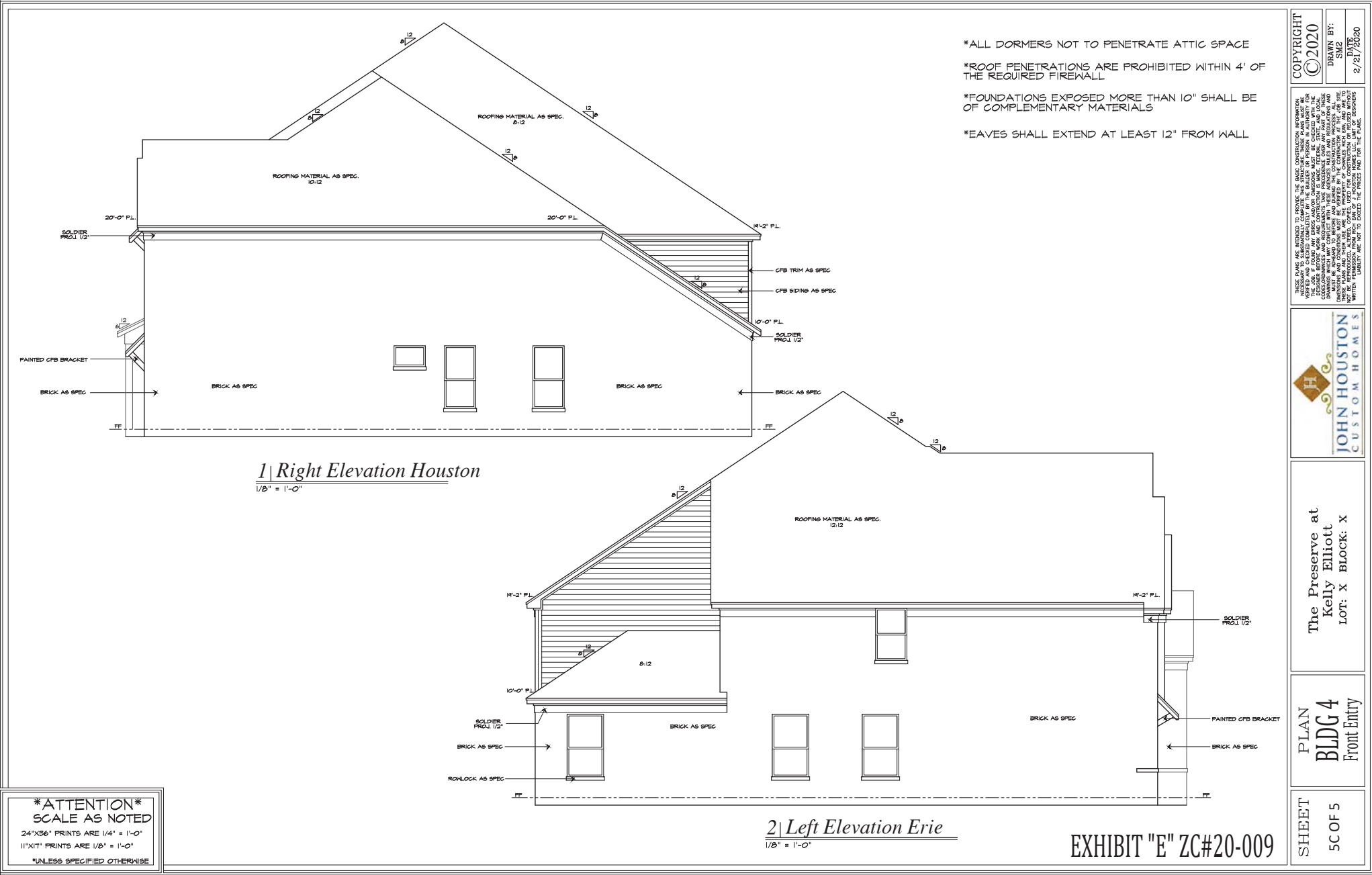


\*EAVES SHALL EXTEND AT LEAST 12" FROM WALL



EXHIBIT "E" ZC#20-009

SHEET  
5B OF 5



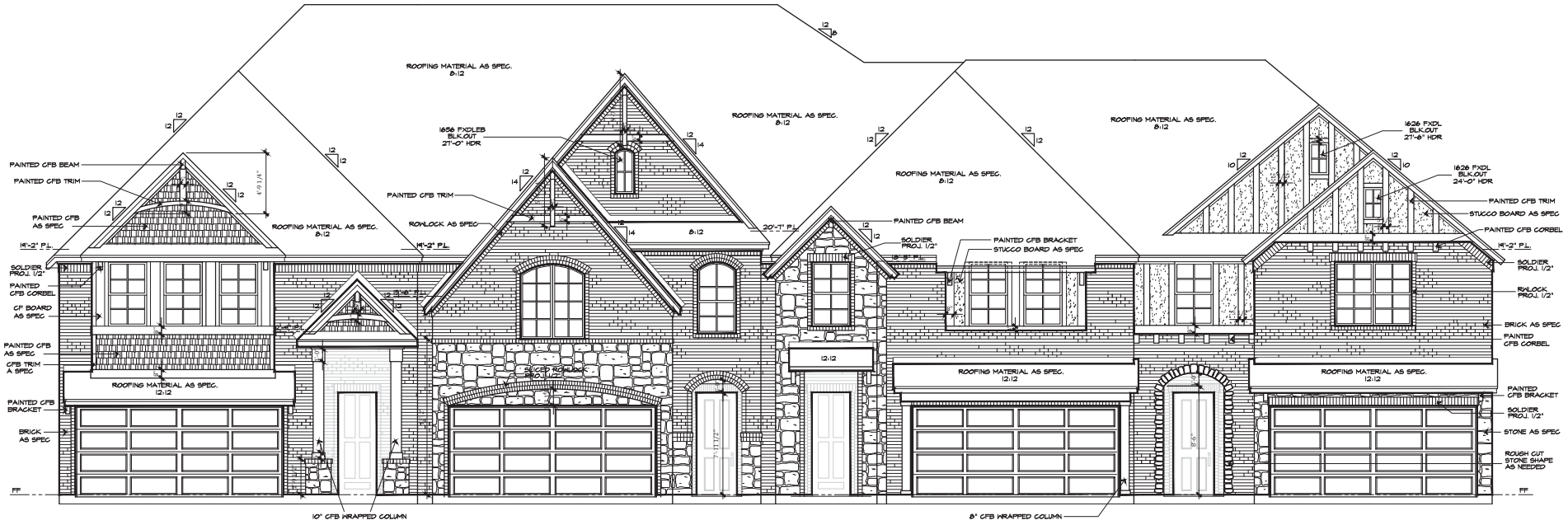
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<b>JOHN HOUSTON CUSTOM HOMES</b>		
The Preserve at Kelly Elliott Lot: x Block: x		
PLAN BLDG 4 Front Entry		
SHEET 5 OF 5		

\*ALL DORMERS NOT TO PENETRATE ATTIC SPACE

\*ROOF PENETRATIONS ARE PROHIBITED WITHIN 4' OF THE REQUIRED FIREWALL

\*FOUNDATIONS EXPOSED MORE THAN 10" SHALL BE OF COMPLEMENTARY MATERIALS

\*EAVES SHALL EXTEND AT LEAST 12" FROM WALL



MASONRY CALCS			
		SQUARE FTG.	PERCENTAGE
FRONT ELEV.	BRICK	1125 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
REAR ELEV.	BRICK	12090 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
RIGHT ELEV.	BRICK	950 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
LEFT ELEV.	BRICK	8245 SQ. FT.	100%
	SIDING	0 SQ. FT.	0 %
TOTAL EXT. WALL AREA:		4099 SQ. FT.	
TOTAL HOUSE BRICK PERCENTAGE:		100 %	

1 | Front Elevation

1/8" = 1'-0"

**\*ATTENTION\***  
**SCALE AS NOTED**  
24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"  
\*UNLESS SPECIFIED OTHERWISE

Brick over wood conditions are omitted

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JOHN HOUSTON CUSTOM HOMES

The Preserve at Kelly Elliott

Lot: x Block: x

PLAN BLDG 3

Front Entry

SHEET 50 OF 5

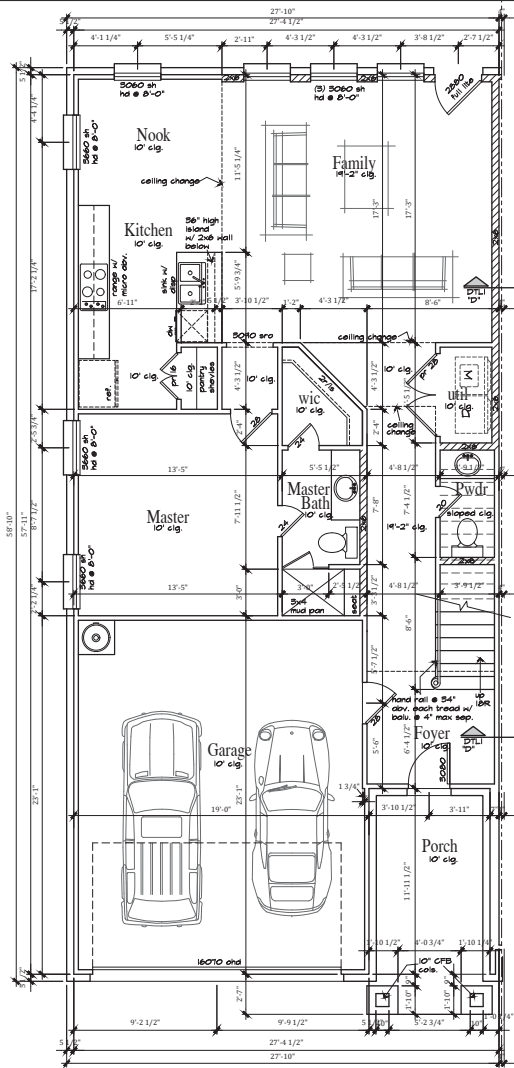
EXHIBIT "E" ZC#20-009

\*EAVES SHALL EXTEND AT LEAST 12" FROM WALL





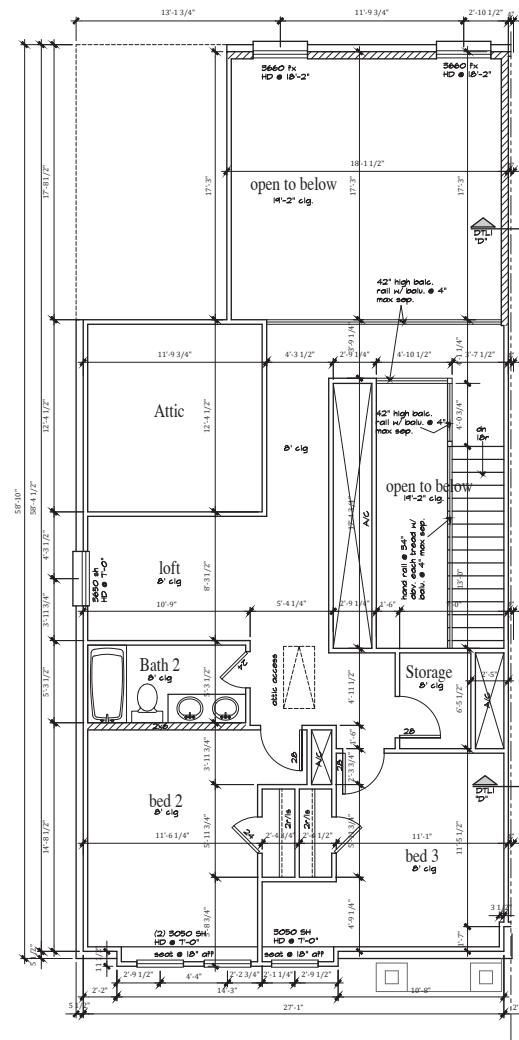




**Arlington**  
unit "A"

**1 | Unit A 1st Floor**  
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1097 S.F.
SECOND FLOOR	808 S.F.
TOTAL AREA	1905 S.F.
GARAGE AND/OR STORAGE	453 S.F.
COVERED PATIO AND/OR PORCH	114 S.F.
TOTAL UNDER ROOF	2472 S.F.
SLAB AREA	1664 S.F.



**Arlington**  
unit "A"

**2 | Unit A 2nd Floor**  
1/8" = 1'-0"

**\*ATTENTION\***  
SCALE AS NOTED  
24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"

\*UNLESS SPECIFIED OTHERWISE

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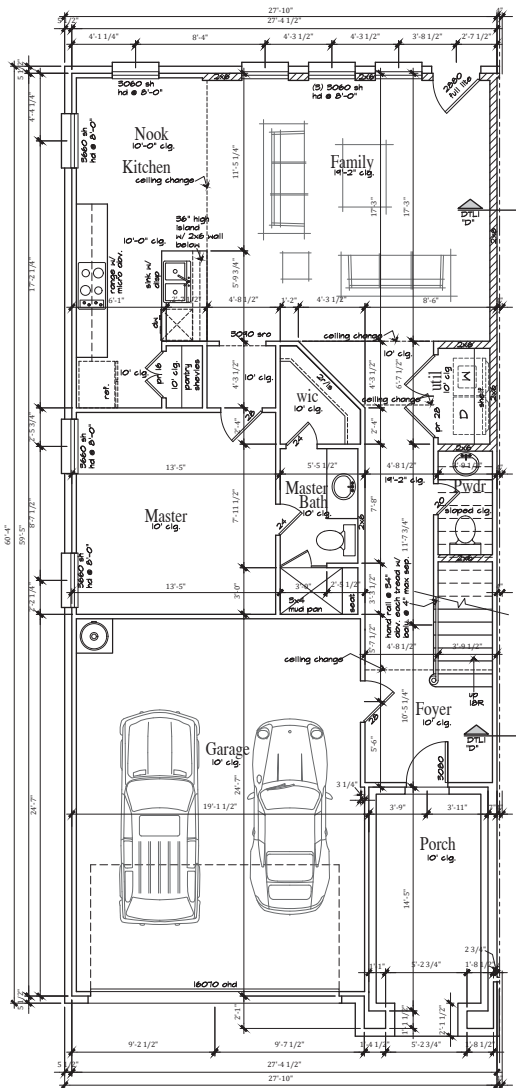


**The Preserve at**  
**Kelly Elliott**  
**Lot: x Block: x**

**PLAN**  
**BLDG 3**  
**Front Entry**

**SHEET**  
**5G OF 5**

**EXHIBIT "E" ZC#20-009**



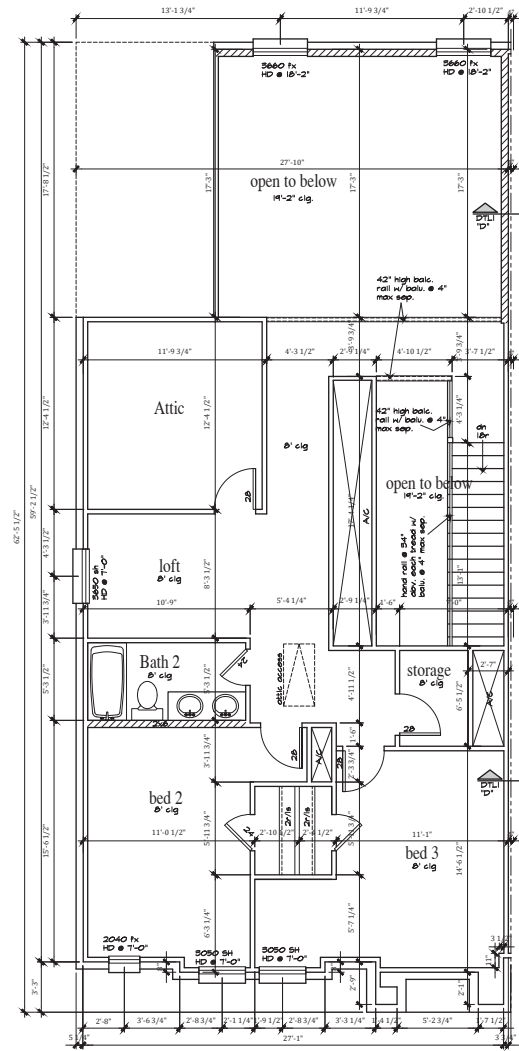
**Erie**  
unit "E"

**1 | Unit E 1st Floor**

1/8" = 1'-0"

**SQUARE FOOTAGES**

FIRST FLOOR	1097 S.F.
SECOND FLOOR	846 S.F.
TOTAL AREA	1943 S.F.
GARAGE AND/OR STORAGE	483 S.F.
COVERED PATIO AND/OR PORCH	128 S.F.
TOTAL UNDER ROOF	2554 S.F.
SLAB AREA	1708 S.F.



**Erie**  
unit "E"

**2 | Unit E 2nd Floor**

1/8" = 1'-0"

**\*ATTENTION\***  
**SCALE AS NOTED**

24"x36" PRINTS ARE 1/4" = 1'-0"

11"x17" PRINTS ARE 1/8" = 1'-0"

\*UNLESS SPECIFIED OTHERWISE

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**The Preserve at**  
**Kelly Elliott**  
**LOT: x BLOCK: x**

**PLAN**  
**BLDG 4**  
**Front Entry**

**SHEET**  
**5H OF 5**

**EXHIBIT "E" ZC#20-009**

**Brownwood**  
unit "B"

1 | Unit B 1st Floor

$$\frac{1}{8}'' = 1'-0''$$

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
SECOND FLOOR	1178 S.F.
TOTAL AREA	2264 S.F.
GARAGE AND/OR STORAGE	494 S.F.
COVERED PATIO AND/OR PORCH	85 S.F.
TOTAL UNDER ROOF	2843 S.F.
SLAB AREA	1665 S.F.

**Brownwood**  
unit "B"

2| Unit B 2nd Floor

$$1/\delta'' = 1'-0''$$

\*ATTENTION\*  
SCALE AS NOTED

24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"

\*UNLESS SPECIFIED OTHERWISE

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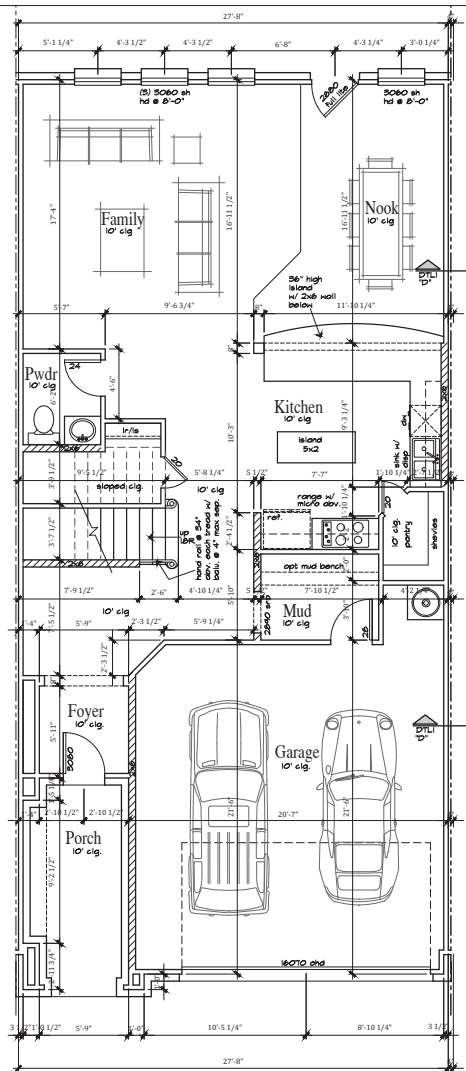
The Preserve at  
Kelly Elliott  
LOT: X BLOCK: X

PLAN  
BLDG 3  
Front Entry

SHEET

51 OF 5

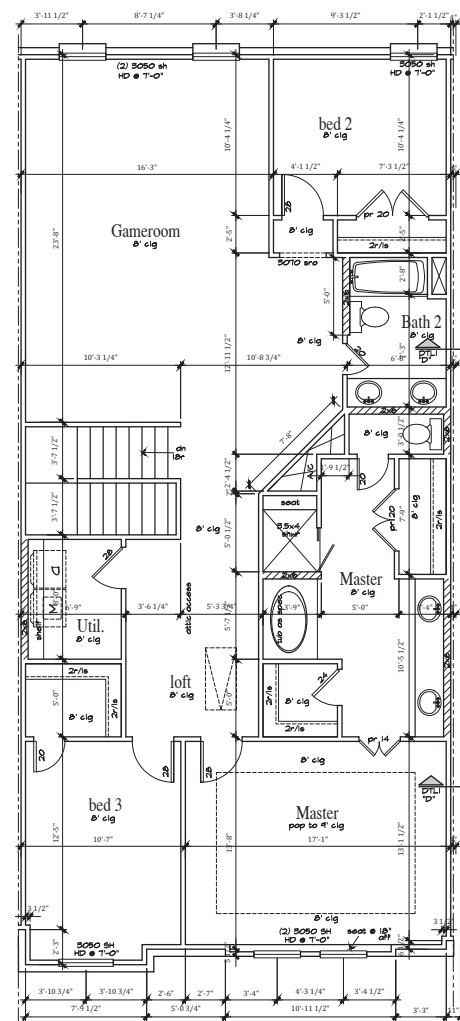
EXHIBIT "E" ZC#20-009



**Coleman**  
unit "C"

**1 | Unit C 1st Floor**  
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
SECOND FLOOR	1578 S.F.
TOTAL AREA	2664 S.F.
GARAGE AND/OR STORAGE	466 S.F.
COVERED PATIO AND/OR PORCH	94 S.F.
TOTAL UNDER ROOF	3224 S.F.
SLAB AREA	1646 S.F.



**Coleman**  
unit "C"

**2 | Unit C 2nd Floor**  
1/8" = 1'-0"

**\*ATTENTION\***  
**SCALE AS NOTED**  
24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"  
\*UNLESS SPECIFIED OTHERWISE

EXHIBIT "E" ZC#20-009

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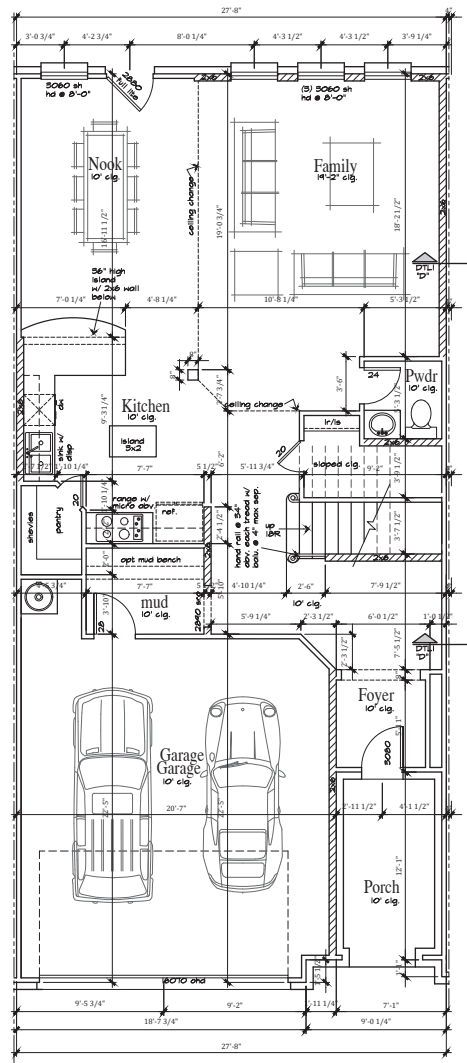
JOHN HOUSTON CUSTOM HOMES

The Preserve at Kelly Elliott  
Lot: x Block: x

PLAN BLDG 3  
Front Entry

SHEET 5 OF 5

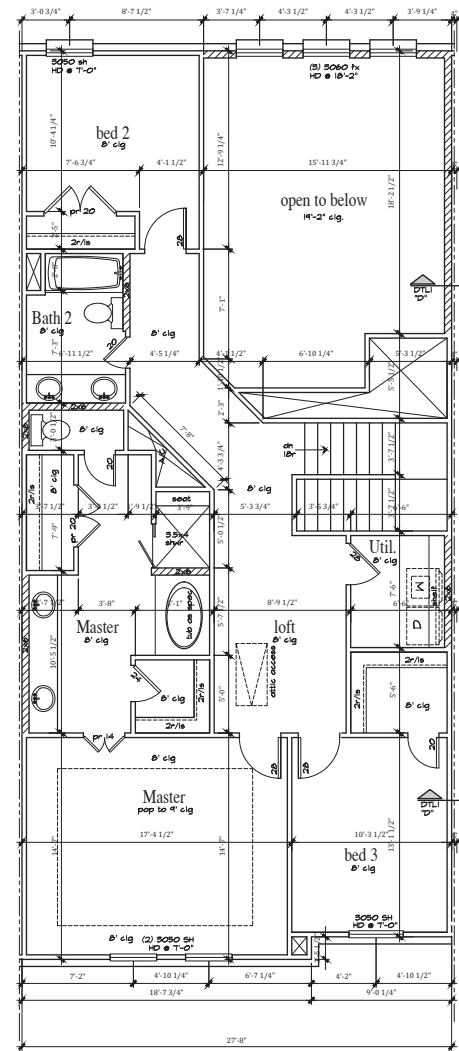




**Findley**  
unit "F"

**1 | Unit F 1st Floor**  
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
SECOND FLOOR	1198 S.F.
TOTAL AREA	2284 S.F.
GARAGE AND/OR STORAGE	483 S.F.
COVERED PATIO AND/OR PORCH	83 S.F.
TOTAL UNDER ROOF	2860 S.F.
SLAB AREA	1652 S.F.



**Findley**  
unit "F"

**2 | Unit F 2nd Floor**  
1/8" = 1'-0"

**\*ATTENTION\***  
**SCALE AS NOTED**

24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"

\*UNLESS SPECIFIED OTHERWISE

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**JOHN HOUSTON**  
CUSTOM HOMES

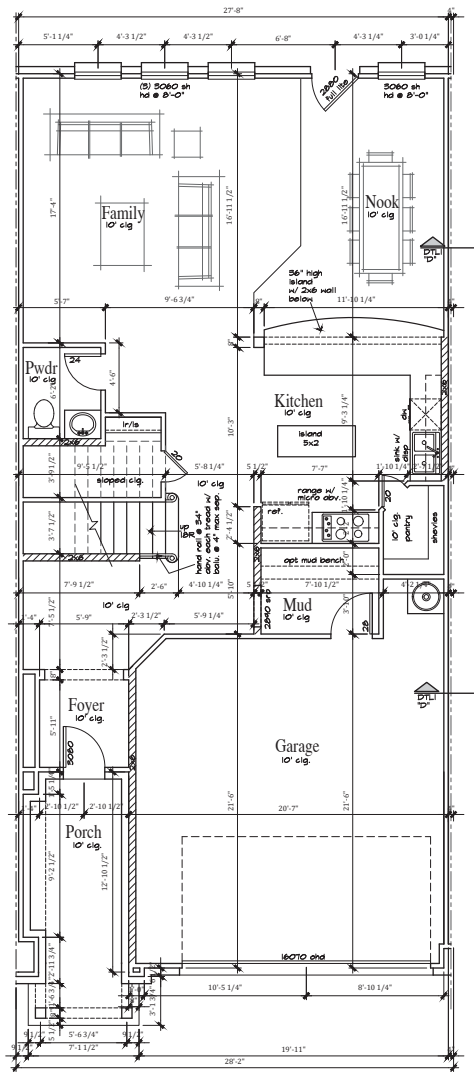
The Preserve at  
Kelly Elliott  
Lot: x Block: x

PLAN  
**BLDG 4**  
Front Entry

SHEET  
5L OF 5

EXHIBIT "E" ZC#20-009

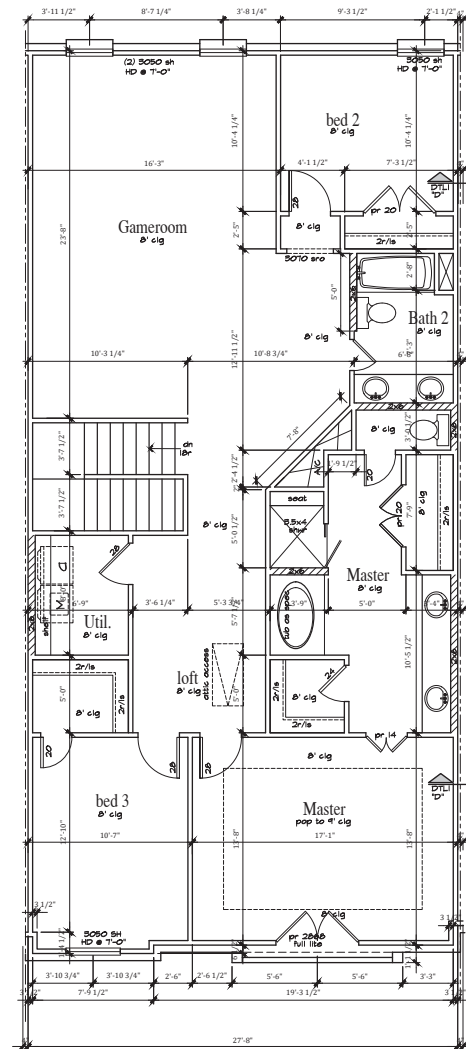




**Granbury**  
unit "G"

**1 | Unit G 1st Floor**  
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1086 S.F.
SECOND FLOOR	1574 S.F.
TOTAL AREA	2660 S.F.
GARAGE AND/OR STORAGE	466 S.F.
COVERED PATIO AND/OR PORCH	109 S.F.
TOTAL UNDER ROOF	3235 S.F.
SLAB AREA	1661 S.F.



**Granbury**  
unit "G"

**2 | Unit G 2nd Floor**  
1/8" = 1'-0"

**\*ATTENTION\***  
24"x36" PRINTS ARE 1/4" = 1'-0"  
11"x17" PRINTS ARE 1/8" = 1'-0"  
\*UNLESS SPECIFIED OTHERWISE

EXHIBIT "E" ZC#20-009

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JOHN HOUSTON  
CUSTOM HOMES

The Preserve at  
Kelly Elliott  
Lot: x Block: x

PLAN  
BLDG 4  
Front Entry

SHEET  
5M OF 5

Houston  
unit "H"

1 | Unit H 1st Floor  
1/8" = 1'-0"

SQUARE FOOTAGES	
FIRST FLOOR	1084 S.F.
<u>SECOND FLOOR</u>	<u>726 S.F.</u>
TOTAL AREA	1810 S.F.
GARAGE AND/OR STORAGE	428 S.F.
<u>COVERED PATIO AND/OR PORCH</u>	<u>135 S.F.</u>
TOTAL UNDER ROOF	2373 S.F.
SLAB AREA	1647 S.F.

This is a detailed architectural floor plan for the second floor of a building. The plan includes the following rooms and features:

- Attic:** A large open space at the rear of the floor, measuring 18'-6 3/4" by 19'-5 1/2".
- Loft:** A central open space measuring 11'-3 1/2" by 12'-7 3/4".
- Storage:** A room measuring 6'-9 3/4" by 11'-1 1/2".
- Bath 2:** A bathroom located on the left side, measuring 5'-0" by 7'-11".
- Bed 2:** A bedroom measuring 11'-8 1/2" by 10'-4". It includes a window seat and is labeled "BOSO SH HD @ T-O".
- Bed 3:** A bedroom measuring 10'-10 3/4" by 9'-1". It includes a window seat and is labeled "(2) BOSO SH HD @ T-O".
- Staircase:** A staircase is located on the left side, adjacent to Bath 2, with a width of 4'-3".
- Dimensions:** The overall dimensions of the floor are 27'-4 1/2" wide by 37'-9 1/2" deep.
- Structural Details:** The plan shows various structural elements including walls, doors, windows, and a sloped ceiling in the upper left area.

2 | Unit H 2nd Floor  
1/8" = 1'-0"

[illegible]

EXHIBIT "E" ZC#20-009



# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3764

Agenda Date: 9/21/2020

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Title

SUP#20-014: Public hearing for a request for a Specific Use Permit for a crematorium on approximately 1.478 acres known as Lot 4R1, Block C, Hillcrest Business Park, located at 1556 Heritage Pkwy.; Christie Moore of Mansfield Funeral Home & Cremations

### Description/History

*Existing Use:* Funeral Home

*Existing Zoning:* I-1 Light Industrial District

#### *Surrounding Land Use & Zoning:*

North - Heritage Pkwy.; office building (I-1) across the street

South - Vacant land, PD

East - Vacant land, I-1

West - Vacant land, I-1

#### *Thoroughfare Plan Specification:*

Heritage Pkwy - principal arterial (six-lane divided)

### Comments and Considerations

The subject property consists of 1.478 acres improved with a 4,469 sq. ft. funeral home building, 25-space parking lot, and outdoor covered walkway and meditation garden, located at 1556 Heritage Pkwy. The applicant is requesting a Specific Use Permit for a crematorium and plans to build a 1,500 sq. ft. building to accommodate the crematorium, as well as a 15-space expansion of the parking lot and a reconfiguration of the walkway and garden.

### Site Plan

The existing 4,469 sq. ft. single-story funeral home building will remain as-is. To the south of the funeral home building, a 1,500 sq. ft. single-story crematory building will be constructed. The crematorium will be supported by a 15-space expansion of the parking lot on the west side of the building. The parking lot will include a total of 40 spaces when expanded, which will exceed the requirements by 10 spaces. This parking lot expansion will include an extension of the fire lane and a turnaround, as well as a loading area adjacent to the crematorium. The existing access point on Heritage Parkway will remain as-is. In order to accommodate the expansion, the covered walkway and garden behind the funeral home will be reconfigured. The trash enclosure will remain at its current location on the east side of the funeral home. The applicant notes that all equipment will be screened in accordance with the Zoning Ordinance and that there will be no outside

storage of materials or vehicles on the property.

#### Elevations and Floor Plan

The new crematorium will include a design to match the existing funeral home building, with stucco across the top two-thirds of the building and a stone base along the bottom third. The new building will be 74% stucco and 26% stone/masonry. A chimney will be located on the southwest corner of the building and will be stucco to match the building. The roof of the crematorium will be a pitched design, with shingles to match the existing building. The crematorium will include the cremation room, garage, viewing area, lobby, and restroom. The garage and cremation room will be located on the west side of the building (facing the parking lot) and the viewing area and lobby will be located on the east side of the building (facing the garden and walkway area).

#### Landscape Plan

The tree survey and landscape plan show that the existing oak, elm, and cypress trees on the west landscape buffer, north landscape setback, and in the parking lot islands will be preserved. In addition, the foundation plantings around the funeral home building will remain. Along the west side of the parking lot expansion, four new oak trees will be planted, while four new elm trees will be planted in landscape islands. On the east side of the property, two new oak trees will be planted. The new crematorium will include foundation plantings on the north and east sides of the building. In addition, the shrubs and groundcover in the garden and walkway area will be reconfigured.

#### Signage

A monument sign is already located on the property along Heritage Parkway. The applicant notes that all signage will comply with the standards for I-1 zoned property as specified in the Zoning Ordinance.

#### Operations

The applicant has provided a letter noting that there are no impacts to surrounding properties as it relates to noise, visual aesthetics, odors, air quality, or to the water and sewer system. The applicant has provided staff with additional supporting documents regarding the design of the crematorium.

#### **Recommendation**

The subject property is located in the I-1 Light Industrial District, which is intended to accommodate light industrial uses, as well as commercial uses that are most appropriately located as neighbors of industrial uses. The requested Specific Use Permit will provide for a crematorium in order to allow Mansfield Funeral Home to expand its operations and provide additional services to its clients and the community. The site plan provides for a new crematorium building with an expanded parking lot to support the expansion, as well as a reconfigured walkway and garden area behind the buildings. The architecture of the new building matches the existing building and the landscaping provides additional trees and shrubs that are compatible with the existing landscaping. In addition, the crematorium is designed to not emit smoke, odors, waste, or sound, and therefore not cause adverse impacts to surrounding properties. Staff recommends approval.



**Attachments**

Maps and Supporting Information

Exhibit A - Property Description

Exhibit B - Site Plan

Exhibit C - Elevations and Floor Plan

Exhibit D - Landscape Plan

Letter from Applicant Regarding Impact Mitigation



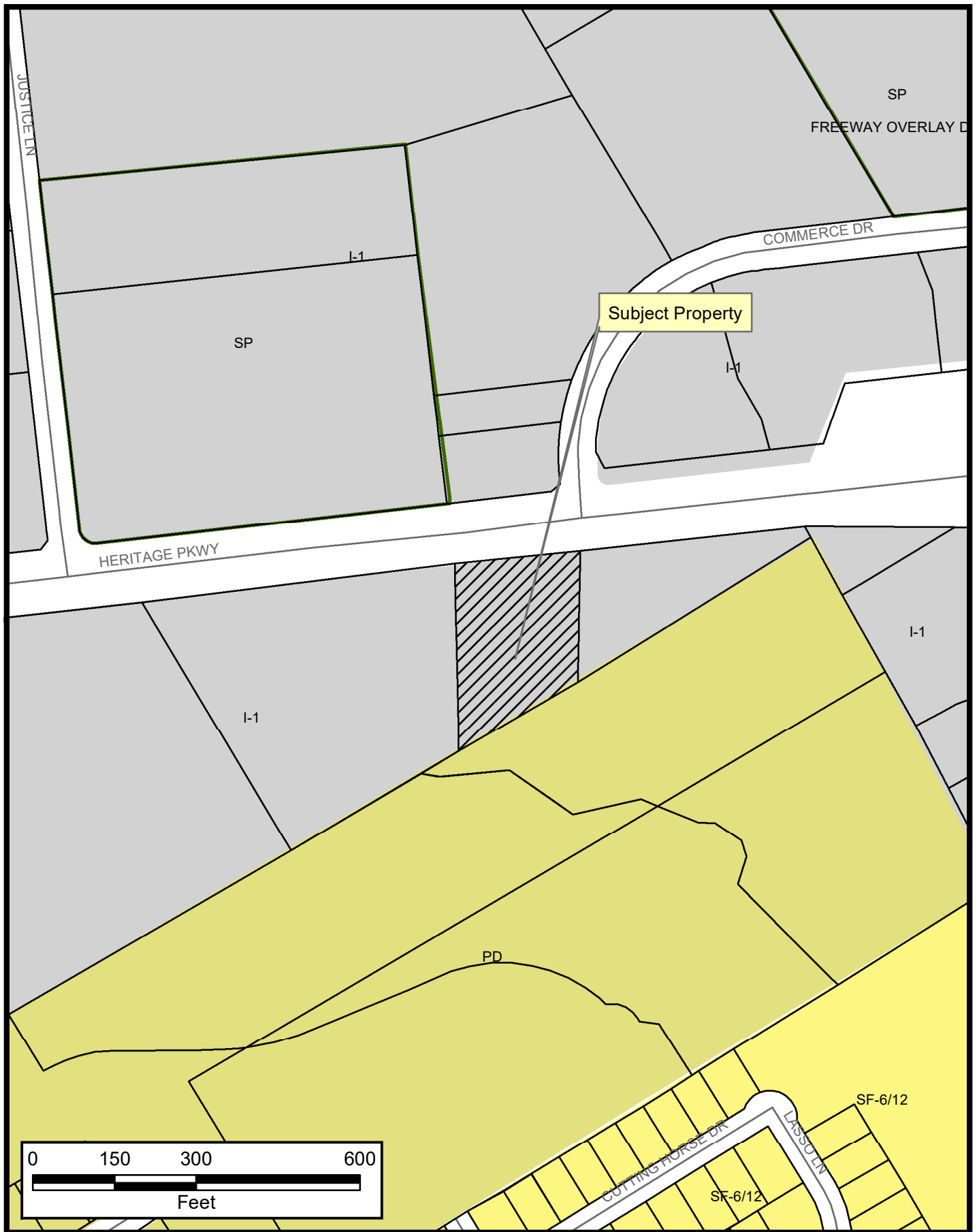


**SUP#20-014**

This information is for illustrative purposes only. Not for design or development purposes. Site-specific studies may be required to obtain accurate feature locations. Every effort is made to ensure the information displayed here is accurate; however, the City of Mansfield makes no claims to its accuracy or completeness.

9/8/2020





## Property Owner Notification for SUP#20-014

LEGAL DESC 1	LEGAL DESC 2	OWNER NAME	OWNER ADDRESS	CITY	ZIP
ALLISON-SMITH ADDITION	BLK 1	SHINING STAR HOLDINGS LLC	2106 SANDSTONE CT	MANSFIELD, TX	76063
DAVIS, R A SURVEY	A 444	H2 HOSPITALITY LLC	10004 BROILES LN	KELLER, TX	76244
DAVIS, R A SURVEY	A 444	ABDELQADER, AWAD	201 E HIGHLAND ST	SOUTHLAKE, TX	76092
HILLCREST BUSINESS PARK ADDN	BLK A	MANSFIELD, CITY OF	1200 E BROAD ST	MANSFIELD, TX	76063-1805
HILLCREST BUSINESS PARK ADDN	BLK C	ALYAH HOLDINGS INC	10004 BROILES LN	FORT WORTH, TX	76244
HILLCREST BUSINESS PARK ADDN	BLK C	HERITAGE PARKWAY REALTY CO	623 W DIVISION ST STE A	ARLINGTON, TX	76011-7488
HILLCREST BUSINESS PARK ADDN	BLK C	REDMON AND HOLLAWAY FUNERAL SERVICES LLC	1556 HERITAGE PKWY	MANSFIELD, TX	76063
STEADFAST HERITAGE ADDN	BLK 1	STEADFAST HERITAGE LLC	2525 KNIGHT ST STE 300	DALLAS, TX	75219

## DESCRIPTION

BEING A TRACT OF LAND IN THE CITY OF MANSFIELD, TARRANT COUNTY, TEXAS, AND BEING PART OF THE D. QUEEN SURVEY, ABSTRACT 1123, AND BEING ALL LOT 4R1 OF HERITAGE BUSINESS PARK, AN ADDITION TO THE CITY OF MANSFIELD, A REVISION OF HERITAGE BUSINESS PARK ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET A, SLIDE 6887, PLAT RECORDS, TARRANT COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A "V" CUT ON TOP OF CONCRETE HEADWALL FOUND FOR THE NORTHEAST CORNER OF LOT 3 AND THE NORTHWEST CORNER OF LOT 4 OF SAID HERITAGE BUSINESS PARK ADDITION AS RECORDED IN CABINET A, SLIDE 6887, AND BEING IN THE SOUTH LINE OF HERITAGE PARKWAY (110' RIGHT-OF-WAY AT THIS POINT), AS RECORDED IN CABINET A, SLIDE 164, P.R.T.C.T.;

THENCE NORTH 83°16'24" EAST, ALONG SAID SOUTH LINE OF HERITAGE PARKWAY, A DISTANCE OF 560.92 FEET TO A 1/2 INCH IRON ROD FOUND FOR THE POINT OF BEGINNING, AND BEING THE NORTHEAST CORNER OF LOT 4R, AND NORTHWEST CORNER OF LOT 4R1;

THENCE NORTH 83°16'24" EAST, AND CONTINUING ALONG SAID SOUTH LINE OF HERITAGE PARKWAY, A DISTANCE OF 230.00 FEET TO A POINT FOR CORNER, AND BEING THE NORTHEAST CORNER OF LOT 4R1, AND NORTHWEST CORNER OF LOT 4R2;

THENCE SOUTH 06°43'36" EAST, AND DEPARTING THE SAID SOUTH LINE OF HERITAGE PARKWAY, A DISTANCE OF 228.68 FEET TO A POINT FOR CORNER, AND BEING THE SOUTHEAST CORNER OF LOT 4R1, AND SOUTHWEST CORNER OF LOT 4R2;

THENCE SOUTH 59°13'14" WEST, A DISTANCE OF 251.87 FEET TO A POINT FOR CORNER, AND BEING THE SOUTHWEST CORNER OF LOT 4R1, AND SOUTHEAST CORNER OF LOT 4R;

THENCE NORTH 06°43'36" WEST, A DISTANCE OF 331.33 FEET TO THE PLACE OF BEGINNING AND CONTAINING 64,400 SQUARE FEET OR 1.478 ACRES OF LAND, MORE OR LESS.

*Colin J. Henry* 8/28/2020

Colin J. Henry, RPLS  
Registered Professional Land Surveyor No. 5230



BASIS OF BEARINGS:  
Bearings are based on the South right-of-way line of Heritage Parkway (110' ROW) as shown on the plat of HILLCREST BUSINESS PARK, as recorded in Cabinet A, Slide 6887, P.R.T.C.T.

Note:  
A plat of survey of even date herewith completes this legal description.

**EXHIBIT "A" - SUP#20-014**  
**1.478 ACRES**  
AND BEING ALL OF  
LOT 4R1,  
HILLCREST BUSINESS PARK  
CABINET A, SLIDE 6887  
CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

DRAWING:  
2008

SCALE:  
NTS

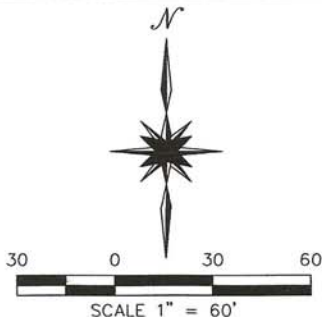
DATE:  
7/30/20

DMC HENRY LLC  
Texas Engineering Firm Number F-21874  
Texas Surveying Firm Number 10194594

&  
BARRAGON GROUP, LLC  
PH: 469-231-1958 job@barragangroup.com

(PAGE 1)





HERITAGE PARKWAY  
(110' ROW)

POINT OF  
BEGINNING

"V" CUT  
FND  
(C.M.)

N83°16'24"E  
560.92'

POINT OF  
COMMENCING

CITY CONTROL MONUMENT  
NAD83(2011)  
NORTH CENTRAL ZONE 4202  
N = 6,887,072.707  
E = 2,394,320.233  
EL = 610.00

331.33'  
N06°43'36"W

LOT 4R

LOTS 4R, 4R1, & 4R2  
BLOCK C  
HILLCREST BUSINESS  
PARK, BEING  
A REVISION OF LOT 4,  
BLOCK C, HILLCREST  
BUSINESS PARK,  
CABINET A, SLIDE 6887,  
CITY OF MANSFIELD,  
TARRANT COUNTY, TEXAS

LOT 4R1  
64,400 SQ. FT  
OR  
1.478 ACRES

PFC

450.00'

FIR 1/2  
RPLS  
4151(C.M.)

LOT 4R2

228.68'  
S06°43'36"E

504.05'

PFC

K.D. POOL  
VOL. 9765, PG. 259  
D.R.T.C.T.

251.87'  
S59°13'14"W 1.136.07'

380.15' PFC



*Colin J. Henry* 8/28/2020  
Colin J. Henry, RPLS  
Registered Professional Land Surveyor No. 5230

BASIS OF BEARINGS:  
Bearings are based on the South right-of-way line of Heritage  
Parkway (110' ROW) as shown on the plat of HILLCREST BUSINESS  
PARK, as recorded in Cabinet A, Slide 6887, P.R.T.C.T.

NOTE:  
Controlling monuments are noted (C.M.)

A legal description of even date herewith accompanies this plat.

(PAGE 2)

EXHIBIT "A" - SUP#20-014

1.478 ACRES

AND BEING ALL OF

LOT 4R1,

HILLCREST BUSINESS PARK

CABINET A, SLIDE 6887

CITY OF MANSFIELD, TARRANT COUNTY, TEXAS

DRAWING:  
2008

SCALE:  
1"=60'

DATE:  
7/30/20

DMC HENRY LLC

Texas Engineering Firm Number F-21874  
Texas Surveying Firm Number 10194594

&

BARRAGON GROUP, LLC

PH: 469-231-1958 job@barragangroup.com

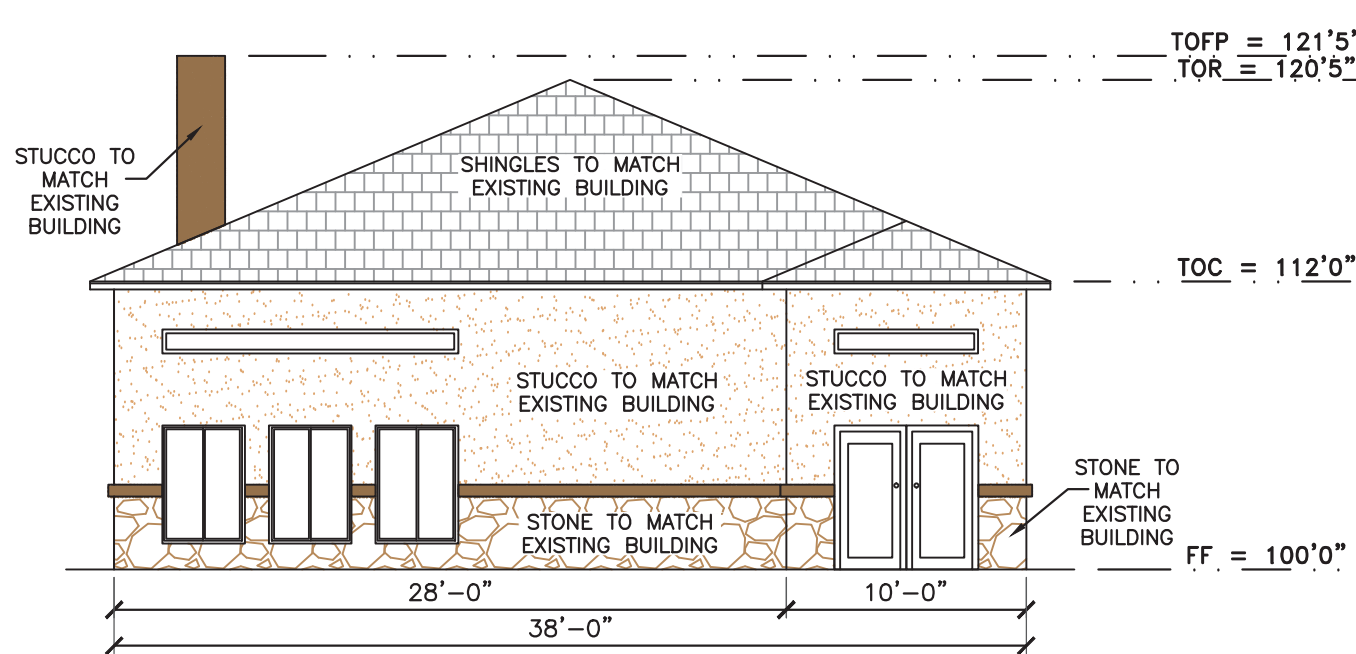
57



EXTERIOR ELEVATIONS

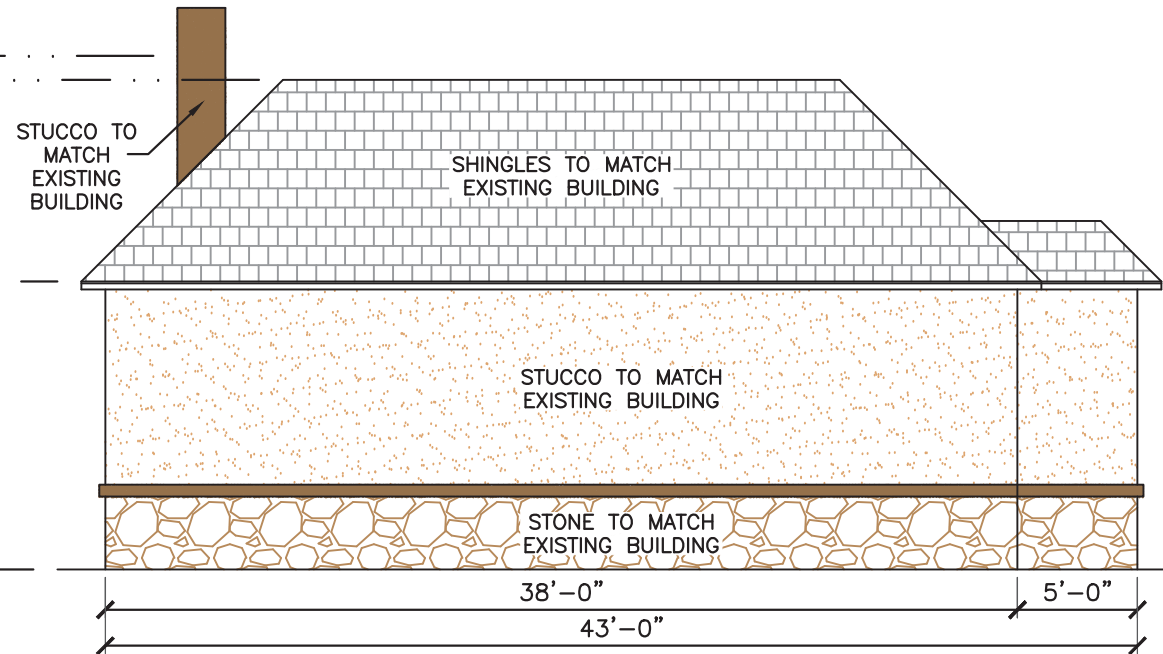
MANSFIELD  
FUNERAL HOME  
1556 HERITAGE PARKWAY  
MANSFIELD, TEXAS

BARRAGAN GROUP, L.L.C. 2020 THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF BARRAGAN GROUP, L.L.C. THE USE OF THESE INSTRUMENTS FOR OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT WRITTEN CONSENT OF BARRAGAN GROUP, L.L.C. IS PROHIBITED AND GROUNDS FOR LEGAL ACTION.					
3	09.14.2020	REV PER SUP REVIEW 2	REVISIONS	CHECKED	DATE
2	09.03.2020	REV PER SUP REVIEW 1			
1	08.14.2020	ISSUED FOR SUP			
NO.	DATE				
DESIGNED	DRAWN				
BARRAGAN	BERNADETT				07.10.2020



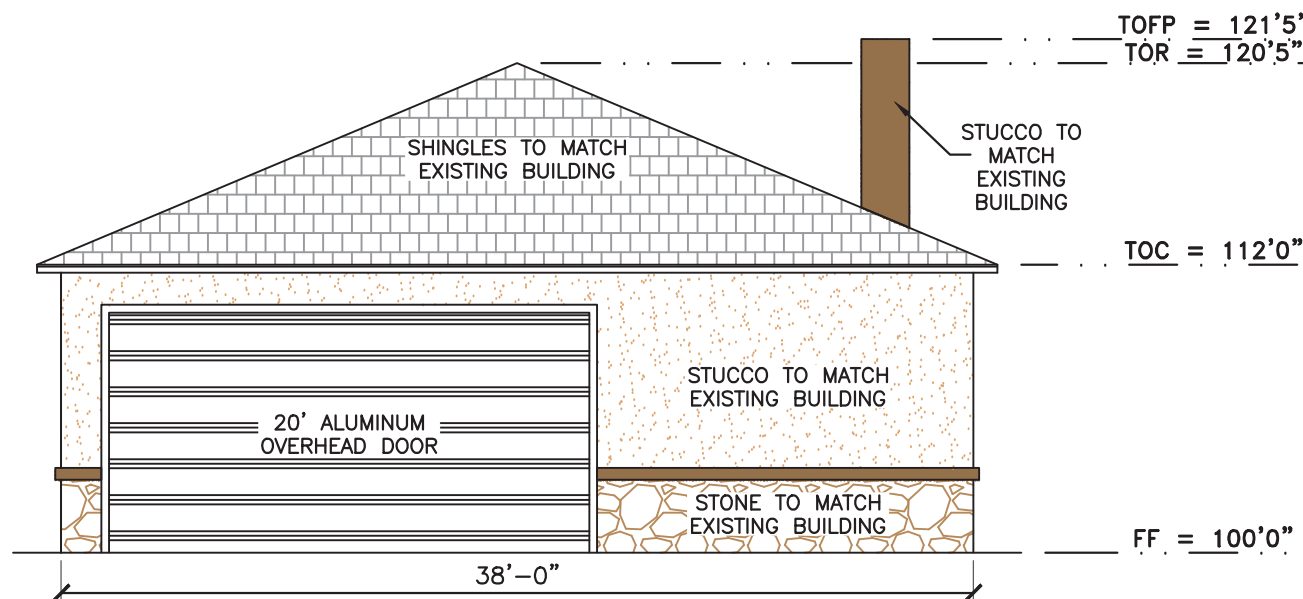
**FRONT ELEVATION (EAST)** STUCCO 76%  
MASONRY 24%

SCALE: 1/8" = 1'-0"



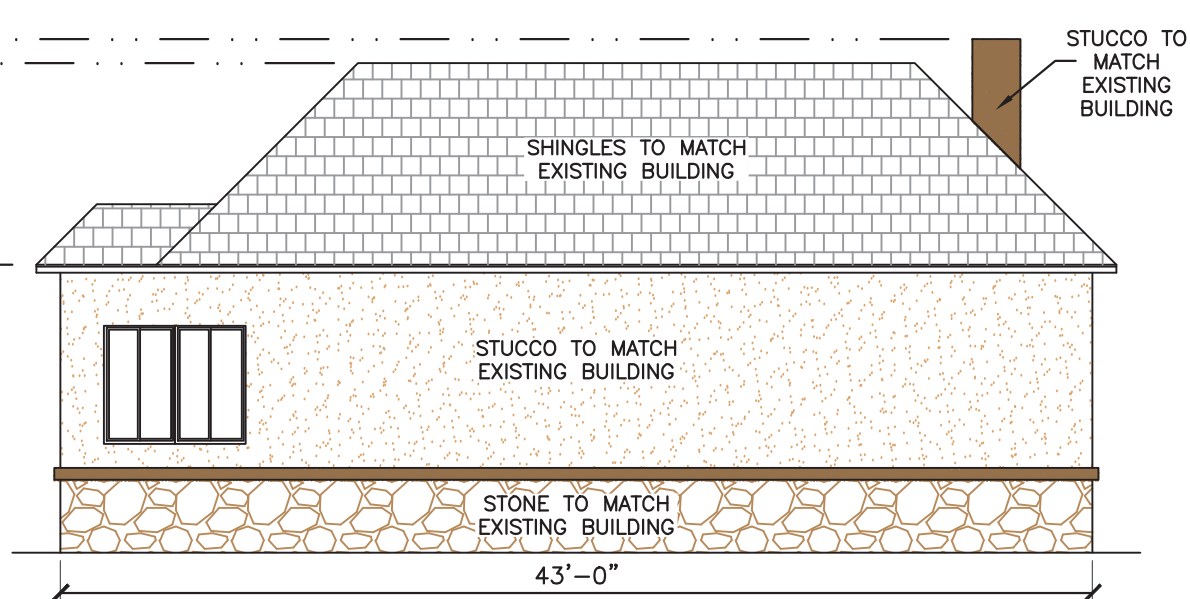
**LEFT ELEVATION (SOUTH)** STUCCO 73%  
MASONRY 27%

SCALE: 1/8" = 1'-0"



**REAR ELEVATION (WEST)** STUCCO 76%  
MASONRY 24%

SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION (NORTH)** STUCCO 71%  
MASONRY 29%

SCALE: 1/8" = 1'-0"

TOTAL MASONRY 26%  
TOTAL STUCCO 74%

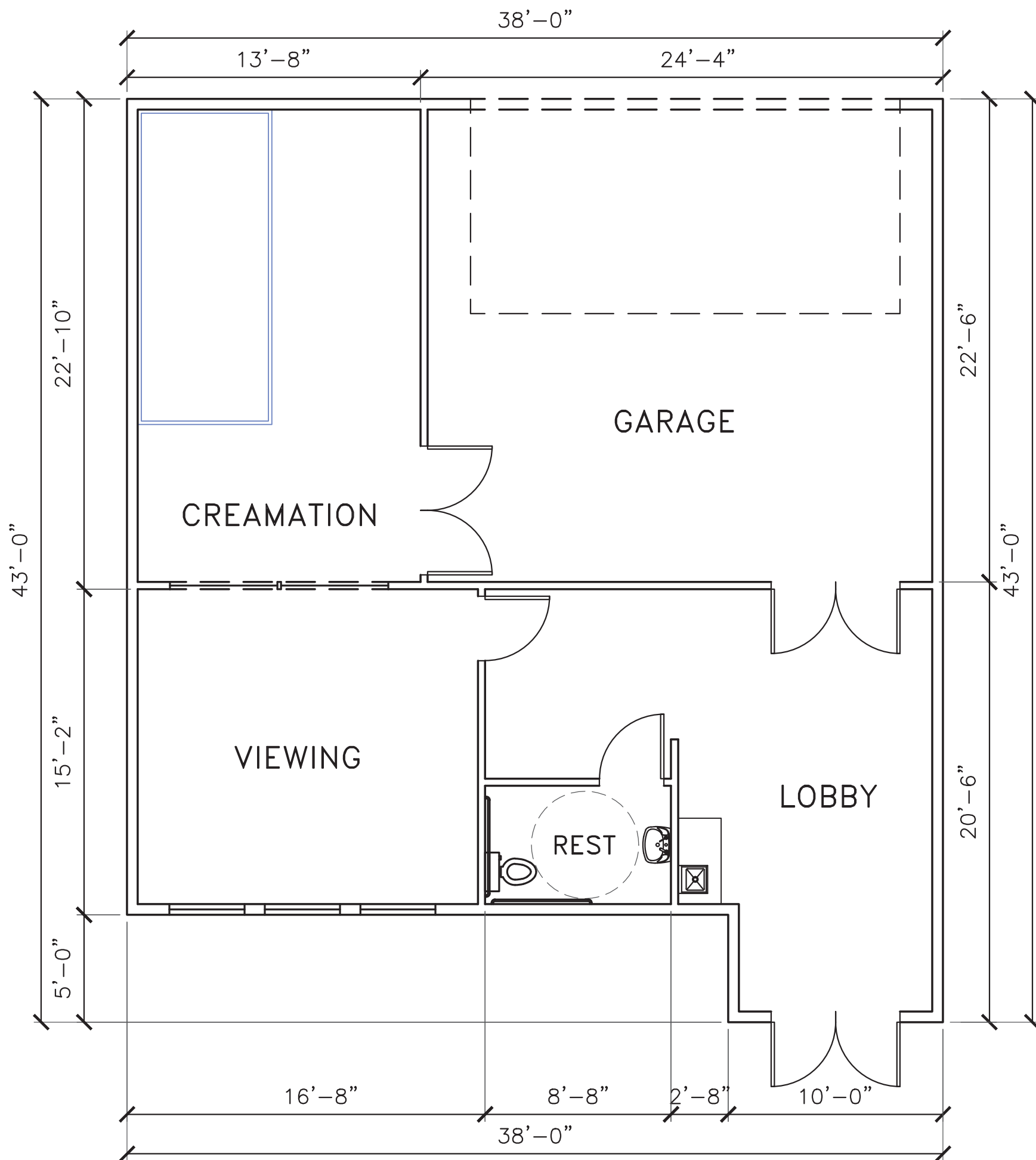




**EXISTING BUILDING FRONT ELEVATION PHOTO**

**EXHIBIT C.2**

**SUP#20-014**



OWNER / DEVELOPER  
MANSFIELD FUNERAL HOME & CREMATIONS  
1556 HERITAGE PARKWAY  
MANSFIELD, TEXAS  
C/O: ERIN GREEN  
(972) 814-0264  
erin@darnellgreengreenremodeling.com

LOT DATA	
ZONING	I-1
FRONT SETBACK	30 FEET
REAR SETBACK	0 FEET
SIDE SETBACK	0 FEET
LOT AREA	64,382 SF 1.478 AC
BUILDING AREA	5,969 SF
LOT COVERAGE	9%

## CONCEPTUAL FLOOR PLAN

**MANSFIELD  
FUNERAL HOME**  
1550 HERITAGE PARKWAY  
MANSFIELD, TEXAS

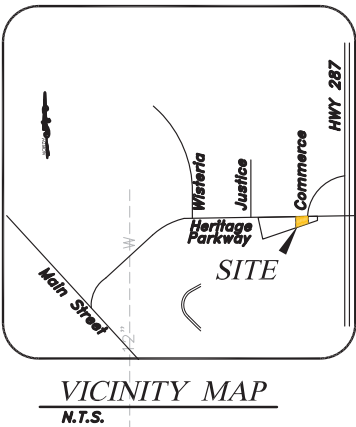
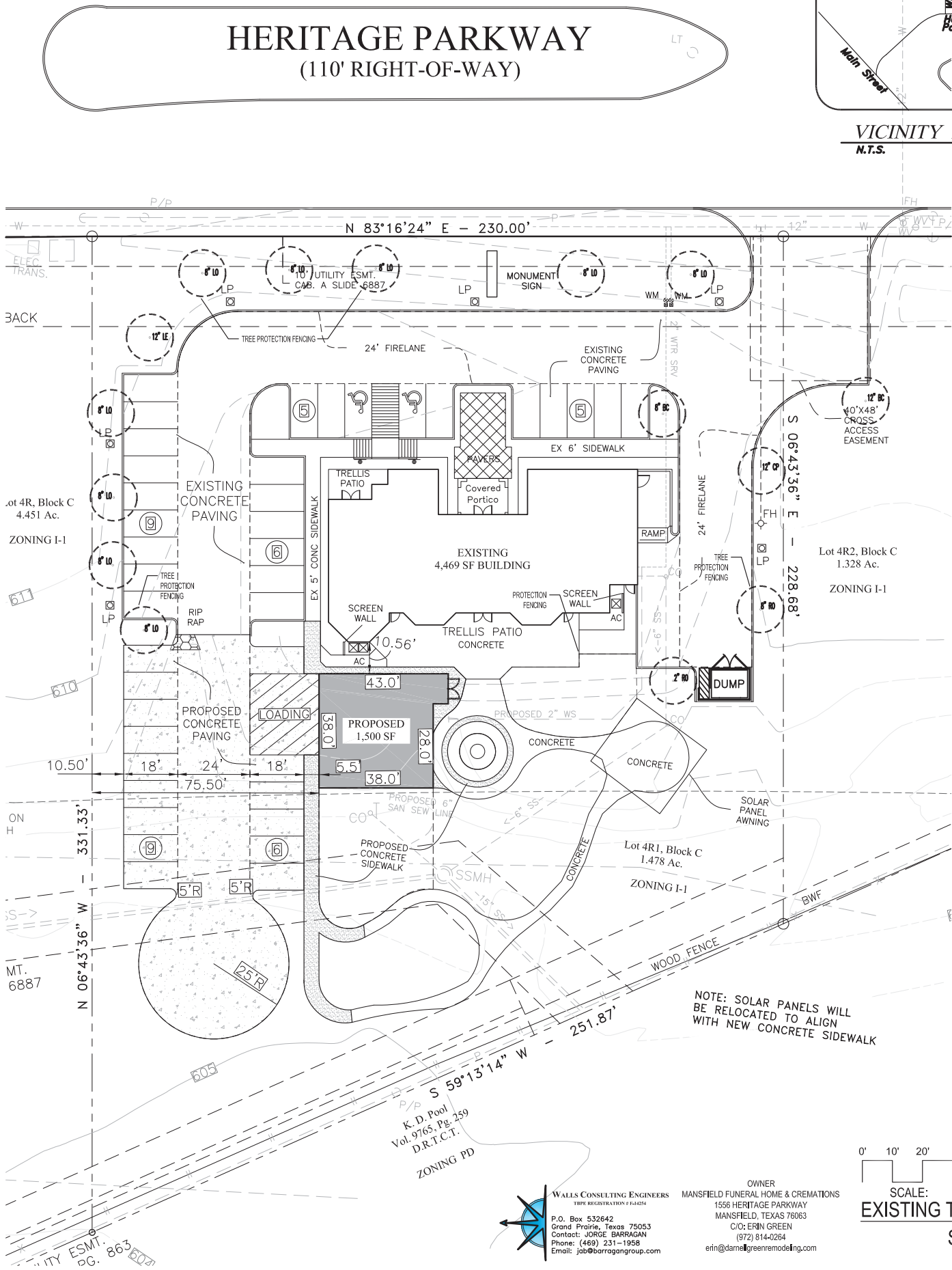
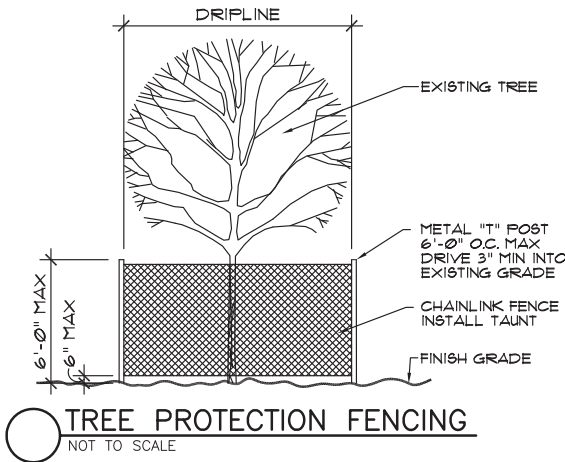
BARRAGAN GROUP, L.L.C. 2020 THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF BARRAGAN GROUP, L.L.C., FOR THE USE OF THESE INSTRUMENTS FOR OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT WITHOUT WRITTEN CONSENT OF BARRAGAN GROUP, L.L.C. IS PROHIBITED AND GROUNDS FOR LEGAL ACTION.				
3	09.14.2020	REV PER SUP	REVIEW 2	
2	09.03.2020	REV PER SUP	REVIEW 1	
1	08.14.2020	ISSUED FOR SUP		
NO.	DATE	REVISIONS		
DESIGNED	DRAWN	CHECKED	DATE	
BARRAGAN	BERNADETT	BARRAGAN	07.10.2020	

PROJECT NO.  
PSP2012

SHEET NO. **EXHIBIT C.3**



EXISTING TREE			
NUMBER	BOTANICAL NAME	COMMON NAME	DBH
1	Quercus virginiana	Live Oak	8
2	Quercus virginiana	Live Oak	8
3	Quercus virginiana	Live Oak	8
4	Quercus virginiana	Live Oak	8
5	Quercus virginiana	Live Oak	8
6	Ulmus parvifolia	Lacebark Elm	12
7	Quercus virginiana	Live Oak	8
8	Quercus virginiana	Live Oak	8
9	Quercus virginiana	Live Oak	8
10	Quercus shumardii	Shumard's Red Oak	4
11	Quercus shumardii	Shumard's Red Oak	8
12	Pistacia chinensis	Chinese Pistache	12
13	Taxodium distichum	Bald Cypress	12
14	Taxodium distichum	Bald Cypress	8



PROJECT NAME	Mansfield Funeral Home
PROJECT NUMBER	20-051
REVISIONS	
CITY COMMENTS	9-3-2020

Mansfield Funeral Home  
1556 Heritage Parkway  
Mansfield, Texas



PROJECT NAME  
Mansfield Funeral Home  
1556 Heritage Parkway  
Mansfield, Texas

RICKY D. PETTY  
LANDSCAPE ARCHITECT  
7720 ALTO CARO DRIVE  
DALLAS, TEXAS 75248  
PHONE: (214) 543-5265  
e-mail: rdpetty1954@att.net

TITLE	Existing Tree
DATE	August 14, 2020
SCALE	1" = 20'-0"
SHEET	L-1

0' 10' 20' 40'  
SCALE: 1" = 20'-0"  
EXISTING TREE PLAN  
SUP#20-014  
EXHIBIT D

WALLS CONSULTING ENGINEERS  
TYPE REGISTRATION # F-14254  
P.O. Box 532642  
Grand Prairie, Texas 75053  
Contact: JORGE BARRAGAN  
Phone: (469) 231-1958  
Email: jobs@barragangroup.com

OWNER  
MANSFIELD FUNERAL HOME & CREMATIONS  
1556 HERITAGE PARKWAY  
MANSFIELD, TEXAS 76063  
C/O: ERIN GREEN  
(972) 814-0264  
erin@danneelgreenremodeling.com

ABB	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	NOTES
<b>Shade Trees</b>					
CE	Ulmus crassifolia	Cedar Elm	4 EA.	#100, 4" cal. Min., 14' Ht. min., 6' Spread min.	Container, Single trunk, Well branched with Central Leader, 6' branching height
LO	Quercus virginiana	Live Oak	4 EA.	#100, 4" cal. Min., 14' Ht. min., 6' Spread min.	Container, Single trunk, Well branched with Central Leader, 6' branching height
RO	Quercus shumardii	Shumard's Red Oak	2 Ea.	#100, 4" cal. Min., 14' Ht. min., 6' Spread min.	Container, Single trunk, Well branched with Central Leader, 6' branching height
<b>Ornamental Trees</b>					
SH	Ilex attenuata 'Savannah Holly'	Savannah Holly - Tree Form	2 EA.	#45, 10' Ht.Min., 6' spread Min.	Container, 3" cal. min., Well Branched
<b>Shrubs</b>					
AEG	Abelia grandiflora 'Edward Goucher'	Abelia - 'Edward Goucher'	21 EA.	#5, 24" min. Ht. 18" min. spread	Container, Well branched full to ground, Speciman, Plant 36" O.C.
CL	Ternstroemia gymnanthera	Cleyera	4 EA.	#5, 36" min. Ht. 24" min. spread	Container, Well branched full to ground, Speciman
ND	Nandina domestica 'Compactum'	Compact Nandina	17 EA.	#3, 24" min. Ht. 18" min. spread	Container, Well branched full to ground, Speciman, Plant 32" O.C.
DBH	Ilex cornuta 'Burfordii nana'	Dwarf Burford Holly	7 EA.	#5, 24" min. Ht., 18" min. spread	Container, Well branched full to ground, Plant 36" O.C.
DYH	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	33 EA.	#2, 15" min. Ht. 12" min. spread	Container, Well branched full to ground, Speciman, Plant 24" O.C.
GSN	Nandina domestica 'Gulf Stream'	Gulf Stream Nandina	8 EA.	#3, 24" min. Ht. 18" min. spread	Container, Well branched full to ground, Speciman, Plant 30" O.C.
NH	Ilex attenuata 'Needlepoint'	Needlepoint Holly	22 EA.	#5, 36" min. Ht., 24" min. spread	Container, Well branched full to ground, Speciman, Plant 36" O.C.
TJ	Juniperus virginiana 'Taylor'	Taylor Juniper	5 EA.	#7.5, 48" min. Ht., 24" min. spread	Container, Well branched full to ground, Speciman
VP	Pittosporum tobira 'Variegatum'	Variegated Pittosporum	2 EA.	#7.5, 36" min. Ht. 24" min. spread	Container, Well branched full to ground, Speciman
<b>Turf</b>					
BG	Cynodon dactylon	Bermuda Grass	5,200 Sq. Ft.	Solid Sod	Staggered tight joints, sand filled and rolled

SUMMARY CHART - BUFFER YARD / SETBACKS						
Location of Buffer Yard or Setback	Required / Provided	Length	Buffer Yard or Setback Width/Type	Canopy Trees	Ornamental Trees	Shrubs Screening Wall / Device Height and Material
North	Required	230 Ft.	20 Ft.	6		N/A
	Provided		24.5 Ft.	8 Tree Credits		
East	Required	228.68 Ft.	10 Ft.	10		
	Provided		10 Ft.	8 Tree Credits and 2 Red Oaks		
South	Required	251.87 Ft.	N/A			
	Provided					
West	Required	331.33 Ft.	10 Ft.	14		
	Provided		10 Ft.	6 Tree Credits and 4 Live Oaks		

Note: 9 Existing 8 inch DBH Trees = 18 Tree Credits  
3 Existing 12 inch DBH Trees = 9 Tree Credits

**TOTAL: 27 Tree Credits**

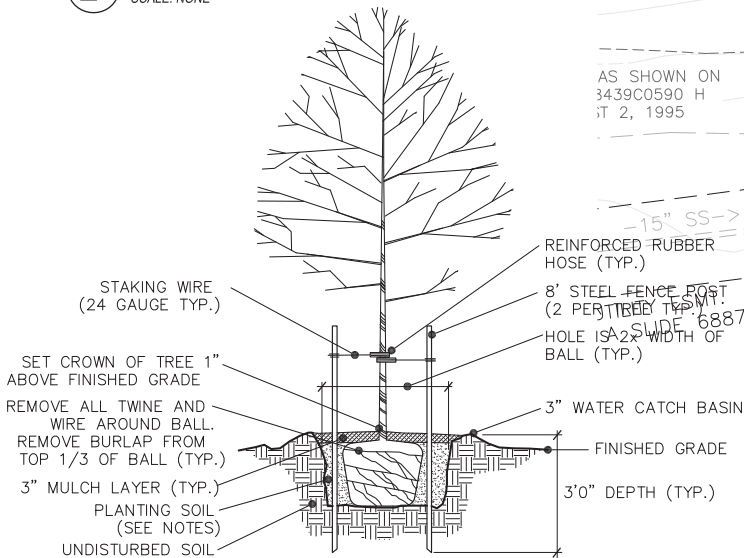
SUMMARY CHART - INTERIOR LANDSCAPE						
	Landscape Area (in Sq. Ft.)	% of Landscape Area	Canopy Trees	Ornamental Trees	Shrubs	Ground Cover (in Sq. Ft.)
	64,400					
Required	6,440	10%				
Provided	29,520	45.80%				

SUMMARY CHART - INTERIOR PARKING LOT LANDSCAPING		EXISTING TREE CREDIT SUMMARY			
		DBH (in inches)	Quantity	Canopy Trees	Understory Trees
No. of Required Parking Spaces	40	6 to 8 (2 Tree Credits Each)	9	18	
No. of Provided Parking Spaces	40	9 to 15 (3 Tree Credits Each)	3	9	
No. of Tree Islands Provided	6	TOTAL		27	

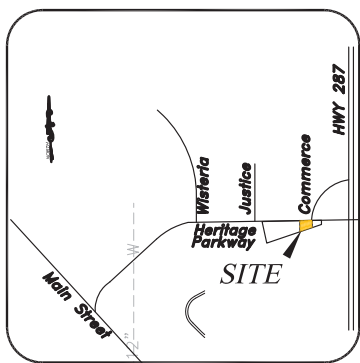
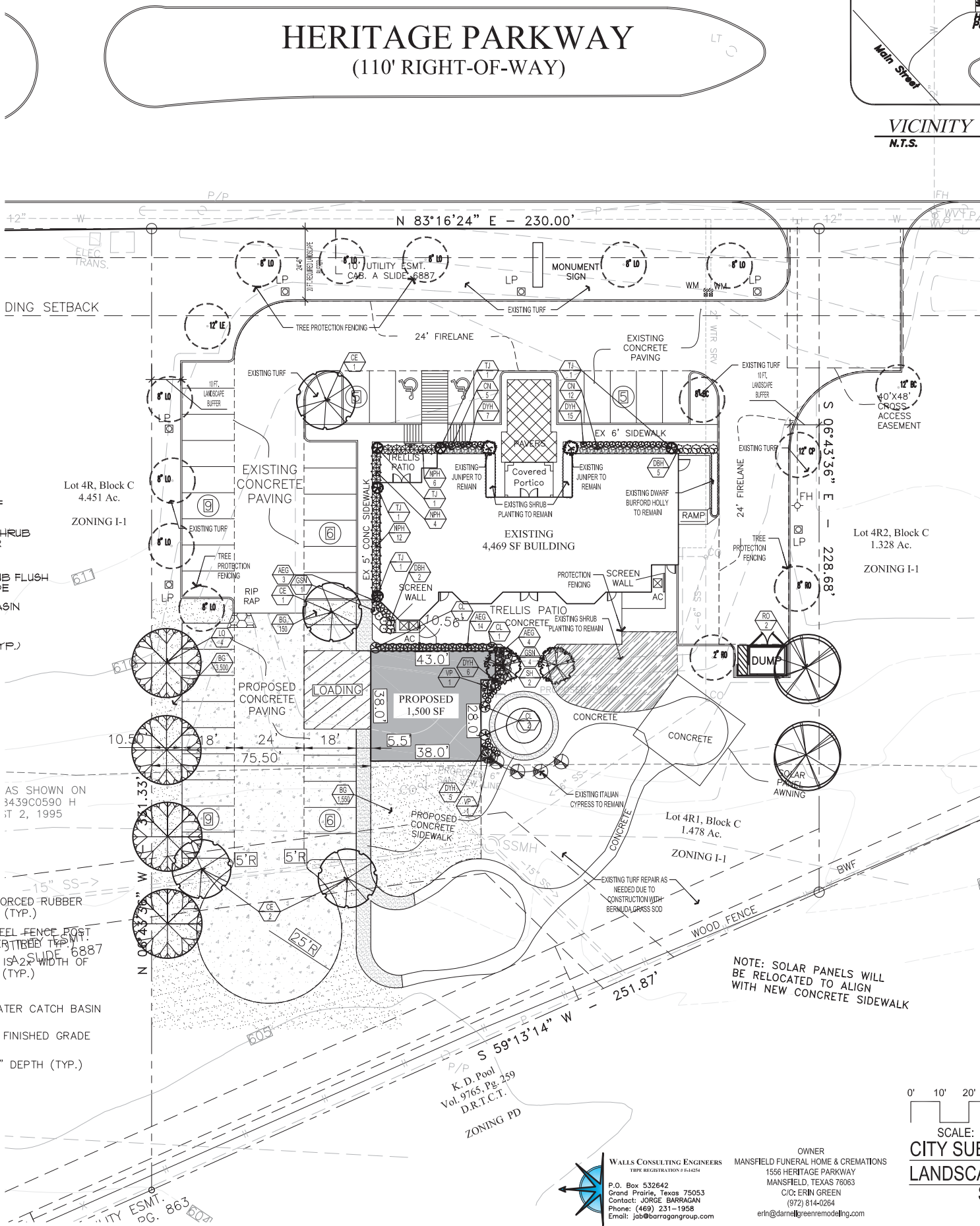
1. Submit a construction schedule of work to be approved by Landscape Architect and Owner. Failure to submit schedule may result in Landscape Architect stopping construction until submitted. No extensions of time will be considered for failure to promptly submit schedule.
2. Notify Landscape Architect 48 hours in advance of commencement of work to coordinate project inspection schedules.
3. Locate existing underground utilities and obstructions prior to commencing work. Repair damage to utilities resulting from the installation of the work at no additional cost to Owner.
4. Notify Landscape Architect immediately upon encountering any unknown obstructions, grade differences, or conditions not shown on existing plans. Make necessary revisions as required to conform to plans and specifications due to failure to give such notification.
5. Coordinate with other trades and subcontractors as required to accomplish the planting operation.
6. Plant material shall be tagged or approved at site by Landscape Architect prior to installation. Install plant material free from pest and diseases. Guarantee plant material for a period of 365 calendar days from date of installation or final acceptance by Landscape Architect.
7. Layout proposed planting beds and receive Landscape Architect's approval prior to installation. Notify Landscape Architect of layout conflicts. Failure to notify Landscape Architect will result in Contractor's liability to relocate materials at no additional expense to Owner.
8. Excavate areas to a depth of 4 inches, backfill with 4 inches of Acid Gro Complete mix as manufactured by Soil Building Systems and rototill to a depth of 12 inches producing a homogeneous mixture.
9. Final locations of plant material shall be subject to approval by Landscape Architect. Install groundcover 12 inches from the edge of shrubs and tree root balls and 4 inches from edge of paving, walls and other structures.
10. Backfill tree and shrub pits with one part compost as manufactured by Soil Building Systems and two parts existing soil.
11. Stake tree locations and acquire written approval from Landscape Architect prior to installation of irrigation system. Stake and locate trees with one part compost and any irrigation rotary spray head. Install trees in areas covered by irrigation system. Provide supplemental watering as required until final acceptance by Landscape Architect. Locate trees(4) 4 feet minimum from walls, headers, property lines and other trees within project. Notify Landscape Architect of location conflicts for resolution. Failure to notify Landscape Architect will result in Contractor's liability to relocate trees at no additional expense to Owner.
12. Stake and locate trees immediately upon installation of trees to be planted.
13. Mulch planting beds and tree pits with shredded hardwood mulch.
14. Provide full service maintenance of landscape within project scope for a period of four (4) months, 120 calendar days, from date of issuance of final acceptance by Landscape Architect. Failure to properly maintain landscape and irrigation system will result in extending the guarantee and maintenance period at no additional expense to Owner.
15. All Landscape areas to be watered by an automatic landscape irrigation system.

**LANDSCAPE MAINTENANCE:** The property owner, tenant or agent, shall be responsible for the maintenance of all required landscaping in a healthy, neat, orderly and live-growing condition at all times. This shall include mowing, edging, pruning, fertilizing, irrigation, weeding and other such activities common to the maintenance of landscaping. Landscaped areas shall be kept free of trash, litter, weeds and other such materials not a part of the landscaping. Plant materials that die shall be replaced with plant materials of similar variety and size.

(2) SCALE: NONE



(1) SCALE: NONE



**VICINITY MAP**  
**N.T.S.**

PROJECT NAME	Mansfield Funeral Home
PROJECT NUMBER	20-051
REVISIONS	
	CITY COMMENTS 9-3-2020

**Mansfield Funeral Home**  
1556 Heritage Parkway  
Mansfield, Texas



PROJECT NAME

*Mansfield Funeral Home*  
1556 Heritage Parkway  
Mansfield, Texas

RICKY D. PETTY

**LANDSCAPE ARCHITECT**  
7720 ALTO CARO DRIVE  
DALLAS, TEXAS 75248  
PHONE: (214) 543-5265  
e-mail: [rdpetty1954@att.net](mailto:rdpetty1954@att.net)

TITLE	Landscape
DATE	August 14, 2020
SCALE	1" = 20'-0"
SHEET	

L-2

## **Mansfield Funeral Home Crematory Surround Impact Mitigation**

The following bullets show how any potential impacts of the Crematory to surrounding properties are mitigated.

- Visually - The stack which solely emits heat (no smoke) will be concealed by the design of the building. Besides any signage, presence of the crematory will not be evident.
- Audible Properties - The human cremation unit has a quiet run design and produces no sounds that would be detected by surrounding properties.
- The human cremation unit is smokeless. Only heat is emitted, there is no smoke that will be coming from the unit or building.
- The human cremation process with this unit is odorless. No odors are detectable inside or outside of the building.
- No waste is put into the sewer system. There is no impact to the plumbing system or water supply of surround properties.

\*Please reference reports attached to see results of 3rd party testing of equipment.





# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3753

Agenda Date: 9/21/2020

Version: 1

Status: Public Hearing

In Control: Planning and Zoning Commission

File Type: Zoning Case

### Agenda Number:

#### Title

OA#20-001: Public hearing to consider proposed amendments of Sections 2200B, 4400.B Table G and 7800.B.38 of the Zoning Ordinance to create a Body Art & Piercing Studio Use; to permit such use in the I-1 and I-2 zoning districts; to require a Specific Use Permit in C-2 and C-3 zoning districts; and to establish separation criteria from such use from certain other land uses

#### Description/History

On August 10, 2020, the City Council placed a moratorium on "tattoo parlors" in Tax Increment Reinvestment Zone (TIRZ) No. 2 District covering a portion of Historic Downtown Mansfield due to the proliferation of those uses in the area. Council extended the moratorium on tattoo parlors to include the entire City on September 14, 2020.

At Council's direction, Staff has prepared amendments to the Zoning Ordinance to regulate Body Art and Piercing Studios (tattoo parlors) in Mansfield. These amendments include:

- An amendment to Section 2200.B to create a new definition for Body Art and Piercing Studio:

"5. Body Art and Piercing Studio - A place where body modification is performed, including: tattooing where a design is made by inserting ink, dyes and pigments, either indelible or temporary, into the dermis layer of the skin to change the pigment; or piercing, the practice of puncturing or cutting a part of the human body, creating an opening in which jewelry may be worn, or where an implant may be inserted. This definition does not include permanent makeup or micro-blading as applied in a Beauty Shop."

- An amendment to Section 4400.B, Table G of the Permitted Use Table, to create Body Art and Piercing Studio as a permitted use in the I-1 and I-2 Districts, and allowed with a Specific Use Permit in the C-2 and C-3 Districts. The draft Table G is attached.
- An amendment to Section 7800.B to create new special conditions to require a 1000-foot separation from a Body Art and Piercing Studio and properties with a single-family residential zoning classification or single-family residential use, a church, a licensed day-care center, a public or private elementary or secondary school, or another Body Art and Piercing Studio and establishes the method of measuring the

1000-foot distance. The amendment also provides for the termination of non-conforming status for existing Body Art and Piercing Studios after adoption of the amendments:

“38. Body Art and Piercing Studio: Body Art and Piercing Studios shall conform to the following provisions:

- a. A Body Art and Piercing Studio may not be located within one thousand (1000) feet of a single-family residential zoning classification or single-family residential use; a church; a licensed day-care center; a public or private elementary or secondary school; or another Body Art and Piercing Studio.
- b. For the purposes of this Paragraph 38, the measurement shall be made in a straight line, without regard to intervening structures or objects, from the nearest portion of the building or tenant space occupied by a Body Art and Piercing Studio to:
  1. the nearest property line of the premises of a church, licensed day care center, public or private elementary or secondary school, or single-family residential zoning classification or single-family residential use; and
  2. the nearest portion of a building or tenant space occupied by another Body Art and Piercing Studio.
- c. A Body Art and Piercing Studio operating lawfully in a C-2 or C-3 District prior to October 26, 2020, may continue as a lawful non-conforming use without a Specific Use Permit; provided, however, that said non-conforming use shall automatically terminate upon 1) closure of a Body Art and Piercing Studio; 2) a change in name or ownership of a Body Art and Piercing Studio; or 3) a change in use of the building or tenant space previously occupied by a Body Art and Piercing Studio.”

#### **Recommendation**

Staff recommends approval.

#### **Attachment**

Draft Ordinance

Draft Table G



**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AS HERETOFORE AMENDED BY AMENDING SECTIONS 2200B, 4400.B TABLE G AND 7800.B.38 OF SAID ORDINANCE TO CREATE A BODY ART & PIERCING STUDIO USE; TO PERMIT SUCH USE IN THE I-1 AND I-2 ZONING DISTRICTS; TO REQUIRE A SPECIFIC USE PERMIT IN C-2 AND C-3 ZONING DISTRICTS; AND TO ESTABLISH SEPARATION CRITERIA FROM SUCH USE FROM CERTAIN OTHER LAND USES; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance of the City of Mansfield, Texas (hereinafter “the Zoning Ordinance”), have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to all interested citizens, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance should be amended;

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:**

**SECTION 1.**

That Section 2200, Subsection B, “Definitions,” of the Zoning Ordinance is hereby amended by inserting a new Paragraph 5 to read as follows and by renumbering the remaining paragraphs accordingly:

“5. Body Art and Piercing Studio - A place where body modification is performed, including: tattooing where a design is made by inserting ink, dyes and pigments, either indelible or temporary, into the dermis layer of the skin to change the pigment; or piercing, the practice of puncturing or cutting a part of the human body, creating an opening in which jewelry may be worn, or where an implant may be inserted. This definition does not include permanent makeup or micro-blading as applied in a Beauty Shop.”

**SECTION 2.**

That Section 4400, Subsection D, Table G, “Permitted Use Table,” of the Zoning Ordinance is hereby amended by inserting a new land use, “Body Art and Piercing Studio” on Line 6, and renumbering the remaining lines accordingly as shown in Exhibit “A” attached hereto and made a part hereof for all purposes.

### **SECTION 3.**

That Section 7800, Subsection B, “Special Conditions,” of the Zoning Ordinance is hereby amended by adding a new Paragraph 38 to read as follows:

“38. Body Art and Piercing Studio: Body Art and Piercing Studios shall conform to the following provisions:

- a. A Body Art and Piercing Studio may not be located within one thousand (1000) feet of a single-family residential zoning classification or single-family residential use; a church; a licensed day-care center; a public or private elementary or secondary school; or another Body Art and Piercing Studio.
- b. For the purposes of this Paragraph 38, the measurement shall be made in a straight line, without regard to intervening structures or objects, from the nearest portion of the building or tenant space occupied by a Body Art and Piercing Studio to:
  1. the nearest property line of the premises of a church, licensed day care center, public or private elementary or secondary school, or single-family residential zoning classification or single-family residential use; and
  2. the nearest portion of a building or tenant space occupied by another Body Art and Piercing Studio.
- c. A Body Art and Piercing Studio operating lawfully in a C-2 or C-3 District prior to October 26, 2020, may continue as a lawful non-conforming use without a Specific Use Permit; provided, however, that said non-conforming use shall automatically terminate upon 1) closure of a Body Art and Piercing Studio; 2) a change in name or ownership of a Body Art and Piercing Studio; or 3) a change in use of the building or tenant space previously occupied by a Body Art and Piercing Studio.”

### **SECTION 4.**

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

### **SECTION 5**

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be

invalid, illegal or unconstitutional, and shall not affect the validity of the Zoning Ordinance as a whole.

#### **SECTION 6.**

Any person, firm or corporation violating any of the provisions of this ordinance or the Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

#### **SECTION 7.**

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Second reading approved on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

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**David L. Cook, Mayor**

ATTEST:

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**Susana Marin, City Secretary**

APPROVED AS TO FORM AND LEGALITY

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**Allen Taylor, City Attorney**

**EXHIBIT "A"**

A	SF-5AC/24	SF-12/22	SF-9.6/20	SF-8.4/18	SF-8.4/16	SF-7.5/18	SF-7.5/16	SF-7.5/12	SF-6/12	2F	MF-1	MF-2	G. General Service and Office Type Uses	OP	C-1	C-2	C-3	I-1	I-2	PD	Parking Group Table, Sec. 7200	Special Conditions, Sec. 7800
													1. Advertising Agencies	P	P	P	P			P	6d	
													2. Advertising Service with Outdoor Storage Facilities				P	P		P	6d	
													3. Drive-In Banking Facilities			P	P	P		P	6a	
													4. Banking Offices or Facilities Excluding Drive-In Services	P	P	P	P			P	6a	
													5. Beauty Shop or Barber Shop	S	P	P	P			P	4a	
													6. Body Art and Piercing Studio			<u>S</u>	<u>S</u>	<u>P</u>	<u>P</u>		<u>4a</u>	<u>38</u>
													7. Catering Service			P	P	P		P		
													8. Coin-Operated Laundries and/or Dry Cleaning, Self-Service					P	P	P	4e	
													9. Computer and/or Data Processing Services	P	P	P	P	P		P	6d	
													10. Eating Places with Drive-Through Service			S	S	S	S	P	5b	21, 36
													11. Eating Places without Drive-Through Services		P	P	P	P		P	5a	21
													12. Fix-It Shop or Household Appliance Service and Repair		S	S	S	P	P	P	4c	
													13. Food Carts			P	P					33
													14. Agents for Garment Pressing, Laundries or Dry Cleaning	S	P	P	P	P		P	4a	
													15. Key Shop	S	P	P	P			P	4a	
													16. Mailing, Reproduction, Commercial Art, Photo or Steno Service	P	P	P	P	P		P	6d	
													17. Medical or Dental Laboratories	P	P	P	P	P	P	P	6d	
													18. Office, Physician, Dentist or Other Health Practitioners	P	P	P	P	P		P	6c	
													19. Office, Professional or Administration	P	P	P	P	P	P	P	6d	
													20. Personnel Supply Services	P	P	P	P	P	P	P	6d	
													21. Pet Grooming		P	P	P	P		P	4a	
													22. Private Club or Lodge			P	P	P	P	P	5b	21
													23. Shoe Repair Shop or Shoe Shine Parlor	P	P	P	P			P	4a	
													24. Studio for Photographer, Musician or Artist	P	P	P	P	P	P	P	4a	







# CITY OF MANSFIELD

1200 E. Broad St.  
Mansfield, TX 76063  
mansfieldtexas.gov

## STAFF REPORT

File Number: 20-3761

**Agenda Date:** 9/21/2020

**Version:** 1

**Status:** Public Hearing

**In Control:** Planning and Zoning Commission

**File Type:** Zoning Case

**Agenda Number:**

**Title**

OA#20-002: Public hearing to consider proposed amendments of Sections 5100.E.7, 5100.F.19, 6100.D.8 and 6400.D.8 to revise the submittal requirements for applications for Concept Plans, Planned Developments, Specific Use Permits and Industrial Use Permits.

**Description/History**

The purpose of this amendment is to revise the submittal requirements for development applications required by the Zoning Ordinance. Under the current zoning regulations, the City requires 15 paper copies for development applications related to concept plans, development plans, site plans, Specific Use Permits and Industrial Use Permits. These plans generally include multiple sheets including site layouts, building elevations, landscape plans and other related documents.

In March 2020, the COVID-19 pandemic caused a change in the application process when City Hall was closed to applicants. The revised application process remained in effect after City Hall reopened. Applications are now submitted electronically through the City's website. Instead of multiple copies of large format paper sheets, plans in PDF format may be attached to the digital applications.

The proposed amendment will remove the requirement for paper copies to be submitted with development applications for concept plans, development plans, Specific Use Permits and Industrial Use Permits.

The existing language in each section of the Zoning Ordinance being amended will be changed from:

"Fifteen (15) copies of the plan in 24" X 36" or 22" X 34" format, drawn at an acceptable scale indicating all significant features of the proposed development to include:"

to state:

"Copies of the plan shall be submitted to the City in the manner specified by the most current submittal policies. The plan must be drawn to an acceptable size and scale and must indicate all significant features of the proposed development to include:"

The proposed language is broad enough to allow future changes to the submittal policies without further amendment as technologies advance.

**Recommendation**

Staff recommends approval.

**Attachment**

Draft Ordinance

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF MANSFIELD, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF MANSFIELD, TEXAS AS HERETOFORE AMENDED BY AMENDING SECTIONS 5100.E.7, 5100.F.9, 6100.D.8 AND 6400.D.8 OF SAID ORDINANCE TO REVISE THE SUBMITTAL REQUIREMENTS FOR APPLICATIONS FOR CONCEPT PLANS, PLANNED DEVELOPMENTS, SPECIFIC USE PERMITS AND INDUSTRIAL USE PERMITS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Mansfield, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance of the City of Mansfield, Texas (hereinafter “the Zoning Ordinance”), have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing opportunity to all property owners generally and to all interested citizens, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MANSFIELD, TEXAS:

**SECTION 1.**

That Paragraph 7, Subsection E of Section 5100 of the Zoning Ordinance is hereby amended to read as follows:

“7. Copies of the plan shall be submitted to the City in the manner specified by the most current submittal policies. The plan must be drawn to an acceptable size and scale and must indicate all significant features of the proposed development to include:”

**SECTION 2.**

That Paragraph 9, Subsection F of Section 5100 of the Zoning Ordinance is hereby amended to read as follows:

“9. Copies of the plan shall be submitted to the City in the manner specified by the most current submittal policies. The plan must be drawn to an acceptable size and scale and must indicate all significant features of the proposed development to include:”



### **SECTION 3.**

That Paragraph 8, Subsection D of Section 6100 of the Zoning Ordinance is hereby amended to read as follows:

“8. Copies of the plan shall be submitted to the City in the manner specified by the most current submittal policies. The plan must be drawn to an acceptable size and scale and must indicate all significant features of the proposed development to include:”

### **SECTION 4.**

That Paragraph 8, Subsection D of Section 6400 of the Zoning Ordinance is hereby amended to read as follows:

“8. Copies of the plan shall be submitted to the City in the manner specified by the most current submittal policies. The plan must be drawn to an acceptable size and scale and must indicate all significant features of the proposed development to include:”

### **SECTION 5.**

That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

### **SECTION 6.**

Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Zoning Ordinance as a whole.

### **SECTION 7.**

Any person, firm or corporation violating any of the provisions of this ordinance or the Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the Municipal Court of the City of Mansfield, Texas, shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

### **SECTION 8.**

This ordinance shall take effect immediately from and after its passage on third and final reading and the publication of the caption, as the law and charter in such cases provide.

First reading approved on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Second reading approved on the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

DULY PASSED on the third and final reading by the City Council of the City of Mansfield, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
**David L. Cook, Mayor**

ATTEST:

\_\_\_\_\_  
**Susana Marin, City Secretary**

APPROVED AS TO FORM AND LEGALITY

\_\_\_\_\_  
**Allen Taylor, City Attorney**